

CITY OF ASHLAND



TREE COMMISSION REGULAR MEETING January 6, 2021 AGENDA

Please click the link below to join the webinar:

<https://zoom.us/j/97455662887?pwd=U1R6ZkdrQkxvOTViRStlQk94RktnQT09>

Passcode: 320549

I. CALL TO ORDER

6:00 p.m. via ZOOM

II. APPROVAL OF MINUTES

A. Tree Commission regular meeting of December 9, 2021 regular meeting minutes.

III. LIAISON REPORTS

- Council Liaison
- Parks & Recreation Liaison
- Community Development Liaison

IV. TYPE I REVIEWS

PLANNING ACTION: PA-T1-2021-00168
SUBJECT PROPERTY: 34 Scenic Dr.
OWNER/APPLICANT: Rouge Development for Gobelman & Stahmann
DESCRIPTION: A request for a minor land partition to divide the large area parcel into three parcels. This is before the tree commission to review their tree protection plan.
COMPREHENSIVE PLAN DESIGNATION: Single Family Residential; **ZONING:** R-1-7.5; **MAP:** 39 1E 08 AD, **TAX LOT:** 7300

PLANNING ACTION: PA-T1-2021-00169
SUBJECT PROPERTY: 440 Glenview Drive
APPLICANT/OWNER: Kencairn Landscape Architecture for owner Clark Pothoff
DESCRIPTION: A request for a Physical & Environmental (P&E) Constraints Review Permit to construct a new residence on hillside lands with severe constraints. This is before the tree commission to review the tree removal/protection and planting plan.
COMPREHENSIVE PLAN DESIGNATION: Rural Residential; **ZONING:** RR-.5; **MAP:** 39 1E 09CC; **TAX LOT:** 1301

PLANNING ACTION: PA-T1-2021-00170
SUBJECT PROPERTY: 218 Logan
OWNER/APPLICANT: KenCarin Landscaping for Bonnington
DESCRIPTION: A request for a Physical & Environmental (P&E) Constraints Review Permit s the construction of a new home on a previously approved lot, prior to the implementation of the

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development office at 541-488-5305 (TTY phone is 1-800-735-2900). Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting (28 CFR 35.102-35.104 ADA Title 1).

Hillside Standards Ordinance. This is before the tree commission to review the tree removal/protection and planting plan.

COMPREHENSIVE PLAN DESIGNATION: Single Family Residential; **ZONING:** R-1-10; **MAP:** 39 1E 08 AA, **TAX LOT:** 6913

V. **TYPE II REVIEWS** – None

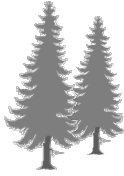
VI. **STREET TREE REMOVAL PERMITS**

VII. **DISCUSSION ITEMS**

- Tree of the year nominations
- Tree City USA
- Tree inventory project on GIS

VIII. **ADJOURNMENT**

Next Meeting: February 3, 2022



CITY OF ASHLAND



Ashland Tree Commission
Draft Minutes
December 9, 2021

Call to Order

Commission Chair Chris John called the meeting to order at 6:04 pm via Zoom .

Commissioners Present:	Council Liaison
Christopher John	Stephen Jensen
Asa Cates	
Vacancy (3)	Park Liaison
	Peter Baughman
Vacancy (5)	
Cat Gould	Staff Present:
Vacancy (7)	Aaron Anderson: Associate Planner
Commissioners Not In Attendance:	
Eric Simpson	

Approval of Minutes

Commissioners Chris John / Cat Gould m/s to approve the minutes of November 4, 2021. Voice Vote: All Ayes. Motion passed

Public Forum

There was no one in the audience wishing to speak.

Liaison reports

Council Liaison - gave a brief update including the hiring of the new city manager and his background. Councilor Jensen then briefly discussed the status of the repairs on the community center and gave some background on the ad hoc committee's work. Finally, he reported on the discussions that council has had regarding connecting to the RVSS.

Parks & Recreation Liaison – – Large Big Leaf maple was removed from near the pickle ball court. The Japanese park still underway and may be completed in a year or so.

Community Development Liaison – none

TYPE I REVIEWS

PLANNING ACTION: PA-T1-2021-00163

SUBJECT PROPERTY: 677 Oak Street

OWNER: June M., Victor R. & Felix R. Zboralski

APPLICANTS: Herb Farber, Victor & Felix Zboralski

DESCRIPTION: A request for Land Partition approval to create three lots from the property at 677 Oak Street. The application also includes a request for Tree Removal Permits to remove three significant trees, two of which are within the proposed building envelope on the proposed Parcels 2 & 3, and one located within the

proposed driveway. **COMPREHENSIVE PLAN DESIGNATION:** Single Family Residential; **ZONING:** R-1-5; **MAP:** 39 1E 04CA; **TAX LOT:** 2000

Staff briefly presented the application and handed the presentation over the Mr. Farber representing the application. There was discussion that without site plan the removals might be unjustified. Mr. Farber explained that they were just asking for the request in case they needed to be removed in the future. Staff was asked how the recommendation of the tree commission would affect the partition. Anderson stated that the partition would likely be approved, but with a condition of approval for their protection. Both Victor and Felix Zboralski spoke as well discussing the health of the trees. The public hearing was then closed.

Chair John and Asa both expressed concerns about approving the removal of these trees preemptively without justification.

Commissioners Asa Cates / Cat Gould M/S to deny the request for tree removal until a site plan has been developed.

PLANNING ACTION: PA-TREE-2021-00174

SUBJECT PROPERTY: 5 Water St.

OWNER/APPLICANT: City of Ashland / APRC

DESCRIPTION: A request to remove one ash tree at Bluebird Park located at 5 Water St. The tree is estimated to be 17 inches DBH and is a few feet from Ashland creek. The application states that the tree recently shed some large branches and has a failure at the union of the two main leaders. The project arborist recommends removal as the only solution.

COMPREHENSIVE PLAN DESIGNATION: Downtown; **ZONING:** C-1-D;

MAP: 39 1E 09 BB; **TAX LOT:** 9600

Anderson briefly presented the application and then turned the presentation over the Peter. Peter mentioned that the main reason APRC approached ComDev for a permit due to the proximity to Bear Creek. Anderson stated that all significant trees on City property are regulated and this conflicts with the exemption. Peter mentioned that the opposite side of the creek may be more appropriate for mitigation.

Commissioners Chris John / Cat Gould M/S to approve the application as presented. 3-0

Adjournment: *Cat Gould/ Asa Cates M/S to adjourn as John needs to leave due to illness and has caused a lack of a quorum.* Meeting adjourned at 7:15 p.m.

Next Meeting: January 6, 2022

Respectfully submitted by Liz Hamilton



Planning Division
 51 Winburn Way, Ashland OR 97520
 541-488-5305 Fax 541-488-6006

ZONING PERMIT APPLICATION

FILE # PA-T1-2021-00168

DESCRIPTION OF PROJECT

DESCRIPTION OF PROPERTY Pursuing LEED® Certification? YES NO

Street Address _____

Assessor's Map No. 39 1E _____ Tax Lot(s) _____

Zoning _____ Comp Plan Designation _____

APPLICANT

Name _____ Phone _____ E-Mail _____

Address _____ City _____ Zip _____

PROPERTY OWNER

Name _____ Phone _____ E-Mail _____

Address _____ City _____ Zip _____

SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OTHER

Title _____ Name _____ Phone _____ E-Mail _____

Address _____ City _____ Zip _____

Title _____ Name _____ Phone _____ E-Mail _____

Address _____ City _____ Zip _____

I hereby certify that the statements and information contained in this application, including the enclosed drawings and the required findings of fact, are in all respects, true and correct. I understand that all property pins must be shown on the drawings and visible upon the site inspection. In the event the pins are not shown or their location found to be incorrect, the owner assumes full responsibility. I further understand that if this request is subsequently contested, the burden will be on me to establish:

- 1) that I produced sufficient factual evidence at the hearing to support this request;
- 2) that the findings of fact furnished justifies the granting of the request;
- 3) that the findings of fact furnished by me are adequate; and further
- 4) that all structures or improvements are properly located on the ground.

Failure in this regard will result most likely in not only the request being set aside, but also possibly in my structures being built in reliance thereon being required to be removed at my expense. If I have any doubts, I am advised to seek competent professional advice and assistance.

Amy Gunter

Applicant's Signature Date

As owner of the property involved in this request, I have read and understood the complete application and its consequences to me as a property owner.

Property Owner's Signature (required) Date

[To be completed by City Staff]

Date Received 11.15.2021 Zoning Permit Type Type 1 Filing Fee \$ 1343.75

OVER ►►

ZONING PERMIT SUBMITTAL REQUIREMENTS

- APPLICATION FORM must be completed and signed by both applicant and property owner.
- PLANNING FEES FORM must be completed and signed by both applicant and property owner.
- FINDINGS OF FACT – Respond to the appropriate zoning requirements in the form of factual statements or findings of fact and supported by evidence. List the findings criteria and the evidence that supports it. Include information necessary to address all issues detailed in the Pre-Application Comment document.
- TRUE SCALE PDF DRAWINGS – Standard scale and formatted to print no larger than 11x17 inches. Include site plan, building elevations, parking and landscape details.
- FEE (Check, Charge or Cash)
- LEED® CERTIFICATION (*optional*) – Applicant's wishing to receive priority planning action processing shall provide the following documentation with the application demonstrating the completion of the following steps:
 - Hiring and retaining a LEED® Accredited Professional as part of the project team throughout design and construction of the project; and
 - The LEED® checklist indicating the credits that will be pursued.

NOTE:

- Applications are accepted on a first come, first served basis.
- Applications will not be accepted without a complete application form signed by the applicant(s) AND property owner(s), all required materials and full payment.
- All applications received are reviewed for completeness by staff within 30 days from application date in accordance with ORS 227.178.
- The first fifteen COMPLETE applications submitted are processed at the next available Planning Commission meeting. (Planning Commission meetings include the Hearings Board, which meets at 1:30 pm, or the full Planning Commission, which meets at 7:00 pm on the second Tuesday of each month. Meetings are held at the City Council Chambers at 1175 East Main St).
- A notice of the project request will be sent to neighboring properties for their comments or concerns.
- If applicable, the application will also be reviewed by the Tree and/or Historic Commissions.

ROGUE PLANNING & DEVELOPMENT SERVICES, LLC



34 Scenic Drive – Larry Gobelman and Joyce Stahmann

Minor Land Partition for three lots

Minor Land Partition

Property Address: 34 Scenic Drive

Property Owner: Larry Gobelman & Joyce Stahmann
35 Scenic Drive
Ashland, OR 97520

Planning Consultant: Amy Gunter
Rogue Planning & Development Services
1314-B Center Dr., PMB #457
Medford, OR 97501

Surveyor: Terra Survey
274 Fourth Street
Ashland, OR 97520

Subject Property:

Map & Tax Lot: 39 1E 08AD: Tax Lots: 7300

Lot Area: 57,611 square feet

Zoning: R-1-7.5

Adjacent Zones: R-1-7.5

Overlay Zones: Siskiyou-Hargadine Historic District
Physical and Environmental Constraints

Request:

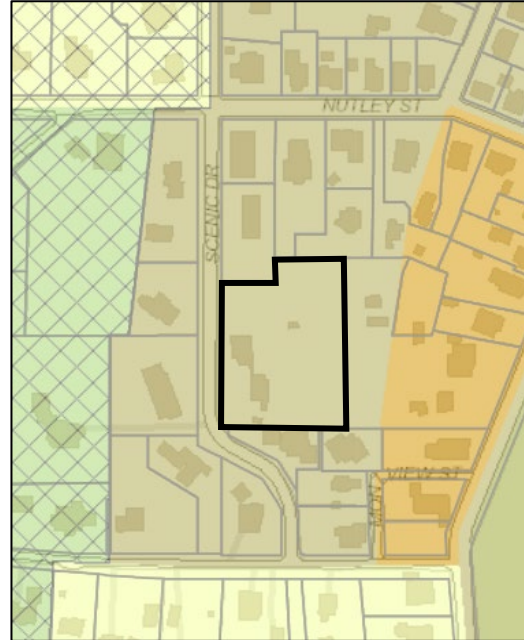
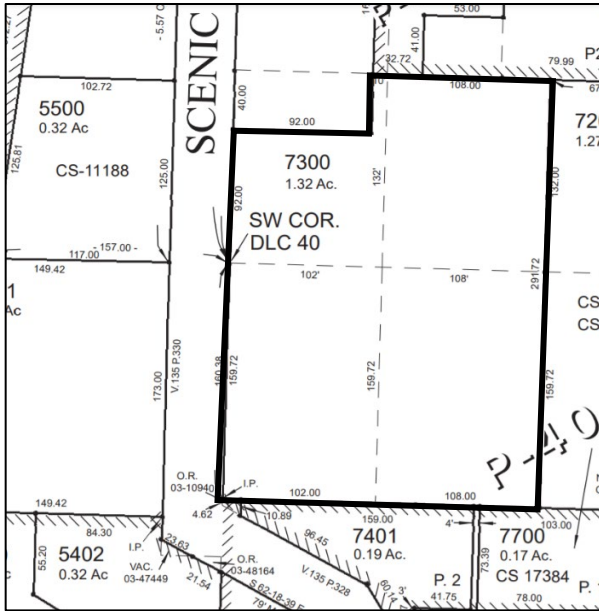
A request for a minor land partition to divide the large area parcel into three parcels. Proposed Parcel 1 is proposed as a 10,076.1 square foot (SF) parcel. To the south is proposed Parcel 2. This parcel is proposed to have 8,000 SF. Parcel 3 is proposed to be a large area, 39,534.7 square foot parcel. The large parcel is not proposed for any development at this time and a number of conceptual development options from one single family residence, duplex, flag lot(s), cottage house development, etc. are possible in the R-1-7.5 zone.

Property Description:

The subject property proposed for partition is a large parcel on the east side of Scenic Drive. The property is approximately 305-feet north of the Scenic Drive and Strawberry Lane intersection, and 278.30 feet south of the Scenic Drive and Nutley Street intersection. The parcel is generally rectangular, with 251.72

feet of frontage on Scenic Drive. The parcel extends 210 feet to the east, 291.72-feet north, 108-feet west, 40-feet south, 92-feet west to the point of beginning. The property is 56,611 square feet in area.

The existing average lot width is 271.72 and the average lot depth is 210.82, the lot is wider than it is deep.



The property and the adjacent properties are zoned R-1-7.5, Single Family Residential. The property is within the Hillside Overlay and there are areas abutting Scenic Drive that are 35 percent slopes and greater. There are other areas of steep slopes that are adjacent to the south property line.

The property is one of the south properties within the Skidmore Academy Historic District. The house was constructed in the early 1950s. According to the Ashland Historic Resources Inventory the home is non-historic, non-contributing. *34 Scenic Drive is a contemporary, structure from the Modern Period, Dated 1953 by the Assessor, this multi-component residence has a large and sprawling footprint that may include some early elements but overall is not consistent with the historic character of the district. In 1964 Karl W. Slack is listed as the owner-occupant although by 1977 the present owner was living at this address with Slack residing at 44 Scenic, possibly indicating a lot partition and new construction that was not researched.*

Though not considered historic, the structure does appear to retain sufficient integrity to reflect the time period in which it was constructed. With the façade modifications made by the property owner, the residence has an improved street presence.

The 2,446-square foot one story residence with a basement. There is also a 440-square foot detached garage to the south of the residence. A 220-square foot lean to structure was previously attached to this structure and since has been removed.

The average slope of the property is approximately 14-percent downhill from Scenic Drive to the east. There are areas where slopes of the property are greater than 35 percent. These are along the Scenic Drive right-of-way and to the east of the residence and garage.

The areas that have more than 35 percent slope are outside of the areas of development. The basic setbacks of the R-1 zone are similar or slightly smaller than the areas identified as 35 percent slopes and greater.

The property is subject to solar setback standard A and slopes at approximately three percent downhill to the north for the purposes of calculating solar setbacks.

There are 40 trees on the subject property that are more than six inches in diameter at breast height. The trees include pine, cedar, cottonwood and fruit trees. There are large diameter Oak trees along the Scenic Drive frontage.

Scenic Drive has a 40-foot public right of way. It is paved with curb and gutter. There is a curbside sidewalk along the frontage of the property. There is limited right-of-way for street improvements, additionally, there is a substantial grade change on both sides of the street. A decorative guardrail is present along the south ~94-of the property frontage with large stature trees along the entire block frontage that prevent the installation of a park row and sidewalk to city standards.

The property is served by public utilities (water and natural gas) from Scenic Drive. There are public utility easements for stormwater sewer and sanitary sewer mains which are present on the north and northwest sides of the property. The public utility easements are depicted on the proposed partition plat map.

The properties to the north, west and south are also zoned R-1-7.5 and are occupied by single family type structures and detached out buildings. The property to the east is zoned R-2 and is occupied by a multi-structure, multi-family dwelling type of development.

Proposal:

The request is to divide the property into three parcels. There are existing curbside sidewalks along the frontage of the property. An exception to the street standards is proposed to retain the existing infrastructure and not install parkrow and replacement sidewalk.

Proposed Parcel 1 would retain the existing residence with vehicular access from Scenic Drive utilizing the existing driveway. Proposed Parcel 1 has a width of 100.4-feet along Scenic Drive and a depth of 100.4-feet, this exceeds minimum lot width and lot depth in the zone. The parcel is proposed to be

10,076.1 square feet. Minimum lot area in the zone is 7,500 square feet and the proposed parcel area exceeds this. The existing coverage of Parcel 1 complies with the maximum coverage in the zone.

To the south of proposed Parcel 1, is proposed Parcel 2. Parcel 2 is in the area of the existing detached garage. The garage 440 square foot garage will be removed to ready the property for development. This parcel is proposed to be 80-feet wide along Scenic Drive with 100-feet of depth. The parcel is proposed to be 8,000 square feet. The proposed width and lot depth comply with the standards for the zone. The proposed parcel width complies with solar setback standards and the parcel width is less than the parcel depth.

Proposed Parcel 3 is a large area parcel. This parcel is proposed as a future development area. Parcel 3 is proposed to have 71.4-feet of frontage along Scenic Drive. The parcel has an average width of 181.56-feet. The proposed depth of the parcel is approximately 220.04-feet which appears to comply with the requirement that the lot depth exceed the lot width.

There is a legal ingress/egress easement leading to Granite Street through the adjacent property. This easement is unimproved, and the neighbors have created a steep drop off at the property boundary. This easement will be reserved for Parcel 3.

Parcel 2 is shown using the existing driveway from Scenic Drive. Cross access easements, backup area easements and utility easements are shown between Parcel 1 and Parcel 2 with utility easements across Parcel 3 for Parcel 1 and 2 to access existing sanitary sewer and stormwater easements along the north property line of proposed Parcel 3.

Findings addressing the criteria from the Ashland Municipal Code can be found on the following pages.

Respectfully submitted,

Amy Gunter
Rogue Planning & Development Services, LLC
Agent for Owner

Attachments:

- A) Preliminary Partition Map
- B) Existing & Proposed Utility Plan/Tree Protection Plan

FINDINGS OF FACT

Ashland Municipal Code Land Use Ordinance

18.5.3.050 Preliminary Partition Plat Criteria

A. The future use for urban purposes of the remainder of the tract will not be impeded.

Finding:

The future use of the remainder of the tract as single-family residential uses will not be impeded by the proposal.

