



CITY OF ASHLAND



TREE COMMISSION AGENDA July 8, 2019

I. CALL TO ORDER

6:00 p.m. in the Siskiyou Room of the Community Development and Engineering Services Building located at 51 Winburn Way.

II. APPROVAL OF MINUTES

A. Approval of June 6, 2019 regular meeting minutes.

III. PUBLIC FORUM

Open to guests.

IV. ANNOUNCEMENTS & LIAISON REPORTS

- Council Liaison
- Parks & Recreation Liaison
- Community Development Liaison

V. TYPE I REVIEWS

PLANNING ACTION: PA-TREE-2019-00069

SUBJECT PROPERTIES: 70 Water St.

OWNER/APPLICANT: Ashland Creek Holdings LLC

DESCRIPTION: A request for a Tree Removal Permit to remove two trees from a commercial property. The trees requested for removal include two large ash trees which are in poor health. The applicant included photos and a tree risk assessment form stating that they both have a significant amount of crown death in the canopy. The two trees are marked with survey tape for identification.

COMPREHENSIVE PLAN DESIGNATION: Commercial; **ZONING:** E-1; **ASSESSOR'S MAP:** 39 1E 09BB; **TAX LOT:** 16400

PLANNING ACTION: PA-T1-2019-00053

SUBJECT PROPERTY: 512 Walker Avenue

OWNER/APPLICANT: H&J Ashland, LLC/GPD Group

DESCRIPTION: A request for Site Design Review approval to remodel the existing approximately 4,124 square foot bank building with drive-up window to a coffee shop with a drive-up window for the property located at 512 Walker Avenue. The application includes requests for Exceptions to the Site Development and Design Standards to allow a three-foot width landscape buffer along an approximately 35-foot section of the driveway adjacent to the trash enclosure where a five-foot buffer would normally be required (18.4.4.030.F.2.a) and to the standards for parking lot area design, material selection and treatment of run-off in landscaped medians and swales (18.4.3.080.B.5); and Tree Removal Permits to remove nine trees six-inches or greater in diameter at breast height, including one 16-inch diameter Sweetgum street tree. **COMPREHENSIVE PLAN DESIGNATION:** Commercial; **ZONING:** C-1; **MAP:** 39 1E 10DC; **TAX LOT:** 10500.

PLANNING ACTION: PA-T1-2019-00064

SUBJECT PROPERTY: 176 Harrison

OWNER/APPLICANT: Richard Anderson

DESCRIPTION: A request for Site Design Review approval for a second dwelling unit and Solar Setback Exception to construct a two-story garage with the residential unit on the second story. The application also includes a Tree Removal Permit to remove a 25-inch Modesto Ash that is causing damage to the foundation and causing cracking in the walls of the residence. **COMPREHENSIVE PLAN DESIGNATION:** Low Density, Multi-Family Residential; **ZONING:** R-2; **ASSESSOR'S MAP:** 39 1E 09DB; **TAX LOT:** 1900.

VI. TYPE II REVIEWS

PLANNING ACTION: PA-T2-2019-00010

SUBJECT PROPERTIES: 185-197 Lithia Way

APPLICANT/OWNER: Randy Jones/First Place Partners, LLC

DESCRIPTION: A request for Site Design Review approval to construct a new mixed-use building (**Plaza East**) on Lots #2 and #3 of the First Place subdivision at 185-197 Lithia Way, on the corner of Lithia Way and First Street. The proposal includes consolidation of the two lots and construction of a 32,191 square foot, three-story mixed-use building consisting of basement parking, ground floor commercial, and 34 residential units distributed between the ground, second and third floors to serve as Oregon Shakespeare Festival artist housing. The application includes requests to modify the common area landscaping and parking configuration to better accommodate the proposal, and Exceptions to the Site Development and Design Standards' Downtown Design Standards to allow for balconies on the front of the building and to allow windows that are more horizontal than vertical. *(A nearly identical proposal, but with only 15 residential units, was approved in 2015 but has subsequently expired. Phase One, a three-story 18,577 square foot mixed-use building (**Plaza West**) consisting of basement parking, commercial and residential space on the first floor and residential space on the second and third floors was completed on the adjacent property at 175 Lithia Way in 2015 and currently houses Pony Espresso and the Washington Federal bank.)* **COMPREHENSIVE PLAN DESIGNATION:** Commercial; **ZONING:** C-1; **ASSESSOR'S MAP:** 39 1E 09BA; **TAX LOTS:** 10102 & 10103

VII. STREET TREE REMOVAL PERMITS - None

VIII. DISCUSSION ITEMS

IX. ADJOURNMENT

Next Meeting: August 8, 2019



CITY OF ASHLAND



TREE COMMISSION MINUTES DRAFT June 6, 2019

Tree Commissioners:	Parks Liaison:
Asa Cates	Peter Baughman
Eric Simpson	
Russell Neff	Council Liaison:
	Steven Jensen (Absent)
Not In Attendance:	Staff Liaison:
Chris John, Cat Gould	Aaron Anderson

Members of the Public in Attendance:

Ryan Haynes JCHA
 Charlie Garland (TREE 67)
 Rosemary Murphree, Kayo Jijinou (Ravenwood)
 Matt Small (Kisler, Small & White – 880 Park)
 Mark Knox (KDA homes), Tom Madar – 476 N Laurel

CALL TO ORDER

Cates called the meeting to order at 6:03 p.m. in the Siskiyou Room of the Community Development and Engineering Services Building located at 51 Winburn Way.

APPROVAL OF MINUTES

NEFF/CATES m/s to approve the minutes of the May 9, 2019 regular meeting. All AYES. Motion Passed

PUBLIC FORUM

There was no one in the audience wishing to speak.

ANNOUNCEMENTS & LIAISON REPORTS

- The Council Liaison was absent so no report was given.
- Parks & Recreation Liaison Baughman
 - Baughman gave an update regarding a large oak at Brisco that has been pruned repeatedly and now the life of the tree is at risk. He went on to say that the tree has become too hazardous to be acceptable.
- Community Development Liaison Anderson
 - Anderson spoke about Stu Green’s Climate and Energy Action Plan presentation.

TYPE I REVIEWS

PLANNING ACTION: TREE-2019-00058

SUBJECT PROPERTY: 303-349 Ravenwood Place

OWNERS/APPLICANTS: Ravenwood HOA / Rosemary Murphree

DESCRIPTION: A request for a Tree Removal Permit to remove three (3) trees, 1-Cedar and 2-Pine, each approximately forty feet in height. The cedar is suspected to have root rot, and the two pine trees have ‘sequoia pitch moth infestations’ and possible beetle infestation as well. This was on the Tree commissions agenda previously but did not have an arborists report. Lacking evidence in the record the Tree Commission denied the application. **COMPREHENSIVE PLAN**

DESIGNATION: Low Density, Multi-Family Residential; **ZONING:** R-2; **ASSESSOR’S MAP:** 39 1E 09BD; **TAX LOT:** 11300

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development office at 541-488-5305 (TTY phone is 1-800-735-2900). Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting (28 CFR 35.102-35.104 ADA Title 1).

There was no conflict of interest or ex-parte contact indicated by the Commission.

Anderson gave the staff report for TREE-2019-00058. Anderson went on to say that the applicant has supplied a statement from their arborist that was not included in the packet because it was received late.

Rosemary Murphree, applicant, spoke regarding the wildfire ordinance and stated that the HOA is a fire wise community and when considering the health of the trees they are inclined to remove/replace with a more appropriate species. She commented that removing these trees is essential and would like to replant with fire wise species. Mrs. Murphree pointed out that Alison Lerch from Ashland Fire Department identified the cedar a few years ago during a fire walk-through, but there was no supporting documentation.

Cates/Simpson m/s to approve TREE-2019-00058 with the recommendation that mitigation be native, non-flammable, large stature, trees. Voice vote: All AYES. Motion passed.

PLANNING ACTION: TREE-2019-00065

SUBJECT PROPERTY: 880 Park St

OWNER: Tudor Properties, LLC

APPLICANTS: Matt Small w/ Kistler Small & White

DESCRIPTION: A request to modify the previous approved tree protection and retention plan and request a removal permit for an Ash tree. The tree in question is approximately 8" DBH and is currently at a level approximately 2 feet below what will be the final finished grade. The excavation required for the buildings utilities and nearby fire vault make it very unlikely that the tree will survive the construction activities. **COMPREHENSIVE PLAN DESIGNATION:** High Density, Multi-Family Residential; **ZONING:** R-3; **ASSESSOR'S MAP:** 39 1E 15AD; **TAX LOT:** 3402

Simpson recused himself.

Anderson gave the staff report for TREE-2019-00065.

Matt Small, applicant, presented the history of the project. Small indicated that because of the required removal of the redwood there was a desire to protect the remaining trees. The change in grade was unexpected, and now it has become clear with excavation that the tree will not survive. Small requested that because of this project has an extensive landscape plan, he suggests increasing the caliper of the trees scheduled to be planted.

Neff/Cates m/s to approve TREE-2019-00065 with the recommendation to mitigate by increasing the parking lot trees to 2" in caliper. Voice vote: All AYES., Simpson recused. Motion passed.

PLANNING ACTION: TREE-2019-00067

SUBJECT PROPERTY: 7 N. First St. (199 E Main)

OWNER/APPLICANTS: Charles Garland Trustee

DESCRIPTION: A request for a Tree Removal Permit to remove three trees from a commercial property. The trees requested for removal include; One large Beech tree which is located between the two buildings (7&11 N 1st St). The Beech tree has been examined by an Arborist who states that the tree is dying and does not have enough foliage to support the tree. The other two trees proposed for removal are two Columnar Cypress trees located along the eastern side of the building. The Cyprus trees are mature and healthy measuring approximately 13-inches at the base and stand forty-feet tall. The base of these trees is approximately 6.5-inches from the edge of the building, and a recent inspection found that the root structure was "intruding on the foundation of the building." **COMPREHENSIVE PLAN DESIGNATION:** Downtown; **ZONING:** C-1-D; **ASSESSOR'S MAP:** 39 1E 09BA; **TAX LOT:** 10500

There was no conflict of interest or ex-parte contact indicated by the Commission.

Anderson gave the staff report for TREE-2019-00067.

Charlie Garland, applicant/owner announced that his application had all of the information that he wanted to present and was willing to answer any questions needed.

Neff expressed concern about being able to mitigate on site due to the thin strip of land. There was discussion that the beach tree was dead and therefore did not require mitigation.

Cates/Neff m/s to approve TREE-2019-00067 with the recommendation of off-site mitigation for the two Cyprus trees or payment of fee in lieu. Voice vote: All AYES. Motion passed.

PLANNING ACTION: PA-T1-2019-00060

SUBJECT PROPERTY: 476 N. Laurel St.

OWNER/APPLICANT: KDA Homes, LLC

DESCRIPTION: A request for Final Plan approval for a 12-unit Cottage Housing development and 13-lot Performance Standards Options subdivision located at 476 Laurel St. [*The Outline Plan, Site Design Review, Exception to Street Standards, Cottage Housing and Demolition components were approved as PA-T2-2018-0006.*] **COMPREHENSIVE PLAN DESIGNATION:** Single-Family Residential **ZONING:** R-1-5-P; **ASSESSOR'S MAP & TAX LOTS:** 39 1E 04CB Tax Lot #8800.

There was no conflict of interest or ex-parte contact indicated by the Commission.

Anderson gave the staff report for PA-T1-2019-00060.

Mark Knox and Tom Madara, applicants, addressed the Commission regarding this project. Knox and Madara spoke to the reasons for the smaller than standard park row width and to the James Urban suggestion, stating they are not enthusiastic about it. Madara presented a sketch of a modified proposal including root barrier and reinforced sidewalk. Karl Johnson, engineer from Public Works, proposed a modified plan (**see exhibit A**) that showed drainage mats as well, but Madara is not in favor of using those.

Cates remarked that the aeration mats will act like a root barrier.

Cates/Simpson m/s to approve PA-T1-2019-00060 with the recommendation that they follow the suggestion from Public Works to reinforce sidewalk (w/o aeration pads) and a suggestion to try the "James Urban technique" on at least one tree. Voice vote: All AYES. Motion passed.

TYPE II REVIEWS

PLANNING ACTION: PA-T2-2019-00009

SUBJECT PROPERTY: 158, 160, 166 and 166 ½ North Laurel Street

OWNERS/APPLICANTS: Laurel Cottages, LLC/Kim Locklin & Vadim Agakhanov

DESCRIPTION: A request for Site Design Review approval to allow the construction of a 924 square foot duplex at the rear of the property, the conversion of 372 square feet of a 704 square foot garage into an apartment, and the creation of a duplex from the existing single-family residence for the property located at 158, 160, 166 and 166 ½ North Laurel Street. There are currently four units on the property including one studio; the proposal would add four units including one new unit in the existing house fronting on Laurel, a 372 square foot apartment in the garage, and two units in the duplex. The application also includes a request for a Conditional Use Permit to exceed the maximum permitted floor area (MPFA) in a historic district by 24.8 percent. (The MPFA for the property is 4,888 square feet. The existing floor area on the property is approximately 5,175 square feet, and as proposed the site would have 6,099 square feet of floor area.)

COMPREHENSIVE PLAN DESIGNATION: High Density, Multi-Family Residential; **ZONING:** R-3;

ASSESSOR'S MAP: 39 1E 04CC; **TAX LOT:** 3400

There was no conflict of interest or ex-parte contact indicated by the Commission.

Anderson gave the staff report for PA-T2-2019-00009.

Kim Locklin, owner, addressed the Commission regarding the project. Locklin stated that there are no trees to be removed, and two trees to be protected. Cates asked clarifying questions as to where the new structures were going and about the associated excavation.

Simpson/Cates m/s to approve PA-T2-2019-00009 as submitted. Voice vote: All AYES. Motion passed.

PLANNING ACTION: PA-T2-2019-00008

SUBJECT PROPERTIES: Map 39 1E 11C Tax Lot #2504 on Engle Street/Map 39 1E 11C Tax Lot #2505 on Villard Street

OWNER: Housing Authority of Jackson County

APPLICANT: HAJC Development/Dan Horton, Architect

DESCRIPTION: A request for Site Design Review approval to allow the construction of a for 60-unit multi-family development on two tax lots (#2504 & #2505) along Villard and Engle Streets as Phase II of the existing 'Snowberry Brook' development. The proposal consists of four two-story eight-plex apartment buildings and seven two-story townhouse four-plexes. Units will consist of ten one-bedroom flats, 12 two-bedroom flats, ten three-bedroom flats, and 28 two-bedroom townhomes. The application includes a request for a Tree Removal Permit to remove one tree, an approximately 24-inch diameter Deodar Cedar (*cedrus deodara*) which the project arborist describes as posing a hazard.

There was no conflict of interest or ex-parte contact indicated by the Commission.

Anderson gave the staff report for PA-T2-2019-00008

Ryan Haynes, from Jackson County Housing Authority presented on behalf of the applicant, explaining the reasons for the tree removal. Haynes summarized the project and spoke to the condition of the trees. Madara believes that the tree represents a hazard with evidence that at least two large breaks have happened in the past.

Cates stated that he does not believe that the tree is a hazard. Simpson asked questions about how close the construction activity will be to the existing tree.

Simpson makes a motion to approve all three tree removals with proper mitigation done on site.

Simpson/Cates m/s to approve PA-T2-2019-00008 as submitted. Voice vote: All AYES. Motion passed.

TYPE I REVIEWS (Action was pushed to end of meeting due to lack of representation)

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development office at 541-488-5305 (TTY phone is 1-800-735-2900). Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting (28 CFR 35.102-35.104 ADA Title 1).

PLANNING ACTION: TREE-2019-00066
SUBJECT PROPERTY: 1970 Ashland St.
OWNER: NDW Investments, LLC
APPLICANTS: RDH Holdings, LLC

DESCRIPTION: A request for a Tree Removal Permit to remove two mature Elm trees along the western edge of the property. The larger of the two trees is already causing visible damage to the retaining wall, and it is likely that the other tree will soon cause damage as well.
COMPREHENSIVE PLAN DESIGNATION: Employment / Single Family Residential; **ZONING:** E-1 / R-1-5; **ASSESSOR'S MAP:** 39 1E 15AA; **TAX LOT:** 3300

There was no conflict of interest or ex-parte contact indicated by the Commission.

Anderson gave the staff report for TREE-2019-00066.

The applicant was not present.

The Commission discussed the public comment from a citizen who was concerned about required mitigation and that the retaining wall was obviously being damaged. It was stressed that the tree is not the best species for the location.

Neff motions to approve application as presented with off-site mitigation. **Motion fails.**

Cates makes a motion for an amendment to the motion, to include some planting in place. **Motion fails.**

Cates makes a motion for an amendment to the motion with a *suggestion* – to follow their landscapers' advice to plant something in that area. **Motion carries.**

Neff/Simpson m/s to approve TREE-2019-00066 with the recommendation to follow their landscaper's advice of planting something in that area. Voice vote: All AYES. Motion passed.

DISCUSSION ITEMS

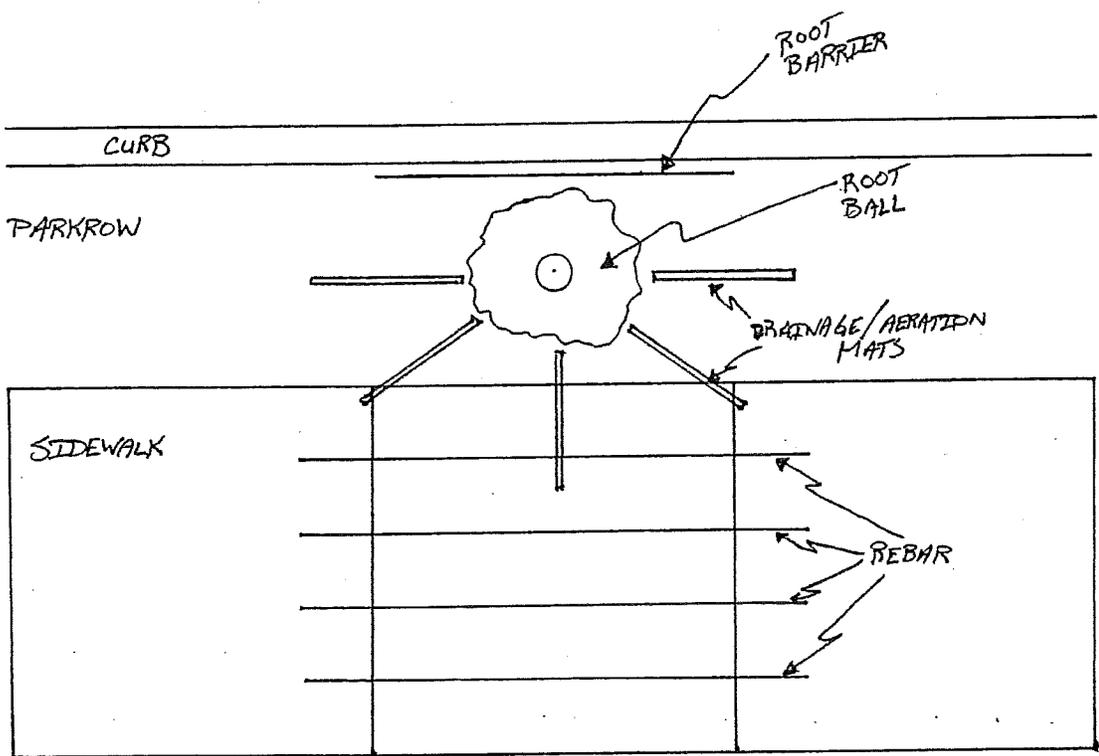
- Continued discussion re: Process efficiency adjustments with Public Works
 - Ad Hoc subcommittee & regular meeting rescheduled to 6PM on July 8, 2019.
 - AD-Hoc meeting to start at 5PM on July 8, 2019 with regular meeting right after at 6PM.
 - Anderson to reach out to Gould and John regarding July 8th meeting change.
- Tree of the Year story map update – Photos and Blurb.
- Election of vice chair postponed until July 8th meeting.
- Offsite mitigation process / follow up.
 - In lieu of fee.
 - Mitigation required by code.
 - TC Budget.