Proposed Parcel 3 is oversized with 39,534.7 square feet of area. This parcel is proposed to have 71.4-feet of frontage along Scenic Drive. Parcel 3 has an average width of 181.56-feet. The proposed lot depth is approximately 220.04-feet which appears to comply with the requirement that the lot depth exceed the lot width. This parcel has no development proposals.

The area of Parcel 3 has the potential density of three units for a subdivision, performance standards subdivision, or has the potential to be at least one, 12-unit cottage lot development. The solar access ordinance requires the future lots on this portion of the property to have a substantial north to south lot width to accommodate the required solar setback due to the level grade for the purposes of the solar access ordinance.

When considering the slope of the property from south to north with a steep cross slope from Scenic to the east, there is inadequate street frontage along Scenic Drive is not wide enough to create three street fronting parcels. Additionally, three street fronting lots would prevent access to the rear yard areas of three very oversized parcels limiting the future density potential of Proposed Parcel 3. The slope of the grade along Scenic Drive is so steep there is a guardrail. There are a substantial number of large stature trees on Parcel 3. The large trees and the location and grade for the future access to Parcel 3 are also factors in the reasons for the L shaped Parcel 3. The future development will dictate the ultimate finished width of the future driveway thus, no plan for driveway installation provided. There is adequate separations of more than 24-feet between the existing driveways on proposed Parcel 1 to the south and the property adjacent to the north.

The property is not within the Performance Standards Overlay but is in the historic district and has topographical constraints, constraints from adjacent developments and large stature trees which would warrant future planning review as a Performance Standards Subdivision or similar.

B. The development of the remainder of any adjoining land or access thereto will not be impeded.

Finding:

The development of the remainder of any adjoining land or access to adjoining lands will not be impeded by the proposal.

There are access easements and utility easements provided on the preliminary plat submitted with this application.

The access easement to Granite Street is presently not improved between the property lines and not intended for use. The easement provided on the partition plat map will provide access to Parcel 3.

Easements leading to the public utilities near the north property line of the parent parcel are provided along the proposed east property line of Parcel 1 and crossing Parcel 3. A public utility and slope easement has been proposed along the frontage of the property adjacent to the Scenic Drive right-of-way.

C. The partition plan conforms to applicable City-adopted neighborhood or district plans, if any, and any previous land use approvals for the subject area.

Finding:

The Historic District Inventory does not appear to impact requests for partition excepting the Maximum Permitted Floor Area (MPFA) standards. The existing residence has 1,256 square feet on the first floor, excluding the daylight basement area is far less than the allow maximum house size.

There are no other City adopted neighborhood or district plans. To the applicant's knowledge, there are not previous approvals for the subject property that would impact the proposal.

D. The tract of land has not been partitioned for 12 months.

Finding:

The tract of land has not been partitioned for the past 12 months.

E. Proposed lots conform to the requirements of the underlying zone, per part 18.2, any applicable overlay zone requirements, per part 18.3, and any applicable development standards, per part 18.4 (e.g., parking and access, tree preservation, solar access and orientation).

Finding:

The proposal complies with the requirements of the underlying zone. Three parcels which comply with lot width and depth requirements, coverage and MPFA standards and solar access standards.

There are large stature trees which are all proposed to be retained as part of this proposal. The proposed utility installations should not have an impact on the trees as the lines are present in the street and along the north side of the property not near the large, established trees. A tree protection plan has been provided.

Parcel 1:

Proposed Parcel 1 is proposed to be 100.4' X 100.4' and 10,073.1 square feet in area.

The 10,076.1 square foot parcel has a 2,446 square foot residence. This structure has a basement level that is not included in the area of the structure for the purposes of maximum permitted floor area (MPFA). The main level of the residence is 1,256 square feet which is less than the allowed MPFA of 2,717.7 square feet ($10,073.1 \times .71 = 7,151.9$ X $.38 = 2,717.7$ square feet).

The proposed parcel has 2,059 square feet of paved and concrete areas, including the residence and a portion of the large deck (328 SF of the 528 SF). The total coverage of proposed Parcel 1 is 3,643 square feet in area which is less than the allowed coverage of 4,532.8 square feet.

Proposed Parcel 1 meets solar setbacks for the existing structure and exceeds the minimum lot width for a newly created lot (minimum lot width is 72.8-foot wide).

The existing structure complies with setbacks from the proposed property lines.

The site plan depicts an area for two vehicle parking spaces. It is in the same area as existing surface parking.

Parcel 2:

Proposed Parcel 2 is proposed to be 80' X 100' and 8000 square feet in area. This parcel complies with minimum lot width and depth requirements as well as minimum lot area.

A buildable area is evident on the property within the paved driveway area and the garage parking area where previous site disturbances have occurred. The areas within the setbacks are steeply sloped and outside of the buildable area.

The MPFA for this parcel is 2,436.7 square feet ($7,820 \times .82 = 6,412$ X $.38 = 2,436.7$). The future development will demonstrate compliance with standards at the time of development.

There are 3,411 square feet of impervious surfaces on the proposed parcel. Of this, 440 square feet is a detached garage that will be removed. The maximum allowed coverage is 3,519 square feet in area. The existing surfaces comply, and new construction will demonstrate compliance with the coverage standards.

The access to Parcel 2 is proposed to be shared with Parcel 1. The private easement that extends from Granite Street has been adjudicated and it is a legal access to the subject property. There are encroachments, the easement and improved width is narrow to serve as a primary vehicle access. The proposal seeks to allow the proposed Parcels 1 and 2 to use accesses from Scenic Drive. When Parcel 3 develops in the future, the easement could provide access to future residences, or the lot width a separation between the existing driveways on the adjacent property to the north and the existing driveway to the south that complies with spacing standards.

The property is within the Hillside Overlay zone of the Physical and Environmental Constraint Overlay from AMC 18.3.9. There are areas of more than 35% slope along the Scenic Drive right-of-way. At the time of site development of Parcel 2, it will be demonstrated that the disturbed areas are less than 1,000 square feet in area and less than 20 cubic yards of material are moved.

Parcel 3:

Proposed Parcel 3 is oversized with 39,534.7 square feet of area. This parcel is proposed to have 71.4-feet of frontage along Scenic Drive. Parcel 3 has an average width of 181.56-feet. The proposed lot depth is approximately 220.04-feet which appears to comply with the requirement that the lot depth exceed the lot width. This parcel has no development proposals.

AMC 18.4.5: Trees:

There are 40 trees that are six inches in diameter at breast height or greater on the property. The trees include 12 – 36-inch DBH Oak trees, 6 – 24 inch DBH Ponderosa Pines. The majority of the trees are within Proposed Parcel 3. No development is proposed of Parcel 3 due to the numerous development configurations and therefore there is not a utility plan and tree plan for Parcel 3. The trees on Parcel 3 are protected by the land development ordinance as they exceed six-inches in diameter at breast height and the trees would require a tree removal permit.

There is a row of six, 12-inch DBH and greater Oak trees along the frontage of proposed Parcel 2. These trees are within the frontage and required 20-foot front yard area. The buildable area that is the presently concreted, has a low retaining wall barrier. The trees will have a protective fence to prevent irreparable harm during site work to install utility stub outs.

The Oak trees will all require a tree removal permit at any point that it is warranted with a site development permit. At that time, their removal will be directly related to proposed development.

18.4.6: Public Facilities:

Scenic Drive along the frontage of the property is classified as a Neighborhood Street. The existing improvements are less than standards require. There is a five-foot curbside sidewalk along the frontage of the property. Some of sidewalk is protected with a guardrail along the east side. There are

no landscape park rows and the paved width is less than the standards require. There are no changes proposed to the existing street improvements. An exception to street standards has been requested.

Public utilities are proposed to be installed to service proposed Parcel 2 as provided in the finding under 18.5.3.050.G. There are no utility improvements proposed for Parcel 3 as it is not proposed for development and has various development options that require various levels of infrastructure. That infrastructure and impacts to trees, driveway spacing and grade, and other levels of development will depend upon a future partnership. At this time, the preservation of the right to install at a later date when utility service is determined is requested. This allows for the greatest level of tree preservation as well.

18.4.8: Solar Setback Standards:

The parent parcel has minimal slope from south to north as determined by the solar ordinance. There is an approximately a three percent slope to the north. The required minimum lot width for a three percent slope lot is 72.81 feet wide. The proposed north to south width of the three proposed parcels exceeds the required minimum width required to comply with the solar setback ordinance.

F. Accesses to individual lots conform to the standards in section 18.4.3.080 Vehicle Area Design. See also, 18.5.3.060 Additional Preliminary Flag Lot Partition Plat Criteria.

Finding:

Proposed parcels 1 and 2 are shown sharing the existing driveway. Area for vehicular access, parking and shared back-up area is shown on the tentative plat. The driveway for Parcel 1 is existing and there is area for two head-in parking spaces and adequate back-up area for two off-street parking spaces for Parcel 1 to the south of the residence.

It is assumed that a below street grade garage would be constructed on the site taking access from the driveway and utilizing the shared driveway.

Due to the large stature trees and steep slopes along the frontage, the location of a future driveway for Parcel 3 has not been selected as driveways are allowed to cross slopes of 35 percent with proper permitting and review and the removal of any of the trees along the frontage would require a tree removal permit, determination of the driveway location will be developer driven.

The future driveways and access to the site comply will comply with the standards from AMC 18.4.3.080.C. The proposed driveway accesses from Scenic Drive will be more than 24-feet from adjacent driveways.

G. The proposed streets, utilities, and surface water drainage facilities conform to the street design standards and other requirements in part 18.4, and allow for transitions to existing and potential future development on adjacent lands. The preliminary plat shall identify all proposed public improvements and dedications.

Finding:

No new streets are proposed. The existing street improvements to Scenic Drive are pre-existing, non-conforming. No changes to the public street excepting future driveway and utility service.

The existing curbcut from Scenic Drive serving proposed Parcel 1 is 24-feet to the north of proposed Parcel #2 northern property boundary.

There is a 8-inch waterline in Scenic Drive. The existing water meter for 34 Scenic Drive will be utilized for the existing residence and a new water meter will be installed within a 10-foot public utility and slope easement proposed at the edge of the Scenic Drive public right-of-way. New water service for Parcel 2 and meter will be installed in accordance with the regulations and standards of the city of Ashland Water Department.

An easement is proposed along the proposed east property line to provide access from the proposed Parcel 2 to the existing 8-inch sanitary sewer main and the 12-inch storm drain lines that are along the Northern property line of proposed Parcel 3.

Existing utilities for the residence at 34 Scenic that cross the property to the northwest leading to the sanitary sewer are proposed to have easement where crossing onto proposed Parcel 3 to get access to the sewer line on the north side of proposed Parcel 3.

Improvements to Parcel 3 until a development proposal is proposed is requested. This is due to the fact that the number of meters and service connects is interconnected to the proposed future development which ranges from one single family residence to 12-cottage units.

H. Unpaved Streets.

Finding:

Scenic Drive is a paved street. This standard does not appear to apply.

I. Where an alley exists adjacent to the partition, access may be required to be provided from the alley and prohibited from the street.

Finding:

There is not an alley adjacent to the partition area.

J. Required State and Federal permits, as applicable, have been obtained or can reasonably be obtained prior to development.

Finding:

No state or federal permits are required.

K. A partition plat containing one or more flag lots shall additionally meet the criteria in section 18.5.3.060.

Finding:

A flag lot is not proposed as part of the partition.

Exception to Street Standards

AMC 18.4.6.020 B. Exceptions and Variances. Requests to depart from the requirements of this chapter are subject to chapter 18.5.5 Variances, except that deviations from section 18.4.6.040 Street Design Standards are subject to 18.4.6.020.B.1 Exceptions to the Street Design Standards, below.

Finding:

Scenic Drive is a Neighborhood Street. The existing right-of-way of Scenic is 40-feet. This is less than the required ROW for a Neighborhood Street. The right-of-way is improved to approximately 25-feet including a five-foot curbside sidewalk which is within inches of the east side (subject property) side of Scenic Drive, a 20-foot paved driving surface and curb with gutter along the west side of Scenic. There is an additional approximately 12-feet of unimproved right-of-way on the west side of Scenic Drive.

An exception to not install standard street improvements is requested.

1. Exception to the Street Design Standards. The approval authority may approve exceptions to the standards section in 18.4.6.040 Street Design Standards if all of the following circumstances are found to exist.

- a. There is demonstrable difficulty in meeting the specific requirements of this chapter due to a unique or unusual aspect of the site or proposed use of the site.

Finding:

Though not to standards the proposed partition is not of sufficient vehicular or pedestrian densities to warrant the dedication of 10-feet of public right-of-way on the east side of Scenic Drive to install conforming park row and sidewalk. Standard city improvements would necessitate removal of the large stature Oak trees present along the frontage of proposed Parcels 1 and 2. The standard city improvements would necessitate a large structural retaining wall along the east side said improvements because the area behind the existing sidewalk along the right-

of-way already has a retaining wall and a guardrail to prevent pedestrians from falling off of the sidewalk and onto the property below.

b. The exception will result in equal or superior transportation facilities and connectivity considering the following factors where applicable.

i. For transit facilities and related improvements, access, wait time, and ride experience.

ii. For bicycle facilities, feeling of safety, quality of experience (i.e., comfort level of bicycling along the roadway), and frequency of conflicts with vehicle cross traffic.

iii. For pedestrian facilities, feeling of safety, quality of experience (i.e., comfort level of walking along roadway), and ability to safety and efficiency crossing roadway.

Finding:

The proposal does not propose to make alterations to the right-of-way width due to the steep slope along the property frontage. There are no proposed modifications to the pedestrian facilities which are existing and are limited by the right-of-way and topographical constraints. Additionally, there are large stature trees which prevent widening of the sidewalk.

c. The exception is the minimum necessary to alleviate the difficulty.

Finding:

Dedication of public right-of-way and or removal of sidewalk, installation of street trees, installation of new sidewalk atop a large retaining wall is not proportional to the requested partition. The installation of conforming street improvements creates numerous difficulties.

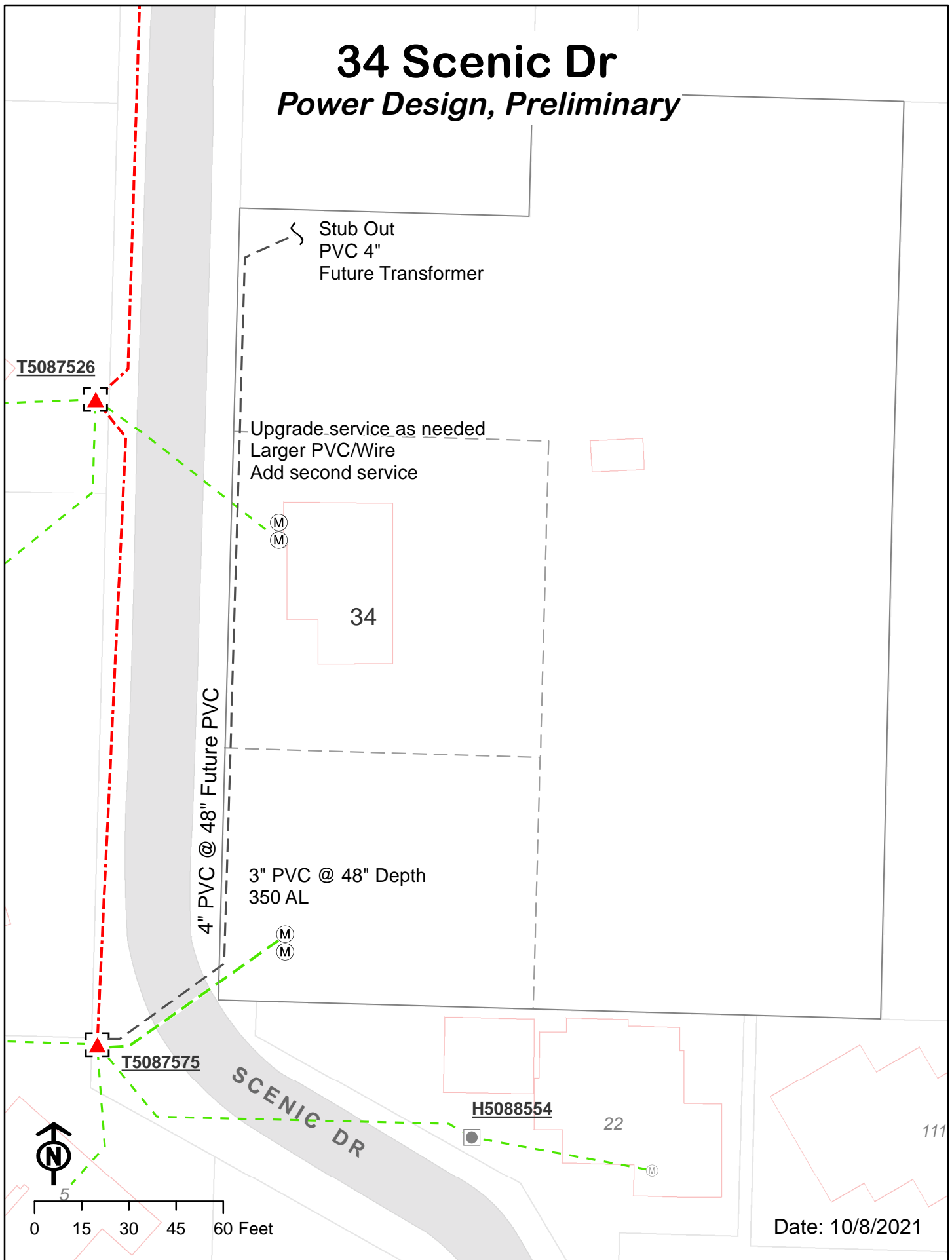
d. The exception is consistent with the Purpose and Intent of the Street Standards in subsection 18.4.6.040.A.

Finding:

The purpose and intent of the street standards seeks for connected, city streets that have limited block length and distances to provide safe and accessible public street improvements. Due to the physical constraints in the form of topography and large statures trees and lack of connectivity to other public improvements, the exception is consistent with the purpose on intent.