ADJOURNMENT

John adjourned the meeting at 7:57p.m. Anderson noted that the next meeting was scheduled for Monday, July 8, 2019 at 5:00 p.m. (Ad-Hoc meeting starts at 5PM, regular meeting starts at 6PM)

Respectfully submitted by Regan Trapp

(Exhibit A)



Arborist Report
Ashland Creek Inn Tree removal

There are a total of three trees at the Ashland Creek Inn, that Hunter Tree Care LLC was called out to give an evaluation and estimate one of the trees I will mention is fully dead and exempt from needing a permit. The first tree on the list is an exempt Ash, this tree has broken roughly twenty feet up and now leans in the canopy of a neighboring tree on the other side of the creek bank. This tree looks to be completely dead, as well as being a hazard. The second tree is also an Ash. this tree is within close proximity to the first tree, roughly within a 10 ft radius. This tree shows significant cambium death as well as crown death. Which leads both the Owners, and I too believe it is a perfect candidate for removal, to avoid any future problems. The third tree is also an ash tree, this tree also shows a significant amount of crown death in the canopy, as well as being much closer to the living quarters of the Inn.

RECEIVED

JUL 01 2019

City Of Ashland



Basic Tree Risk Assessment Form

Client _____ Date _____ Time _____
 Address/Tree location _____ Tree no. _____ Sheet _____ of _____
 Tree species _____ dbh _____ Height _____ Crown spread dia. _____
 Assessor(s) _____ Time frame _____ Tools used _____

Target Assessment

Target number	Target description	Target zone			Occupancy rate 1-rare 2-occasional 3-frequent 4-constant	Practical to move target?	Restriction practical?
		Target within drip line	Target within 1 x Ht.	Target within 1.5 x Ht.			
1	Ash				4	4	
2	Ash				4	4	
3	Ash				4	4	
4							

Site Factors

History of failures this site had a large tree come down on it Topography Flat Slope % Aspect _____
 Site changes None Grade change Site clearing Changed soil hydrology Root cuts Describe covered in foliage
 Soil conditions Limited volume Saturated Shallow Compacted Pavement over roots % Describe covered in foliage
 Prevailing wind direction _____ Common weather Strong winds Ice Snow Heavy rain Describe _____

Tree Health and Species Profile

Vigor Low Normal High Foliage None (seasonal) None (dead) Normal _____% Chlorotic _____% Necrotic _____%
 Pests None Evident Abiotic _____
 Species failure profile Branches Trunk Roots Describe _____

Load Factors

Wind exposure Protected Partial Full Wind funneling _____ Relative crown size Small Medium Large
 Crown density Sparse Normal Dense Interior branches Few Normal Dense Vines/Mistletoe/Moss _____
 Recent or planned change in load factors The first tree snapped

Tree Defects and Conditions Affecting the Likelihood of Failure

— Crown and Branches —

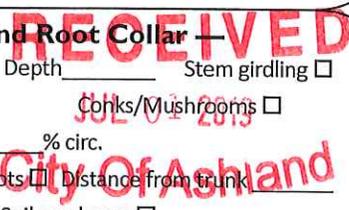
Unbalanced crown LCR _____% Cracks Lightning damage
 Dead twigs/branches % overall _____ Max. dia. _____ Codominant Included bark
 Broken/Hangers Number 1 Max. dia. 3in Weak attachments Cavity/Nest hole _____% circ.
 Over-extended branches Previous branch failures Similar branches present
Pruning history
 Crown cleaned Thinned Raised Dead/Missing bark Cankers/Galls/Burls Sapwood damage/decay
 Reduced Topped Lion-tailed Conks Heartwood decay
 Flush cuts Other _____ Response growth None
 Main concern(s) The hazards the trees impose to the surroundings
 Load on defect N/A Minor Moderate Significant
 Likelihood of failure Improbable Possible Probable Imminent

— Trunk —

Dead/Missing bark Abnormal bark texture/color
 Codominant stems Included bark Cracks
 Sapwood damage/decay Cankers/Galls/Burls Sap ooze
 Lightning damage Heartwood decay Conks/Mushrooms
 Cavity/Nest hole _____% circ. Depth _____ Poor taper
 Lean _____° Corrected? _____
 Response growth None
 Main concern(s) The trees will fail and come down
 Load on defect N/A Minor Moderate Significant
 Likelihood of failure Improbable Possible Probable Imminent

— Roots and Root Collar —

Collar buried/Not visible Depth _____ Stem girdling
 Dead Decay Conks/Mushrooms
 Ooze Cavity % circ. _____
 Cracks Cut/Damaged roots Distance from trunk _____
 Root plate lifting Soil weakness
 Response growth _____
 Main concern(s) _____
 Load on defect N/A Minor Moderate Significant
 Likelihood of failure Improbable Possible Probable Imminent





RECEIVED
 JUL 01 2019
 City Of Ashland

Dead ↓

← #1



RECEIVED
JUL 01 2013
City Of Ashland

#2



RECEIVED
JUL 01 2013
City Of Ashland



NOTICE OF APPLICATION

PLANNING ACTION: PA-T1-2019-00053

SUBJECT PROPERTY: 512 Walker Avenue

OWNER/APPLICANT: H&J Ashland, LLC/GPD Group

DESCRIPTION: A request for Site Design Review approval to remodel the existing approximately 4,124 square foot bank building with drive-up window to a coffee shop with a drive-up window for the property located at 512 Walker Avenue. The application includes requests for Exceptions to the Site Development and Design Standards to allow a three-foot width landscape buffer along an approximately 35-foot section of the driveway adjacent to the trash enclosure where a five-foot buffer would normally be required (18.4.4.030.F.2.a) and to the standards for parking lot area design, material selection and treatment of run-off in landscaped medians and swales (18.4.3.080.B.5); and Tree Removal Permits to remove nine trees six-inches or greater in diameter at breast height, including one 16-inch diameter Sweetgum street tree.

COMPREHENSIVE PLAN DESIGNATION: Commercial; **ZONING:** C-1; **MAP:** 39 1E 10DC; **TAX LOT:** 10500.

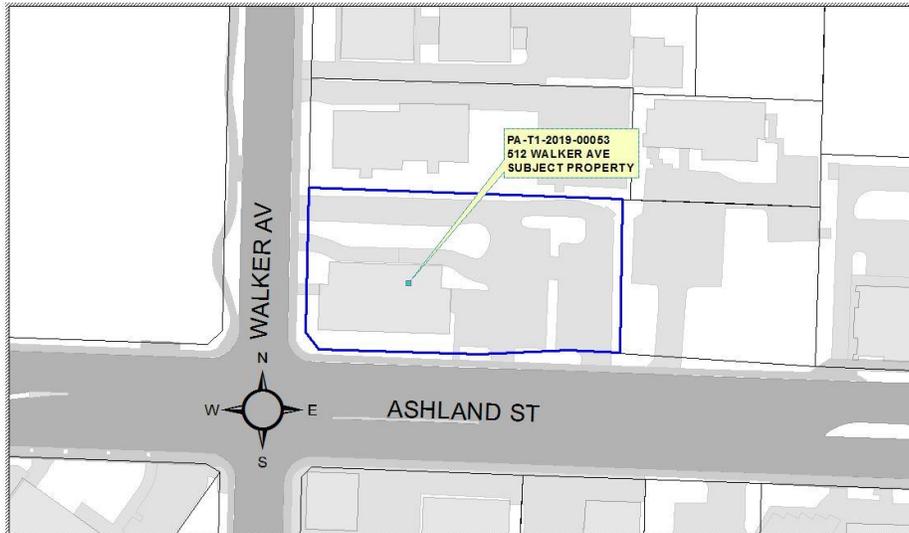
NOTE: The Ashland Tree Commission will also review this Planning Action on **Monday, July 8, 2019 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTICE OF COMPLETE APPLICATION:

June 27, 2019

DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS:

July 11, 2019



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.5.1.050.G)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact Derek Severson at 541-488-5305.

SITE DESIGN AND USE STANDARDS

18.5.2.050

The following criteria shall be used to approve or deny an application:

- A. Underlying Zone: The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.
- B. Overlay Zones: The proposal complies with applicable overlay zone requirements (part 18.3).
- C. Site Development and Design Standards: The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.
- D. City Facilities: The proposal complies with the applicable standards in section 18.4.6 Public Facilities and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property and adequate transportation can and will be provided to the subject property.
- E. *Exception to the Site Development and Design Standards.* The approval authority may approve exceptions to the Site Development and Design Standards of part 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.
 1. There is a demonstrable difficulty meeting the specific requirements of the Site Development and Design Standards due to a unique or unusual aspect of an existing structure or the proposed use of a site; and approval of the exception will not substantially negatively impact adjacent properties; and approval of the exception is consistent with the stated purpose of the Site Development and Design; and the exception requested is the minimum which would alleviate the difficulty.; or
 2. There is no demonstrable difficulty in meeting the specific requirements, but granting the exception will result in a design that equally or better achieves the stated purpose of the Site Development and Design Standards.

TREE REMOVAL PERMIT

18.5.7.040.B

1. ***Hazard Tree.*** A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The applicant must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. See definition of hazard tree in part 18.6.
 - b. The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.
2. ***Tree That is Not a Hazard.*** A Tree Removal Permit for a tree that is not a hazard shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.10.
 - b. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.
 - c. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.
 - d. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.
 - e. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

achieved within two years.

Response: Screening plant material shall be fire-resistant and drought tolerant. The evergreen shrubs will achieve 50 percent in two years and 100 percent in four years. Ground cover shall be 100% coverage within two years.

6. Plant Sizes.

a. Trees shall be not less than two-inch caliper for street trees, and 1.5-inch caliper for other trees at the time of planting.

Response: All trees are specified to be a minimum of two-inch caliper at the time of planting.

b. Shrubs shall be planted from not less than one gallon containers, and where required for screening shall meet the requirements of [18.4.4.030.C.5](#) Screening.

Response: All shrubs and ground cover are specified to be a minimum of No. 1 containers. Although, most are proposed to be even larger at the time of planting.

D. **Tree Preservation, Protection, and Removal.** See chapter [18.4.5](#) for Tree Protection and Preservation and chapter [18.5.7](#) for Tree Removal Permit requirements.

Response: Preserved trees will be protected by a 6' tall chainlink fence. Permits will be obtained before any tree removal takes place on the site.

E. **Street Trees.** The purpose of street trees is to form a deciduous canopy over the street. The same effect is also desired in parking lots and internal circulation streets; rows of street trees should be included in these areas where feasible.

All development fronting on public or private streets shall be required to plant street trees in accordance with the following standards and chosen from the recommended list of street trees.

1. Location of Street Trees. Street trees shall be located in the designated planting strip or street tree wells between the curb and sidewalk, or behind the sidewalk in cases where a planting strip or tree wells are or will not be in place. Street trees shall include irrigation, root barriers, and generally conform to the standards established by the Community Development Department.

Response: Existing street trees will be preserved to the greatest extent possible. New street trees will be placed and installed per the standards by the Community Development Department.

2. Spacing and Placement of Street Trees. All street tree spacing may be made subject to special site conditions that may, for reasons such as

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safety, affect the decision. Any such proposed special condition shall be subject to the Staff Advisor's review and approval. The placement, spacing, and pruning of street trees shall meet all of the following requirements.

- a. Street trees shall be placed at the rate of one tree for every 30 feet of street frontage. Trees shall be evenly spaced, with variations to the spacing permitted for specific site limitations, such as driveway approaches.

Response: Existing street trees will remain on site to the fullest extent possible, and proposed street trees to fulfill the requirement will be placed at one tree for every 30 feet of street frontage where preserved street trees do not exist.

- b. Street trees shall not be planted closer than 25 feet from the curb line of intersections of streets or alleys, and not closer than ten feet from private driveways (measured at the back edge of the sidewalk), fire hydrants, or utility poles.

Response: Proposed street trees will not be planted closer than 25 feet from the curb line of intersections of streets or alleys, and not closer than 10 feet from private driveways, fire hydrants, or utility poles. Existing street trees not to be removed may not abide by these required measurements.

- c. Street trees shall not be planted closer than 20 feet to light standards. Except for public safety, no new light standard location shall be positioned closer than ten feet to any existing street tree, and preferably such locations will be at least 20 feet distant.

Response: Proposed street trees will not be placed within 20 feet of a street light.

- d. Street trees shall not be planted closer than 2.5 feet from the face of the curb. Street trees shall not be planted within two feet of any permanent hard surface paving or walkway. Sidewalk cuts in concrete for trees, or tree wells, shall be at least 25 square feet; however, larger cuts are encouraged because they allow additional air and water into the root system and add to the health of the tree. Tree wells shall be covered by tree grates in accordance with City specifications.

Response: No proposed street trees will be planted closer than 2.5 feet of any curb, sidewalk, or hard surface. No tree wells or grates are located on this site.

- e. Street trees planted under or near power lines shall be selected so as to not conflict with power lines at maturity.

Response: Trees located on site will not have any conflict with power lines at maturity.



f. Existing trees may be used as street trees if there will be no damage from the development which will kill or weaken the tree. Sidewalks of variable width and elevation, where approved pursuant to section [18.4.6.040](#) Street Design Standards, may be utilized to save existing street trees, subject to approval by the Staff Advisor.

Response: Existing street trees are preserved to the greatest extent possible. There is a proposed planting bed between RW and outdoor patio, and well as a proposed hedge row to screen the parking row which runs parallel to Ashland Street. 3 proposed trees along Ashland street have been placed to replace the trees removed.

3. Pruning. Street trees, as they grow, shall be pruned to provide at least eight feet of clearance above sidewalks and 12 feet above street roadway surfaces.

Response: Tree pruning will meet the standards in the Land Use Ordinance.

4. Replacement of Street Trees. Existing street trees removed by development projects shall be replaced by the developer with those from the street tree list approved by the Ashland Tree Commission. The replacement trees shall be of size and species similar to the trees that are approved by the Staff Advisor. See the Ashland Recommended Street Tree Guide.

Response: Replaced street trees are species recommended by the Street Tree Guide.

F. **Parking Lot Landscaping and Screening.** Parking lot landscaping, including areas of vehicle maneuvering, parking, and loading, shall meet the following requirements. Single-family dwellings and accessory residential units are exempt from the requirements of subsection [18.4.4.030.F.2](#), below.

1. Landscaping.

a. Parking lot landscaping shall consist of a minimum of seven percent of the total parking area plus a ratio of one tree for each seven parking spaces to create a canopy effect.

Response: Over 2,625 SF (24.7%) of landscaping is provided for the parking area.

b. The tree species shall be an appropriate large canopied shade tree and shall be selected from the street tree list approved by the Ashland Tree Commission to avoid root damage to pavement and utilities, and damage from droppings to parked cars and pedestrians. See the Ashland Recommended Street Tree Guide.

Response: Street trees are species recommended by the Street Tree Guide.



- c. The tree shall be planted in a landscaped area such that the tree bole is at least two feet from any curb or paved area.

Response: All proposed trees will be planted in landscaped areas and at a minimum 2' away from any curb or paved area.

- d. The landscaped area shall be distributed throughout the parking area and parking perimeter at the required ratio.

Response: Landscaped areas are distributed throughout the parking area and is well over the required percentage in the Ordinance.

- e. That portion of a required landscaped yard, buffer strip, or screening strip abutting parking stalls may be counted toward required parking lot landscaping but only for those stalls abutting landscaping as long as the tree species, living plant material coverage, and placement distribution criteria are also met. Front or exterior yard landscaping may not be substituted for the interior landscaping required for interior parking stalls.

Response: Understood.

2. Screening.

- a. Screening Abutting Property Lines. A five-foot landscaped strip shall screen parking abutting a property line. Where a buffer between zones is required, the screening shall be incorporated into the required buffer strip, and will not be an additional requirement.

Response: The existing fence is to remain and the concrete retaining wall with serve a as a pedestrian and vehicular barrier. Parking stalls are off by a minimum 5' as required. Proposed evergreen shrub row has been included on the eastern PL and along parking spaces adjacent to Ashland Street where able to accommodate on our property and not within the ROW.

- b. Screening Adjacent to Residential Building. Where a parking area is adjacent to a residential building it shall be set back at least eight feet from the building, and shall provide a continuous hedge screen.

Response: Parking is over eight feet from the adjacent building. An existing fence is provided for screening.

c. Screening at Required Yards.

- i. Parking abutting a required landscaped front yard or exterior yard shall incorporate a sight obstructing hedge screen into the required landscaped yard.

Response: A hedge and ground cover is provided.



- ii. The screen shall grow to be at least 36 inches higher than the finished grade of the parking area, except within vision clearance areas, section [18.2.4.040](#).

Response: The screen will reach a minimum of 36 inches within four-years of planting.

- iii. The screen height may be achieved by a combination of earth mounding and plant materials.

Response: Understood. This site will use a combination of walls and plant material.

- iv. Elevated parking lots shall screen both the parking and the retaining walls.

Response: Understood.

G. Other Screening Requirements. Screening is required for refuse and recycle containers, outdoor storage areas, loading and service corridors, mechanical equipment, and the City may require screening other situations, pursuant with the requirements of this ordinance.

1. Recycle and Refuse Container Screen. Recycle and refuse containers or disposal areas shall be screened from view by placement of a solid wood fence or masonry wall five to eight feet in height to limit the view from adjacent properties or public rights-of-way. All recycle and refuse materials shall be contained within the screened area.

Response: The dumpster location will be screened by an enclosure that complies with the ordinance.

2. Outdoor Storage. Outdoor storage areas shall be screened from view, except such screening is not required in the M-1 zone.

Response: N/A. No outdoor storage proposed.

3. Loading Facilities and Service Corridors. Commercial and industrial loading facilities and service corridors shall be screened when adjacent to residential zones. Siting and design of such service areas shall reduce the adverse effects of noise, odor, and visual clutter upon adjacent residential uses.

Response: Loading facilities and service corridors will be screened by the existing fence.

4. Mechanical Equipment. Mechanical equipment shall be screened by placement of features at least equal in height to the equipment to limit view from public rights-of-way, except alleys, and adjacent residentially zoned property. Mechanical equipment meeting the requirements of this section satisfy the screening requirements in [18.5.2.020.C.4](#).

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a. Roof-mounted Equipment. Screening for roof-mounted equipment shall be constructed of materials used in the building's exterior construction and include features such as a parapet, wall, or other sight-blocking features. Roof-mounted solar collection devices are exempt from this requirement pursuant to subsection [18.5.2.020.C.4](#).

Response: Roof Mechanical equipment is being screened by the existing parapet.

b. Other Mechanical Equipment. Screening for other mechanical equipment (e.g., installed at ground level) include features such as a solid wood fence, masonry wall, or hedge screen.

Response: Mechanical equipment is being screened by the proposed plant material.

H. **Irrigation**. Irrigation systems shall be installed to ensure landscape success. If a landscape area is proposed without irrigation, a landscape professional shall certify the area can be maintained and survive without artificial irrigation. Irrigation plans are reviewed through a Ministerial process at the time of building permit submittals.

Response: An existing irrigation system is on site. Contractor will be responsible for determining expansion or installation of new controller if it is not capable of expansion. The modified or new system shall provide 100% coverage of landscaped areas.

I. **Water Conserving Landscaping**. Water has always been a scarce, valuable resource in the Western United States. In the Rogue Valley, winter rains give way to a dry season spanning five to seven months. Lack of water during the dry summer season was a major problem facing early settlers. Their creative solutions greatly altered the development of this region. Talent Irrigation District's and other district's reservoirs and many miles of reticulating canals are an engineering marvel.

Ashland's early development centered around Ashland Creek and its year-round water supply flowing from the flanks of Mt. Ashland, a mile in elevation above the town.

As the town grew, the old reservoir at the top of Granite Street and later, Reeder Reservoir were built. They remain as a testament to the town's need for more water than the quantity that flows through the City during the dry season. The reservoir collects the winter rain behind its dams, for use during the dry season. Snowfall adds to this system by slowly melting in the spring and summer, after rainfall has diminished. This recharges the groundwater that continues to flow into Ashland Creek long after the last of the snow pack has melted.

Presently, Reeder reservoir's capacity is just barely sufficient to supply the City's current water demands in a severe drought. With Ashland's semi-arid climate that includes periodic multi-year droughts, a fixed reservoirs size, and growing water demands, it is clear that additional steps to insure a secure a water supply are now necessary.