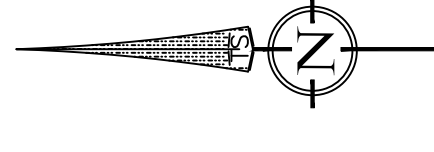
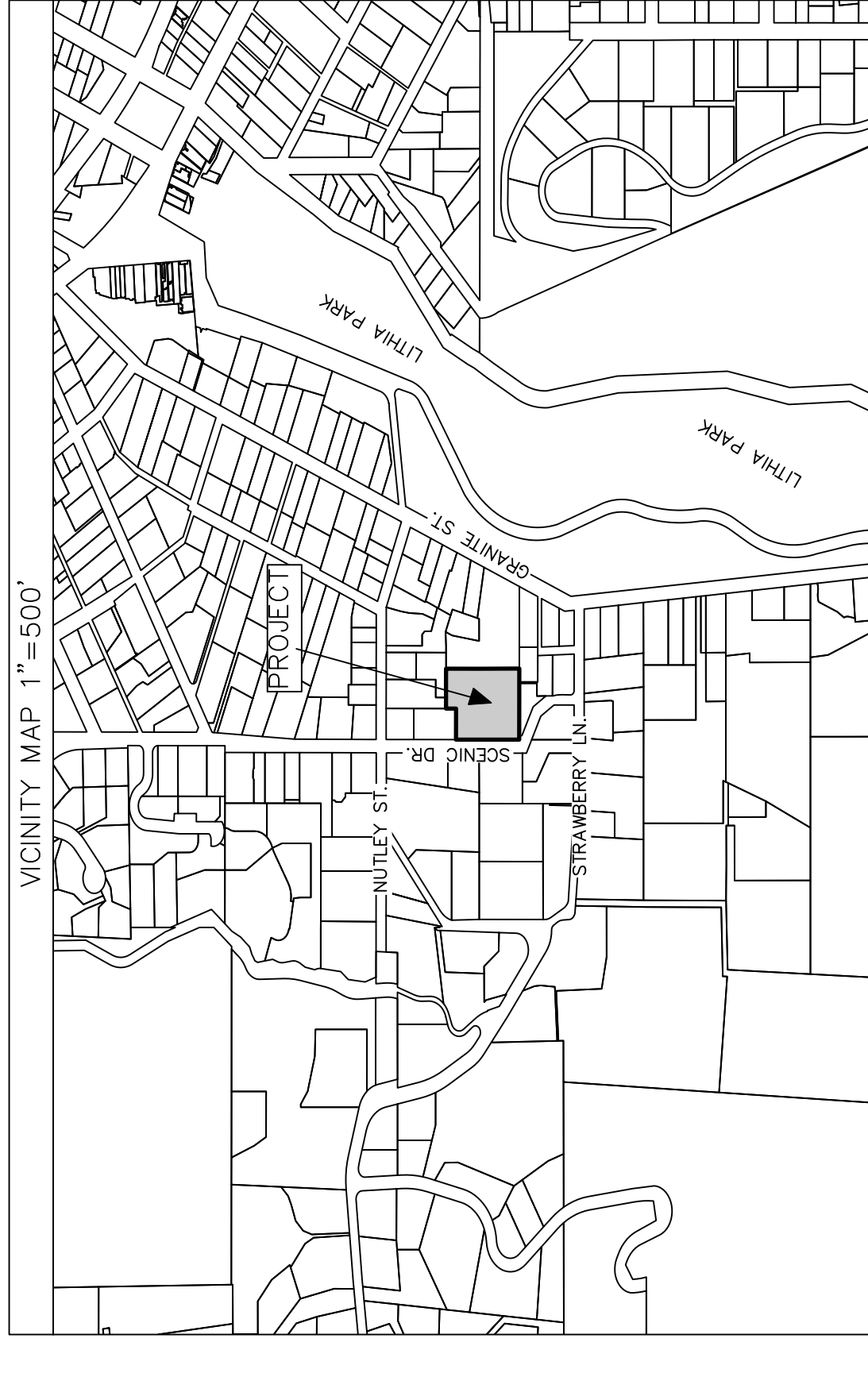
34 Scenic Dr

Power Design, Preliminary



SITE MAP FOR PROPOSED LAND PARTITION

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8,
TOWNSHIP 39 SOUTH, RANGE 1 EAST,
WILLAMETTE MERIDIAN,
CITY OF ASHLAND, JACKSON COUNTY, OREGON



DATE: 09-15-2021
CONTOUR INTERVAL = 2'
SCALE: 1" = 20'

AREA SUMMARY	
PARENT PARCEL TOTAL	57611± SQ.FT.
PARCEL 1 TOTAL	10076± SQ.FT.
RESIDENCE	1256± SQ.FT.
ASPHALT SURFACES	1124± SQ.FT.
CONCRETE SURFACES	935± SQ.FT.
PARCEL 1 REMAINING	10190± SQ.FT.
PARCEL 2 TOTAL	8000± SQ.FT.
GARAGE/SHOP	736± SQ.FT.
ASPHALT SURFACES	476± SQ.FT.
CONCRETE SURFACES	2199± SQ.FT.
PARCEL 2 REMAINING	4409± SQ.FT.
PARCEL 3 TOTAL	39534± SQ.FT.

APPLICANT/OWNER: JOYCE STAHMANN AND LARRY GOBELMAN
34 SCENIC DRIVE
ASHLAND, OREGON 97520

PLANNER: AMY GUNTER
ROGUE PLANNING AND DEVELOPMENT
SERVICES, LLC.
1424 SOUTH IVY STREET
MEDFORD, OREGON 97501
(541) 951-4020

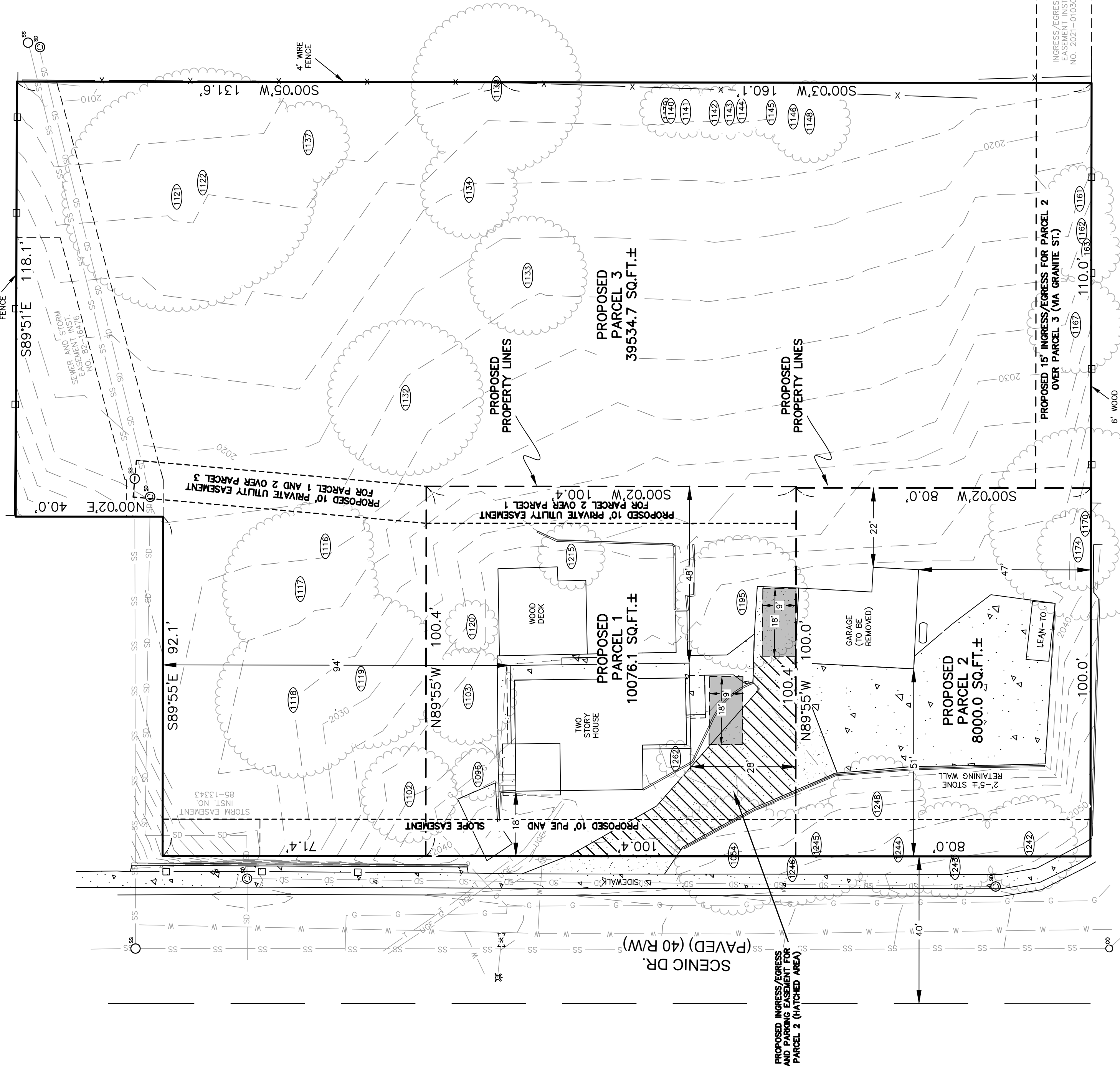
LAND SURVEYOR: PHILIP J. DROSSOS
TERRASURVEY, INC.
274 FOURTH STREET
ASHLAND, OREGON 97520
(541) 482-6474

SITE: 34 SCENIC DRIVE
ASHLAND, OREGON 97520
MAP NO. 39 1E 08 AD
TAX LOT NO. 7300

ZONING: R-1-7.5

LEGEND

⊗	FIRE HYDRANT
○	SEWER CLEANOUT
○	SEWER MANHOLE
○	STORM MANHOLE
⊕	WATER METER
⊕	WATER VALVE
⊕	RETAINING WALL
---	UNDERGROUND ELECTRIC
---	UNDERGROUND COMMUNICATIONS
---	UNDERGROUND SEWER
---	UNDERGROUND STORM
---	UNDERGROUND GAS
---	UNDERGROUND WATER
⊕	TREE (SEE TREE TABLE)
⊕	CONCRETE SURFACE
⊕	ASPHALT SURFACE



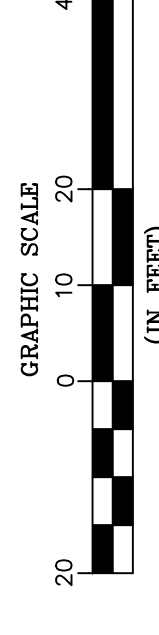
TREE TABLE		TREE TABLE			
POINT #	TYPE	DIAMETER	POINT #	TYPE	DIAMETER
1094	OAK	36"	1143	CONIFER	6"
1096	DECIDUOUS	6"	1144	CONIFER	6"
1102	CONIFER	15"	1145	CONIFER	6"
1103	FRUIT	15"	1146	CONIFER	6"
1116	DECIDUOUS	14"	1148	MADRONA	12"
1117	CONIFER	26"	1161	OAK	10"
1118	CONIFER	26"	1162	OAK	10"
1119	CONIFER	26"	1163	OAK	8"
1120	DECIDUOUS	6"	1167	OAK	18"
1121	COTTONWOOD	36"	1170	OAK	25"
1122	COTTONWOOD	36"	1174	OAK	10"
1132	DECIDUOUS	20"	1195	DECIDUOUS	17"
1133	CONIFER	24"	1215	DECIDUOUS	12"
1134	OAK	15"	1242	OAK	12"
1137	OAK	12"	1243	OAK	16"
1138	OAK	30"	1244	OAK	16"
1139	CONIFER	6"	1245	OAK	15"
1140	CONIFER	6"	1246	OAK	18"
1141	CONIFER	6"	1248	CONIFER	15"
1142	CONIFER	6"	1262	DECIDUOUS	5"

REGISTERED
PROFESSIONAL
LAND SURVEYOR

PHILIP J. DROSSOS
No. 90716
Renewal 12-31-21

TERRASURVEY, INC.
PROFESSIONAL LAND SURVEYORS
274 FOURTH STREET
ASHLAND, OREGON 97520

(541) 482-6474
terrain@tbsp.net
JOB NO. 1449-21



SITE MAP FOR PROPOSED LAND PARTITION

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8,
TOWNSHIP 39 SOUTH, RANGE 1 EAST,
WILLAMETTE MERIDIAN,
CITY OF ASHLAND, JACKSON COUNTY, OREGON

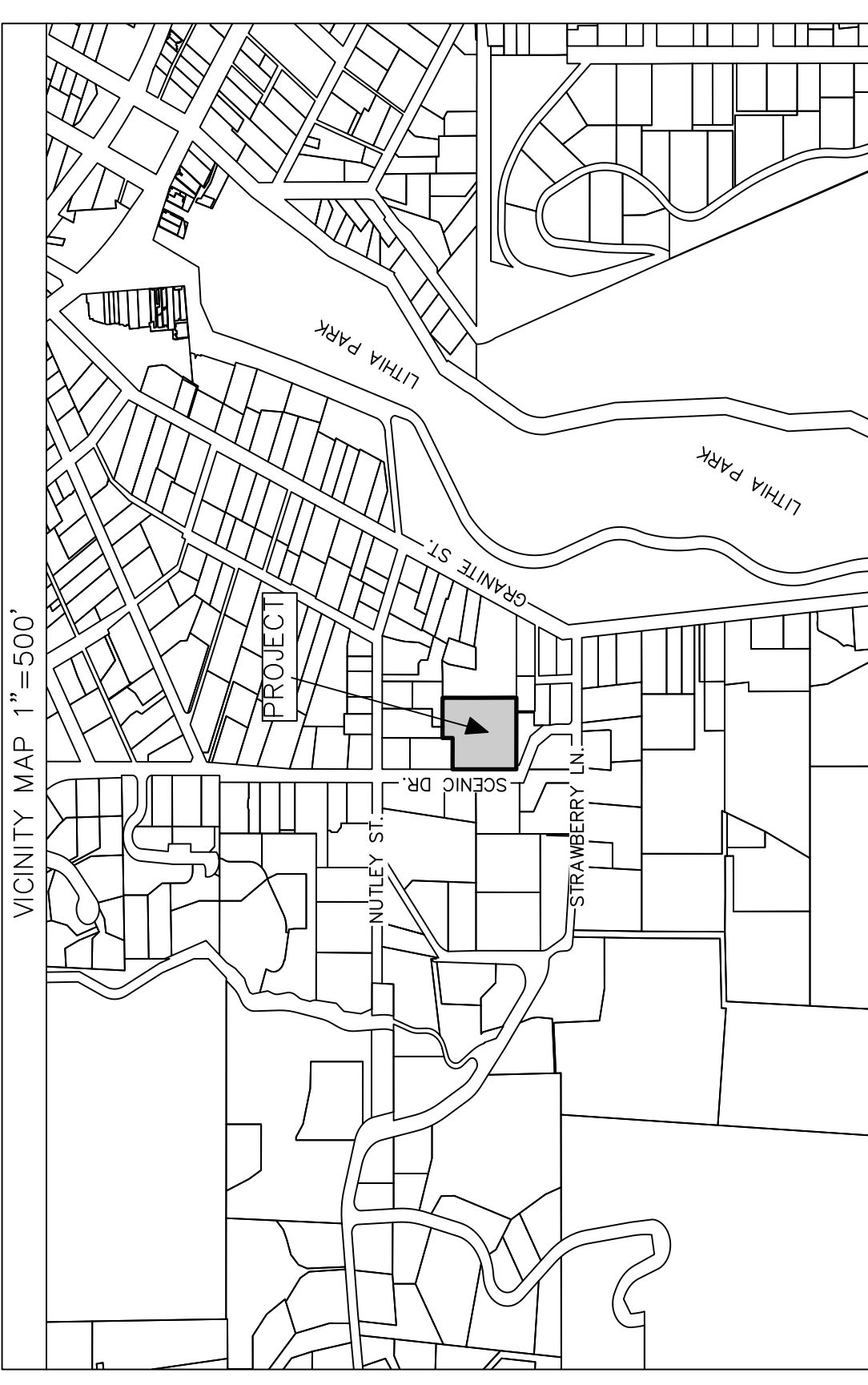
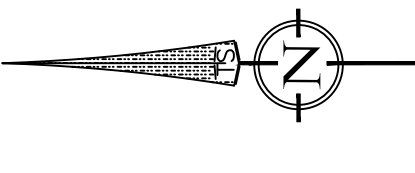
- BUILDING ENVELOPE
- SOLAR SETBACK
- AND
- UTILITY DETAILS
- ELECTRIC
- WATER

TREE PROTECTION MEASURES:

1. Six-foot tall, chain-link fencing with steel posts placed no farther than ten feet apart, will be installed at the edge of the tree protection zone.
2. The fencing will be flush with the initial undisturbed grade.
3. Approved signs will be attached to the chain link fencing stating that inside the fencing is a tree protection zone, not to be disturbed unless prior approval has been obtained from the Staff Advisor for the project.
4. No construction activity will occur within the tree protection zone, including, dumping or storage of materials such as building supplies, soil, waste items, equipment, or parked vehicles.
5. The tree protection zone will remain free of chemically injurious materials and liquids, and construction debris or run-off.
6. No excavation, trenching, grading, root pruning, or other activity will occur within the tree protection zone unless approved by the Staff Advisor.
7. All required tree protection measures will be instituted prior to any development activities, including, clearing, grading, excavation, or demolition work, and will be removed only after completion of all construction activity, including landscaping and irrigation installation.

POINT #	TREE TYPE	DIAMETER	POINT #	TREE TYPE	DIAMETER
1094	OAK	36"	1143	CONIFER	6"
1096	DECIDUOUS	6"	1144	CONIFER	6"
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DATE: 09-15-2021
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APPLICANT/OWNER: JOYCE STAHMANN AND LARRY GOBELMAN
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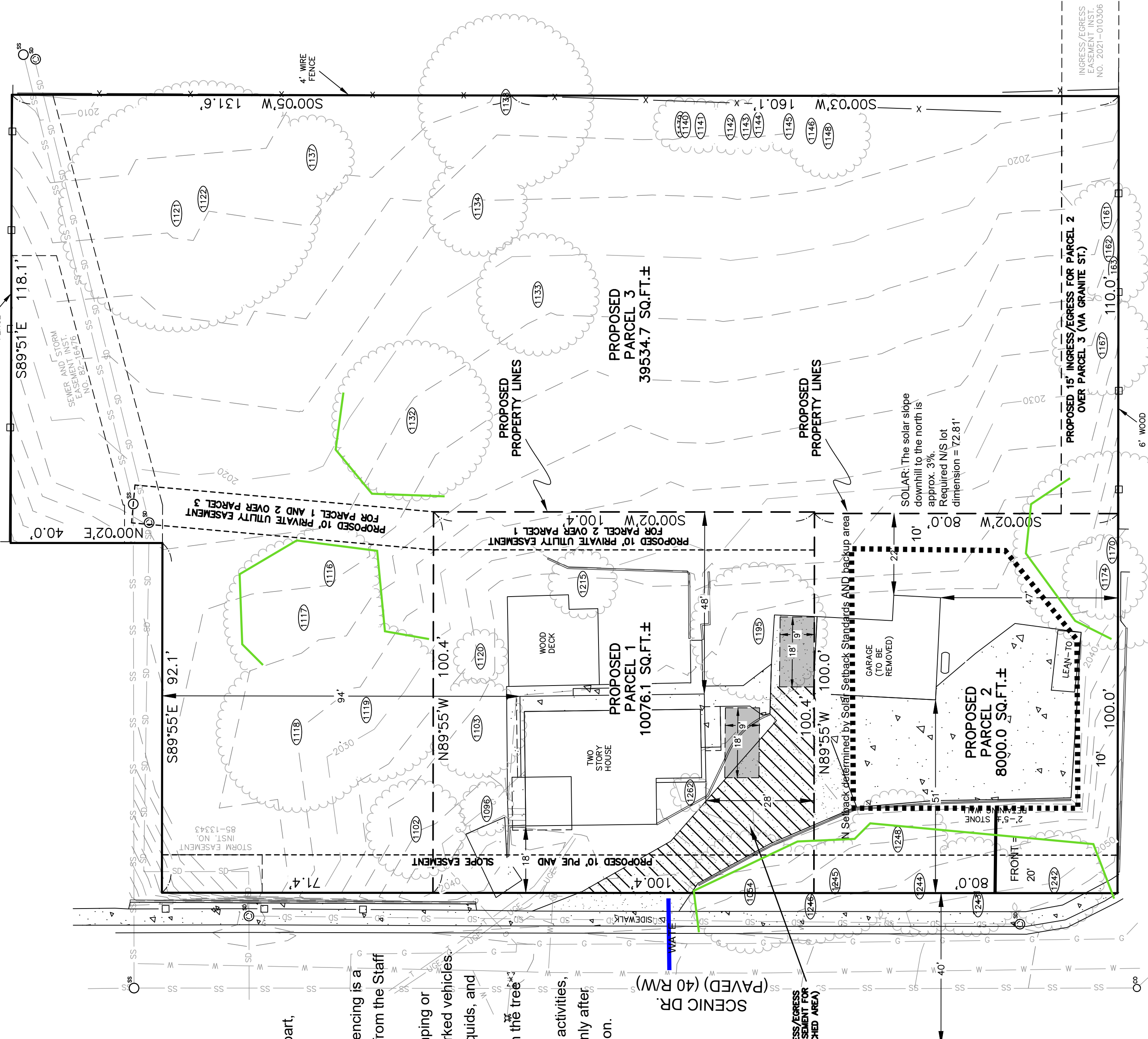
LAND SURVEYOR: PHILIP J. DROSSOS
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274 FOURTH STREET
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SITE: 34 SCENIC DRIVE
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MAP NO. 39 1E 08 AD
TAX LOT NO. 7300

ZONING: R-1-7.5

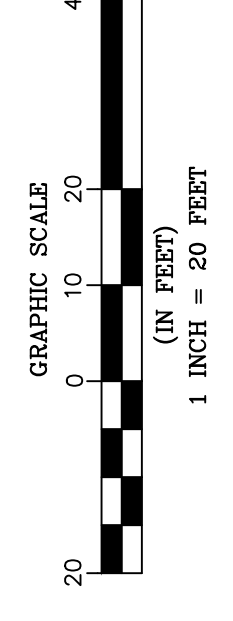
LEGEND

- ⊗ FIRE HYDRANT
- SEWER CLEANOUT
- SEWER MANHOLE
- STORM MANHOLE
- ⊕ WATER METER
- ⊕ WATER VALVE
- RETAINING WALL
- UNDERGROUND ELECTRIC
- UNDERGROUND COMMUNICATIONS
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- UNDERGROUND STORM
- UNDERGROUND GAS
- UNDERGROUND WATER
- ⊕ TREE (SEE TREE TABLE)
- ▭ CONCRETE SURFACE
- ▭ ASPHALT SURFACE



REGISTERED
PROFESSIONAL
LAND SURVEYOR

PHILIP J. DROSSOS
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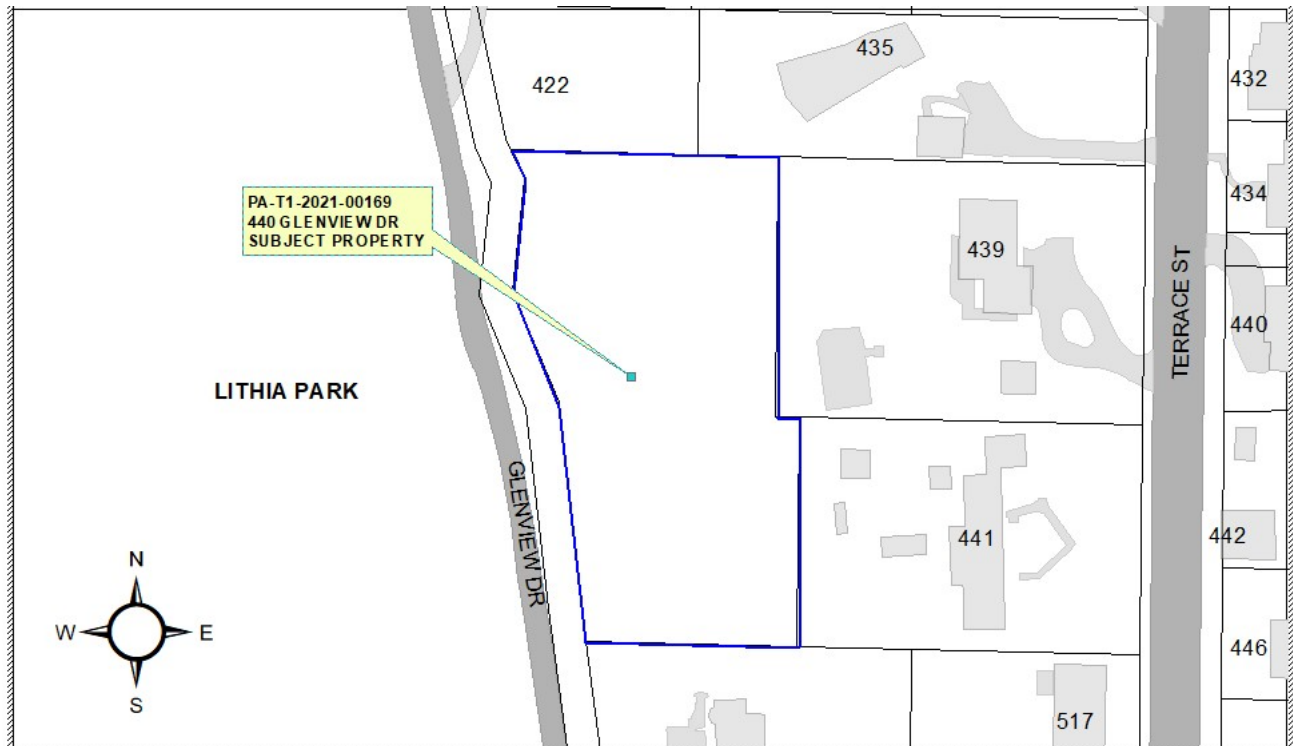


NOTICE OF APPLICATION

PLANNING ACTION: PA-T1-2021-00169
SUBJECT PROPERTY: 440 Glenview Drive
APPLICANT/OWNER: Kencairn Landscape Architecture/Clark Pothoff
DESCRIPTION: A request for a Physical & Environmental (P&E) Constraints Review Permit to construct a new residence on hillside lands with severe constraints for the property at 440 Glenview Drive and to modify the driveway and building envelope previously approved under Planning Action #2015-01061. The application includes requests for Exceptions to the Development Standards for Hillside Lands to 1) allow a driveway more than 100 feet in length on slopes in excess of 35 percent; 2) to allow cuts greater than 15 feet in height; 3) to allow four terraces at the rear of the home; and 4) to allow a 40 foot horizontal building plane without an offset. The application also includes a request for Tree Removal Permits to allow the removal of 14 trees.
COMPREHENSIVE PLAN DESIGNATION: Rural Residential; **ZONING:** RR-.5; **MAP:** 39 1E 09CC; **TAX LOT:** 1301

NOTE: The Ashland Tree Commission will review this Planning Action at an electronic public hearing on **Thursday, January 6 at 6:00 PM.** See page 2 of this notice for information about participating in the electronic public hearing.

NOTICE OF COMPLETE APPLICATION: December 30, 2021
DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS: December 13, 2021



Historic and Tree Commission Meetings

Notice is hereby given that the Tree Commission will hold an electronic public hearing on the above described planning action on the meeting date and time shown on Page 1. If you would like to watch and listen to the Tree Commission meeting virtually, but not participate in any discussion, you can use the Zoom link posted on the City of Ashland calendar website <https://www.ashland.or.us/calendar.asp>.

Oral testimony will be taken during the electronic public hearing. If you wish to provide oral testimony during the electronic meeting, send an email to **PC-public-testimony@ashland.or.us** by **10:00 a.m. on Thursday, January 6, 2021**. In order to provide testimony at the public hearing, please provide the following information: 1) make the subject line of the email "Advisory

OVER

Commission Testimony Request”, 2) include your name, 3) specify the date and commission meeting you wish to testify at, 4) specify the agenda item you wish to speak to, 5) specify if you will be participating by computer or telephone, and 6) the name you will use if participating by computer or the telephone number you will use if participating by telephone.

In compliance with the American with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Administrator’s office at 541-488-6002 (TTY phone number 1-800-735-2900). Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting. (28 CFR 35.102.-35.104 ADA Title I).

The Ashland Planning Division Staff has received a complete application for the property noted on Page 1 of this notice.

Because of the COVID-19 pandemic, application materials are provided online and comments will be accepted by email. Alternative arrangements for reviewing the application or submitting comments can be made by contacting (541) 488-5305 or planning@ashland.or.us.

A copy of the application, including all documents, evidence and applicable criteria are available online at “What’s Happening in my City” at <https://gis.ashland.or.us/developmentproposals/>. Copies of application materials will be provided at reasonable cost, if requested. Under extenuating circumstances, application materials may be requested to be reviewed in-person at the Ashland Community Development & Engineering Services Building, 51 Winburn Way, via a pre-arranged appointment by calling (541) 488-5305 or emailing planning@ashland.or.us.

Any affected property owner or resident has a right to submit written comments to planning@ashland.or.us or to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown on Page 1.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14-day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff’s decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.5.1.050.G)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

If you have questions or comments concerning this request, please feel free to contact Derek Severson at 541-552-2040/ derek.severson@ashland.or.us.

PHYSICAL & ENVIRONMENTAL CONSTRAINTS

18.3.10.050

An application for a Physical Constraints Review Permit is subject to the Type I procedure in section 18.5.1.050 and shall be approved if the proposal meets all of the following criteria.

- A. Through the application of the development standards of this chapter, the potential impacts to the property and nearby areas have been considered, and adverse impacts have been minimized.
- B. That the applicant has considered the potential hazards that the development may create and implemented measures to mitigate the potential hazards caused by the development.
- C. That the applicant has taken all reasonable steps to reduce the adverse impact on the environment. Irreversible actions shall be considered more seriously than reversible actions. The Staff Advisor or Planning Commission shall consider the existing development of the surrounding area, and the maximum development permitted by this ordinance.

EXCEPTION TO THE DEVELOPMENT STANDARDS FOR HILLSIDE LANDS

18.3.10.090.H

An exception under this section is not subject to the variance requirements of chapter 18.5.5 Variances. An application for an exception is subject to the Type I procedure in section 18.5.1.050 and may be granted with respect to the development standards for Hillside Lands if the proposal meets all of the following criteria.

1. There is demonstrable difficulty in meeting the specific requirements of this chapter due to a unique or unusual aspect of the site or proposed use of the

site.

2. The exception will result in equal or greater protection of the resources protected under this chapter.
3. The exception is the minimum necessary to alleviate the difficulty.
4. The exception is consistent with the stated Purpose and Intent of chapter [18.3.10](#) Physical and Environmental Constraints Overlay chapter and section 18.3.10.090 Development Standards for Hillside Lands.

TREE REMOVAL PERMIT (AMC 18.5.7.040.B)

1. **Hazard Tree.** A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The applicant must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. See definition of hazard tree in part 18.6.
 - b. The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.
2. **Tree That is Not a Hazard.** A Tree Removal Permit for a tree that is not a hazard shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.10.
 - b. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.
 - c. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.
 - d. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.
 - e. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

18.4.5.030 Tree Protection

A. Tree Protection Plan.

See graphic response sheet L 1.2

B. Tree Protection Plan Submission Requirements. In order to obtain approval of a tree protection plan, an applicant shall submit a plan to the City, which clearly depicts all trees to be preserved and/or removed on the site. The plan must be drawn to scale and include the following:

These measures have been identified in this submittal. Please see graphic response Sheet L 1.2

C. Tree Protection Measures Required.

These measures have been identified in this submittal. Please see graphic response Sheet L 1.2

D. Inspection. A tree protect removal plan shall be requested prior to commencing with any work other than the installation of the erosion control measure.

The tree protection plan has the addition of new trees that were missing from the original survey. These are trees numbered 100 through 108; three of these trees are proposed for removal, they are Calocedrus decurrens in very poor shape The current plan proposes to remove the same trees as the previously approved plan, except that Tree # 30, # 100 , # 102 and # 108 are now proposed for removal, and tress # 2 and #10 are now proposed to be preserved. Additionally, there are 6 trees shown on the plans that were already removed when the temporary driveway was cut in (#5, #8, #9, #18, #21 #28)

Chapter 18.4.8

SOLAR ACCESS

This home has been designed to conform to solar setback A and meets all the required standards for this category.

Height of roof
22'-11"

Type, slope of roof 1:12 slope

Setback standard Table A
Setback required per standard

$(2065.36 (-) 43.25') = 22'-11" (-) 6' / (.53) = 31'-11"$ SSB REQUIRED

**AVG. 150' SLOPE TO NORTH IS $(2230' - 224.5' = +5.5')(2302.5' - 2282.5' = +20')$
 $(5.5' (+) 20' / 2 + 12.75' / 150' + (.085)$

**AVG NORTH/SOUTH LOT DIMENSION + 301.00'

$[.445 + (.085) = .53]$

FORMULA 1 $(30' / .53) = 56.60'$ (IF < 301' = STD 'A' (-6) : (IF > THAN 301 USE STANDARD 'B')

FORMULA 2 $(10' / .53) = 18.87'$ (IF < 301' = STD 'B' (-16) : (IF > THAN 301 USE STANDARD 'C' = 21')

Chapter 18.5.7

TREE REMOVAL PERMITS

A. General Submission Requirements.

There are 14 trees proposed for removal on this property. All trees proposed for removal lie within the proposed driveway and/or homesite footprint excluding the three *Calocedrus decurrens* that were mentioned earlier. Tree removal will most likely occur in February 2022. The project was designed to preserve the greatest number of trees possible. Sixteen trees are proposed as mitigation and they exceed the required mitigation sizes. Please see the planting plan for identification of mitigation trees proposed for the site. Prior to requesting a verification permit, all trees slated for removal will be tagged with orange survey tape, and all trees on the site will be tagged and numbered with aluminum arborist tags. Please see graphic response Sheets L 1.2 Tree Protection and Removal Plan which identifies trees to be removed, and L 2.0 Planting Plan which identifies mitigation trees.

18.5.7.040 Approval Criteria

B. Tree Removal Permit.

All trees proposed for removal are to allow for consistency with the development standards. Removal of these trees will have no effect on the stability of the site as their locations will be integrated into the site development construction for this project which in itself will define an upgraded site stability and erosion control. Surface waters will not be greatly disturbed by the placement of the home and driveway, the improvements are all at the bottom of the site. The density and species diversity within 200 feet of the site is predominantly scrub oak, ponderosa pine and incense cedar, the surrounding area is not overly forested. This project will not greatly affect canopy density or diversity, and will instead add to both.

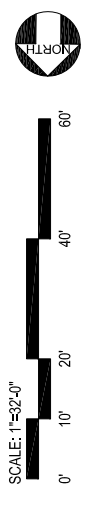
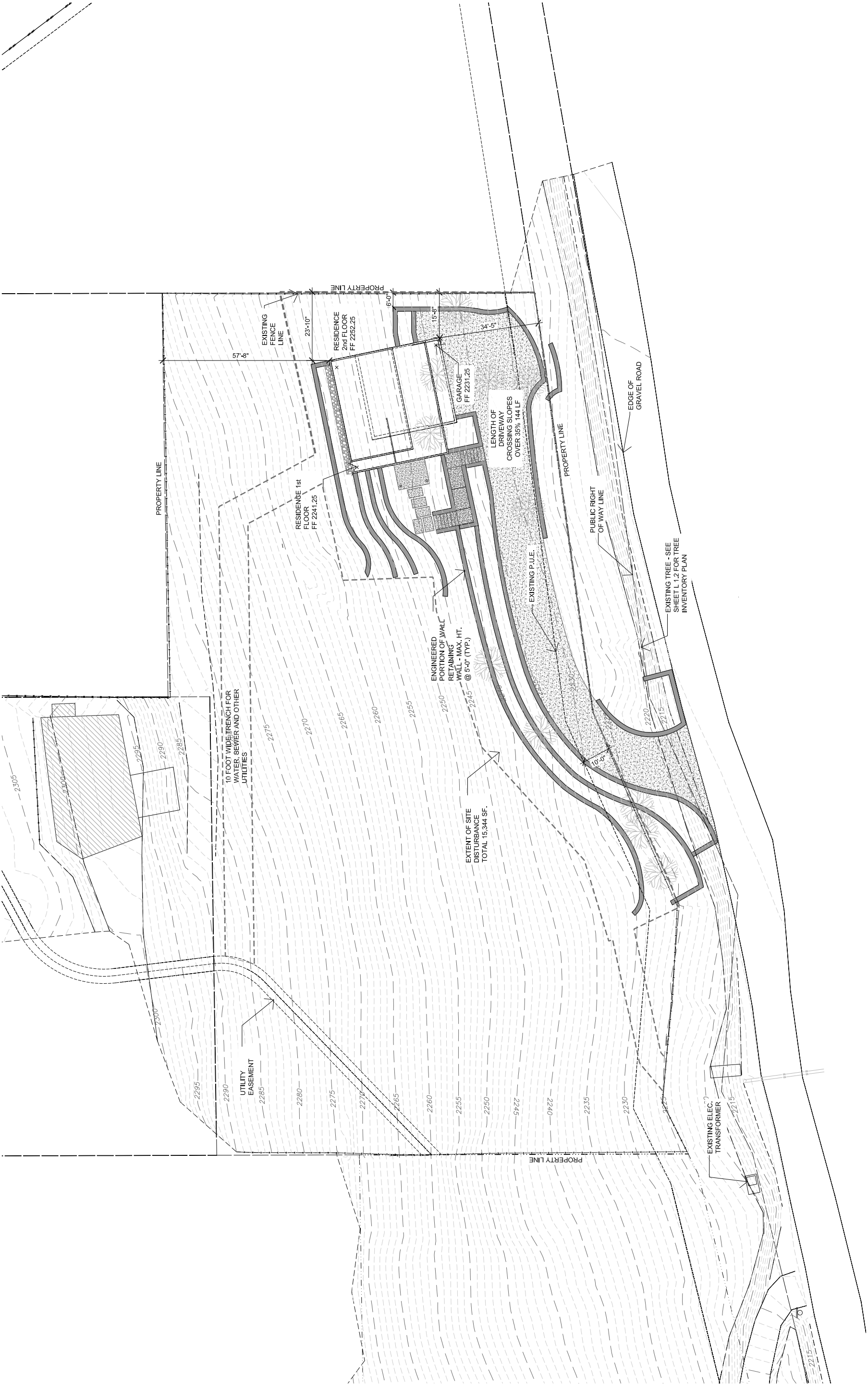
18.5.7.050 Mitigation Required

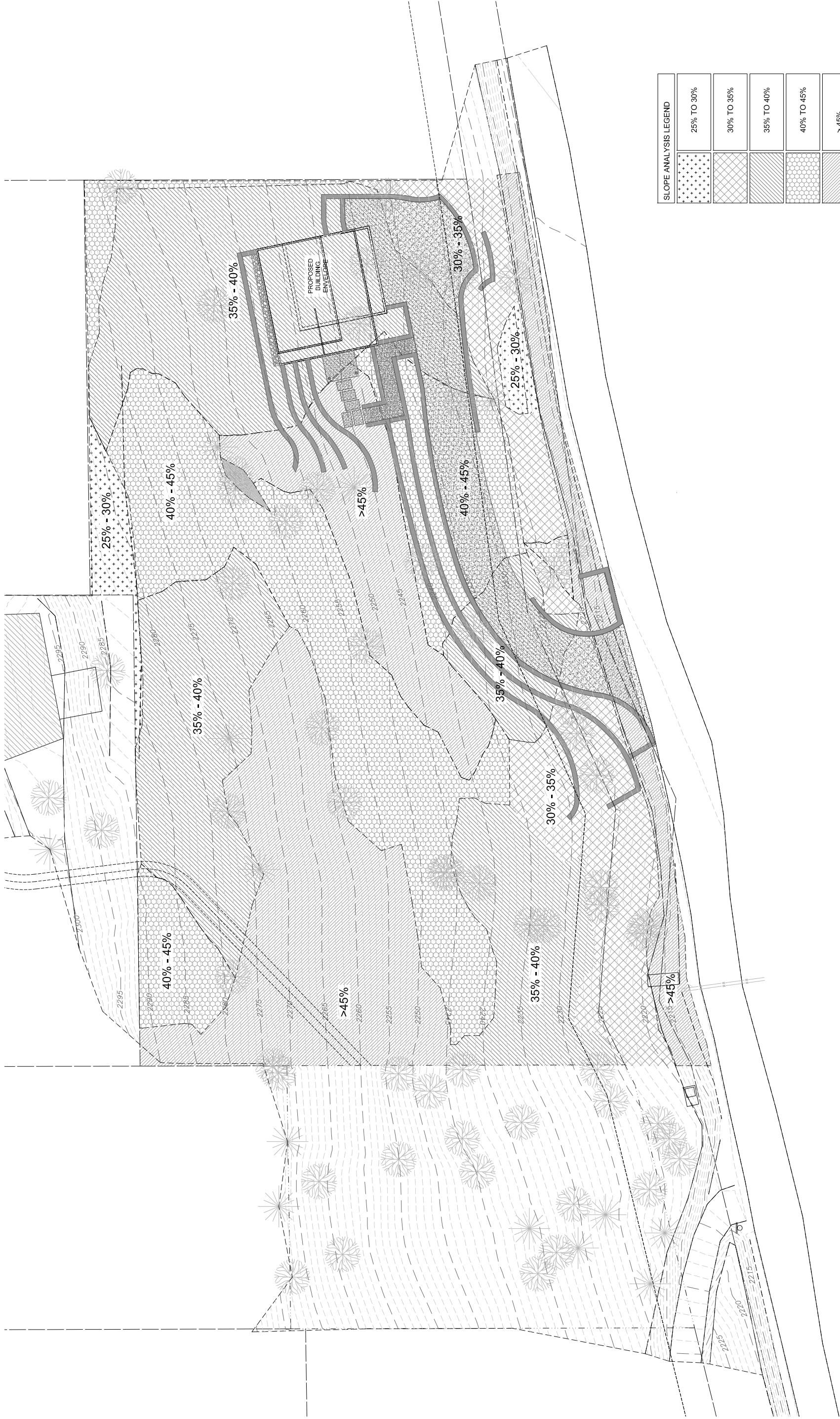
A. Replanting On Site.