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There are two main ways of insuring a reliable water supply; either increase the supply by finding additional water sources or reduce the demand through water conservation strategies. The traditional supply side solutions are economically and environmentally expensive. Demand side solutions are relatively inexpensive, although they require changes in behavior and usage patterns. One of the main strategies for reducing water use are landscape designs that use less water. Ashland has adopted these guidelines in order to reduce the amount of water wasted by many standard landscaping practices.

The advantages to standards like these are that they avoid the costs of increasing the water supply, and also avoid the draconian measure of mandatory rationing. While standards limit plant materials, the choices offered by drought tolerant plants give ample opportunity to create beautiful landscapes at no additional cost.

The goal of these guidelines is to decrease water usage while encouraging attractive landscaping. Further, standards are aimed at reducing water and demand when it is most crucial, during the dry late summer months when water reserves are low.

The following standards are intended to conserve water while encouraging attractive landscaping. Further, requirements are aimed at reducing water demand when water is most scarce, during the dry late summer months when water reserves are low.

Response: Plants used are sustainable in a Plant Hardiness Zone 8a and are drought tolerant. They will work within the city's standards and will not use an abnormal amount of water.

1. Landscaping Design Standards.

a. Landscaping Coverage. Water conserving designs shall have plant coverage of not less than 90 percent within five years of planting, but are not required to meet the standard of 50 percent coverage within one year.

Response: Plant material will achieve 50 percent in two years and 100 percent in four years. Ground cover plants shall be 100% coverage within two years.

b. Plant Selection. At least 90 percent of plants in the non-turf areas shall be listed as drought tolerant in the City's Water-Wise Landscaping website, or be similarly well suited for the climate of this region as determined by the Staff Advisor. Up to ten percent of the plants may be of a non-drought tolerant variety or species as long as they are grouped together and are located in a separate irrigation zone.

Response: The majority of the plant species proposed for the site are tolerant to dry conditions.

c. Screening. Plant screening hedges to attain 50 percent coverage after two years.



Response: Plant material proposed for screening will achieve 50 percent in two years and 100 percent in four years.

d. Mulch. Add a minimum of two inches of mulch in non-turf areas to the soil surface after planting, with the exception of within five feet of a building or deck where bark mulch and other combustible materials are not permitted per the General Fuel Modification Area standards in section [18.3.10.100](#). Neither large nuggets nor fine bark may be used for mulch. Nonporous material shall not be placed under the mulch.

Response: Gravel mulch is being proposed for the site.

e. Turf and Water Areas. Limit combined turf or water areas (i.e., pools, ponds, and fountains) to 20 percent of the landscaped areas. Turf limitations do not apply to public parks, private common open space, required outdoor recreation areas, golf courses, cemeteries, and school recreation areas.

Response: Turf areas are limited with the vast majority of the landscape areas containing gravel mulch.

f. Fountains. Design all fountains to recycle their water.

Response: Does not pertain to this project.

g. Turf Location. Turf is restricted to slopes less than ten percent grade.

Response: Turf is not being proposed where the slope is greater than ten percent on the site.

h. Berms and Raised Beds.

i. No more than five percent of landscaped area of any lot or project may be berms or raised beds higher than one foot unless there is demonstrated need for sound or safety barrier. If allowed, berms must be no taller than one-sixth of their width.

Response: N/A.

ii. All plantings on berms one foot or greater in height must be drought tolerant.

J. Response: N/A.

i. Only drip irrigation is allowed on berms more than one foot in height.

K. Response: N/A.

a. Soil Quality. When new vegetation is planted, soils shall be amended for plant health and water absorption. Add mature compost



at a rate of three cubic yards of compost per 1,000 square feet of area to be landscaped, and work soil and amendment(s) to a depth of four to six inches. This requirement may be waived for one or more of the following circumstances:

- i. The area to be landscaped is fenced off to fully protect native soil from disturbance and compaction during construction.

Response: Landscape area will be protected during the construction process.

- ii. Soil tests document an organic content of at least three percent based on a representative core sample taken at a rate of one test per 20,000 square feet, based on a minimum of three core samples per test. Samples shall be taken at least 40 feet apart to a depth of six inches following attainment of rough grade.

Response: Plans denote obtaining soils report if imported top soil is to be used.

- iii. The area to be landscaped will be used to capture and treat storm water runoff, and is subject to separate design standards.

Response: N/A.

2. Irrigation System Design Standards. Irrigation plans are reviewed through a Ministerial process at the time of building permit submittals, and are subject to the following standards.

Response: An existing irrigation system is on site. Contractor will be responsible for determining expansion or installation of new controller if it is not capable of expansion. The modified or new system shall provide 100% coverage of landscaped areas.

3.
 - a. Design sprinkler head spacing for head-to-head coverage.
 - b. Design irrigation system to minimize runoff and overspray to non-irrigated areas.
 - c. Match precipitation rates for all irrigation heads for each circuit.
 - d. Separate irrigation zones based on water needs of plantings and type of sprinklers being used (i.e., rotating, fixed spray, or drip). Plants with similar watering needs shall be in the same irrigation zone unless irrigated by drip irrigation having emitters sized for individual plant water needs.
 - f. Use sprinkler heads with a precipitation rate of .85 inches per hour or less on slopes exceeding 15 percent to minimize run-off, or when slope exceeds ten percent within ten feet of hardscape.



g. Serviceable check valves (or pressure compensating emitters for drip systems) are required where an elevation difference greater than 20 feet exists on any circuit.

h. Drip irrigation systems are required for trees unless within lawn areas.

i. Equip all irrigation zones with pressure regulator valves (PRV) to meet the manufacturer's recommended operating pressure for the components of each zone; except in those instances where a PRV is in place. PRV's shall be located at the meter or solenoid valve.

k. Automatic Sprinkler Controls.

i. Equip all irrigation systems with a controller capable of dual or multiple programming. Controllers shall have a multiple start time capability, station run times in minutes to hours, and water days by interval, day of the week, and even/odd days.

ii. Use controllers with a percent adjust (water budget) feature, or the capability of accepting an external rain or soil moisture sensor.

4. Exceptions. Requests to depart from the requirements of this section shall demonstrate that the water consumption for the project as a whole is equal to or less than what would occur if the standards were strictly applied, in addition to meeting the criteria in [18.5.2.050.E](#) Exception to the Site Development and Design Standards.

L. Maintenance. All landscaping shall be maintained in good condition, or otherwise replaced by the property owner; dead plants must be replaced within 180 days of discovery. Replacement planting consistent with an approved plan does not require separate City approval. (Ord. 3158 § 6, amended, 09/18/2018; Ord. 3155 §§ 12, 13, amended, 07/17/2018)

- **Vehicle Area Design:** In an effort to minimize the adverse environmental and microclimatic impacts of surface parking through design and material selection, AMC 18.4.3.080.B.5 requires that parking lots of seven spaces or more and other hard surfaces be designed in a way that captures and treats run-off with landscaped medians and swales. If the proposal will not include landscaped medians and swales to capture/treat parking lot run-off, the application would need to request an Exception and address the criteria in AMC 18.5.2.050.E.

Section: 18.4.3.080 Vehicle Area Design

A. Parking Location.

1. Except for single and two-family dwellings, required automobile parking facilities may be located on another parcel of land, provided said parcel is within 200 feet of the use it is intended to serve. The distance



Response: Previously addressed.

8. Lighting. Lighting of parking areas within 100 feet of property in residential zones shall be directed into or on the site and away from property lines such that the light element shall not be directly visible from abutting residential property. Lighting shall comply with section 18.4.4.050. (Ord. 3158 § 5, amended, 09/18/2018; Ord. 3155 § 11, amended, 07/17/2018)

Response: New site and parking lighting complies with the ordinance.

Tree / Tree Removal Criteria / Arborist

- The Tree Plan needs to include an assessment of the condition of each tree, any hazard posed and recommendations for its treatment as required in AMC 18.4.5.030.B.3. This would typically need to be prepared by a certified arborist.
- Written findings addressing the criteria for Tree Removal from AMC 18.5.7.040.B would need to be included to address the removal of each of the trees greater than six-inches in diameter at breast height to be removed (i.e. #14, #15, #19, #23, #24.) *A number of the items responded to in the materials provided are submittal requirements in AMC 18.5.7.060 rather than approval criteria in 18.5.7.040.B. I've included the specific criteria to respond to at the end of this document.*

Section: 18.4.5.30.B.3 Tree Protection

A. Tree Protection Plan. A tree protection plan shall be approved by the Staff Advisor concurrent with applications for Type I, Type II, and Type III planning actions. If tree removal is proposed, a Tree Removal Permit pursuant to chapter 18.5.7 may be required.

B. Tree Protection Plan Submission Requirements. In order to obtain approval of a tree protection plan; an applicant shall submit a plan to the City, which clearly depicts all trees to be preserved and/or removed on the site. The plan must be drawn to scale and include the following.

1. Location, species, and diameter of each tree on site and within 15 feet of the site.
2. Location of the drip line of each tree.
3. An inventory of the health and hazard of each tree on site, and recommendations for treatment for each tree.
4. Location of existing and proposed roads, water, sanitary and storm sewer, irrigation, and other utility lines/facilities and easements.
5. Location of dry wells, drain lines and soakage trenches.
6. Location of proposed and existing structures.



7. Grade change or cut and fill during or after construction.
8. Existing and proposed impervious surfaces.
9. Identification of a contact person and/or arborist who will be responsible for implementing and maintaining the approved tree protection plan.
10. Location and type of tree protection measures to be installed per section [18.4.5.030.C](#).

Response: Tree protection plan are revised and adjusted. Currently, preserved trees will be protected by a 6' tall chain link fence.

C. Tree Protection Measures Required.

1. Chain link fencing, a minimum of six feet tall with steel posts placed no farther than ten feet apart, shall be installed at the edge of the tree protection zone or dripline, whichever is greater, and at the boundary of any open space tracts, riparian areas, or conservation easements that abut the parcel being developed.

Response: Noted.

2. The fencing shall be flush with the initial undisturbed grade.

Response: Noted.

3. Approved signs shall be attached to the chain link fencing stating that inside the fencing is a tree protection zone, not to be disturbed unless prior approval has been obtained from the Staff Advisor for the project.

Response: Noted.

4. No construction activity shall occur within the tree protection zone, including, but not limited to dumping or storage of materials such as building supplies, soil, waste items, equipment, or parked vehicles.

Response: Noted.

5. The tree protection zone shall remain free of chemically injurious materials and liquids such as paints, thinners, cleaning solutions, petroleum products, concrete or dry wall excess, and construction debris or run-off.

Response: Noted.

6. No excavation, trenching, grading, root pruning, or other activity shall occur within the tree protection zone unless approved by the Staff Advisor.



Response: Noted.

7. Except as otherwise determined by the Staff Advisor, all required tree protection measures set forth in this section shall be instituted prior to any development activities, including, but not limited to clearing, grading, excavation, or demolition work, and shall be removed only after completion of all construction activity, including landscaping and irrigation installation.

Response: Noted.**D. Inspection.**

The applicant shall not proceed with any construction activity, except installation of erosion control measures, until the City has inspected and approved the installation of the required tree protection measures and a building and/or grading permit has been issued by the City.

Response: Noted.**Section: 18.5.7.40.B Tree Removal Permit**

1. Hazard Tree. A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a) The applicant must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. See definition of hazard tree in part 18.6.

Response: Arborist report determinations, please refer to report for full descriptions:

- **tree #1 recommended for removal per arborist report and has been shown to be removed**
- **tree #3 recommended for removal per arborist report and has been shown to be removed**
- **tree #4 recommended for removal per arborist report and has been shown to be removed**
- **tree #7 recommended for removal per arborist report, but it is not on project property, so it remains**
- **tree #8 recommended for removal per arborist report, but it is not on project property, so it remains**

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- **tree #10 recommended for removal per arborist report, but it is not on project property, so it remains**
- **tree #14 is proposed to be removed due to dumpster location, arborist report determines its removal will not have a negative impact on the site and surrounding site (the tree is also a non-native, invasive species)**
- **tree #15 is proposed to be removed due to grading of the site, arborist report determines its removal will not have a negative impact on the site and surrounding site**
- **tree #19 is proposed to be removed due to new drive apron placement, arborist report determines its removal will not have a negative impact on the site and surrounding site (the tree is negatively affecting the site currently, even though it is healthy)**
- **tree #23 is proposed to be removed due to parking lot improvements to create proper traffic flow, arborist report determines its removal will not have a negative impact on the site and surrounding site**
- **tree #24 is proposed to be removed due to parking lot improvements to create proper traffic flow, arborist report determined the tree is dead**
- **tree #25 is proposed to be removed due to reconfiguration of ADA parking stalls in the parking lot, arborist report determines its removal will not have a negative impact on the site and surrounding site and that the tree should be considered for removal**
- **tree #28 is proposed to be removed due to its location is within the new outdoor patio area and proximity to the building during the remodel, arborist report determined that the tree is not in good health and struggling from drought**
- **tree #31 recommended for removal per arborist report and has been shown to be removed**
- **tree #32 is proposed to be removed due to grading of the site, arborist report determines its removal will not have a negative impact on the site and surrounding site**



- a) The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

Response: Noted.

2. Tree That is Not a Hazard. A Tree Removal Permit for a tree that is not a hazard shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.

- a) The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.3.10.

Response: Existing trees will be preserved to the greatest extent possible while accommodating for required site improvements such as parking and proper traffic flow, which will allow the site to be operational for its intended purpose.

- b) Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.

Response: See arborist report.

- c) Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.

Response: See arborist report.

- d) Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.

Response: See arborist report.



- e) The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

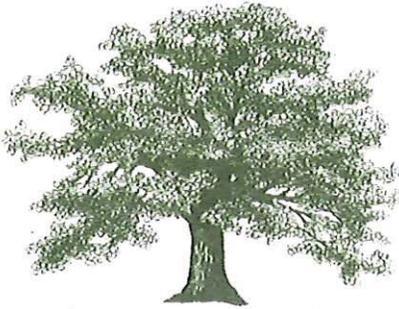
Response: Noted.

Sincerely,
GPD Group



Haley Becker
Designer





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I received an email from at Mr. Tom Connors at GPD Group regarding a project of opening a Starbucks store at 512 Walker Ave in Ashland, Oregon. After several emails we settled on the following assignment: Write a report that will describe the health and hazard of each tree on site, and recommendations for treatment for location, species, and diameter of each tree on site and within 15 feet of the site. 32 trees mapped in email attachments.

On June 3rd, 2019 I made a site visit to identify and examine and identify the 32 trees outlined in the page by GPD titled "tree protection plan", all diameters will be pulled from that tree protection plan. Those trees are described as follows;

1. Incense cedar (*Calocedrus decurrens*), 6" DBH. This tree has ivy at the base, this hides many potential signs of decay and/or poor structure. This tree is six feet from a utility pole, has a communications box in the ground nearby as well as a concrete sidewalk on one side and asphalt driveway on the other, it is growing out from under trees numbered two and three. This tree appears healthy, but it is being forced into growing under the powerlines. This tree is a native species and generally tolerant of poor soil conditions. My recommendation for this tree would be removal due to proximity of other trees and utility lines.
2. Oregon white oak (*Quercus garryana*), 6" DBH. This tree is overhanging the previous tree, is eight feet from the power pole and has the same impacts to the root zone as tree number one. This tree appears healthy but is being pushed into the powerlines as well by tree number three. This is a native species and I would expect it to remain healthy for a long-time assuming tree number three can be removed.
3. Black locust (*Robinia pseudoacacia*), 4" to 8" DBH multi trunked. This tree has ivy at the base and up to 20 feet above grade, this hides many potential signs of decay and/or poor structure. This species is known for having very poor structure causing limbs to fail in weather events. This tree has many small dead limbs up to one inch in diameter. This is a



naturalized species that is very hearty and tends to dominate in sunny areas. It also is considered a short-lived tree. This particular tree appeared to be healthy even though it had many dead limbs up to two inches in diameter, mostly over the driveway. I recommend removal of this tree to favor the Oregon white oak (tree number two) for longevity of landscape and to favor a desirable native species.

4. Black locust (*Robinia pseudoacacia*), 20" DBH multi trunked tree. This tree appears stressed by a visibly sparse canopy. The consistency of this sparseness throughout the canopy suggests some type of root stress. This tree also has ivy at the base, this hides many potential signs of decay and/or poor structure. There is very little deadwood in the canopy but many poor branch unions, this species is known for having very poor structure causing limbs to fail in weather events. This is a naturalized species that is very hearty and tends to dominate in sunny areas. I would expect this tree to become a maintenance issue in the long term and would recommend removal.
5. Black locust (*Robinia pseudoacacia*), This tree is not as bad as tree number four but is also in early stages of decline judged by the sparseness of the canopy. There is not much deadwood in this tree but what is there is up to two inches in diameter. This tree also has ivy at the base and up to 30 feet above grade, this hides many potential signs of decay and/or poor structure. This species is known for having very poor structure causing limbs to fail in weather events. This is a naturalized species that is very hearty and tends to dominate in sunny areas.
6. Incense cedar (*Calocedrus decurrens*), 10" DBH. This tree has ivy at the base and up to 15 feet above grade, this hides many potential signs of decay and/or poor structure. The top appears to have been broken out, possibly by tree number seven, but otherwise appears healthy. This tree is a native species and generally tolerant of poor soil conditions.
7. Black locust (*Robinia pseudoacacia*), 6" to 12" DBH multi trunks. These trees have ivy at the base, this hides many potential signs of decay and/or poor structure. This species is known for having very poor structure causing limbs to fail in weather events. There are visible signs of decay along many feet of the length of many of these trunks. Some of these decayed leaders are over the driveway and some over the neighboring property. There is a significant amount of deadwood in these trees up to three inches diameter. The canopies of these trees are sparse and declining. This is a naturalized species that is very hearty and tends to dominate in sunny areas. My recommendation for these would be to remove the trees impacting this property.
8. Black locust (*Robinia pseudoacacia*), 10" to 12" DBH multi trunks. These trees have ivy at the base, this hides many potential signs of decay and/or poor structure. This species is known for having very poor structure causing limbs to fail in weather events. There are



visible signs of decay along many feet of the length of many of these trunks. Some of these decayed leaders are over the driveway and some over the neighboring property. There is a significant amount of deadwood in these trees up to three inches diameter. The canopies of these trees are sparse and declining. This is a naturalized species that is very hearty and tends to dominate in sunny areas. My recommendation for these would be to remove the trees impacting this property.

9. Cherry plum (*Prunus cerasifera*) 5" DBH. This tree is a small ornamental, possibly a wild variety judging by the pale purple foliage. It is a fruiting tree which may become a nuisance but otherwise I expect it to be of little trouble other than it can be an invasive species as the plums that fall can germinate and create many wild seedlings. It appears to be healthy.
10. Black locust (*Robinia pseudoacacia*), 12" to 15" DBH multi trunked. This tree has ivy at the base, this hides many potential signs of decay and/or poor structure. This species is known for having very poor structure causing limbs to fail in weather events. This tree has heavy die back of the tips throughout the canopy up to one-inch diameter suggesting some type of root stress. This is a naturalized species that is very hearty and tends to dominate in sunny areas. My recommendation would be to remove this tree due to its declining condition.
11. Black locust (*Robinia pseudoacacia*), 5" to 8" DBH multi trunked. This tree has ivy at the base, this hides many potential signs of decay and/or poor structure. This species is known for having very poor structure causing limbs to fail in weather events. This tree has heavy die back of the tips throughout the canopy up to one-inch diameter suggesting some type of root stress. This is a naturalized species that is very hearty and tends to dominate in sunny areas. This tree has many dead limbs up to 2" diameter but is not in a high use area.
12. Black locust (*Robinia pseudoacacia*), 36" DBH. This tree has ivy at the base and up to 30 feet above grade, this hides many potential signs of decay and/or poor structure. This species is known for having very poor structure causing limbs to fail in weather events. This is a naturalized species that is very hearty and tends to dominate in sunny areas. This tree has minimal deadwood in the canopy up to one inch in diameter.
13. Black locust (*Robinia pseudoacacia*), 3" to 6" DBH multi trunked. This tree has ivy at the base and up to 30 feet above grade, this hides many potential signs of decay and/or poor structure. This species is known for having very poor structure causing limbs to fail in weather events. This is a naturalized species that is very hearty and tends to dominate in sunny areas. This tree has minimal deadwood in the canopy up to one inch in diameter.
14. Norway maple (*Acer platanoides*) 7" DBH multi trunked. This tree has many dead limbs up to one inch in diameter throughout the canopy. This tree has ivy at the base, this hides



many potential signs of decay and/or poor structure. The Norway maple is often considered invasive even in parts of Oregon, in Ashland however, it is on our recommended street tree list. This tree is considered a short-lived species but is hearty and tolerant of many different soil types through most of its life.