The mitigation trees will be planted on site

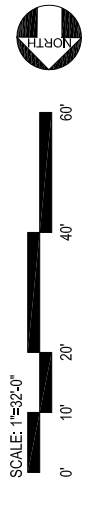
D. Mitigation Plan.

Please see graphic response Sheets L 1.2 Tree Protection and Removal Plan which identifies trees to be removed, and L 2.0 Planting Plan which identifies mitigation trees.





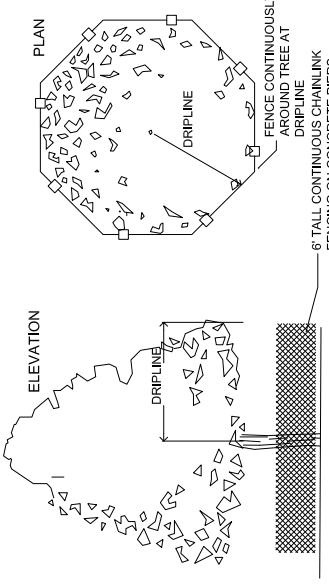
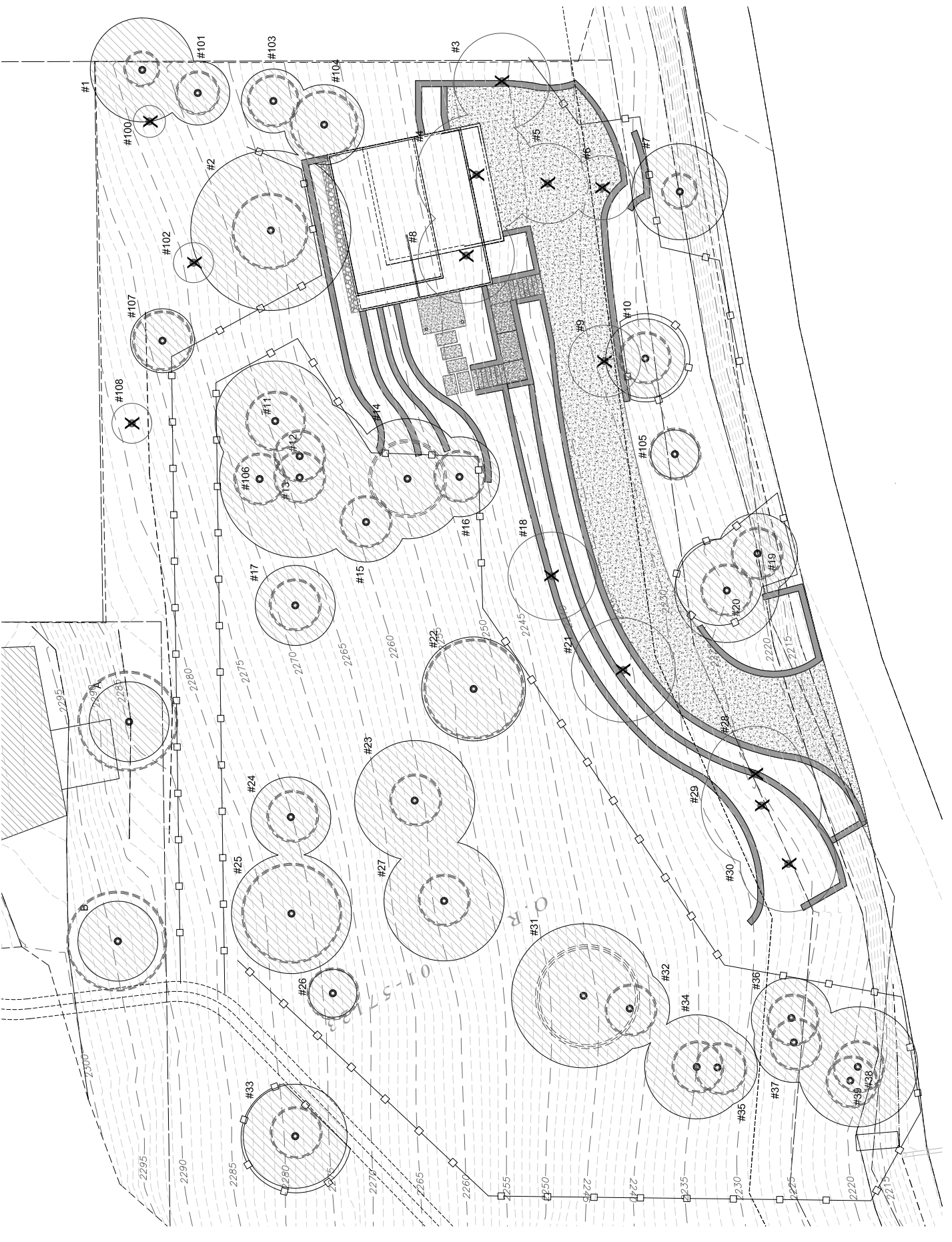
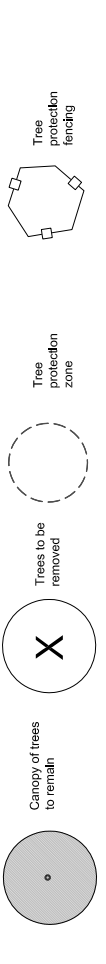
SLOPE ANALYSIS LEGEND	
	25% TO 30%
	30% TO 35%
	35% TO 40%
	40% TO 45%
	> 45%



TREE LEGEND

#	Species	DBH (Inches)	Height In Feet	Crown Radius In Feet	Tree Protection Zone Radius In Feet	Tolerance to Construction	Condition	Notes
1	Quercus kelloggii	8	35	13	4	good	good	multi-trunk (3)
2	Malus sp.	12	40	12	6	good	good	multi-trunk, bearing)
3	Malus sp.	14	35	15	7	good	good	REMOVAL
4	Quercus kelloggii	6	20	10	4	good	good	ALREADY GONE PER TEMP DRIVE
5	Quercus kelloggii	12	22	15	6	good	good	REMOVAL
6	Quercus kelloggii	6	16	12	4	good	good	ALREADY GONE PER TEMP DRIVE
7	Quercus kelloggii	9	22	12	5	good	good	ALREADY GONE PER TEMP DRIVE
8	Quercus garryana	6	20	10	4	good	good	REMOVAL
9	Pinus ponderosa	11	30	10	6	good	good	
10	Pinus ponderosa	13	40	12	7	good	good	
11	Quercus kelloggii	11	30	10	6	good	good	
12	Quercus kelloggii	6	20	10	4	good	good	
13	Quercus kelloggii	18	30	22	9	good	good	
14	Quercus kelloggii	6	10	4	4	good	good	
15	Quercus kelloggii	6	35	10	4	good	good	
16	Pinus ponderosa	8	25	10	4	good	good	ALREADY GONE PER TEMP DRIVE
17	Quercus kelloggii	7	18	11	11	good	good	
18	Quercus garryana	6	25	10	4	good	good	
19	Quercus kelloggii	8	35	10	4	good	good	
20	Quercus kelloggii	9	20	13	5	good	good	multi-trunk (2), REMOVAL
21	Quercus kelloggii	7	20	12	12	good	good	multi-trunk (3)
22	Quercus kelloggii	7	28	15	4	good	good	multi-trunk (3)
23	Quercus kelloggii	9	30	7	5	good	good	
24	Pinus ponderosa	22	25	30	12	good	good	
25	Quercus kelloggii	9	25	15	5	good	good	multi-trunk (2)
26	Pinus ponderosa	12	30	12	5	good	good	ALREADY GONE PER TEMP DRIVE
27	Quercus kelloggii	8	25	10	6	good	good	REMOVAL
28	Quercus kelloggii	12	30	12	6	good	good	REMOVAL
29	Quercus kelloggii	12	15	12	6	good	good	adjacent trunk (10" dbh)
30	Quercus kelloggii	7	15	16	6	good	good	
31	Quercus kelloggii	14	26	14	4	good	good	
32	Quercus kelloggii	14	26	14	4	good	good	
33	Quercus kelloggii	7	22	10	4	good	good	
34	Quercus kelloggii	6	20	10	4	good	good	
35	Quercus kelloggii	7	20	10	4	good	good	
36	Quercus kelloggii	9	25	10	4	good	good	
37	Quercus kelloggii	8	22	15	4	good	good	
38	Quercus kelloggii	6	22	15	4	good	good	
39	Quercus kelloggii	7	30	4	4	good	good	
100	Calocedrus sp.	9	30	4	5	poor	poor	
101	Quercus kelloggii	7	30	5	5	good	good	
102	Quercus kelloggii	9	30	8	6	good	good	
103	Quercus kelloggii	11	40	10	6	good	good	
104	Pinus ponderosa	8	40	6	6	good	good	
105	Pinus ponderosa	8	40	6	6	good	good	
106	Quercus kelloggii	8	40	8	6	good	good	
107	Pinus ponderosa	10	30	8	7	good	good	
108	Calocedrus sp.	9	30	5	6	poor	poor	Mitigation tree, REMOVAL

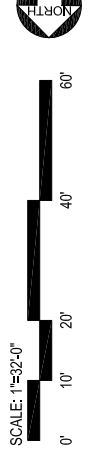
OFF-SITE TREES WITHIN 20' OF PROPERTY LINE
A Almond 10 18 8 10
B Almond 12 20 8 12

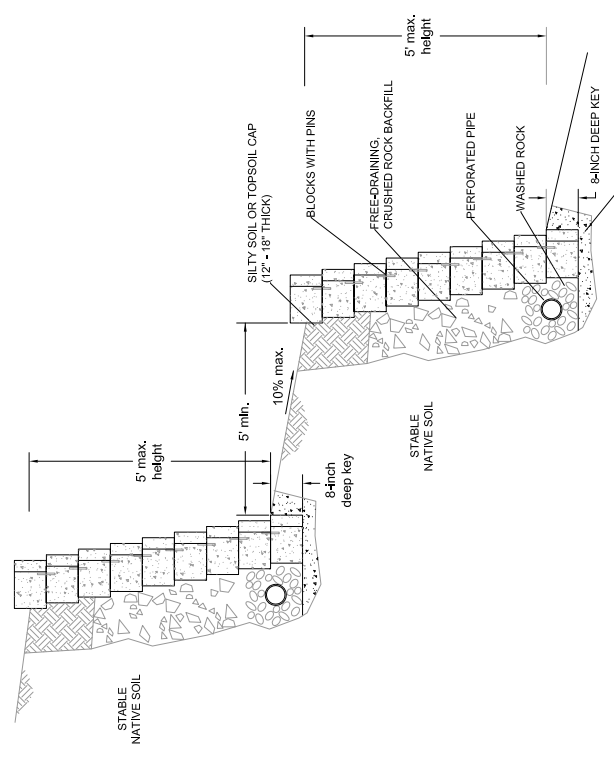
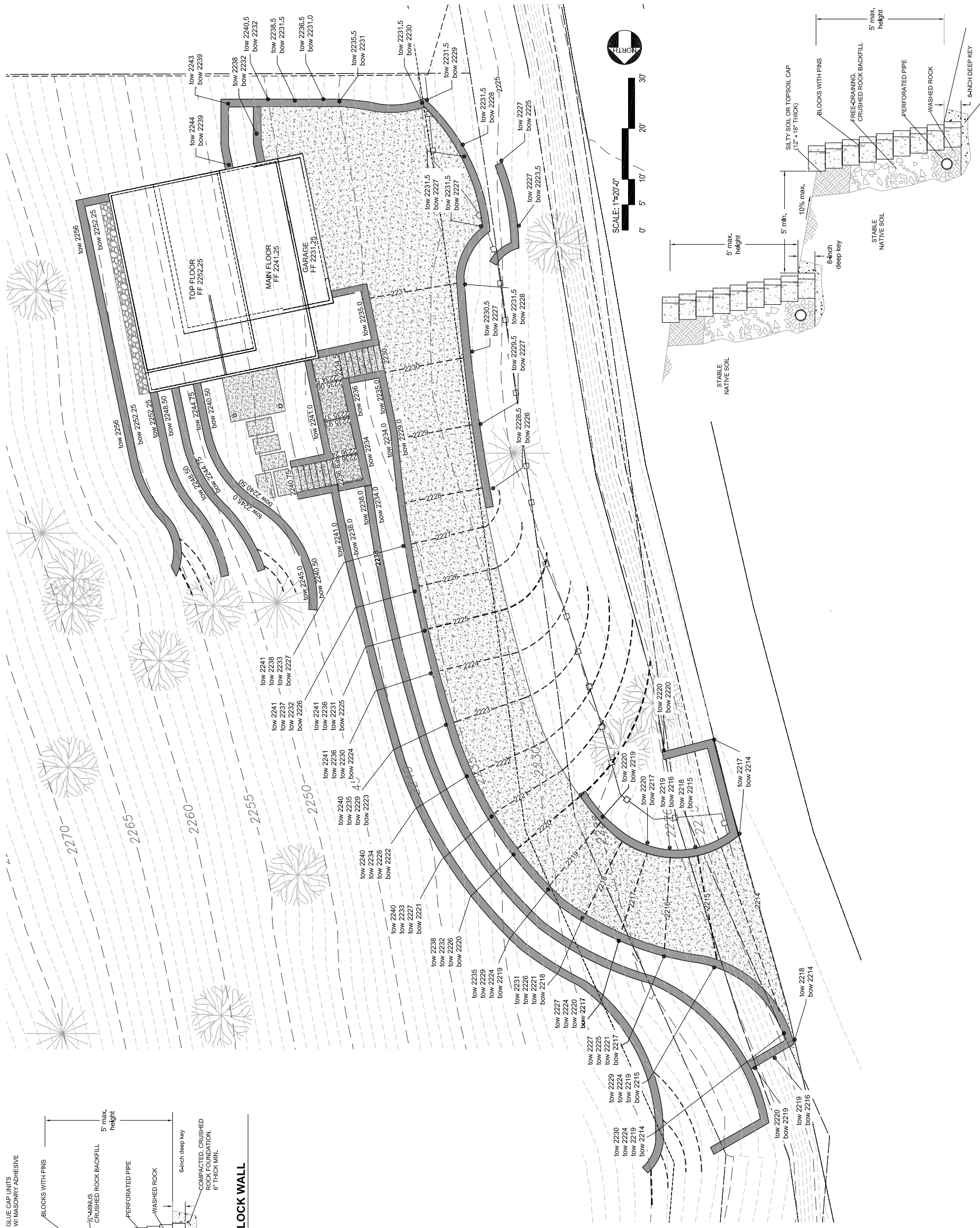


- NOTE:**
- TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO START OF CONSTRUCTION AND SHALL REMAIN IN PLACE THROUGH COMPLETION OF PROJECT.
 - FENCING SHALL ONLY BE REMOVED TEMPORARILY FOR WORK TO BE DONE WITHIN DRIPLINE AND REPLACED AT THE END OF EACH WORK DAY.
 - ALL EXCAVATION WITHIN DRIPLINE OF TREES SHALL BE DONE BY HAND. IF ROOTS OVER 2" IN DIAMETER ARE ENCOUNTERED, CONTRACTOR SHALL CONSULT WITH ARCHITECT IMMEDIATELY.
 - TREE ROOTS ENCOUNTERED DURING CONSTRUCTION SHALL BE CUT CLEANLY AT A 90 DEGREE ANGLE AND PACKED WITH DAMP SOIL IMMEDIATELY.
 - DURING CONSTRUCTION ALL TREES TO REMAIN SHALL BE IRRIGATED ON A WEEKLY BASIS OR AS NECESSARY WITH LEAKY PIPE ENCRICLING THE TREE FROM TRUNK OUT TO DRIP LINE.