This tree has been marked for removal in this remodel project. Removal of this tree will not have a significant impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing wind breaks.

This removal also will not have significant negative impact on the tree densities, sizes, canopies and species within 200 feet of the subject property.

15. Cherry plum (*Prunus cerasifera* 'Thundercloud') 14" DBH. This tree is leaning heavily and has had many broken limbs that has altered the typical shape. This is very common on overmature trees of this species. It is still healthy but not as aesthetically pleasing as it once was. It is a fruiting tree which may become a nuisance but otherwise I expect it to be of little trouble other than it can be an invasive species as the plums that fall can germinate and create many wild seedlings.

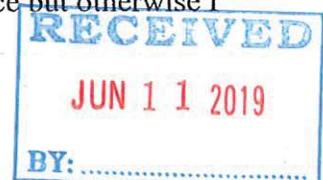
This tree has been marked for removal in this remodel project. Removal of this tree will not have a significant impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing wind breaks.

This removal also will not have significant negative impact on the tree densities, sizes, canopies and species within 200 feet of the subject property.

16. Cherry plum (*Prunus cerasifera* 'Thundercloud') 14" DBH. This tree is leaning heavily and has had many broken limbs that has altered the typical shape. This is very common on overmature trees of this species. It is still healthy but not as aesthetically pleasing as it once was. It is a fruiting tree which may become a nuisance but otherwise I expect it to be of little trouble other than it can be an invasive species as the plums that fall can germinate and create many wild seedlings. I would recommend this tree be removed and replaced as well in this project.

17. Cherry plum (*Prunus cerasifera* 'Thundercloud') 14" DBH. This appears to be overmature as well but has retained a much more pleasing form than the two previous trees. It is healthy and it is a fruiting tree which may become a nuisance but otherwise I expect it to be of little trouble other than it can be an invasive species as the plums that fall can germinate and create many wild seedlings. It can be retained for the time being, but I expect this tree to need to be replaced in the next five to ten years.

18. Cherry plum (*Prunus cerasifera* 'Thundercloud') 14" DBH. This appears to be overmature as well but has retained a much more pleasing form than the two previous trees. It is healthy and it is a fruiting tree which may become a nuisance but otherwise I



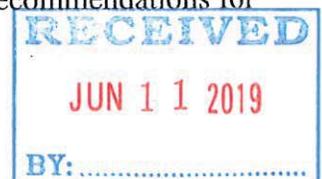
expect it to be of little trouble other than it can be an invasive species as the plums that fall can germinate and create many wild seedlings. It can be retained for the time being, but I expect this tree to need to be replaced in the next five to ten years.

- 19. Sweetgum (*Liquidambar styraciflua*) 16" DBH. This tree is healthy but has many negative issues being next to the sidewalk as this one is. There appears to be minor lifting of sidewalk panels and cracking of the asphalt driveway likely caused from the roots of this tree. This species is notorious for having an invasive root system that lifts sidewalk panels and buckles asphalt nearby. The seed pods of this tree are spiked balls one to two inches in diameter and create tripping hazards in pedestrian areas. This tree has two limbs impacting highway traffic that are six inches in diameter each. There are visible marks from vehicles striking them. The tree has a heavy lean out over the highway. There are minimal dead limbs but there are signs of limbs having broken out of the tree. This is also typical of the species as the seed are heavy in the summer, located at the end of the branches and the wood is soft. In the winter they often break limbs as well due to the corky, winged bark that catches wind and snow creating heavier loads on the tree than most other species.

This tree has been marked for removal in this remodel project. Removal of this tree will not have a significant impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing wind breaks.

This removal also will not have significant negative impact on the tree densities, sizes, canopies and species within 200 feet of the subject property.

- 20. Northern red oak (*Quercus rubra*) 4"DBH. This tree has excellent form and is a young, healthy specimen. In the long term, this tree may struggle in the limited soil space it is planted in but with minimal care it could be an excellent tree here for many years.
- 21. Red maple (*Acer rubrum*) 18" DBH. The leaves of this tree appear a bit wilted/stressed. Annual growth of twigs growing low on the tree show approximately one inch of annual shoot elongation. A minor scale insect infestation was also visible. These factors I believe are due to drought stress. This is a species that is not very drought tolerant and it appears there may have been no irrigation on this site for a couple years. My recommendations for this tree are to supply it with proper irrigation through the summer months, fertilize it and treat for scale. If these measures are implemented in the next month or two, I feel this tree may be salvageable.
- 22. Red maple (*Acer rubrum*) 11" DBH. The leaves of this tree appear a bit wilted/stressed. Annual growth of twigs growing low on the tree show approximately one inch of annual shoot elongation. A minor scale insect infestation was also visible. These factors I believe are due to drought stress. This is a species that is not very drought tolerant and it appears there may have been no irrigation on this site for a couple years. My recommendations for



this tree are to supply it with proper irrigation through the summer months, fertilize it and treat for scale. If these measures are implemented in the next month or two, I feel this tree may be salvageable.

23. Red maple (*Acer rubrum*) 11" DBH. The leaves of this tree appear a bit wilted/stressed. Annual growth of twigs growing low on the tree show approximately one inch of annual shoot elongation. A minor scale insect infestation was also visible. These factors I believe are due to drought stress. This is a species that is not very drought tolerant and it appears there may have been no irrigation on this site for a couple years. My recommendations for this tree are to supply it with proper irrigation through the summer months, fertilize it and treat for scale. If these measures are implemented in the next month or two, I feel this tree may be salvageable, but it is the most stressed of these three maples. Also, it appears the tree may have split at the first bifurcation around six feet above grade. The tree appears to be sealing around the wound there, but structurally may be compromised.

This tree has been marked for removal in this remodel project. Removal of this tree will not have a significant impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing wind breaks.

This removal also will not have significant negative impact on the tree densities, sizes, canopies and species within 200 feet of the subject property.

24. Red maple (*Acer rubrum*) 22" DBH. This tree is dead. It appears one low limb leafed out this spring but has since desiccated. This tree has been marked for removal and should require no permit to remove.

25. Northern red oak (*Quercus rubra*) 5" DBH. This tree has excellent form as well, very similar to tree number 20 except it has a large mistletoe shrub in the tree. This is a parasitic shrub that causes significant structural damage to the tissue it is growing on. With minimal care, this tree could be an excellent specimen here for many years.

This tree has been marked for removal in this remodel project. Removal of this tree will not have a significant impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing wind breaks.

This removal also will not have significant negative impact on the tree densities, sizes, canopies and species within 200 feet of the subject.

Though this tree may be an excellent specimen, it is still young and should be considered for removal as this property has not been irrigated in years, if this project goes forward, the trees remaining will at least be irrigated. If the project does not, I expect many more trees on this site to decline and die. I feel it is a small sacrifice.

26. Trident maple (*Acer buergerianum*) 8" DBH. This tree appears to be healthy. It has a small amount of deadwood and needs minor pruning to clear highway traffic.



27. Trident maple (*Acer buergerianum*) 4" DBH. The canopy of this tree is a bit sparse and the color is pale suggesting stress. This is likely due to drought stress. There is a significant amount small deadwood up to ¾ inch diameter. With proper irrigation and fertilizer, I feel this tree could recover.
28. Dogwood (*Cornus florida*) 10" DBH. This tree has significant deadwood throughout the canopy up to one-inch diameter. This tree appears to be struggling from the drought conditions too. With proper irrigation and fertilizer, I feel this tree could recover. This tree also needs to be pruned back away from the building.
29. Trident maple (*Acer buergerianum*) 8" DBH. This tree appears to be reasonably healthy, light signs of stress showing in the canopy from the drought as well. This is manifested as the canopy being a little sparse and not as dark of foliage as should be. With proper irrigation and fertilizer, I feel this tree could recover. This tree also needs to be pruned back away from the highway, traffic sign and raised over the sidewalk for pedestrian clearance.
30. Incense cedar (*Calocedrus decurrens*), 6" DBH. This tree has ivy at the base, this hides many potential signs of decay and/or poor structure. This tree is growing under a large Black locust (tree number 4). It appears healthy and could make its way up through the competing canopy in the future.
31. Amur maple (*Acer ginnala*) 16" DBH. This tree is overmature, shows signs of heavy pruning in the past and has some deadwood up to three inches diameter in the canopy. There is visible decay in the trunk and the tree has lost much of its aesthetic appeal. This tree needs clearance over the sidewalk and street as well as pruned away from the utility lines. After this pruning, the tree will lose even more of its aesthetic appeal. I would recommend removing and replacing this tree in the near future.
32. Field maple (*Acer campestre*) 4" DBH. This is a healthy young tree that will likely outgrow its narrow planting strip between two driveways in just a few year's time. This tree has been marked for removal in this remodel project. Removal of this tree will not have a significant impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing wind breaks.
This removal also will not have significant negative impact on the tree densities, sizes, canopies and species within 200 feet of the subject property.

Property lines and trees marked on the maps I received show that trees numbered 2 and 7-13, are on neighboring properties and trees numbered 19,20,26,27 and 29 are in a right-of-way area and may need special permission to prune or remove any of these trees.



My limitations on this project were observations from the ground only with no tools, there was much ivy that hid many areas of visual inspection, the only history I had on this property was looking back through Google's historical imagery and I was given no information on actual construction, cut, fill etc.

In conclusion, there are many trees on this site, some desirable, some not. There are varying levels of health and structure, many needing work but salvageable, some should be removed and seven that are being requested permission for this project to go ahead as planned. I feel that a long-term tenant moving in and maintaining the landscape on this property will benefit the remaining trees and that the 7 trees they request to remove should be considered an acceptable loss. Only two of these seven really had solid, long term potential in my opinion. Please feel free to contact me with any follow up questions or clarity.

Willie Gingg

Southern Oregon Tree Care, Llc

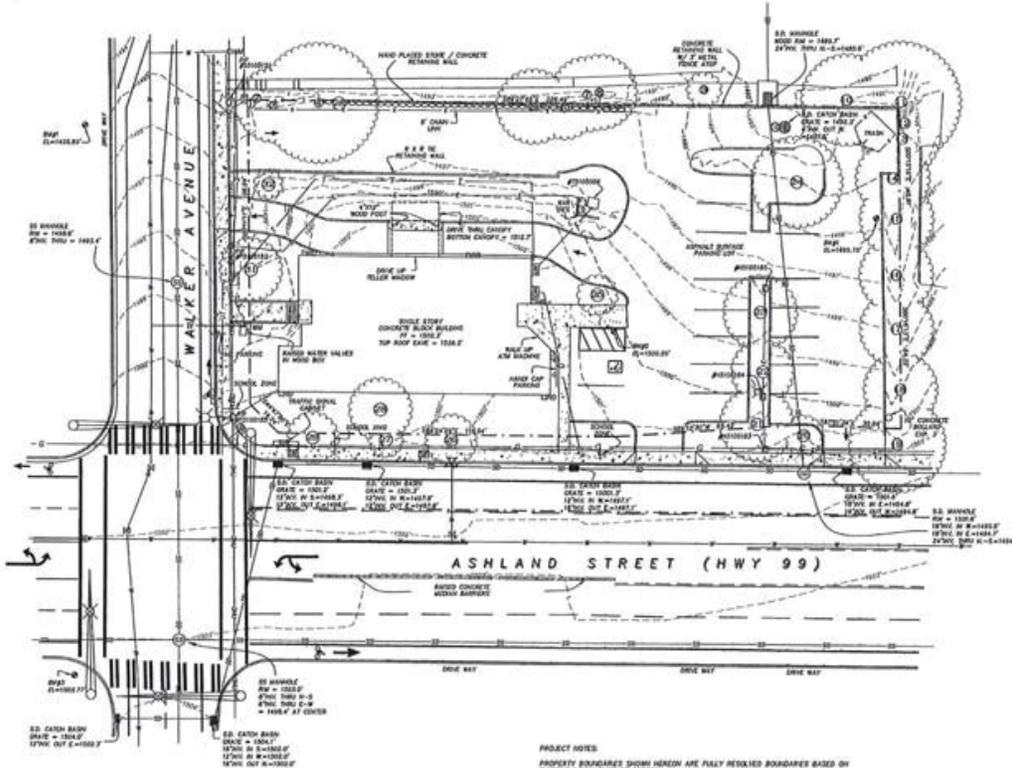
I.S.A. Board Certified Master Arborist _____ Date _____



BOUNDARY AND TOPOGRAPHIC SURVEY

FOR
HUMMELT DEVELOPMENT COMPANY
 2991 S.W. BOONES FERRY ROAD
 WILSONVILLE, OREGON 97070

AT 292 WALKER AVENUE
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 33 SOUTH,
 RANGE 1 EAST OF THE WILSONVILLE MERIDIAN, IN THE CITY OF ASHLAND,
 JACKSON COUNTY, OREGON



- LEGEND**
- EXISTING PROPERTY LINES
 - - - EASEMENT LINES
 - FENCES
 - ~ APPROXIMATE TREE DUMP LINE
 - CONTOUR LINES
 - DNW HOSE BOX
 - DNW WATER METER
 - X JOE JOCKEY
 - W WATER / GAS VALVE
 - W WATER LINE
 - DRD ROOF DRAIN
 - SD STORM DRAIN CLEAN OUT
 - SS SANITARY SEWER MANHOLE
 - SD STORM DRAIN MANHOLE
 - SD STORM DRAIN
 - G GAS LINE
 - SS SANITARY SEWER
 - DNW OVERHEAD UTILITIES (ELECTRIC, TELEPHONE, CABLE TV)
 - E UNDERGROUND ELECTRIC
 - SL STREET LIGHT
 - AL AREA LIGHT
 - PUMP HOSE WITH GUY WIRE
 - GUY
 - EM ELECTRIC METER
 - EM ELECTRIC ANCHOR BOX
 - SB SIGNAL BOX
 - SD SIGN AS NOTED
 - Y UNDERGROUND TELEPHONE/FIBER OPTIC
 - IB TELEPHONE ANCHOR BOX
 - GM GAS METER
 - W MISCELLANEOUS ITEMS AS NOTED
 - PROJECT BENCH MARK (SEE PROJECT NOTES)
 - CONCRETE SURFACE
 - DRIVEWAY / RAISED CURB CURB CUT (TYP.)
 - OVERHEAD TRAFFIC LIGHT

TREE INDEX

TREE NUMBER	DESCRIPTION
1	6" CEDAR
2	6" DECIDUOUS
3	MULTI TRUNK DECIDUOUS
4	4" TO 8"
5	20" DECIDUOUS
6	6" CEDAR
7	10" CEDAR
8	MULTI TRUNK DECIDUOUS
9	3" TO 4" TO 12"
10	6" DECIDUOUS
11	MULTI TRUNK DECIDUOUS
12	2" TO 12" TO 15"
13	MULTI TRUNK DECIDUOUS
14	6" TO 8"
15	30" DECIDUOUS
16	MULTI TRUNK DECIDUOUS
17	3" TO 4"
18	14" DECIDUOUS
19	14" DECIDUOUS
20	4" OAK
21	16" DECIDUOUS
22	11" DECIDUOUS
23	11" DECIDUOUS
24	20" DECIDUOUS
25	5" DECIDUOUS
26	6" DECIDUOUS
27	4" DECIDUOUS
28	10" DOGWOOD
29	6" DECIDUOUS
30	6" CEDAR
31	14" DECIDUOUS
32	4" DECIDUOUS

PROJECT NOTES:
 PROPERTY BOUNDARIES SHOWN HEREON ARE FULLY RESOLVED BOUNDARIES BASED ON EXISTING RECORDS OF RECORD.
 ELEVATIONS ARE CITY OF ASHLAND VERTICAL DATUM NAVD 2011 AS DERIVED FROM THE CENTER LINE MEASUREMENT AT THE INTERSECTION OF WALKER AVENUE AND BOONES BULLWOUND INTERSECTED BY THE CITY OF ASHLAND FIELD BOOK 1987 ASHLOP 78 13A. ELEVATION = 2531.867.
 PUBLIC UTILITIES AS SHOWN HEREON ARE DERIVED FROM PUBLIC UTILITY PAINT MARKS, EXPOSED STRUCTURES AND UTILITY DRAWINGS.
 THE BENCH MARKS INDICATED ARE IN CONCRETE NAILS SET FLUSH AT ELEVATIONS INDICATED.
 THOSE SPECIAL EXCEPTIONS PERTAINING TO THIS SURVEY AS SHOWN IN A TITLE REPORT DATED JANUARY 22, 2016, PREPARED BY ANWITTELL AND LISTED AS ITEMS 8 AND 9 ARE AS FOLLOWS:
 ITEM 8 IS A LIMITED ACCESS TO THE STATE HIGHWAY 99 BY THE TWO EXISTING DRIVEWAYS AS SHOWN HEREON.
 ITEM 9 IS AN EASEMENT FOR BUSINESS AND EXPRESS TO MAINTAIN THREE TREES WHICH ARE NOW IN THE VICINITY RIGHT OF WAY.

REGISTERED
**PROFESSIONAL
 LAND SURVEYOR**
 DATE: 02/04/2016
 FILE # A-19875
 100077
 Renewal: 10-31-19

SCALE: 1" = 20'
 DATE: MARCH 14, 2016
 REVISED: MARCH 14, 2016 - CORRECT MISCELLANEOUS TEXT

TERRASURVEY, INC.
 PROFESSIONAL LAND SURVEYORS
 274 FOURTH STREET
 ASHLAND, OREGON 97520
 (541) 482-6474
 9898990406
 JOB NO. 1168-19

RECEIVED
 JUN 1 1 2019



EXISTING LAND USE DATA		
	% OF SITE AREA	PROVIDED AREA (SQ. FT.)
BUILDING	10.4%	8,094 AC.
PAVEMENT/IMPERVIOUS LANDSCAPING	23.2%	8,361 AC.
LANDSCAPING	25.3%	8,154 AC.
TOTAL	100%	24,609 AC.

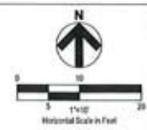
PROPOSED LAND USE DATA		
	% OF SITE AREA	PROVIDED AREA (SQ. FT.)
BUILDING	15.83%	12,040 AC.
PAVEMENT/IMPERVIOUS LANDSCAPING	23.33%	8,154 AC.
LANDSCAPING	15.83%	12,040 AC.
TOTAL	100%	32,234 AC.

**PAVING AREAS		
	EX. AREA (SQ. FT.)	PROP. AREA (SQ. FT.)
FULL DEPTH ASPHALT	14,217	12,120
CONCRETE	161	1,008
TOTAL	14,378	13,128

WALKS NOT INCLUDED:
WALKS AT PROPERTY LINE AND RIGHT OF WAY

PARKING STALLS		
	PROPOSED	PROPOSED
NUMBER OF SPACES	15	17
PARKING REQUIREMENTS	1 SPACE PER 4 SEATS = (38 SEATS / 4) = 14.75	+ 15 SPACES

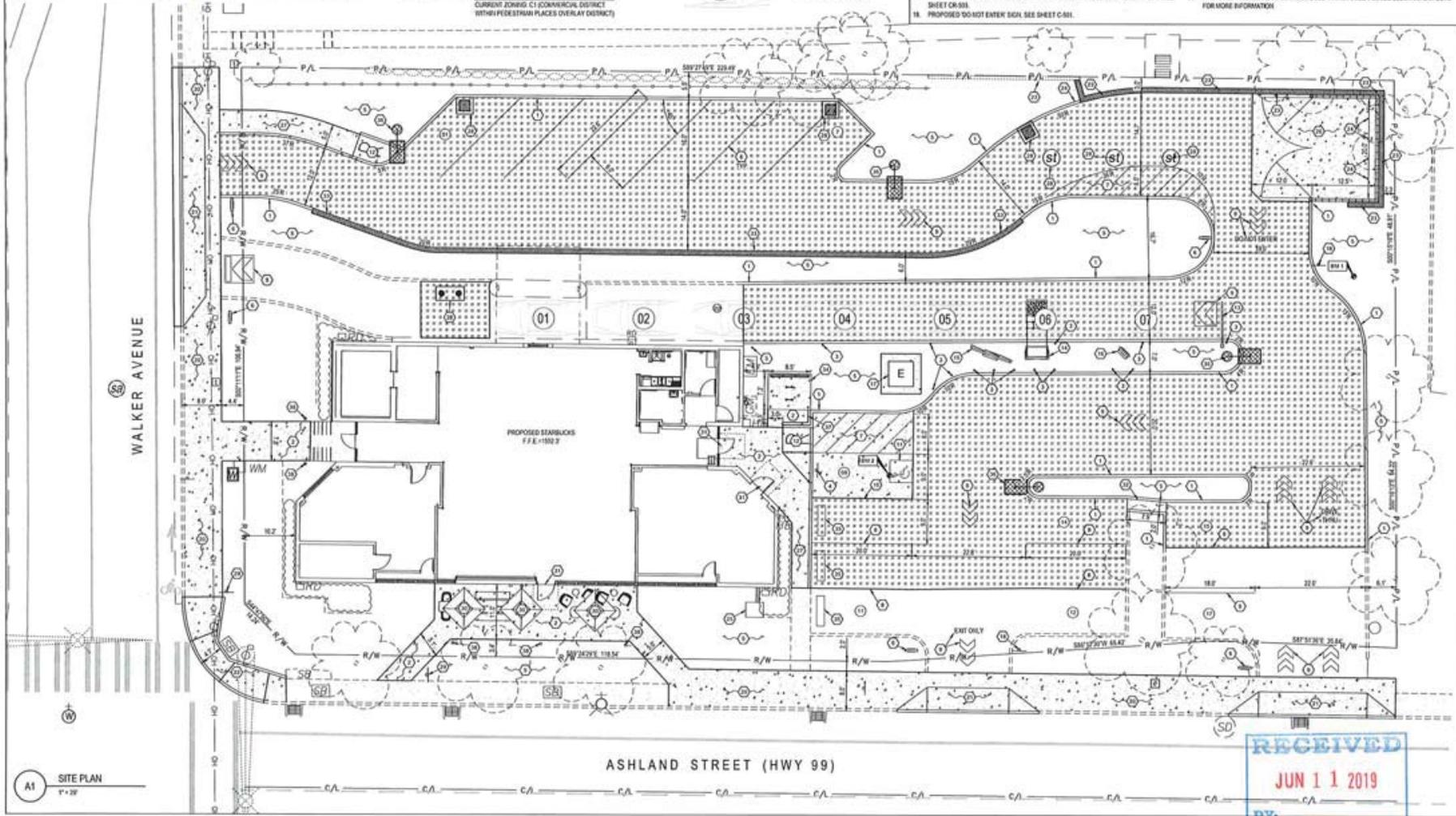
CURRENT ZONING: C-1 (COMMERCIAL DISTRICT WITHIN PEDESTRIAN PLACES OVERLAY DISTRICT)



LEGEND
(SEE SHEET C-001 FOR GENERAL LEGEND)

- PROPOSED HEAVY DUTY ASPHALT PER DETAIL, SHEET C-001
- PROPOSED CONCRETE
- CONSTRUCTION KEYNOTE
- PROPOSED PARKING SPACE NUMBER
- PROPOSED DRIVE THRU STACK CAR AND NUMBER

- PLAN KEYNOTES**
- PROPOSED P.C.C. CURB, SEE SHEET C-001.
 - PROPOSED P.C.C. WALK, SEE SHEET C-001.
 - PROPOSED BOLLARD, SEE SHEET C-001.
 - PROPOSED ADA PARKING SIGN PER ADA SPECIFICATIONS, SEE SHEET C-001.
 - PROPOSED LANDSCAPING AREA, SO ALL DISTURBED AREAS EXCEPT WHERE PLANTING BEDS ARE INDICATED.
 - PROPOSED ILLUMINATED DIRECTIONAL SIGN PER SIGN SUPPLIER SPECIFICATIONS. CONTRACTOR SHALL INSTALL FOUNDATION PER SIGN SUPPLIER DESIGN.
 - PROPOSED PAINTED TRANSVERSE STRIPING, SEE SHEET C-001.
 - PROPOSED PAINTED 4" WIDE SOLID STRIPE - WHITE ON ASPHALT, YELLOW ON CONCRETE, SEE SHEET C-001.
 - PROPOSED DIRECTIONAL PAVEMENT MARKINGS - WHITE ON ASPHALT, YELLOW ON CONCRETE, SEE SHEET C-001.
 - PROPOSED PAINTED 4" WIDE SOLID STRIPE - BENJAMIN MOORE M18 SAFETY & ZONE MARKING LATEX 501-41 - BLUE.
 - PROPOSED PAINTED INTERNATIONAL ADA SYMBOL PER ADA SPECIFICATIONS, SEE SHEET C-001.
 - PROPOSED ADA ACCESSIBLE RAMP PER ADA SPECIFICATIONS, SEE SHEET C-001.
 - PROPOSED DRIVE THRU CLEARANCE HEIGHT SIGN, SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND DETAILS.
 - PROPOSED DRIVE THRU CANOPY AND DIGITAL ORDER SCREEN, SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND DETAILS.
 - PROPOSED MENU BOARD, SEE ARCHITECTURAL DRAWINGS.
 - PROPOSED THE MENU BOARD, SEE ARCHITECTURAL DRAWINGS.
 - PROPOSED VULNERABLE TRANSFORMER, COORDINATE WITH ELECTRICAL COMPANY, SEE SHEET C-001.
 - PROPOSED DO NOT ENTER SIGN, SEE SHEET C-001.
 - NOT USED.
 - PROPOSED CURBED WALK PER CITY OF ASHLAND STANDARDS AND SPECIFICATIONS, SEE SHEET C-001.
 - PROPOSED DRIVE ENTRANCE PER CITY OF ASHLAND STANDARDS AND SPECIFICATIONS, SEE SHEET C-001.
 - PROPOSED ADA RAMP TYPE B PER CITY OF ASHLAND STANDARDS AND SPECIFICATIONS, SEE SHEET C-001. CONTRACTOR TO INSTALL CURB AROUND DECK, BOX.
 - PROPOSED RETAINING WALL, SEE STRUCTURAL SHEETS.
 - PROPOSED TRASH ENCLOSURE BOLLARD, SEE SHEET A-001.
 - PROPOSED CONDENSING UNIT, SEE MECHANICAL PLANS.
 - PROPOSED TRASH ENCLOSURE AND CONCRETE PAD, SEE SHEET A-001.
 - PROPOSED P.C.C. CURBED WALK, SEE SHEET C-001.
 - PROPOSED UTILITY STRUCTURES, SEE SHEET C-001.
 - PROPOSED RELOCATED TRAFFIC SIGN, CONTRACTOR TO INSTALL THEM PER ODOT SPECIFICATIONS.
 - PROPOSED FATIO EQUIPMENT, SEE ARCHITECTURAL PLANS.
 - PROPOSED X'S FROST SLAB, SEE STRUCTURAL PLANS.
 - PROPOSED CONCRETE CHANNEL, SEE SHEET C-001.
 - PROPOSED MODULAR RETAINING WALL, SEE STRUCTURAL PLANS.
 - PROPOSED BINE SHELTER, SEE ARCHITECTURAL PLANS.
 - PROPOSED WHEEL STOP, SEE SHEET C-001.
 - PROPOSED LIGHT POLE, SEE ELECTRICAL PLANS AND SIGN FOR FOUNDATION DETAIL.
 - PROPOSED DECORATIVE FENCE, SEE ARCHITECTURAL PLANS.
 - PROPOSED PUMP HASCOD 08H 008 LED 14 BOLLARD, SEE ELECTRICAL SHEETS FOR MORE INFORMATION.



STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

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STARBUCKS TEMPLATE VERSION: 0910.03.01

GPD Engineering and Architecture
Professional Corporation
520 SOUTH MAIN ST., SUITE 2531
ANDON, OH 44311
P: 330.572.2100 F: 330.572.2101
GPD PROJECT NO. 2018355.21

PROJECT NAME: **ASHLAND & WALKER**
PROJECT ADDRESS: **512 WALKER AVENUE ASHLAND, OR 97520**

STORE #: 448
PROJECT #: 02460-048
CASEWORK CONCEPT:
ISSUE DATE:
DESIGN MANAGER: R. WONG
LEAD/APP:
PRODUCTION DESIGNER: GPD GROUP
CHECKED BY: MJH

Revision Schedule			
Rev.	Date	By	Description

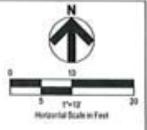
SHEET TITLE: **SITE PLAN**
SCALE: AS SHOWN
SHEET NUMBER: **C-111**

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A1 SITE PLAN
1" = 20'



- LEGEND**
(SEE SHEET C-001 FOR GENERAL LEGENDS)
- PROPOSED CONTOUR
 - EXISTING SPOT ELEVATION
 - PROPOSED ELEVATION @ FINISHED GROUND ELEVATION
 - TOP OF CURB ELEVATION
 - BOTTOM OF CURB ELEVATION
 - TOP OF CURB ELEVATION
 - BOTTOM OF WALL FINISH GRADE ELEVATION
 - WATCH EXISTING ELEVATION
 - PROPOSED DRAINAGE SLOPE & DIRECTION



NOTE:
GARDES SHOWN ON THIS SHEET ARE EARTHEN GARDES ON EITHER SIDE OF THE WALLS. REFER TO THE STRUCTURAL DETAILS FOR ELEVATIONS OF THE FOOTER AND WALL TOP.



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STARBUCKS TEMPLATE VERSION: 0315.05.01

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STORE #: 448
PROJECT #: 02450-048
CADWORKER CONCEPT:
ISSUE DATE:
DESIGN MANAGER: R. WONG
LEED AP:
PRODUCTION DESIGNER: GPD GROUP
CHECKED BY: RLH

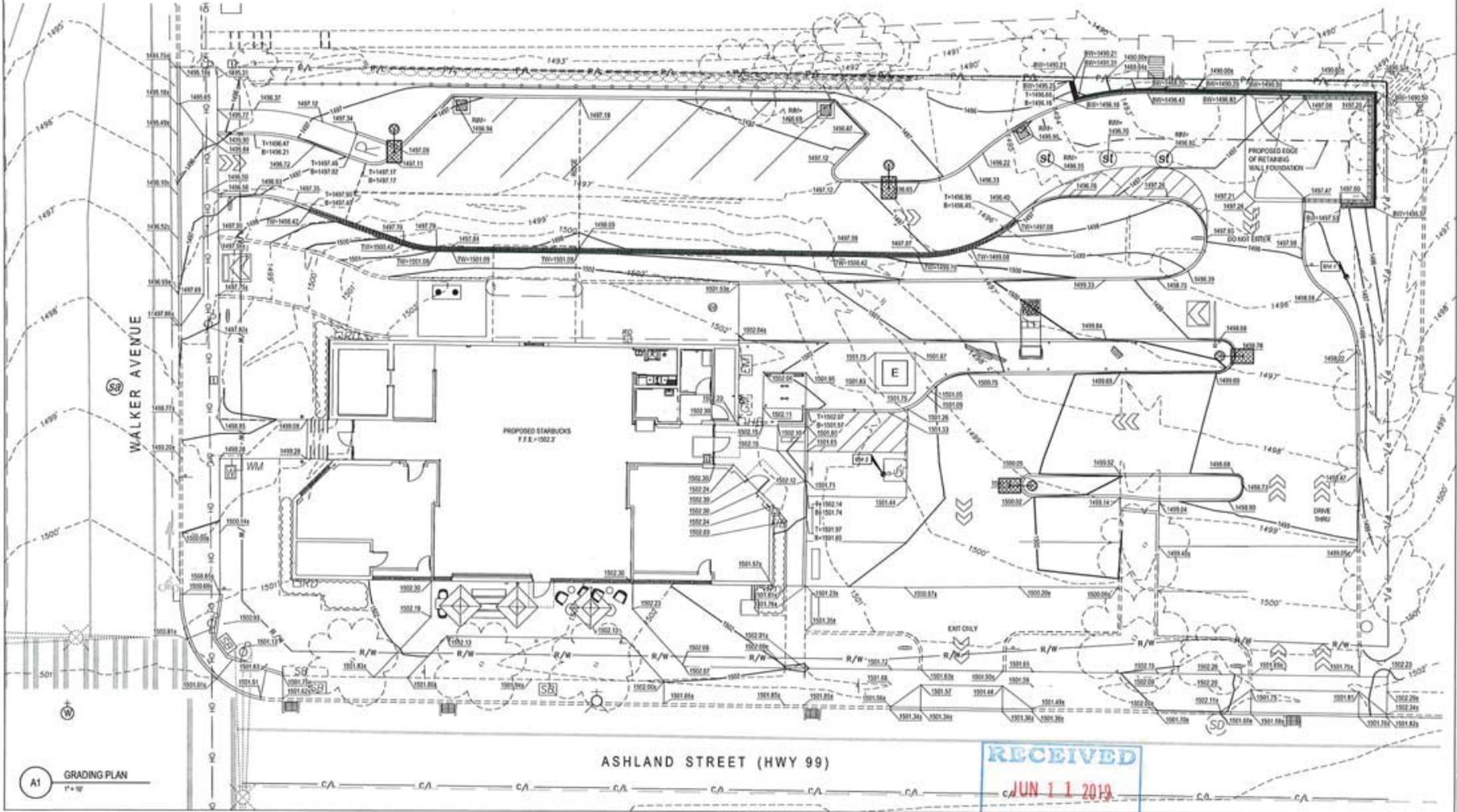
Revision Schedule

Rev	Date	By	Description

SHEET TITLE:
GRADING PLAN

SCALE: AS SHOWN

SHEET NUMBER:
C-121



RECEIVED
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BY:

A1 GRADING PLAN
1" = 1'



EXISTING STRUCTURES	PROPOSED STRUCTURES	PROPOSED STRUCTURES
ST 1 PROPOSED STORM MANHOLE # 00A SEE SHEET CR-502 R/W=1408.82	ST 1 PROPOSED STORM MANHOLE # 00A SEE SHEET CR-502 R/W=1408.82	AS 1 PROPOSED AQUA SHALE SEE SHEET CR-502 R/W=1408.25 12" R/W. (S)=1402.48 12" OUT R/W. (E)=1402.48
ST 2 PROPOSED 2X2 CATCH BASIN (SEE SHEET C-502) R/W=1408.55 12" R/W. (E)=1402.80	ST 2 PROPOSED 2X2 CATCH BASIN (SEE SHEET C-502) R/W=1408.55 12" R/W. (E)=1402.80	AF 1 PROPOSED AQUA FILTER (SEE SHEET CR-502) R/W=1408.25 12" R/W. (S)=1402.33 12" OUT R/W. (E)=1408.83
ST 3 PROPOSED 2X2 CATCH BASIN (SEE SHEET C-502) R/W=1408.85 12" R/W. (E)=1403.19	ST 3 PROPOSED 2X2 CATCH BASIN (SEE SHEET C-502) R/W=1408.85 12" R/W. (E)=1403.19	
ST 4 PROPOSED 2X2 CATCH BASIN (SEE SHEET C-502) R/W=1408.84 12" R/W. (S)=1403.58	ST 4 PROPOSED 2X2 CATCH BASIN (SEE SHEET C-502) R/W=1408.84 12" R/W. (S)=1403.58	
SAN 1 PROPOSED 275 GALLON SCHER CR-210 EXTENSION GARAGE INTERSECTION SEE SHEET CR-503 R/W=1502.00 4" R/W. PVC (S)=1500.71 4" R/W. PVC (OUT-S)=1505.83	SAN 1 PROPOSED 275 GALLON SCHER CR-210 EXTENSION GARAGE INTERSECTION SEE SHEET CR-503 R/W=1502.00 4" R/W. PVC (S)=1500.71 4" R/W. PVC (OUT-S)=1505.83	

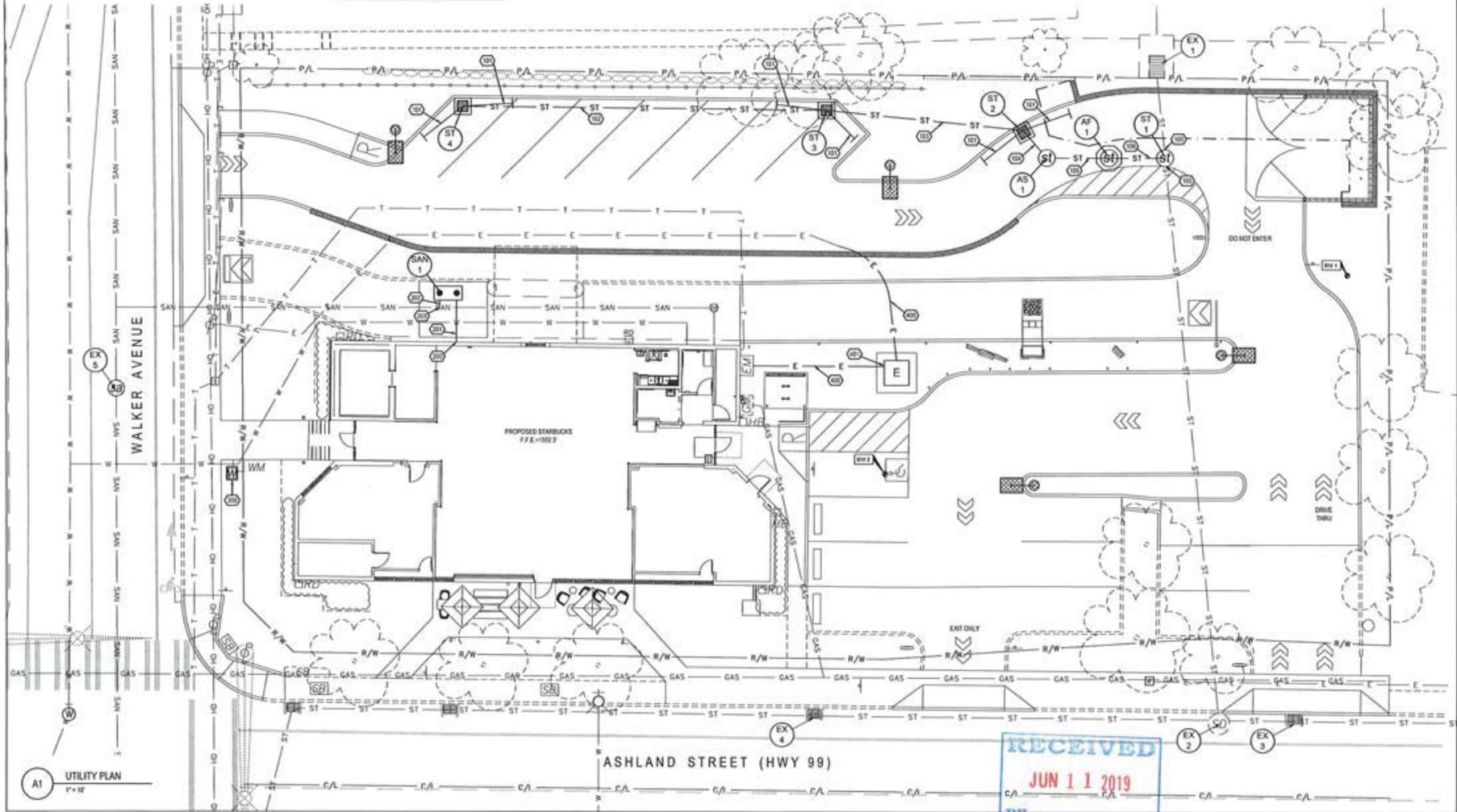


- PLAN KEYNOTES (K)**
- STORM**
- CONTRACTOR SHALL SEAL EXISTING PIPE CONNECTION WITH A WATERTIGHT JOINT.
 - PROPOSED FROGGER DRAIN. SEE SHEET C-502.
 - PROPOSED 12" I.F. OF 12" (HDP) STORM SEWER @ 1.5%
 - PROPOSED 36" I.F. OF 12" (HDP) STORM SEWER @ 1.5%
 - PROPOSED 12" I.F. OF 12" (HDP) STORM SEWER @ 1.5%
 - PROPOSED 12" I.F. OF 12" (HDP) STORM SEWER @ 1.5%
 - PROPOSED 12" I.F. OF 12" (HDP) STORM SEWER @ 1.5%
- SANITARY**
- PROPOSED 4" SANITARY R/W=1500.87.
 - PROPOSED 8" I.F. OF 4" PVC SANITARY SEWER @ 2.0%.
 - PROPOSED 2" I.F. OF 4" PVC SANITARY SEWER @ 2.0%.
 - PROPOSED SANITARY W/VE CONNECTION. CONTRACTOR SHALL FIELD VERIFY EXISTING SEWER DEPTH. THE CONTRACTOR SHALL NOTIFY ENGINEER IF FIELD CONDITIONS CONFLICT WITH DESIGN.
- WATER**
- CONTRACTOR TO INSTALL CODE COMPLIANT ENCLOSURE FOR WATER VALVES.