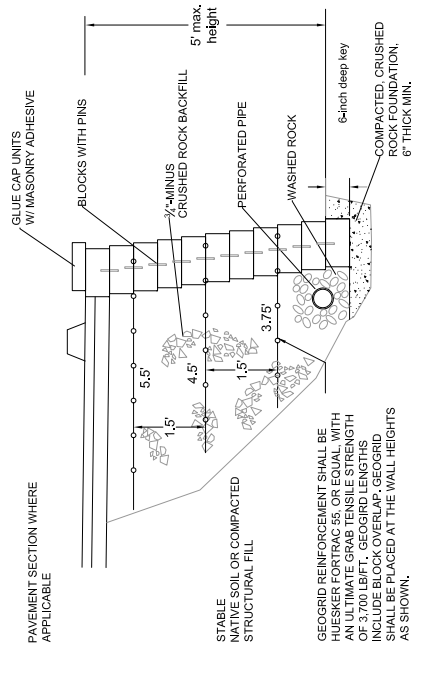
TREE PROTECTION FENCING

- EROSION CONTROL DEVICES SUCH AS SILT FENCING, DEBRIS BASINS, AND WATER DIVERSION STRUCTURES SHALL BE INSTALLED TO PREVENT SILTATION AND/OR EROSION WITHIN THE TREE PROTECTION ZONE. OR EXCAVATION FOR THE FOUNDATIONS, FOOTINGS, WALLS, OR FENCING LINE ANY TREES WITHIN THE SPECIFIC CONSTRUCTION ZONE SHALL BE ROOT PRUNED 1 FOOT OUTSIDE THE TREE PROTECTION ZONE BY CUTTING ALL ROOTS MANUALLY DIGGING A TRENCH AND CUTTING EXPOSED ROOTS WITH A SAW, VIBRATING KNIFE, ROCK SAW, NARROW TRENCHER WITH SHARP BLADES, OR OTHER APPROVED ROOT-PRUNING EQUIPMENT.
 - ANY ROOTS DAMAGED DURING GRADING OR CONSTRUCTION SHALL BE EXPOSED TO SOUND TISSUE AND CUT CLEANLY AT A 90 DEGREE ANGLE TO THE ROOT WITH A SAW. PLACE DAMP SOIL AROUND ALL CUT ROOTS TO A DEPTH EQUALING THE EXISTING FINISH GRADE WITHIN 4 FEET OF CUTS BEING MADE. LESS ROADS MUST PASS OVER THE ROOT AREA OF TREES TO BE PROTECTED. A ROAD BED OF 8 INCHES OF MULCH OR GRAVEL SHALL BE CREATED TO PROTECT THE SOIL. THE ROAD BED MATERIAL SHALL BE REPLISHED AS NECESSARY TO MAINTAIN A 6 INCH DEPTH.
 - WITHIN THE TREE PROTECTION ZONE, EITHER TEMPORARILY OR PERMANENTLY, NO BURN PILES OR DEBRIS PILES SHALL BE PLACED WITHIN THE TREE PROTECTION ZONE. NO ASHES, DEBRIS, OR GARBAGE MAY BE DUMPED OR BURIED WITHIN THE TREE PROTECTION ZONE.
 - MAINTAIN FIRE-SAFE AREAS AROUND FENCED AREA. ALSO, NO HEAT SOURCES, FLAMES, OR OPEN FLAMES SHALL BE ALLOWED WITHIN THE TREE PROTECTION ZONE.
 - DO NOT USE SOIL LEVELS WITHIN THE GRIP LINES TOCH OR CHEMISITIVE DRAINAGE EXCEPT TO MATCH GRADES WITH SIDEWALKS AND CURBS, AND IN THOSE AREAS, FEATHER THE ADDED TOPSOIL BACK TO EXISTING GRADE AT APPROXIMATELY 3:1 SLOPE.
 - EXCEPTIONS TO THE TREE PROTECTION SPECIFICATIONS MAY ONLY BE GRANTED IN EXTRAORDINARY CIRCUMSTANCES WITH WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT.
- BEFORE BEGINNING WORK, THE CONTRACTOR IS REQUIRED TO MEET WITH THE LANDSCAPE ARCHITECT TO REVIEW TREE PROTECTION PROCEDURES, ACCESS ROUTES, STORAGE AREAS, AND TREE PROTECTION MEASURES.
 - FENCING SHALL BE 6" TALL TEMPORARY CHAIN LINK PANELS INSTALLED WITH METAL CONNECTIONS TO ALL PANELS AREA INTEGRATED, THESE FENCES SHALL BE INSTALLED SO THAT IT DOES NOT ALLOW PASSAGE OF PEDESTRIANS AND/ OR VEHICLES THROUGH IT. FENCES DEFINE A SPECIFIC PROTECTION ZONE FOR EACH TREE OR GROUP OF TREES. FENCES ARE TO REMAIN UNTIL ALL SITE WORK HAS BEEN COMPLETED. FENCES MAY NOT BE RELOCATED OR REMOVED WITHOUT THE PERMISSION OF THE LANDSCAPE ARCHITECT.
 - CONSTRUCTION TRAILERS AND TRAFFIC AND STORAGE AREAS MUST REMAIN OUTSIDE FENCED AREAS AT ALL TIMES.
 - AND DRAIN OR IRRIGATION LINES SHALL BE ROUTED OUTSIDE THE TREE PROTECTION ZONE. IF LINES MUST TRANVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE ROOTS.
 - NO MATERIALS, EQUIPMENT, SPOIL, OR WASTE OR WASHOUT WATER MAY BE DEPOSITED, STORED, OR PARKED WITHIN THE TREE PROTECTION ZONE (FENCED AREA).
 - ADDITIONAL TREE PRUNING REQUIRED FOR THE CLEARANCE DURING CONSTRUCTION MUST BE PERFORMED BY A QUALIFIED ARBORIST AND NOT BY CONSTRUCTION PERSONNEL.
 - ANY HERBICIDES PLACED UNDER PAVING MATERIALS MUST BE SAFE FOR USE AROUND TREES AND LABELLED FOR THAT USE.
 - IF INJURY SHOULD OCCUR TO ANY TREE DURING CONSTRUCTION, THE TREE CONSULTANT SHALL EVALUATE THE TREE AND DETERMINE THE BEST COURSE OF ACTION. TREES CAN BE COMPENSATED FOR, BEFORE THE PROJECT WILL BE CONSIDERED COMPLETE.
 - THE PROJECT LANDSCAPE ARCHITECT MUST MONITOR ANY GRADING, CONSTRUCTION, DEMOLITION, OR OTHER WORK THAT IS EXPECTED TO ENCOUNTER TREE ROOTS.
 - ALL TREES SHALL BE IRRIGATED ON A SCHEDULE TO BE DETERMINED BY THE LANDSCAPE ARCHITECT. IRRIGATION SHALL WET THE SOIL WITHIN THE TREE PROTECTION ZONE TO A DEPTH OF 30 INCHES.



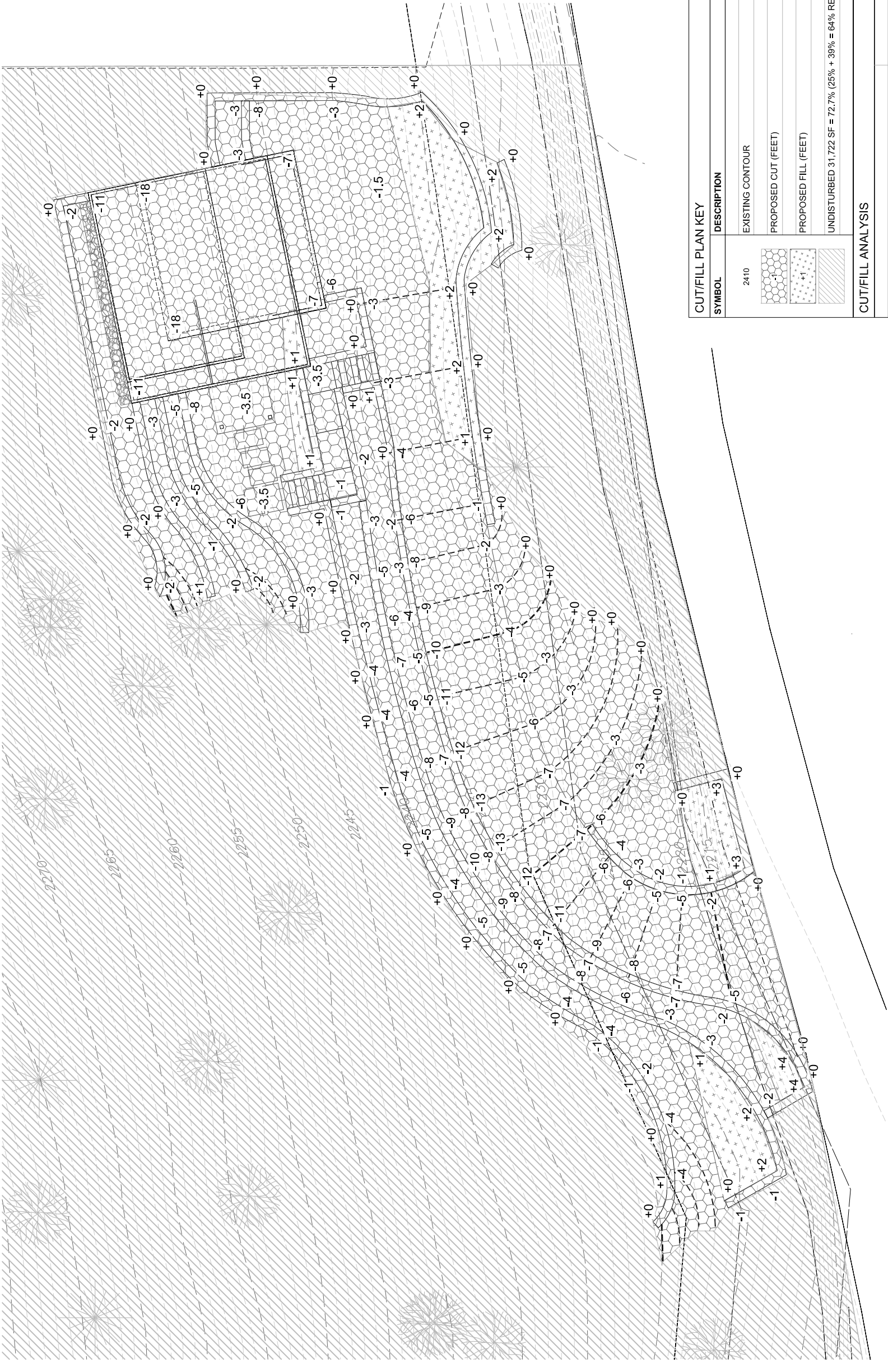


SECTION: CUT SLOPE ENGINEERED BLOCK WALL
Scale: 1/2" = 1'-0"



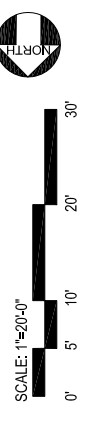
SECTION: FILL SLOPE ENGINEERED BLOCK WALL
Scale: 1/2" = 1'-0"

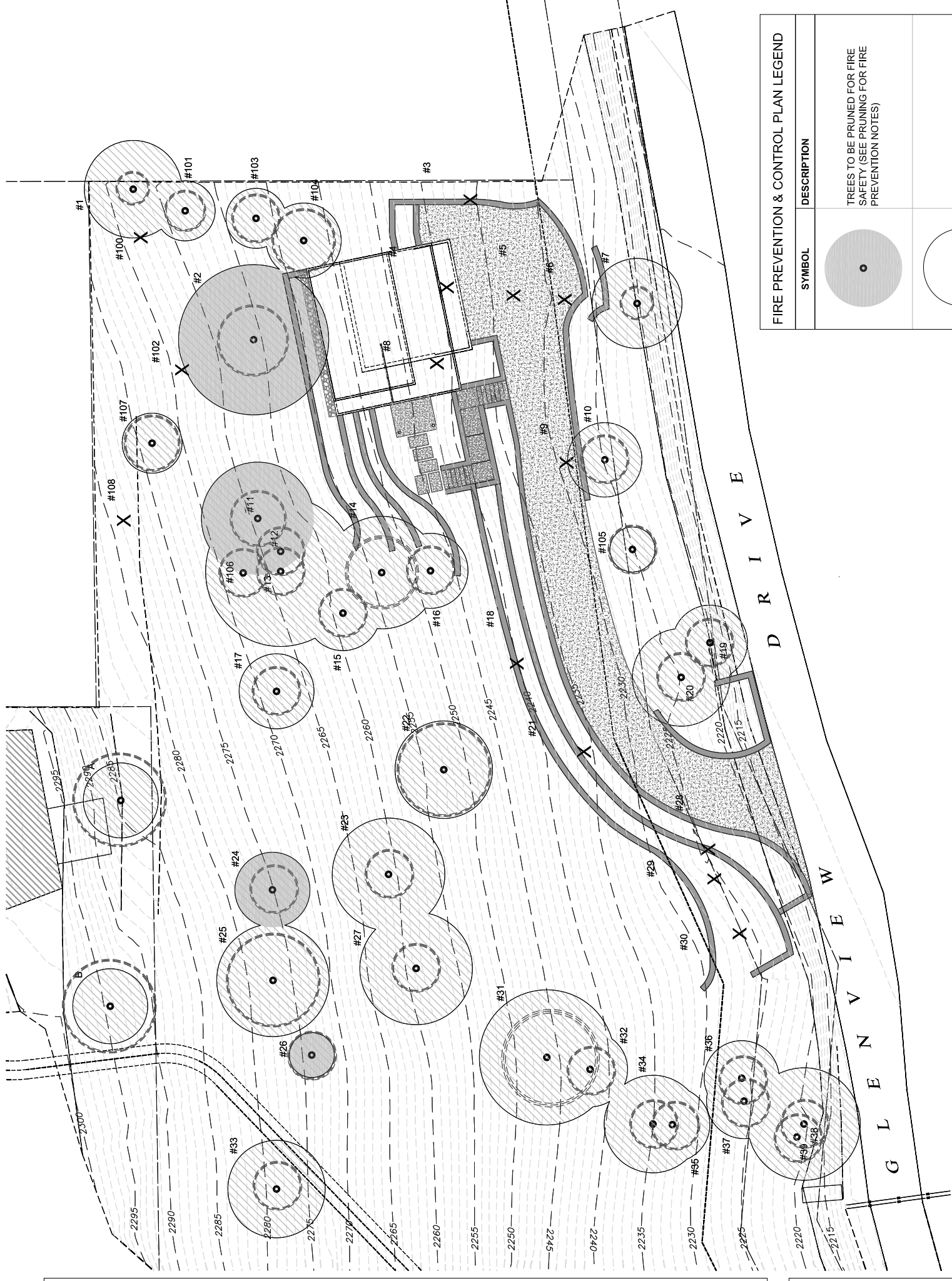
- SPECIFICATIONS**
- BLOCKS SHALL BE MANUFACTURED BY KEYSTONE, VERSALOK OR ALLEN BLOCK AND WEIGH AT LEAST 100 POUNDS PER SQUARE FOOT OF WALL FACING WHEN FILLED WITH GRAVEL. BLOCKS MUST BE LOCKED TOGETHER BETWEEN EACH ROW WITH PINS OR FRONT EDGE LIP.
 - GRAVEL LEVELING PAD SHALL BE PLACED ON AT LEAST MEDIUM DENSE OR MEDIUM STIFF NATIVE SOIL. GRAVEL FOUNDATION PAD SHALL BE COMPACTED UNTIL IT IS FIRM AND NON-YIELDING WITH A SMOOTH TOP SURFACE.
 - THE BASE COURSE OF BLOCK SHALL SERVE TO KEY THE WALL INTO THE SOIL. THE SPACE IN FRONT OF THE FIRST COURSE SHALL BE BACKFILLED WITH COMPACTED CRUSHED ROCK.
 - BLOCKS SHALL BE SET BACK AT LEAST 3/4" PER COURSE.
 - PERFORATED DRAIN PIPE SHALL BE EMBEDDED IN ROUNDED DRAIN ROCK OR PEA GRAVEL TO AT LEAST 4" OVER THE TOP OF THE PIPE.
 - DRAINAGE GRAVEL BEHIND THE WALL SHALL BE ANGULAR AND NOT HAVE FLAT PARTICLES. GRAVEL SHALL BE PLACED WITH A JUMPING JACK OR VIBRATORY PLATE TYPE COMPACTOR.
 - BACKFILL PLACED OVER THE DRAINAGE GRAVEL AND TO THE FULL LENGTH OF THE REINFORCING GRID SHOULD CONSIST OF 3/4" MINUS CRUSHED ROCK. COMPACTED WITH A JUMPING JACK OR VIBRATORY PLATE TYPE COMPACTOR. THE GRAVEL SHALL BE COMPACTED TO AT LEAST 90% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557). THE GRAVEL WITHIN 2 FEET OF THE BACK OF THE WALL MAY BE COMPACTED TO AT LEAST 88%.
 - GEGRID REINFORCEMENT SHALL BE PLACED WITH THE STRONG DIRECTION (ROLL DIRECTION) OF THE GRID ORIENTED PERPENDICULAR TO THE WALL FACE. GEOGRID TYPE, LENGTH, AND LOCATIONS ARE SHOWN ON THE FIGURE.
 - STACK NO MORE THAN 3 BLOCKS HIGH BEFORE BACKFILLING.
 - VERTICAL JOINTS SHOULD BE OFFSET AT LEAST 4" FROM PREVIOUS JOINT AND THE TWO PINS ARE ENGAGED IN SEPARATE BLOCKS BELOW.
 - DRAINAGE GRAVEL SHALL BE CAPPED WITH 1/2" TO 1/4" OF SILTY SOIL TO PREVENT SURFACE WATER FLOWING INTO THE DRAINAGE BACKFILL.
 - PROTECT TOP OF DRAINAGE GRAVEL FROM RAIN AND SURFACE WATER FLOW DURING CONSTRUCTION. AT THE END OF EACH DAY'S WORK, TARP TOP OF WALL AND GRADE SURROUNDING AREA TO PREVENT FLOW INTO THE GRAVEL.
 - CONNECT AND DIRECT DRAIN PIPES TO AN APPROPRIATE DISCHARGE POINT.
 - MAXIMUM TOTAL CUT HEIGHT OF 15 FEET AND NOT MORE THAN 3 TIERS OF WALLS.