- ELECTRIC AND COMMUNICATIONS**
- PROPOSED ELECTRIC AND TELECOMMUNICATIONS SERVICE CONNECTION TO BE COORDINATED WITH THE UTILITY COMPANIES.
 - PROPOSED SUSPENDED ELECTRICAL TRANSFORMER PER ELECTRICAL COMPANY SPECIFICATIONS. I.E. TO VERIFY EXACT LOCATION AND SEE WITH UTILITY ENGINEER. SEE SHEET C-SAN FOR VAULT DETAIL.
- UTILITY CROSSINGS**
- GENERAL CROSSING NOTES: CONTRACTOR SHALL COORDINATE ALL CROSSINGS WITH THE UTILITY COMPANY. PRESSURIZED AND SECONDARY UTILITIES SHALL DEFLECT TO MAINFAN 10' CLEAR AT SANITARY OR STORM SEWER CROSSINGS.

LEGEND
(SEE SHEET C-001 FOR GENERAL LEGEND)

—ST—	PROPOSED STORM SEWER
—SAN—	PROPOSED SANITARY SEWER
—E—	PROPOSED UNDERGROUND ELECTRIC SERVICE
(K)	UTILITY CONSTRUCTION KEYNOTE



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ISSUE DATE:
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LEAD AP:
PRODUCTION DESIGNER: GPD GROUP
CHECKED BY: MJH

Revision Schedule

Rev	Date	By	Description

SHEET TITLE:
UTILITY PLAN

SCALE: AS SHOWN

SHEET NUMBER:
C-141



SCOPE OF WORK

- THIS WORK SHALL INCLUDE OF PERFORMING CLEARING AND GRUBBING, SOIL PREPARATION, FRESH GRADING, PLANTING AND FINISHING, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- QUANTITY TOLERANCE IS SUPPLIED FOR CONTRACTORS ASSISTANCE ONLY. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL PLANT MATERIALS AS PER PLAN.
- NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR WITHIN EXISTING OR NEARBY UTILITIES.

PRESERVATION/PROTECTION (IF APPLICABLE)

- CONTRACTOR SHALL MAINTAIN AND PRESERVE TREES AND SHRUBS NOT BEING REMOVED, INCLUDING THEIR ROOTS. TREE PROTECTION FENCING SHALL BE USED AT THE DMP LINE OF ALL TREES AND SHRUBS WITHIN 30 FEET OF CONSTRUCTION EXCEPT AS SHOWN ON PLAN. FENCING SHALL REMAIN IN PLACE UNTIL FINAL PLANT INSPECTION/COMPLETION. CONSTRUCTION MATERIALS SHALL NOT BE STOCKPILED WITHIN THIS OFFICED AREA AND VEHICLES AND OTHER EQUIPMENT SHALL BE OPERATED TO AVOID SOIL CONTACT.
- FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA EQUAL TO TWICE THE CIRCUMFERENCE (MEASURED 4" ABOVE THE GROUND LINE IN INCHES) EXPRESSED BY FEET. AS AN EXAMPLE, A CIRCUMFERENCE OF 16" WOULD HAVE A NO-CUT ZONE OF 28 FEET IN ALL DIRECTIONS FROM THE TREE. THIS SHOULD APPLY TO UTILITY SERVICES, IF FEASIBLE. THE ONLY EXCEPTION TO THIS REQUIREMENT WILL BE THOSE SPECIFICALLY ALLOWED BY THE LANDSCAPE ARCHITECT, SPECIFICATIONS OR AS INDICATED ON THE PLANS.
- TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING EQUIPMENT OPERATIONS SHALL BE TREATED IN ACCORDANCE WITH THE ARBOR CULTURAL STANDARDS OF THE CITY.

PLANT MATERIALS

- GENERAL - ALL MATERIALS SHALL BE OF ITS KIND AVAILABLE AND SHALL HAVE BEEN GROWN IN A CLIMATE SIMILAR TO THAT ON SITE.
- PLANTS - ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECT DAMAGE AND FREE OF PLANT MATERIAL SHALL CONFORM TO AHS 2013 AMERICAN STANDARDS FOR NURSERY STOCK.
- VARIETIES AND SIZES OF PLANTS SHALL BE AS SHOWN ON DRAWINGS.
- PLANTS SHALL BE IN A HEALTHY, VIGOROUS CONDITION, FREE OF DEAD OR BROKEN BRANCHES, SCARS THAT ARE NOT COMPLETELY HEALED, FROST CRACKS, DISFIGURING WOUNDS, BROKEN OR ABRADED BARK, REDDISH/BROWN LEADERS OR BRANCHES, OR ABNORMALITIES OF ANY KIND. PLANTS SHALL NOT HAVE MULTIPLE LEADERS, UNLESS THIS IS THE NATURAL FORM.
- BALLED AND BURLAPPED (BIB) PLANTS SHALL BE DUG WITH A FIRM ROOT BALL OF NATURAL EARTH OF A SIZE IN PROPORTION TO THE PLANTS SIZE. AS MEASURED BY CALIPER, WOOD OR SPREAD. BALLED AND BURLAPPED PLANTS SHALL BE HANDLED ONLY BY THE ROOT BALL, NOT BY THE TRUNK OR BRANCHES. AS THIS MAY BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM. CONTAINER PLANTS SHALL HAVE BEEN ESTABLISHED FOR A MINIMUM OF ONE FULL GROWING SEASON IN THEIR CONTAINERS BEFORE INSTALLATION. CONTAINER PLANTS SHALL BE HANDLED ONLY BY THE CONTAINER, NOT BY THE TRUNK OR BRANCHES, AS THIS MAY FLAIL THE PLANT OUT OF THE CONTAINER AND BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM.
- PLANTS SHALL BE PROTECTED FROM DRYING OUT DURING SHIPPING WITH TARPULANS OR OTHER CONTAINERS. PLANTS SHALL BE PROTECTED FROM DRYING OUT AFTER DELIVERY BY PLANTING IMMEDIATELY. IF THIS IS NOT POSSIBLE, THE ROOT BALL SHALL BE COVERED WITH PEAT MOSS OR EARTH, AND WATERED FREQUENTLY TO KEEP IT MOIST UNTIL PLANTING.
- DO NOT HANDLE, MOVE, BEND, OR OTHERWISE TREAT PLANTS SO AS TO DAMAGE THE ROOT BALL, ROOTS, TRUNK, OR BRANCHES IN ANY WAY.

TOPSOIL

- TOPSOIL HAS BEEN (OR SHALL BE) STOCKPILED FOR REUSE IN LANDSCAPE WORK. IF QUANTITY OF STOCKPILED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO COMPLETE LANDSCAPE WORK. REPORTED TOPSOIL SHALL CONSIST OF LOOSE, FRAGILE, LOAMY TOPSOIL WITHOUT ADJUSTMENT OF SUBSOIL, OR HEAVY, ACCEPTABLE TOPSOIL. SHALL CONTAIN NOT LESS THAN 3 PERCENT FOR MORE THAN 20 PERCENT ORGANIC MATTER.
- PLANTING BACKFILL FOR PARKING LOT ISLANDS SHALL CONSIST OF A HOMOGENEOUS MIXTURE OF 3 PARTS TOPSOIL, TO ONE PART SPANULUM FLAT INSTEAD OVER A 4" THICKNESS OF NO. 57 AGGREGATE.

SOIL CONDITIONING

- OBTAIN LABORATORY ANALYSES OF STOCKPILED AND REPORTED TOPSOIL, COMPLETE WITH RECOMMENDATIONS FOR SOIL AMENDMENT.
- BEFORE USING, CLEAN TOPSOIL OF ROOTS, PLANTS, SOIL, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS MANUALLY OR USING TOY PLANT GROWING.
- FOR SPECIFIED SOIL AMENDMENTS AND FERTILIZERS WITH TOPSOIL AT RATES SPECIFIED BY THE LAB REPORT. DELAY MIXING OF FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
- FOR PLANTING BEDS AND LARNS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING. MIX LINE WITH DRY SOIL PRIOR TO MIXING OF FERTILIZER.
- PREVENT LEAKS FROM CONTRACTOR ROOTS OF ACID-DROPPED PLANTS.
- APPLY PHOSPHORIC ACID FERTILIZER (OTHER THAN THAT CONSTITUTING A PORTION OF COMPLETE FERTILIZERS) DIRECTLY TO SUBGRADE BEFORE APPLYING PLANTING SOIL AND TILING.

PLANTING SOIL

- PLANTING SOIL SHALL BE CLEAR OF ALL STONES AND DEBRIS 1" OR LARGER AND CONSIST OF THE FOLLOWING: 70% ORGANIC COMPOST, 15% ACCEPTABLE TOPSOIL,

OTHER MATERIALS

- BED EDGING - TRENCH AROUND LANDSCAPE BEDS TO CREATE SHARP, 45 DEGREE EDGE, TYPICAL AT ALL PLANTING BED EDGES WHERE THEY MEET LAWN.
- WALK: ALL LANDSCAPE AREAS SHALL BE FINISHED WITH DOUBLE SPREEDDED HARDWOOD WALK. WALK SHALL BE FREE FROM DELTETOXIC MATERIALS AND SUITABLE FOR TOP DRESSING OF TREES, SHRUBS, OR PLANTS. INSTALL WALK TO A DEPTH OF THREE (3) INCHES AND COLOR TO BE DETERMINED BY OWNER.
- LANDSCAPE AREAS ADJACENT TO BUILDING SHALL RECEIVE THREE (3) INCH DEPTH OF SASTA GRAVEL, MESH SIZE 1/2 GRAVEL TO BE WASHED.
- WEED BARRIER - POLYETHYLENE FILTER FABRIC DESIGNED TO PERMIT WATER BUT TRAP ROOTS PREVENTING WEED GROWTH TO BE INSTALLED IN ALL PLANTING BEDS.

GENERAL WORK PROCEDURES

- LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANSHIP STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANTING BY THE OREGON STANDARDS LANDSCAPE SPECIFIC CATALOG (ASLA) AND ANY LOCAL LANDSCAPE ORDINANCES.
- CONTRACTOR SHALL OBTAIN A COPY OF LOCAL ORDINANCES REGARDING ACCEPTABLE PLANT AND PLANTING DETAILS AND ABIDE BY THOSE ORDINANCES AND DETAILS.
- ENGINEER RESERVES THE RIGHT TO REJECT ALL PLANT MATERIAL, DEEMED NOT ACCEPTABLE.
- ANY PROPOSED PLANT SUBSTITUTIONS SHALL BE EQUIVALENT IN FORM, HABIT, STRUCTURE, BRANCHING AND LEAF TYPE AND MUST BE ISSUED TO THE LANDSCAPE ARCHITECT FOR APPROVAL, BY WRITING, PRIOR TO INSTALLATION.

WEEDING

- BEFORE AND DURING PRELIMINARY GRADING AND FRESH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND EXPOSED OF AT THE CONTRACTORS EXPENSE.

PLANTING

- POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE OWNER BEFORE EXCAVATING PITS. MARKING NECESSARY AS INDICATED AS DIRECTED.
- PLANTING PITS SHALL BE AS PER DETAILS.
- PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL WITH PLANTING SOIL AROUND BALL OF PLANT. COMPLETE BACKFILLING AND WATER THOROUGHLY.
- EACH TREE AND SHRUB SHALL RECEIVE THE LANDSCAPERS RECOMMENDATION (3-6") GRAVEL OR WETTING CORNMEAL TECHNOLOGY FERTILIZER OR APPROVED OTHER, APPLY FERTILIZER PER MANUFACTURERS SPECIFICATIONS.
- WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL, AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
- INSTALL BED EDGING AND WALK PER MATERIALS SPECIFICATION AND DETAILS.
- REMOVE ALL SALES TAGS, STRINGS, STRIPS, WIRE, ROPE OR OTHER MATERIALS THAT MAY INHIBIT PLANT GROWTH BOTH ABOVE AND BELOW THE SURFACE OF THE SOIL.
- REMOVE ANY BARKER, SUCKERING, DISEASED, CROSS-CROSSED OR AESTHETICALLY UNPLEASING BRANCHES BACK TO LIVE LEADER OR SIDE LATERAL WITH A FLUSH CUT.

FINISH GRADING

- ALL AREAS WILL BE GRADED BY THE CONTRACTOR TO SUBSTANTIALLY PLUS MINUS 0.1 FOOT OF FINISH GRADE.
- ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN, UNIFORM PLANE WITH NO ABNOR CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY FROM THE BUILDING.
- ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
- PARKING LOT ISLAND SHALL BE BACKFILLED AS PART OF THIS CONTRACT.

GROUND COVER

- SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
- WALK GROUND COVER WITH 2" THICKNESS OF SPANULUM FLAT.
- IMMEDIATELY AFTER FINISHING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
- ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WATERED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURERS RECOMMENDATION.

GUARANTEE

- CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER.

IRRIGATION

- CONTRACTOR SHALL PROVIDE & INSTALL AN IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF THE SITE. AREAS WITHIN 1 FEET OF BUILDING WALLS SHALL BE IRRIGATED BY DRIP IRRIGATION OR SIMILAR. CONTRACTOR SHALL ENSURE BUILDING WALLS AND WINDOWS WILL NOT BE DAMAGED OR STAINED BY IMPROPER IRRIGATION INSTALLATION OR POOR SELECTION OF FITURES. SYSTEM SHALL INCLUDE ALL APPURTENANCES & BE APPROVED BY OWNER.
- IRRIGATION CONTRACTOR SHALL PROVIDE A METHOD FOR WATERIZATION. WATERIZATION SHALL BE PERFORMED BY CONTRACTOR UPON COMPLETION IF SYSTEM IS INSTALLED BETWEEN NOVEMBER 1 AND MARCH 31.
- G.C. TO ENSURE ANY AND ALL SPRINKLER HEADS ARE ADDED APPROPRIATELY FOR LANDSCAPING SO AS NOT TO INTERFERE WITH CUSTOMERS IN OT LAKE.

LANDSCAPE NOTES & PLANTING SPECIFICATIONS

CLEANUP

- UPON THE COMPLETION OF ALL PLANTING OPERATIONS AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. AN ACCEPTABLE CONDITION SHALL BE AS DEFINED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

MAINTENANCE (MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION)

- MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION.
- MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CLEANING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. REMOVE PLANTING SAUCERS. RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
- MAINTAIN LAWNS BY WATERING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN FREE OF BROODS OR BARE AREAS.
- MAINTAIN THE LANDSCAPING BY KEEPING ALL PLANTS DISEASE FREE AND PLANTING BEDS GROUNDED, EXCEPT IN NATURALLY OCCURRING VEGETATION AREAS.
- REPLACE ANY REQUIRED PLANTINGS, WHICH SEVERELY DIE OR DIE OR AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT APPROPRIATE PLANTING SEASON.

SOODING

- SOO SHALL BE FIRST GRADE CERTIFIED BLENDS OF THE FOLLOWING SPECIES PER ADDRESS ZONE CONTAINING NOT MORE THAN 10 PERCENT OF OTHER GRASSES AND CLOVERS, AND FREE FROM ALL NOXIOUS WEEDS.

- ZONES 1 & 2: APPROVED BLUE GRASS BLEND
- ZONE 3: APPROVED FESCUE BLEND
- ZONES 7 & 8: APPROVED BERMAHA BLEND
- ZONES 9 & 10: APPROVED ST. AUGUSTINE FLORIANUM BLEND

- SOO SHALL BE RECENTLY MOISTED TO A HEIGHT OF NOT LESS THAN 3 INCHES. IT SHALL BE CUT BY STRIPS OF NOT LESS THAN 1 FEET AND NOT OVER 1 FT. WITH A UNIFORM WIDTH OF NOT OVER 24 INCHES.
- SOO SHALL BE CUT TO A DEPTH EQUAL TO THE GROWTH OF THE FIBROUS ROOTS BUT BY NO CASE LESS THAN 1 INCH.
- SOO SHALL BE DELIVERED TO THE JOB WITHIN 24 HOURS AFTER BEING CUT AND SHALL BE REINSTALLED WITHIN 48 HOURS AFTER BEING CUT.
- BEFORE SOO IS PLACED, THE SOO BED HILL HAVE BEEN EXCAVATED TO SUCH A DEPTH THAT WHEN THE SOO IS PLACED THE TOP OF THE SOO SHALL BE FLUSH WITH THE SURROUNDING GRADE.
- NO SOO SHALL BE PLACED WHEN THE TEMPERATURE IS BELOW 32 DEGREE F. NO FROST SOO SHALL BE PLACED NOR SHALL ANY SOO BE PLACED ON FROZEN SOIL. WHEN SOO IS PLACED BETWEEN THE DATES OF JUNE 1ST AND OCTOBER 15TH, IT SHALL BE COVERED IMMEDIATELY WITH A STRAW MULCH 1 INCH THICK (LOOSE MEASUREMENT).
- AFTER LAYING, THE SOO SHALL BE WATERED THOROUGHLY AND TAMPED WITH APPROVED SOO TAMPERING SUFFICIENTLY TO BRING THE SOO INTO CLOSE CONTACT WITH THE SOO BED AND INSURE TIGHT JOINTS BETWEEN THE SECTIONS OR STRIPS.
- THE CONTRACTOR SHALL KEEP ALL SOOED AREAS INCLUDING SUBGRADE, THOROUGHLY MOIST FOR 30 DAYS AFTER SOODING.
- THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER. SOO SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.

SEEDING

- GRASS SEED SHALL BE FRESH, CLEAN, DRY, NEW-CROP SEED COMPLYING WITH THE ASSOCIATION OF OFFICIAL SEED ANALYSTS' RULES FOR TESTING SEEDS FOR PURITY AND GERMINATION TOLERANCES.
- ALL AREAS TO BE SEEDDED SHALL RECEIVE NO LESS THAN FIVE POUNDS OF SEED PER ONE THOUSAND SQUARE FEET. APPLY SEED AND PROTECT WITH STRAW MULCH AS REQUIRED FOR NEW LAWNS. GRASS SEED MIX SHALL CONSIST OF THE FOLLOWING:

PROPORTION NAME	MIN. %	MAX. %	MIN. % PURE SEED	MAX. % SEED LOSS
30% KENTUCKY BLUEGRASS (POA PRATENSIS)	80	85	0.80	0.85
30% CREPINO RED FESCUE (FESTUCA RUBRA)	85	90	0.85	0.90
PERENNIAL RYE GRASS (L. CLAVA PERENNIS)	90	95	0.90	0.95
20% ANNUAL RYEGRASS (L. CLAVA MULTIFLORA)	85	90	0.85	0.90

PLANTING SCHEDULE

- ALL PLANTING IS RECOMMENDED TO BE DONE WITHIN THE FOLLOWING DATES. WHEN PLANTING OUTSIDE THESE DATES, WRITTEN DOCUMENTATION SHALL BE PROVIDED THAT SURVIVAL OR REPLACEMENT WILL BE ENSURED. NO PLANTING SHALL BE DONE IN FROZEN SOIL.