CUT/FILL PLAN KEY	
SYMBOL	DESCRIPTION
2410	EXISTING CONTOUR
-1	PROPOSED CUT (FEET)
+1	PROPOSED FILL (FEET)
UNDISTURBED 31,722 SF = 72.7% (25% + 39% = 64% REQUIRED)	

CUT/FILL ANALYSIS	
TOTAL LOT AREA	43,652 SF (1.00 ACRE)
TOTAL AREA OF DISTURBANCE INCLUDING BUILDINGS	11,930 SF
PERCENT OF LOT DISTURBANCE INCLUDING BUILDINGS	27.3%
PERCENT OF LOT DISTURBANCE INCLUDING BUILDINGS	27.3%
MAXIMUM CUT OUTSIDE BUILDING FOOTPRINT	-13 FT
MAXIMUM FILL OUTSIDE BUILDING FOOTPRINT	+4 FT
ALL CUTS AND FILLS AS SHOWN ON PLAN	





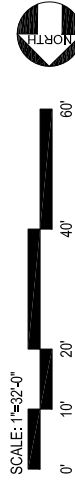
FIRE PREVENTION & CONTROL PLAN LEGEND	
SYMBOL	DESCRIPTION
	TREES TO BE PRUNED FOR FIRE SAFETY (SEE PRUNING FOR FIRE PREVENTION NOTES)
	TREE TO REMAIN
	TREE TO BE REMOVED

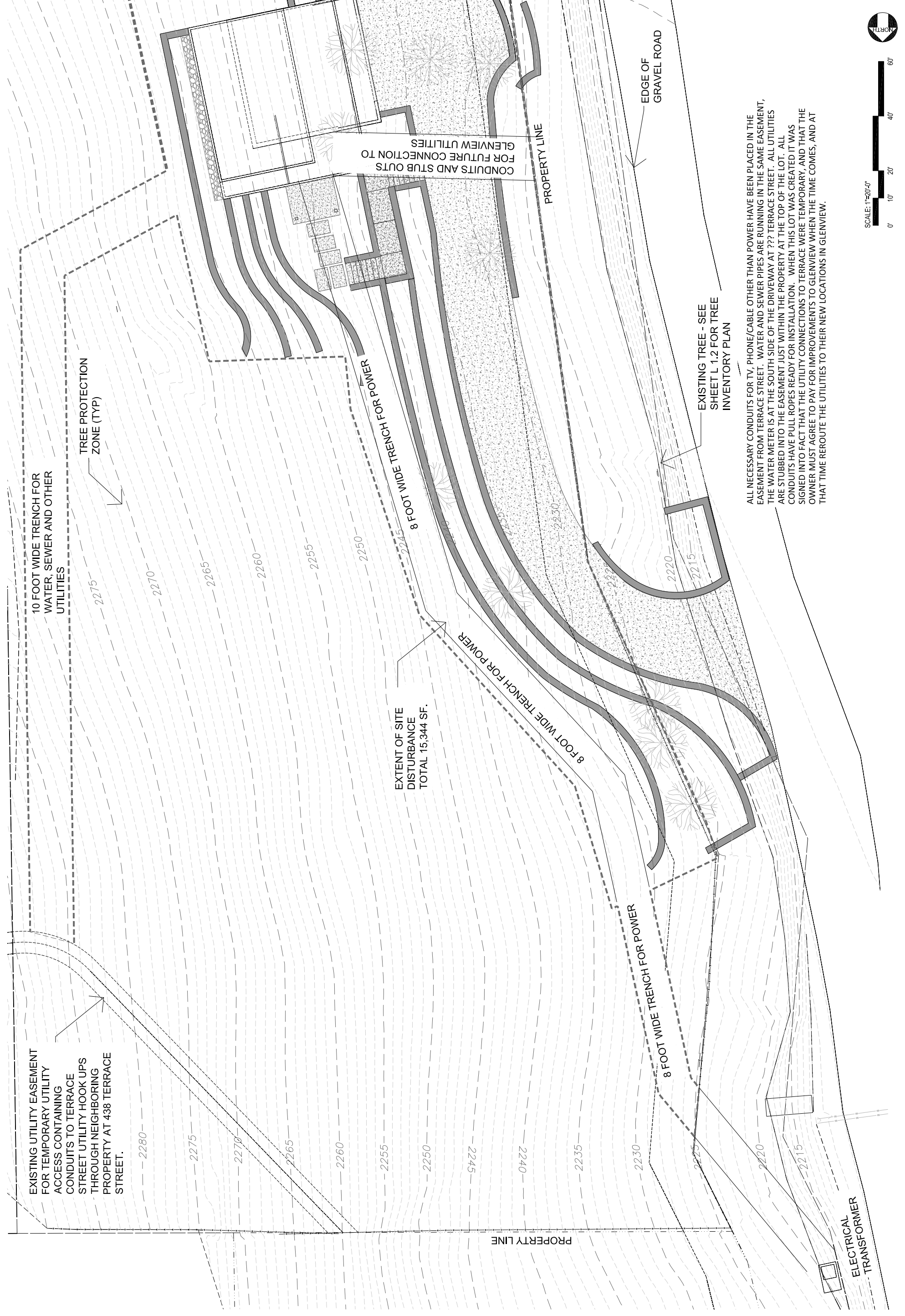
FIRE PREVENTION & CONTROL PLAN NOTES:

- ASHLAND FIRE & RESCUE
CONTACT: RALPH SARTAIN 541-562-2229
RALPH.SARTAIN@ASHLAND.ORG
- 1. FIRE DEPARTMENT COMMENTS ARE BASED UPON THE 2014 OREGON FIRE CODE AS ADOPTED BY THE ASHLAND MUNICIPAL CODE, AND ASHLAND LAND USE LAWS.
- 2. ADDRESSING - BUILDING NUMBERS OR ADDRESSES MUST BE AT LEAST 4 INCHES TALL, BE OF A COLOR THAT IS IN CONTRAST TO ITS BACKGROUND AND SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. ADDITIONAL DIRECTIONAL SIGNAGE MAY BE NECESSARY TO GUIDE EMERGENCY RESPONDERS DOWN A DRIVEWAY, PATH OR THROUGH A GATE. ALL PREMISES IDENTIFICATION, STREET SIGNS AND BUILDING NUMBERS, MUST BE IN PLACE WITH TEMPORARY SIGNS WHEN CONSTRUCTION BEGINS AND PERMANENT SIGNAGE PRIOR TO ISSUANCE OF ANY OCCUPANCY. OFC-505
- 3. FIRE APPARATUS ACCESS APPROACH - THE ANGLE OF APPROACH AT THE POINT WHERE THE PUBLIC ROAD TRANSITIONS TO THE PRIVATE FIRE APPARATUS ACCESS ROAD MUST MEET THE CITY OF ASHLAND ENGINEERING DEPARTMENT SPECIFICATIONS. OFC-503.2.8
- 4. FIRE APPARATUS ACCESS - SINGLE RESIDENTIAL LOT-IF THE FURTHEST POINT ON THE STRUCTURE IS GREATER THAN 150' FROM THE STREET, THE ENTIRE LENGTH OF THE PRIVATE DRIVE OR STREET MUST MEET FIRE APPARATUS ACCESS. FIRE APPARATUS ACCESS SHALL BE 15 FEET CLEAR WIDTH, WITH THE CENTER 12 FEET BEING CONSTRUCTED OF AN ALL-WEATHER DRIVING SURFACE. FIRE APPARATUS ACCESS MUST SUPPORT 60,000 POUNDS, NO PARKING, HAVE A MAXIMUM SLOPE OF 10 PERCENT, AND HAVE VERTICAL CLEARANCE OF 13' 6". WITH THE INSTALLATION OF FIRE SPRINKLERS, 200' OF THE DRIVEWAY IS ALLOWED TO HAVE AN 18 PERCENT SLOPE. INSIDE TURNING RADIUS IS AT LEAST 20 FEET AND OUTSIDE TURNING RADIUS IS AT LEAST 40 FEET AND MUST BE INDICATED ON SITE PLANS SUBMITTED FOR BUILDING PERMITS. FIRE APPARATUS ACCESS IS REQUIRED TO BE SIGNED AS "NO PARKING-FIRE LANE". FINAL PLAT NEEDS TO INDICATE THAT THE PRIVATE DRIVE IS FIRE APPARATUS ACCESS AND MUST STATE THAT IT CANNOT BE MODIFIED WITHOUT APPROVAL OF ASHLAND FIRE & RESCUE.
- 5. FIRE FIGHTER ACCESS PATHWAY - AN APPROVED FOOTPATH AROUND THE STRUCTURE IS REQUIRED SO THAT ALL EXTERIOR PORTIONS OF THE STRUCTURE CAN BE REACHED WITH THE FIRE HOSE. ANY CHANGES IN ELEVATION GREATER THAN TWO FEET IN HEIGHT (SUCH AS RETAINING WALLS) REQUIRE STAIRS. THE STAIRS SHALL BE AN ALL-WEATHER SURFACE AND MEET THE REQUIREMENTS AS SPECIFIED IN THE OREGON STRUCTURAL SPECIALTY CODE. OFC 503.1.1
- 6. FIRE HYDRANT DISTANCE TO STRUCTURES - HYDRANT DISTANCE IS MEASURED FROM THE HYDRANT, ALONG A DRIVING SURFACE, TO THE APPROVED FIRE APPARATUS OPERATING LOCATION. HYDRANT DISTANCE SHALL NOT EXCEED 300 FEET. HYDRANT DISTANCE CAN BE INCREASED TO 600 FEET IF APPROVED FIRE SPRINKLER SYSTEMS ARE INSTALLED.
- 7. FIRE HYDRANTS CLEARANCE - HYDRANTS MUST HAVE 3 FEET OF CLEARANCE EXTENDING FROM THE CENTER NUT OF THE HYDRANT ALL THE WAY AROUND. FENCES, LANDSCAPING AND OTHER ITEMS MAY NOT OBSTRUCT THE HYDRANT FROM CLEAR VIEW. HYDRANTS MUST BE SHOWN ON SITE PLAN WHEN SUBMITTING FOR BUILDING PERMITS.
- 8. FIRE SPRINKLER SYSTEM - IF ACCESS TO SITE EXCEEDS 10% THE INSTALLATION OF A RESIDENTIAL SYSTEM WILL BE REQUIRED. THE INSTALLATION OF A FIRE SPRINKLER SYSTEM MAY BE AN ACCEPTABLE MEANS TO MITIGATE DEFICIENCIES RELATED TO OTHER FIRE REQUIREMENTS SUCH AS FIRE FLOW, HOSE REACH, FIRE LANE WIDTH, FIRE APPARATUS TURN-AROUND, DISTANCE TO FIRE HYDRANTS, AND FIRE DEPARTMENT WORK AREAS. OFC 503.1.1
- 9. PRIVATE FIRE HYDRANT WILL BE KENNEDY K81D OR APPROVED EQUAL TIED INTO NEW 6" DOUBLE CHECK VALVE ASSEMBLY IN NEW FIRE VAULT.

TREE PRUNING FOR FIRE PREVENTION NOTES:

1. EXISTING TREES ON THE CITY OF ASHLAND'S PROHIBITED FLAMMABLE PLANT LIST SHALL BE PRUNED TO ACHIEVE CLEARANCE AS FOLLOWS:
 - 1.A. 10 FT ABOVE THE ROOF OF A NEW BUILDING
 - 1.B. 10 FT FROM THE FURTHEST EXTENSION OF A NEW BUILDING
 - 1.C. MAINTAIN A GROUND CLEARANCE OF 8 FT OR ONE-THIRD OF THE TREE HEIGHT, WHICHEVER IS LESS
 - 1.D. SEPARATE TREE CANOPIES BY AT LEAST 10 FT AT MATURE SIZE UNLESS MARKED ON THE PLAN AS A GROUP OF TREES.
 - 1.E. CANOPY SPACING REQUIREMENTS DO NOT APPLY TO SIGNIFICANT TREES
2. EXISTING TREES NOT ON THE CITY OF ASHLAND'S PROHIBITED FLAMMABLE PLANT LIST SHALL BE PRUNED TO ACHIEVE CLEARANCE AS FOLLOWS:
 - 2.A. 10 FT HORIZONTAL CLEARANCE FROM A CHIMNEY OUTLET
 - 2.B. PRUNE TREE LIMBS SO THEY DO NOT TOUCH ANY PART OF A PROPOSED STRUCTURE
3. REMOVE ALL DEAD OR DYING VEGETATION
4. TREE AND VEGETATION PRUNING AND REMOVAL WILL OCCUR AFTER PERMITTING AND BEFORE FIRE SEASON STARTS. NO GAS POWERED CHAIN SAW WORK WILL OCCUR DURING FIRE SEASON.

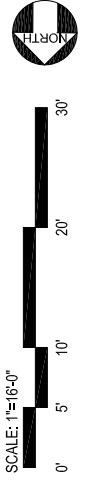




ALL NECESSARY CONDUITS FOR TV, PHONE/CABLE OTHER THAN POWER HAVE BEEN PLACED IN THE EASEMENT FROM TERRACE STREET. WATER AND SEWER PIPES ARE RUNNING IN THE SAME EASEMENT, THE WATER METER IS AT THE SOUTH SIDE OF THE DRIVEWAY AT ??? TERRACE STREET. ALL UTILITIES ARE STUBBED INTO THE EASEMENT JUST WITHIN THE PROPERTY AT THE TOP OF THE LOT. ALL CONDUITS HAVE PULL ROPES READY FOR INSTALLATION. WHEN THIS LOT WAS CREATED IT WAS SIGNED INTO FACT THAT THE UTILITY CONNECTIONS TO TERRACE WERE TEMPORARY, AND THAT THE OWNER MUST AGREE TO PAY FOR IMPROVEMENTS TO GLENVIEW WHEN THE TIME COMES, AND AT THAT TIME REROUTE THE UTILITIES TO THEIR NEW LOCATIONS IN GLENVIEW.

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
Acep	<i>Acer palmatum</i>	Japanese Maple	2" cal
Cedd	<i>Cedrus deodara</i>	Deodar Cedar	7 to 8'
LagN	<i>Lagerstroemia 'Natchez'</i>	Natches Crape Myrtle	1.75" cal
Maaa	<i>Maackia amurensis</i>	Amur Maackii	1.75" cal
Vita	<i>Vitex agnus</i>	Chaste Tree	7 to 8'
SHRUBS			
Cala	<i>Calamagrostis acutifolia</i>	Karl Forrester Grass	1 gal
Chot	<i>Choisya ternata</i>	Mexican Mock Orange	5 gal
Dapo	<i>Daphne odora</i>	Winter Flowering Daphne	3 gal
EleF	<i>Eleagnus pungens 'Fruitlandii'</i>	Fruitland silverberry	5 gal
LagRR	<i>Lagerstroemia 'Red Rocket'</i>	Red Rocket Crape Myrtle	10 gal
Mahr	<i>Mahonia repens</i>	Trailing Oregon Grape	1 gal
Nanc	<i>Nandina domestica 'Compacta'</i>	Compact Heavenly Bamboo	3 gal
Osmd	<i>Osmanthus delavayi</i>	Sweet Olive	5 gal
Rubp	<i>Rubus pantelobis</i>	Trailing Bramble	1 gal
GROUND COVER			
PERMANENT EROSION CONTROL HYDRO-SEED AREAS Hard Fescue, Micro Clover, Tall Fescue, White Yarrow, w/ wood fiber mulch, tackifier, slow-release fertilizer, & mycorrhizal inoculant			
Fescue <i>Idahoensis</i>			





Planning Division
 51 Winburn Way, Ashland OR 97520
 541-488-5305 Fax 541-488-6006

ZONING PERMIT APPLICATION

FILE # _____

DESCRIPTION OF PROJECT _____

DESCRIPTION OF PROPERTY

Pursuing LEED® Certification? YES NO

Street Address 218 LOGAN DRIVE

Assessor's Map No. 39 1E 0811 Tax Lot(s) 6913

Zoning R1-10 Comp Plan Designation _____

APPLICANT

Name Eric Laursen Phone 541 488 1244 E-Mail ericlaursendesign@gmail.com

Address 244 Van Ness City Ashland Zip 97520

PROPERTY OWNER

Name Jeffrey Bonnington and Nushat Ara Phone 5306675591 E-Mail _____

Address 6642 NW Meridian Tidge DR City Portland Zip 97210

SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OTHER

Title Planner Name Kerry KenCairn Phone 541 488-3194 E-Mail kerry@kencairnlandscape.com

Address 147 Central Ave City Ashland Zip 97520

Title _____ Name _____ Phone _____ E-Mail _____

Address _____ City _____ Zip _____

I hereby certify that the statements and information contained in this application, including the enclosed drawings and the required findings of fact, are in all respects, true and correct. I understand that all property pins must be shown on the drawings and visible upon the site inspection. In the event the pins are not shown or their location found to be incorrect, the owner assumes full responsibility. I further understand that if this request is subsequently contested, the burden will be on me to establish:

- 1) *that I produced sufficient factual evidence at the hearing to support this request;*
- 2) *that the findings of fact furnished justifies the granting of the request;*
- 3) *that the findings of fact furnished by me are adequate; and further*
- 4) *that all structures or improvements are properly located on the ground.*

Failure in this regard will result most likely in not only the request being set aside, but also possibly in my structures being built in reliance thereon being required to be removed at my expense. If I have any doubts, I am advised to seek competent professional advice and assistance.

Applicant's Signature

 Date

As owner of the property involved in this request, I have read and understood the complete application and its consequences to me as a property owner.

Property Owner's Signature (required)

 Date

[To be completed by City Staff]

Date Received _____ Zoning Permit Type _____ Filing Fee \$ _____

OVER ►►

Application Submittal – New Home in Hillside Lands

November 19, 2021 - Revised December 15 Tree findings revised again on December 27th and have been edited to that revision in this document.

Owner

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Portland, Oregon 97210
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Geotechnical Engineer

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Landscape Architect and Planning

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Surveyor

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PO Box 459
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541 482-5009

Building Design

Eric Laursen Building and Design
244 Van Ness
Ashland, Oregon 97520
541 488 1244

Building Contractor

Eric Laursen Building and Design
244 Van Ness
Ashland, Oregon 97520
541 840 2767

Address:

218 Logan Drive, Ashland, Or

Zoning

Residential 1-10 with P Overlay

Tax lot

391E08AA 6913

R

Required Code Sections

18.2.4 General Regulations for Base Zones

18.2.5 Standards for Residential Zones

18.3.10 Physical and Environmental Constraints-Hillside

18.4.5 Tree Preservation and Protection

18.4.8 Solar Access

18.5.7 Tree Removal Permits

Bonnington P and E
218 Logan Drive

Project Description

This proposal involves the construction of a new home on a previously approved lot, prior to the implementation of the Hillside Standards Ordinance. The center of the site is primarily over 35% slope, and this is the location of the building envelope. The vehicle access to this lot is predetermined and constrained by easement to enter on slopes under 25%, to get to the homesite the drive crosses more intense slopes the closer it gets to the home. The base of the house sites on slopes of 35% to 45%, and these steep slopes have determined how the house was designed, which is to minimize disturbance to the greatest extent possible. Due to the steepness of the site, and the intent to minimize disturbance, the project is requesting an exception to the split foundation step back standard identified in the ordinance. There are many mature native trees on site and the location of the home preserves the greatest number possible; there are 16 trees proposed for removal and 23 proposed to be preserved.

The project will require an exception to the Hillside Standards for step back footings (split-pad foundations (18.3.10.090.E.2.b))

Chapter 18.2.4

GENERAL REGULATIONS FOR BASE ZONES

18.2.4.010 Access and Minimum Street Frontage

Complies, this lot abuts a cul-de-sac.

Chapter 18.2.5

STANDARDS FOR RESIDENTIAL ZONES

18.2.5.030 Unified Standards for Residential Zones

This property falls into the Rural Residential zone R1-10. The project meets all set back requirements and is a previously approved lot. Please see the Site and Materials Plan in the graphic submittals.

Chapter 18.3.10 Physical and Environmental Constraints

18.3.10.060 Land Classifications

B. Hillside Lands. This site is predominantly over 25% and is a lot developed prior to the implementation of the Hillside Ordinance; it falls under the Hillside Lands category.

C. Wildfire Lands. This project falls with the wildfire lands classification.

D. Severe Constraint Lands. This project is considered a severe constraints lands project as most of the slopes are over 35%

E. Classifications Cumulative. The whole project needs to be reviewed through all three of the above criteria.

18.3.10.090 Development Standards for Hillside Lands

A. General Requirements. The following general requirements shall apply in Hillside Lands:

Bonnington P and E
218 Logan Drive

1. Buildable Area. This lot is predominantly over 35% and the proposed structure is in lands over 35%
 - a. **the buildable lands for this project are all over 35% and this proposal is for one single family home**
2. Building Envelope. All newly created lots either by subdivision or partition shall contain a building envelope with a slope of 35 percent or less.

This is pre-existing lot.

3. New Streets and Driveways. New streets, flag drives, and driveways shall be constructed on lands of less than or equal to 35 percent slope with the following exceptions:
 - b. The portion of the street, flag drive, or driveway on land greater than 35 percent slope does not exceed a length of 100 feet.

The proposed drive is 80 feet long and the portion that crosses slopes over 35% is approximately half of that length.

4. Geotechnical Studies. For all applications on Hillside Lands involving subdivisions or partitions, the following additional information is required: a geotechnical study prepared by a geotechnical expert indicating that the site is stable for the proposed use and development. The study shall include the following information:

A geotechnical study has been provided with this application.