NORMAL PLANTING SEASONS	SPRING	FALL
ALL TREES AND SHRUBS	APRIL 15-MAY 15	OCTOBER 1-DECEMBER 1
EVERGREENS	APRIL 15-MAY 15	OCTOBER 1-NOVEMBER 15
GRASS COVERS	APRIL 1-JUNE 1	WHEN SOO IS WORKABLE
SEED AND MULCH	APRIL 15-MAY 15	OCTOBER 1-NOVEMBER 15

GENERAL NOTE

- ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE WITHIN THE RIGHT-OF-WAY SHALL BE FINE GRADED TO RESTORE POSITIVE DRAINAGE. HAVE A 4" LAYER OF TOPSOIL APPLIED AND BE SEEDDED ACCORDING TO SPECIFICATIONS ON THIS SHEET.

IRRIGATION

- CONTRACTOR FIELD VERIFY IF EXISTING IRRIGATION IS PRESENT. DETERMINE POINT OF CONNECTION, SYSTEM PRESSURE, FITURES, TYPES, AND POTENTIAL FOR EXPANSION.
- IF FOUND THAT THE EXISTING IRRIGATION SYSTEM IS CAPABLE OF EXPANSION AND REUSE, THAT SHALL BE MODIFIED TO PROVIDE 100% COVERAGE OF THE LANDSCAPE AREA.
- IF THE EXISTING IRRIGATION SYSTEM IS NOT CAPABLE OF EXPANSION, CONTRACTOR TO INSTALL A NEW CONTROLLER, BOOSTER PUMP, AND OTHER APPURTENANCES REQUIRED FOR A COMPLETE IRRIGATION SYSTEM.
- IRRIGATED AREAS SHALL BE IRRIGATED BY DRIP IRRIGATION OR SIMILAR FITURES BY THE SAME SUPPLIER. CONTRACTOR SHALL ENSURE BUILDING WALLS AND WINDOWS WILL NOT BE DAMAGED OR STAINED BY IMPROPER IRRIGATION INSTALLATION OR POOR SELECTION OF FITURES.
- SYSTEM SHALL INCLUDE ALL SPRINKLER FITURES, DRIP TUBING, FITTINGS, VALVES, IRRIGATION AND CONTROLS TO PROVIDE A COMPLETE FUNCTIONAL SYSTEM THAT SHALL COMPLY WITH CITY CODE.
- PRIOR TO UPDATING THE IRRIGATION SYSTEM, A CERTIFIED IRRIGATION DESIGNER SHALL PROVIDE SHOP DRAWINGS TO ENGINEER FOR APPROVAL.
- UPON APPROVAL OF SHOP DRAWINGS, THE UPDATED IRRIGATION SYSTEM SHALL BE APPROVED BY OWNER FOR FINAL ACCEPTANCE.



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STARBUCKS TEMPLATE VERSION: 02/15/05/01

GPD Engineering and Architecture
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 AKRON, OH 44311
 P. 330.572.2100 F. 330.572.2101
 GPD PROJECT NO. 2018355.21



PROJECT NAME: ASHLAND & WALKER
PROJECT ADDRESS: 512 WALKER AVENUE ASHLAND, OR 97520

STORE #: 448
 PROJECT #: 02460-048
 CAD/DRAWING CONCEPT:
 ISSUE DATE:
 DESIGN MANAGER: R. WONG
 LEAD G.A.P.
 PRODUCTION DESIGNER: GPD GROUP
 CHECKED BY: M.H.

Revision Schedule

Rev.	Date	By	Description
1	05/13/19	JAW	PLANNING COMMENTS

SHEET TITLE:
LANDSCAPE NOTES

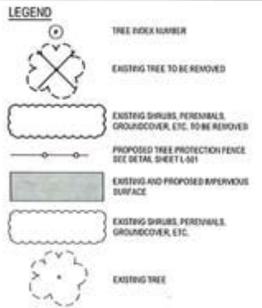
SCALE: AS SHOWN

SHEET NUMBER:
L-001



TREE INDEX

1. 6" RICINSE CEDAR	17. 14" CHERRY PLUM
2. 6" OREGON WHITE OAK	18. 14" CHERRY PLUM
3. 2" 1/2" MAULT BRN BLACK LOCUST	19. 14" SWITE TOUN
4. 2" 1/2" MAULT BRN BLACK LOCUST	20. 4" NORTHERN RED OAK
5. 6" BLACK LOCUST	21. 14" RED MAPLE
6. 6" RICINSE CEDAR	22. 14" RED MAPLE
7. 6" 1/2" MAULT BRN BLACK LOCUST	23. 14" RED MAPLE
8. 6" 1/2" MAULT BRN BLACK LOCUST	24. 22" RED MAPLE
9. 6" CHERRY PLUM	25. 6" NORTHERN RED OAK
10. 12" 1/2" MAULT BRN BLACK LOCUST	26. 8" TRIDENT MAPLE
11. 6" 1/2" MAULT BRN BLACK LOCUST	27. 4" TRIDENT MAPLE
12. 3" 1/2" MAULT BRN BLACK LOCUST	28. 14" DOGWOOD
13. 6" 1/2" MAULT BRN BLACK LOCUST	29. 8" TRIDENT MAPLE
14. 6" HORNAY SIMPLE	30. 6" RICINSE CEDAR
15. 14" CHERRY PLUM	31. 16" ASH MAPLE
16. 14" CHERRY PLUM	32. 4" FIELD MAPLE



- TREE PROTECTION NOTES**
- SEE SHEET L-111 FOR PROPOSED PLANTING LOCATIONS PER LANDSCAPE PLAN
 - NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE INCLUDING, BUT NOT LIMITED TO, DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL, WASTE STEEL, EQUIPMENT, OR PARKED VEHICLES.
 - THE TREE PROTECTION ZONE SHALL REMAIN FREE OF CHEMICALLY HAZARDOUS MATERIALS AND LIQUIDS SUCH AS PAINTS, SOLVENTS, CLEANING SOLUTIONS, PETROLEUM PRODUCTS, CONCRETE OR DRY WALL EXCESS, AND CONSTRUCTION DEBRIS OR RUMBLE.
 - NO EXCAVATION, TREECUTTING, GRADING, ROOT PRUNING, OR OTHER ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE.
 - CONTRACTOR SHALL NOT PROCEED WITH ANY CONSTRUCTION ACTIVITY, EXCEPT INSTALLATION OF EROSION CONTROL MEASURES, UNTIL THE CITY OF ASHLAND HAS INSPECTED AND APPROVED THE INSTALLATION OF THE REQUIRED TREE PROTECTION MEASURES.



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STARBUCKS TEMPLATE VERSION: 0208.05.01

GPD Engineering and Architecture
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 AKRON, OH 44311
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 GPD PROJECT NO.: 2018355.21



PROJECT NAME:
 ASHLAND & WALKER

PROJECT ADDRESS:
 512 WALKER AVENUE
 ASHLAND, OR 97520

STORE #: 448
PROJECT #: 02460-048
CASEWORK CONCEPT:
ISSUE DATE:
DESIGN MANAGER: R. WONG
LEED AP:
PRODUCTION DESIGNER: GPD GROUP
CHECKED BY: ALH

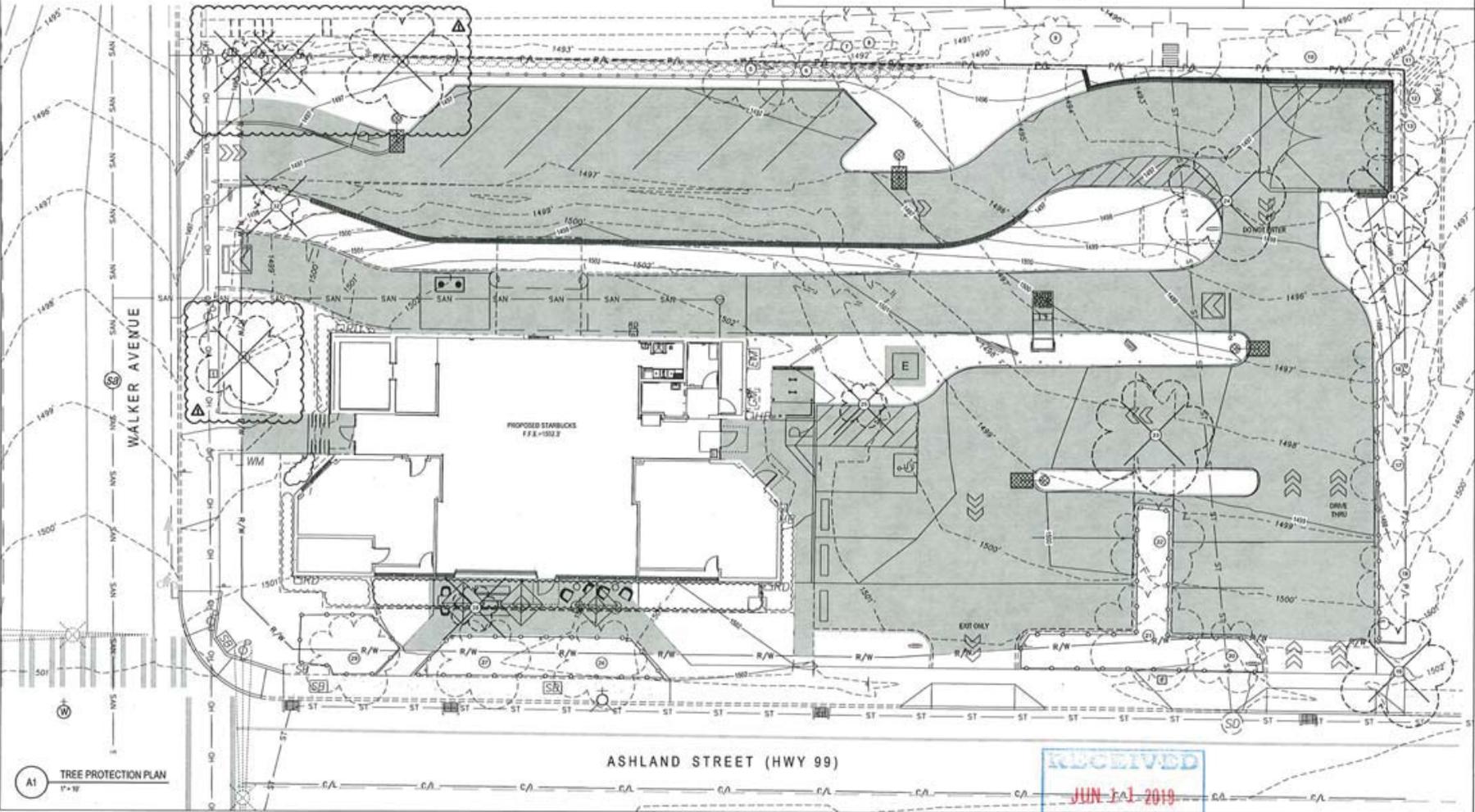
Revision Schedule

Rev	Date	By	Description
1	05/18/19	ALH	PLANNING/ARCHITECT COMMENTS

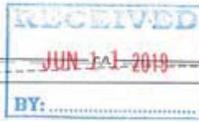
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 TREE PROTECTION PLAN

SCALE: AS SHOWN

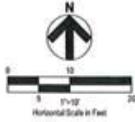
SHEET NUMBER:
 L-101



ASHLAND STREET (HWY 99)



A1 TREE PROTECTION PLAN
 1" = 1'



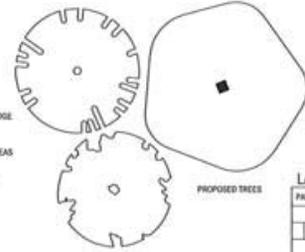
PLANT LIST

Symbol	Botanical Name	Common Name	Qty.	Min. Size	Condition	Remarks
Ab	<i>Aralium nudicaule</i>	Trident Maple	5	3" Cal.	Cont.	Specimen
Bx	<i>Betula utilis</i> var. <i>insularis</i>	Wintergreen Boxwood	21	24" H	B&B	3' o/c
Cp	<i>Cotoneaster procumbens</i>	Little Dipper Cotoneaster	41	No. 3	Cont.	3' o/c
Dc	<i>Daphne x burkwoodii</i>	Carol Mackie Daphne	33	18" H, No. 3	Cont.	3' o/c
Fg	<i>Festuca glauca</i>	Eljah Blue Fescue	96	No. 2	Cont.	1.5' o/c
Mt	<i>Muhlenbergia missouriensis</i>	Red-Leafed Muhlenbergia	121	No. 1	Cont.	24" o/c
Nb	<i>Nandina domestica</i>	Obsession Heavenly Bamboo	27	24" H, No. 5	Cont.	3' o/c
Pc	<i>Prunus caroliniana</i>	Cherry Plum	2	2" Cal.	Cont.	Specimen
Pl	<i>Prunus laurocerasus</i>	Cherry Laurel	7	4" H	B&B	4' o/c, Full to ground
Po	<i>Prunus laurocerasus</i>	Otto Luyken Cherry Laurel	24	34" H	B&B	3' o/c
Qr	<i>Quercus rubra</i>	Northern Red Oak	3	3" Cal.	Cont.	Specimen
Sh	<i>Sarcococca hookeriana</i> humilis	Fragrant Valley Himechama Sweet Box	10	No. 5	Cont.	3' o/c
Tc	<i>Tilia cordata</i>	Little Leaf Linden	1	3" Cal.	Cont.	Specimen

LEGEND



EXISTING TREE AND DIAMETER SIZE
 EXISTING SHRUBS
 PROPOSED LANDSCAPE BED EDGE
 PROPOSED GRAVEL WALK AREAS
 PROPOSED SHRUBS, GRASSES AND PERENNIALS
 PROPOSED PLANT QUANTITY AND SYMBOL
 PROPOSED SEEDING AREA

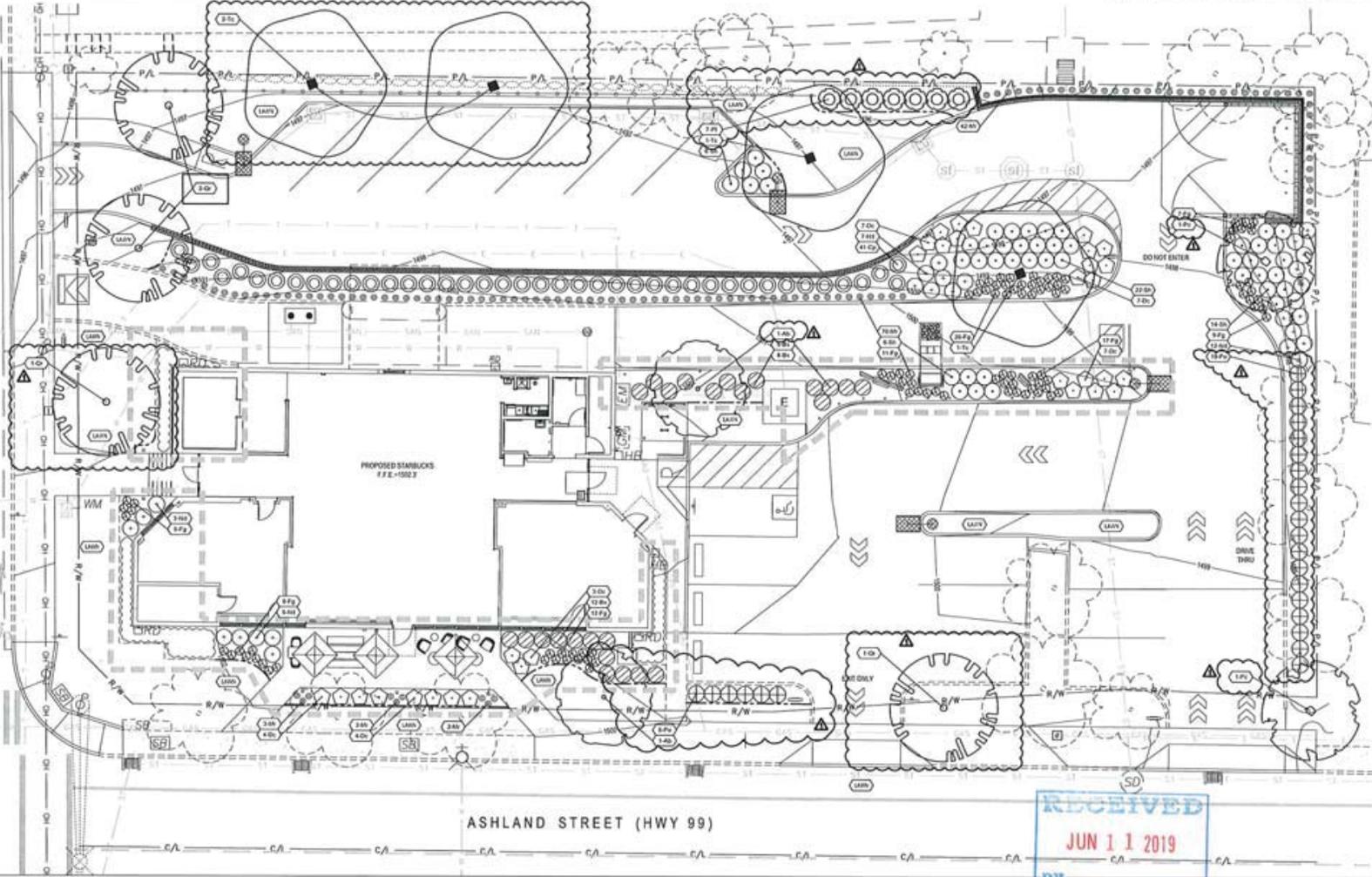


LANDSCAPE NOTES

- ALL DISTURBED AREAS WITHIN THE RIGHT OF WAY SHALL BE GRADED TO MATCH EXISTING CONDITIONS AND SEEDED PER SHEET L-01.
- PLANTING BEDS ADJACENT TO THE BUILDING SHALL RECEIVE GRAVEL MATCH PER SHEET L-01.

LANDSCAPE ANALYSIS

REQUIREMENT	PROVIDED
7% OF TOTAL PARKING AREA SHALL COVERED BY LANDSCAPING	2,625 SF
18 SQ FT TOTAL PARKING AREA X 27' X 144 SF = 7% PROVIDED 2,625 SF	
1 TREE PER 7 PARKING SPACES	4 TREES
17 TOTAL PARKING SPACES / 7 = 2.4 TREES	



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STARBUCKS TEMPLATE VERSION: 020105.01



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 GPD PROJECT NO. 2018355.21



06/10/2019
 EXPIRES: 06/30/2020

PROJECT NAME:
 ASHLAND & WALKER
PROJECT ADDRESS:
 512 WALKER AVENUE
 ASHLAND, OR 97520

STORE #: 448
PROJECT #: 02460-048
CASEWORK CONCEPT:
ISSUE DATE:
DESIGN MANAGER: R. YONG
LEAD ARCHITECT:
PRODUCTION DESIGNER: GPD GROUP
CHECKED BY: MLH

Rev.	Date	By	Description
01	05/15/19	MLH	LANDSCAPE ARCHITECT COMMENTS

SHEET TITLE:
 LANDSCAPE PLAN
SCALE: AS SHOWN
SHEET NUMBER:
 L-111

A1 LANDSCAPE PLAN
 1" = 1'



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STARBUCKS TEMPLATE VERSION: 0215.05.19



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 Professional Corporation
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 AKRON, OH 44311
 P: 330.572.2100 F: 330.572.2101
 GPD PROJECT NO. 2018355.21



06/10/2019
 EXPIRES: 06/30/2020

PROJECT NAME:
ASHLAND & WALKER

PROJECT ADDRESS:
 512 WALKER AVENUE
 ASHLAND, OR 97520

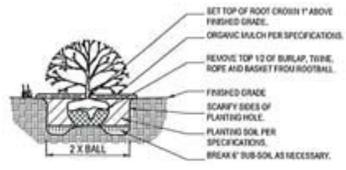
STORE #: 468
 PROJECT #: 02460-048
 CASEWORK CONCEPT:
 ISSUE DATE: A. YONG
 DESIGN MANAGER: A. YONG
 LEE @ AP
 PRODUCTION DESIGNER: GPD GROUP
 CHECKED BY: ALJ

Revision Schedule			
Rev	Date	By	Description

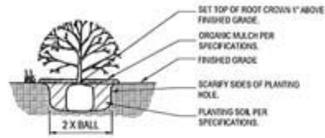
SHEET TITLE:
LANDSCAPE DETAILS

SCALE: AS SHOWN

SHEET NUMBER:
L-501



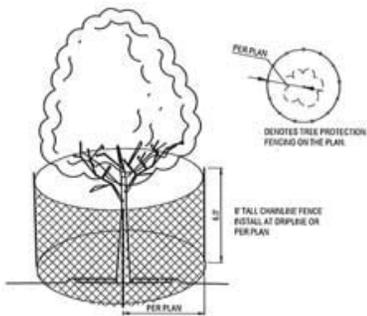
BALL & BURLAP SECTION



CONTAINER SECTION

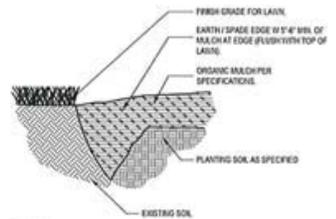
- GENERAL NOTES:
1. PRUNE ROOTS IF BALL IS ROOTBOUND.
 2. REMOVE ALL CONTAINERS AND NON-BIODEGRADABLE BURLAP.
 3. WHEN BACKFILLING PLANT PIT, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL BY WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND CONTINUE TO PUDDLE AND FILL AS NECESSARY.