B. Hillside Grading and Erosion Control. All development on lands classified as Hillside shall provide plans conforming to the following items:

1. **The grades and cuts on this project have been designed by the project Landscape Architect, incorporating the direction and details provided by the project engineers.**
2. Timing of Improvements. **Grading of this site will begin in May 2022.**
3. Retention in Natural State.

Not applicable, this lot is under one half acre.

4. Grading – Cuts. On all cut slopes on areas classified as Hillside Lands, the following standards shall apply:

The cut slopes on this project are proposed to be retained with a segmental retaining wall system. The walls will be engineered by the project geotechnical expert.

All cuts are terraced and retained.

There are some cuts/walls that are proposed to be over 5 feet in height, this has been done to preserve natural state and minimize impact over the site. The project is steep enough that keeping wall at five feet or less tends to create more extensive cuts as it takes more grading for the top of proposed walls to catch existing grade.

All terraces are designed to support vegetation, and are therefore over 3 feet in depth. Terrace wall section do not exceed 15 feet as prescribed in the ordinance.

The terraces for this project are designed to be revegetated and this proposal includes a graphic planting plan that makes use of appropriate plant materials in all disturbed and terrace locations.

5. Grading – Fill. On all fill slopes on lands classified as Hillside Lands, the following standards shall apply:

All proposed fill slopes are contained by either segmental retaining walls or in the home entry, concrete retaining walls. The driveway has a portion of fill that is adjacent to the neighboring property to the North and is contained in asphalt drive and retained. There are some fill slopes adjacent to the house that will be completely revegetated.

There is no need to have any utilities in the fill slopes other than travelling up the drive, which is the most appropriate location for getting utilities to the homesite. There will be a common trench up the middle of the drive, the utility plan will be developed by the project engineer or other appropriate professional with input from City of Ashland departments. All area of exposed soil will be revegetated and irrigated per the graphic planting plan.

8. Site Grading. The grading of a site on Hillside Lands shall be reviewed considering the following factors:

All grading is being performed with the sole intention of getting access to the site by vehicles and pedestrians.

9. Inspections and Final Report.

The geo-technical expert will write a final report on the progress of this project.

C. Surface and Groundwater Drainage. All development on Hillside Lands shall conform to the following standards:

Stormwater from this project will be directed to the city of Ashland drainage system in Logan Drive.

D. Tree Conservation, Protection and Removal. All development on Hillside Lands shall conform to the following requirements:

1. Inventory of Existing Trees.

A graphic tree inventory is included with this project.

2. Evaluation of Suitability for Conservation.

The evaluation criteria are included on the graphic inventory.

3. Tree Conservation in Project Design.

There are 16 trees being proposed for removal, all fall within the building and/or driveway excavation footprint and could not be preserved. The building envelope and driveway were designed to preserve as many trees as possible. The project is in wildfire lands, and a wildfire plan is included in the graphic documents.

Site utilities will utilize the driveway to get access to the site. and therefore, no trees shall be affected by the utility placement.

4. Tree Protection. On all properties where trees are required to be preserved during the course of development, the developer shall follow the following tree protection standards:

Please see the tree protection plan submitted with this project.

5. Tree Removal. Development shall be designed to preserve the maximum number of trees on a site. The development shall follow the standards for fuel reduction if the development is located in Wildfire Lands. When justified by findings of fact, the hearing authority may approve the removal of trees for one or more of the following conditions:

All trees proposed for removal fall within the excavation zone of the drive and/or the homesite.

6. Tree Replacement.

There are sixteen trees proposed for removal, the project planting plan identifies 16 trees proposed to be planted as mitigation.

E. Building Location and Design Standards. All buildings and buildable areas proposed for Hillside Lands shall be designed and constructed in compliance with the following standards:

1. Building Envelopes.

This was a pre-existing lot and does not necessarily comply.

2. Building Design.

a. **The building height does not exceed 35 feet from natural grade.**

b. Cut buildings into hillsides to reduce effective visual bulk.

See exception request below.

d. **The design incorporates the following guideline:**

Continuous horizontal building planes shall not exceed a maximum length of 36 feet.

Planes longer than 36 feet shall include a minimum offset of six feet.

e. **The design incorporates multiple and varied roof pitches.**

f. **The design incorporates the use of roofs as decks.**

g. **The design incorporates the use of natural coloration.**

F. The foundations have all been designed per geo-technical recommendations by a structural engineer.

G. This is a pre-existing lot.

H. Exception to the Development Standards for Hillside Lands.

This lot was created before the implementation of the Hillside Ordinance and has much steeper slopes than would be allowed under the current ordinance structure. Building to the standards defined in the ordinance would require the house floors and foundations to be pushed further back into the site. Where this strategy might work well in buildable areas up to 35%, it creates excessive disturbance in steeper lots, creating the need for more grading and terracing into the steep hillsides. This would also have the affect of more tree removal. Allowing for a more vertical approach to the building will allow for less site disturbance and preservation of trees.

The house footings step back where possible and the proposed home incorporates the front and side step-backs required by the Hillside Design Standards.

This exception allows this project to respond more fully to the goals of this chapter.

18.3.10.100 Development Standards for Wildfire Lands

A fire prevention and control plan has been submitted as part of the graphic materials.

18.3.10.110 Development Standards for Severe Constraint Lands

Please review geotechnical reports and graphic submittals to determine the response to severe constraints section.

H. Exception to the Development Standards for Hillside Lands.

This project proposes that the two main floors of the house be developed without a step back between floors; the basement level has a standard setback per ordinance. Due to steep slopes on the site it was determined that stepping back the upper floor would create more site damage than necessary, while also creating more visual bulk to the home. The project designers and owners have a desire to keep the house smaller by not adding an additional step back to the upper floor. This project is being proposed on a site that consists of severe constraints due to slope. The lot was created prior to the creation of the hillside ordinance, and therefore does not have a large enough buildable area with slopes less than 35%.

1. There is demonstrable difficulty in meeting the specific requirements of this chapter due to a unique or unusual aspect of the site or proposed use of the site.

The lot was created prior to current hillside standards and does not have a building envelope that would facilitate a step back of the upper floor without further damage to the site.

2. The exception will result in equal or greater protection of the resources protected under this chapter.

Not stepping the house back will preserve land area in natural state by reducing the need for additional excavation and lot coverage.

3. The exception is the minimum necessary to alleviate the difficulty.

The action of not stepping back the top floor is all that is needed to alleviate the issue.

4. The exception is consistent with the stated Purpose and Intent of chapter [18.3.10](#), Physical and Environmental Constraints Overlay, and section [18.3.10.090](#), Development Standards for Hillside Lands. (Ord. 3199 § 18, amended, 06/15/2021; Ord. 3191 § 18, amended, 11/17/2020; Ord. 3158 § 4, amended, 09/18/2018)

This exception is consistent with the purposes and intent of the hillside ordinance.

18.4.5.030 Tree Protection

Please see the tree protection and removal plan submitted with this application.

Chapter 18.4.8

SOLAR ACCESS

This home has been designed to conform to solar setback A and meets all the required standards for this category.

A 20-foot tall shade producing point requires a 27.3-foot setback on this property. There is no location where this structure is 20-feet tall on the north facade.

This structure meets the solar ordinance requirements.

The highest shade producing points and their setback distances front eh north property line identified below (refer to sheet A3.2 for reference):

A 19'-7" above natural grade and 51' from North property line

B 6'-6" above natural grade and 44 feet from North property line

Average Slope of the property to North = + .06653

Average North/South lot dimension is 123.16'

Shade producing point A

$19'-7'' - 6' = 13'-7''$

$13'-7'' / .5115 = 26'$ setback – complies.

Shade producing point B

$6'-6'' - 6' = 6''$

Not going to bother with this one.

Chapter 18.5.7

TREE REMOVAL PERMITS

A. General Submission Requirements.

There are 16 trees proposed for removal on this property. All trees proposed for removal lie within the proposed driveway and/or homesite footprint. Tree removal will most likely occur in February 2022. The project was designed to preserve the greatest number of trees possible. Sixteen trees are proposed as mitigation and they exceed the required mitigation sizes. Prior to requesting a verification permit, all trees slated for removal will be tagged with orange survey tape, and all trees on the site are tagged and numbered with aluminum arborist tags. Please see graphic response Sheets L 1.2 Tree Protection and Removal Plan which identifies trees to be removed, and L 2.0 Planting Plan which identifies the mitigation trees.

18.5.7.040 Approval Criteria

B. Tree Removal Permit.

All trees proposed for removal are to allow for consistency with the development standards. Removal of these trees will have no effect the stability of the site as their locations will be integrated into the site development construction for this project which in itself will define an upgraded site stability and erosion control. Surface waters will not be greatly disturbed by the placement of the home and driveway, the improvements are all at the bottom of the site. the density and species diversity within 200 feet of the site is predominantly scrub oak, ponderosa pine and incense cedar, the surrounding area is if anything overly forested. This project will not greatly affect canopy density or diversity, and will instead add to both.

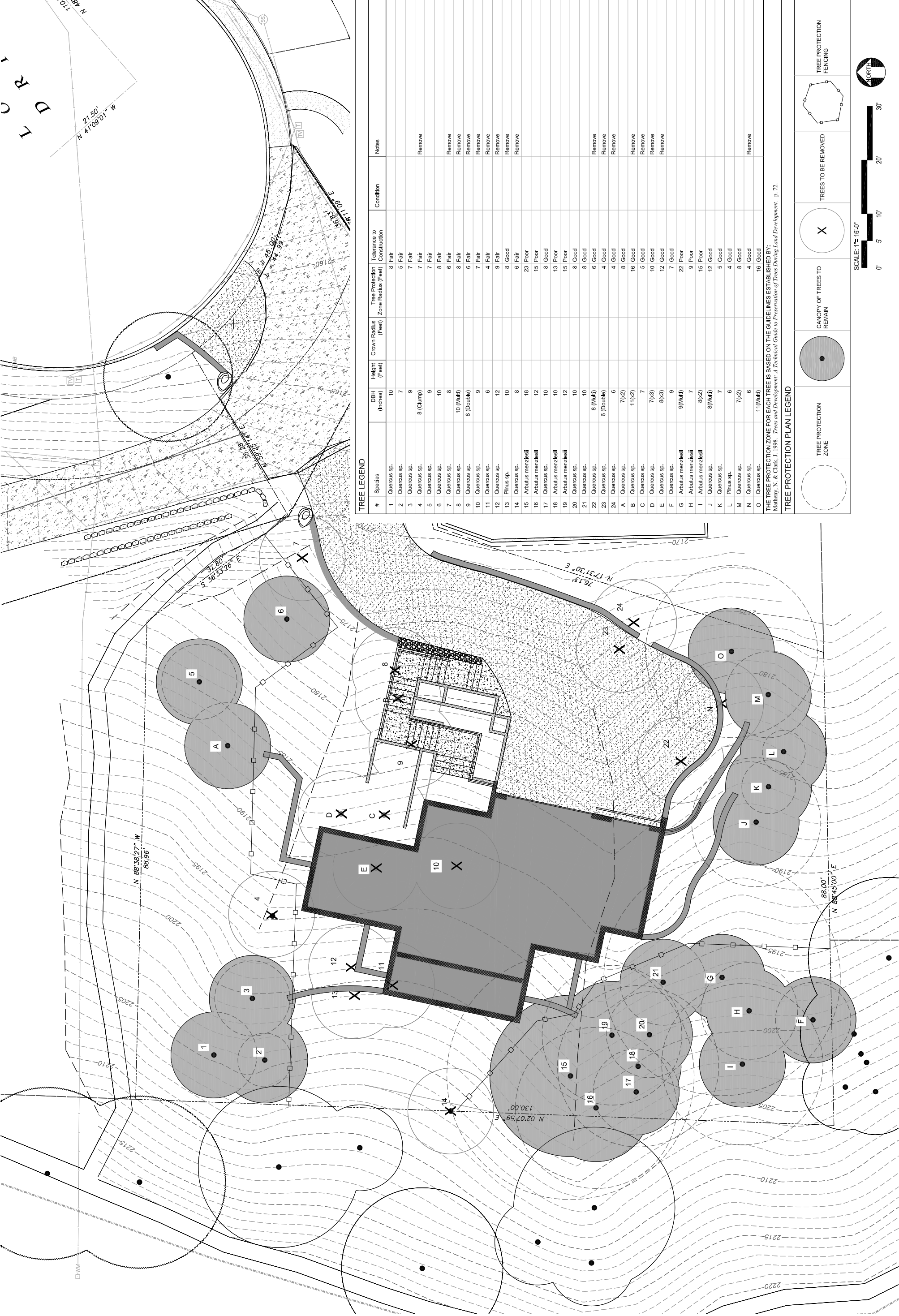
18.5.7.050 Mitigation Required

A. Replanting On Site.

The mitigation trees will be planted on site

D. Mitigation Plan.

Please see graphic response Sheets L 1.2 Tree Protection and Removal Plan which identifies trees to be removed, and L 2.0 Planting Plan which identifies mitigation trees.

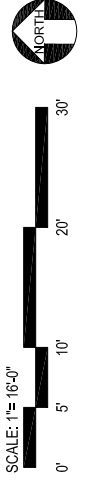
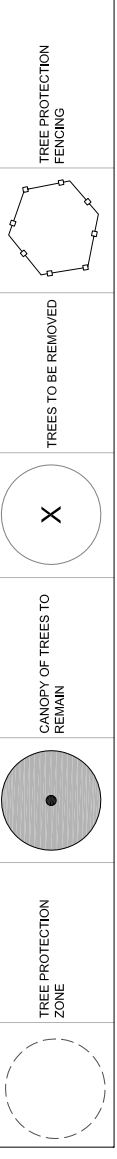


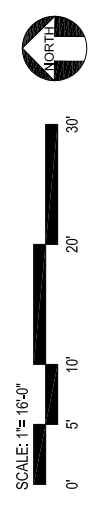
TREE LEGEND

#	Species	DBH (Inches)	Height (Feet)	Crown Radius (Feet)	Tree Protection Zone Radius (Feet)	Tolerance to Construction	Condition	Notes
1	Quercus sp.	10	8	Fair	8	Fair		
2	Quercus sp.	7	5	Fair	5	Fair		
3	Quercus sp.	9	7	Fair	7	Fair		
4	Quercus sp.	8 (Clump)	7	Fair	7	Fair		Remove
5	Quercus sp.	9	7	Fair	7	Fair		
6	Quercus sp.	10	8	Fair	8	Fair		Remove
7	Quercus sp.	8	6	Fair	6	Fair		Remove
8	Quercus sp.	10 (Multi)	8	Fair	8	Fair		Remove
9	Quercus sp.	8 (Double)	6	Fair	6	Fair		Remove
10	Quercus sp.	9	7	Fair	7	Fair		Remove
11	Quercus sp.	6	4	Fair	4	Fair		Remove
12	Quercus sp.	12	9	Fair	9	Fair		Remove
13	Pinus sp.	10	8	Good	8	Good		Remove
14	Quercus sp.	8	6	Fair	6	Fair		Remove
15	Arbutus menziesii	18	23	Poor	23	Poor		
16	Arbutus menziesii	12	15	Poor	15	Poor		
17	Quercus sp.	10	8	Good	8	Good		
18	Arbutus menziesii	10	13	Poor	13	Poor		
19	Arbutus menziesii	12	15	Poor	15	Poor		
20	Quercus sp.	10	8	Good	8	Good		
21	Quercus sp.	10	8	Good	8	Good		
22	Quercus sp.	8 (Multi)	6	Good	6	Good		Remove
23	Quercus sp.	6 (Double)	4	Good	4	Good		Remove
24	Quercus sp.	6	4	Good	4	Good		Remove
A	Quercus sp.	7(k2)	8	Good	8	Good		
B	Quercus sp.	11(k2)	16	Good	16	Good		Remove
C	Quercus sp.	7	5	Good	5	Good		Remove
D	Quercus sp.	7(k3)	10	Good	10	Good		Remove
E	Quercus sp.	8(k3)	12	Good	12	Good		Remove
F	Quercus sp.	9	7	Good	7	Good		Remove
G	Arbutus menziesii	9(Multi)	22	Poor	22	Poor		
H	Arbutus menziesii	7	9	Poor	9	Poor		
I	Arbutus menziesii	8(k2)	15	Poor	15	Poor		
J	Quercus sp.	8(Multi)	12	Good	12	Good		
K	Quercus sp.	7	5	Good	5	Good		
L	Pinus sp.	6	4	Good	4	Good		
M	Quercus sp.	7(k2)	8	Good	8	Good		Remove
N	Quercus sp.	6	4	Good	4	Good		
O	Quercus sp.	11(Multi)	16	Good	16	Good		

THE TREE PROTECTION ZONE FOR EACH TREE IS BASED ON THE GUIDELINES ESTABLISHED BY: Matheny, N. & Clark, J., 1998. *Trees and Development: A Technical Guide to Preservation of Trees During Land Development.* p. 72.

TREE PROTECTION PLAN LEGEND





PRELIMINARY PLANT LEGEND			
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
Acep	Acer palmatum	Japanese Maple	2" multi
Cork	Cornus kousa	Kousa Dogwood	2" cal
Sora	Sorbus accuparila	European Mountain Ash	1.75" cal
Vita	Vitex agnus-castus	Chaste Tree	20 gal
ZelH	Zelkova serrata 'Halka'	Halka Zelkova	2" cal
SHRUBS			
Carb	Carex burchanii	Leatherleaf Sedge	1 gal
Carc	Caryopteris x chinensis	Bluebeard	1 gal
ChoAP	Chodaya x deutziana 'Autac Pearl'	Autac Pearl Mexican Orange	3 gal
DapAM	Daphne odora 'Aureo marginata'	Variiegated Winter Daphne	3 gal
Fels	Felipa selowiana	Pineapple Guava Tree	20 gal
Hels	Hebe x exoniifolia	Blue Oat Grass	1 gal
Hesp	Hesperaloe parviflora	Red Yucca	1 gal
KerP	Kerria japonica 'Pinniflora'	Pinniflora Japanese Kerria	10 gal
Prul	Prunus lusitanica	Portugal Laurel	5' to 6'
Rubc	Rubus calydnoides	Creeping Raspberry	1 gal
Sarr	Sarcococca nuschii	Fragrant Sweet Box	3 gal
Yucf	Yucca filamentosa	Adam's Needle	5 gal
GROUND COVER			
[Pattern]	Festuca blaihoensis w/ Achillea 'Moonshine'	Isho Fescue w/ Moonshine Yarrow	seeded
[Pattern]	Eriogon karwinskianus	Mexican Fleabane	4" pots
[Pattern]	Mahonia repens	Creeping Oregon Grape	1 gal
[Pattern]	Summark Eriogon Control Mix (Hydroseed)		seeded

NOTE: MATURE COMPOST SHALL BE ADDED TO THE TOPSOIL OF LANDSCAPING AREAS AT A RATE OF THREE CUBIC YARDS OF COMPOST PER 1,000 SQUARE FEET OF LANDSCAPING AREA TO BE PLANTED.

PRELIMINARY LANDSCAPE NOTES

- All landscape planting areas shall receive clean, sandy loam topsoil to a minimum depth of 12" or as noted on the plan.
- All planting areas shall receive 3" of unseeded organic mulch.
- The proposed irrigation system will consist of low volume distribution.