A3 SHRUB PLANTING DETAIL
 N.T.S.



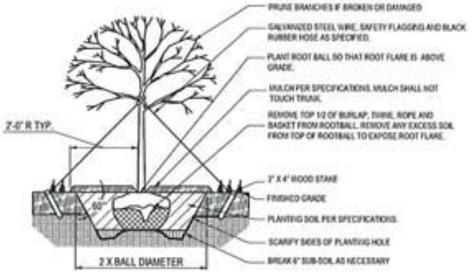
- GENERAL NOTES:
1. STEEL POSTS SHALL BE PLACED NO FARTHER THAN TEN FEET APART.
 2. FENCE SHALL BE FLUSH WITH FINISH UNDISTURBED GRADE.
 3. APPROVED SIGNS MAY BE ATTACHED TO FENCE ENSURING THAT FENCING IS A TREE PROTECTION ZONE. NOT TO BE DISTURBED UNLESS PRIOR APPROVAL HAS BEEN OBTAINED.

B3 TREE PROTECTION
 N.T.S.



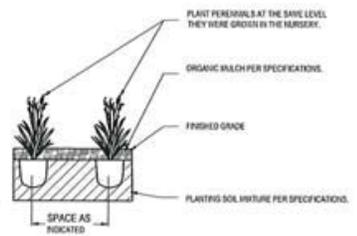
- NOTES:
- USE WHEREVER MULCHED PLANTINGS TRANSITION TO TURF AREAS INCLUDING ALL TREE MULCH RINGS, SHRUB BEDS, MASS PLANTING BEDS, ETC.

B2 EARTH SPADE EDGE DETAIL
 N.T.S.



- GENERAL NOTES:
1. IF ROOTBALL IS WRAPPED IN NON-BIODEGRADABLE BURLAP, REMOVE ENTIRE WRAP AFTER PLACED IN PIT.
 2. WHEN BACKFILLING PLANT PIT, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL BY WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND CONTINUE TO PUDDLE AND FILL AS NECESSARY.

A1 SHADE TREE PLANTING DETAIL
 N.T.S.



B1 PERENNIAL PLANTING DETAIL
 N.T.S.

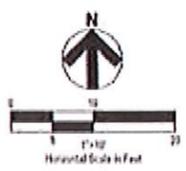


512 Walker Avenue – Staff Tree Notes

1	Incense Cedar	6"	Decay. Poor structure. Power lines.	Removal requested.
3	Black Locust	4-8" multi	Decay. Poor structure. Dead limbs	Removal requested
4	Black Locust	20"	Sparse canopy. Root stress. Decay. Poor structure. Poor branch unions	Removal requested.
7, 8 & 10	<i>Black Locusts</i>	<i>6-15" multi</i>	<i>Decayed leaders. Deadwood. Sparse canopy.</i>	<i>Removals recommended, but are on neighbors' property.</i>
14	Norway Maple	7"	Dead limbs. Decay. Poor structure. Short-lived. Invasive.	Removal requested due to dumpster location
15	Cherry Plum	14"	Leaning. Broken limbs. Fruit nuisance. Overmature. Invasive.	Removal requested due to grading
16	<i>Cherry Plum</i>	<i>14"</i>	<i>Leaning. Broken limbs. Fruit nuisance. Overmature. Invasive.</i>	<i>Removal recommended but not proposed</i>
19	Sweetgum Street Tree	16"	Lifting sidewalk. Cracking drive. Seed balls hazardous. Invasive roots. Limbs over road. Lean over road. Brittle in winter	Removal requested due to drive apron. STREET TREE.
23	Red Maple	11"	Stressed. Scale. Drought stress. Split.	Removal requested due to parking lot improvements
24	<i>Red Maple</i>	<i>22"</i>	<i>Dead (EXEMPT)</i>	<i>Removal requested due to parking lot improvements</i>
25	<i>Northern Red Oak</i>	<i>5" (EXEMPT)</i>	<i>Mistletoe.</i>	<i>Removal requested for ADA parking stall</i>
28	Dogwood	10"	Deadwood. Drought.	Removal requested for outdoor patio and proximity to building
31	Amur Maple	16"	Overmature. Heavily pruned. Deadwood. Decay. Sidewalk/Street/Utility clearance.	Removal requested.
32	<i>Field Maple</i>	<i>4" (EXEMPT)</i>	<i>Limited soil volume available.</i>	<i>Remove due to grading</i>

Staff Tree Questions

- Is Tree #16 proposed for removal as recommended by the arborist?
- Is the maintenance pruning and maintenance watering recommended by the arborist part of the proposal's Tree Preservation Plan?
- Do Tree Commissioners find that tree protection zones are generally adequate?
- Have the applicants considered trying to move trees #25 & #32 on site? Both are exempt from removal permit requirements, but seem from the descriptions provided like moving might be an option for one or both...



TREE INDEX

1 8" BRIDGE CEDAR	11 14" CHERRY PLUM
2 8" DOGWOOD OAK	12 14" CHERRY PLUM
3 4" 1/2" MAH TRUNK BLACK LOCUST	13 14" SWEETGUM
4 2" 1/2" MAH TRUNK BLACK LOCUST	14 4" NORTHERN RED OAK
5 6" BLACK LOCUST	15 18" RED MAPLE
6 6" FORTY CEDAR	16 14" RED MAPLE
7 6" 1/2" MAH TRUNK BLACK LOCUST	17 14" RED MAPLE
8 10" 1/2" MAH TRUNK BLACK LOCUST	18 20" RED MAPLE
9 2" CHERRY PLUM	19 5" NORTHERN RED OAK
10 12" 1/2" MAH TRUNK BLACK LOCUST	20 6" TRUNK MAPLE
11 12" 1/2" MAH TRUNK BLACK LOCUST	21 4" TRUNK MAPLE
12 30" BLACK LOCUST	22 12" DOGWOOD
13 2" 1/2" MAH TRUNK BLACK LOCUST	23 6" TRUNK MAPLE
14 1" FORTY MAPLE	24 6" BURNING CEDAR
15 14" CHERRY PLUM	25 14" ASH MAPLE
16 14" CHERRY PLUM	26 4" RED MAPLE

LEGEND

- Tree with red X: TREE TO BE REMOVED
- Tree with green outline: EXISTING SHRUBS, PERENNIALS, GRASS/COVER, ETC. TO BE REMOVED
- Yellow shaded area: PROPOSED TREE PROTECTION ZONE (SEE SHEET 111)
- Grey shaded area: EXISTING AND PROPOSED PAVEMENT SURFACE
- Tree with dashed outline: EXISTING SHRUBS, PERENNIALS, GRASS/COVER, ETC.
- Tree with solid outline: EXISTING TREE

- TREE PROTECTION NOTES**
- SEE SHEET 111 FOR PROPOSED PAVING LOCATIONS PER LANDSCAPE PLAN
 - NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE UNLESS BY THE TREE OWNER'S WRITTEN CONSENT OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL, WASTE, TRUCKS, EQUIPMENT, OR PARKED VEHICLES
 - THE TREE PROTECTION ZONE SHALL REMAIN FREE OF CHEMICALLY RESISTANT WATER SOLUBLE LIQUIDS SUCH AS PAINTS, THINERS, CLEANING SOLUTIONS, PESTICIDES, PRODUCTS, CONCRETE OR DRY WALL GROUTS, AND CONSTRUCTION OILS OR GREASES
 - NO EXCAVATION, TRENCHING, GRADING, ROOT PRUNING, OR OTHER ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE
 - CONTRACTOR SHALL NOT PROCEED WITH ANY CONSTRUCTION ACTIVITY EXCEPT INSTALLATION OF EROSION CONTROL MEASURES UNTIL THE CITY OF ASHLAND HAS INSPECTED AND APPROVED THE INSTALLATION OF THE REQUIRED TREE PROTECTION MEASURES



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STARBUCKS TEMPLATE VERSION 02/05/01

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 ASHLAND, OH 44811
 P: 330.572.2100 F: 330.572.2101
 GPD PROJECT NO. 2018055.01



PROJECT NAME:
 ASHLAND & WALKER

PROJECT ADDRESS:
 512 WALKER AVENUE
 ASHLAND, OR 97520

STORE #: 445
PROJECT #: 02460-048
CASEWORK CONCEPT:
ISSUE DATE: 6/10/2019
DESIGN MANAGER: R. HONG
LEED AP:
PRODUCTION DESIGNER: GPD GROUP
CHK CHECK BY: RSH

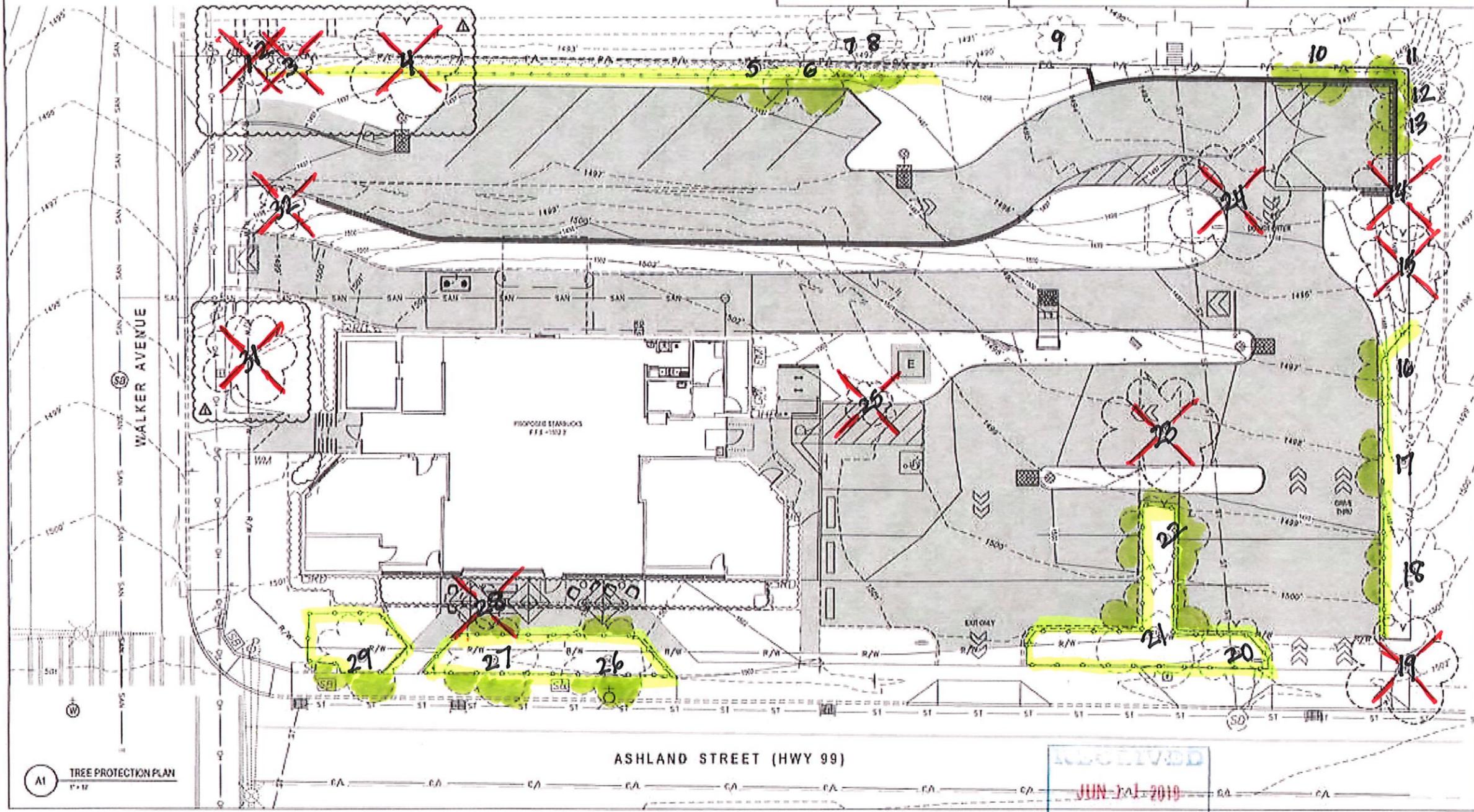
Revision Schedule

Rev	Date	By	Description
1	06/10/19	RA	PLANNING/ARCHITECT CONCEPTS

SHEET TITLE:
 TREE PROTECTION PLAN

SCALE: AS SHOWN

SHEET NUMBER:
 L-101



A1 TREE PROTECTION PLAN
 1" = 12'

ASHLAND STREET (HWY 99)

RECEIVED
 JUN 24 2019
 BY:

18.5.7.030. B. Tree Removal Permit.

1. Hazard Tree. A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.

a. The applicant must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. See definition of hazard tree in part 18.6.

The tree proposed for removal is a 25 ¼ inch Modesto Ash. The tree is within the six foot side yard setback along the south side of the residence. The tree is causing damage to the foundation and causing cracking in the walls of the residence (see attached pictures). The tree is injuring property and the impacts to the structure cannot be alleviated through pruning as it is the roots causing the damage.

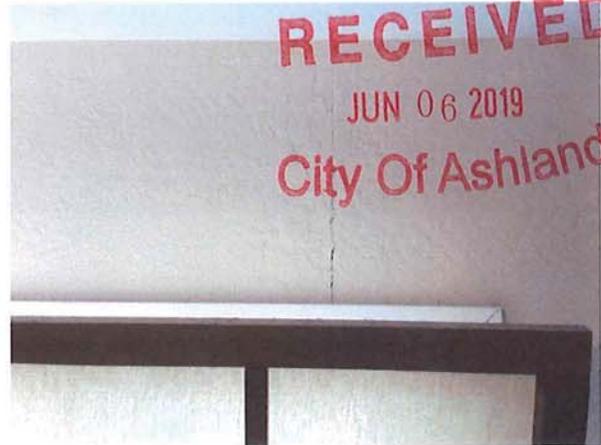
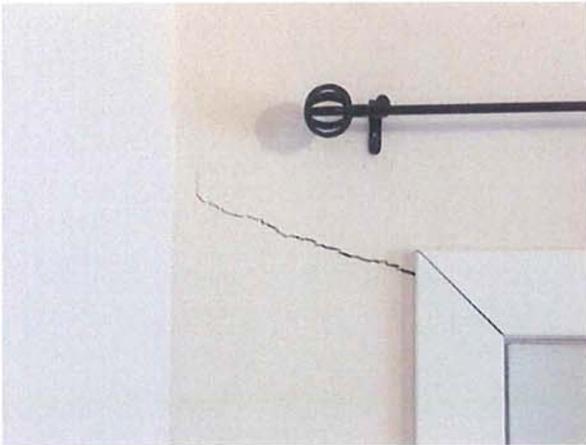
Urban Forestry Ecosystems Institute finds that Modesto ash has a high potential for root damage. The Modesto ash tree is not listed as a recommended street tree in the City of Ashland Recommended Street Tree Guide due to its susceptibility to Anthracnose. The guide notes that the tree often has poor branch structure. The tree requested for removal is not a street tree, and its roots in the confined space are damaging the structure.

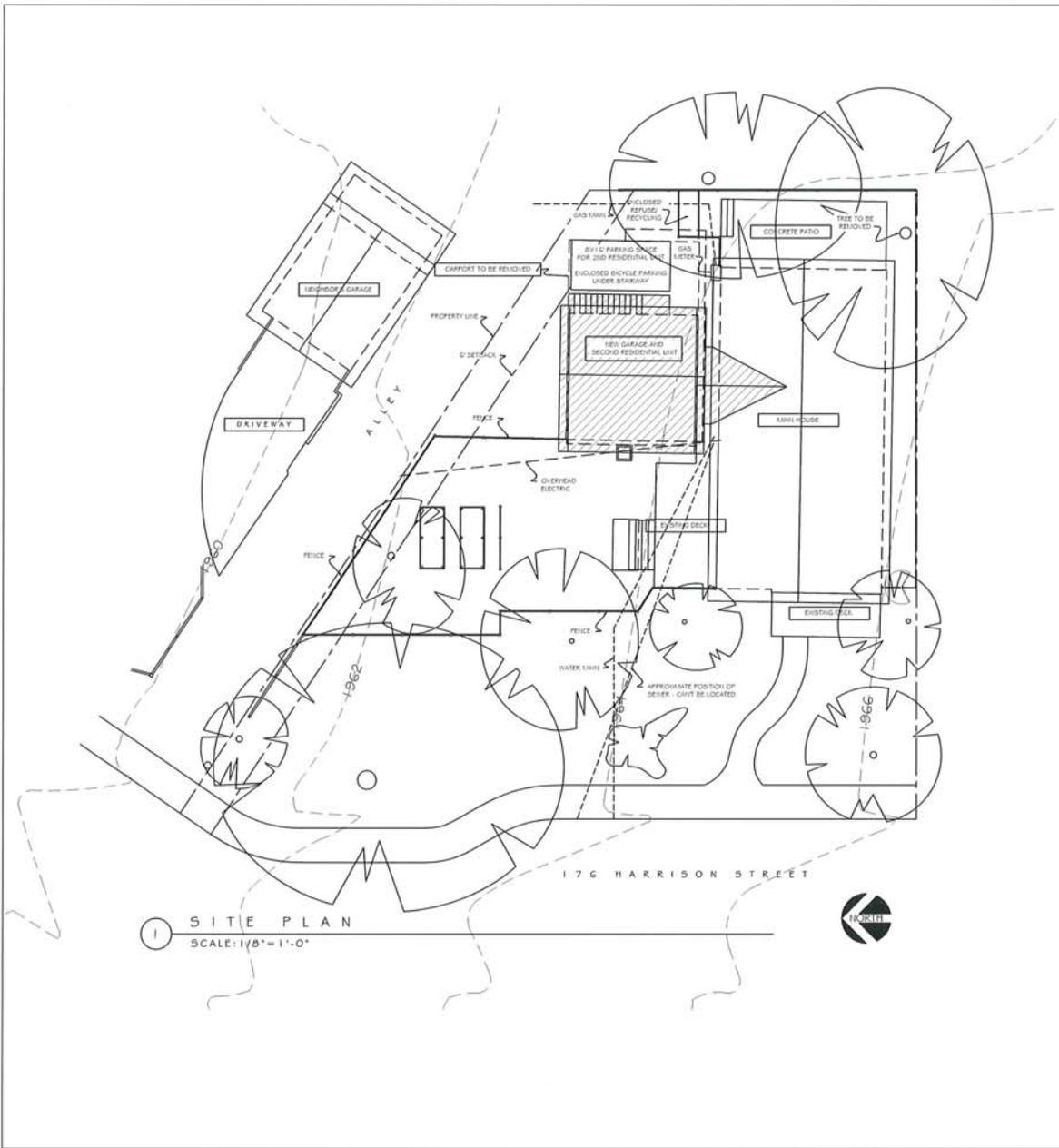
b. The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

There are a substantial number of landscape trees on the property and limited area for planting a new tree. A new tree is not planned for the south yard area as it is too narrow for most trees and limited by the presence of the main residence.

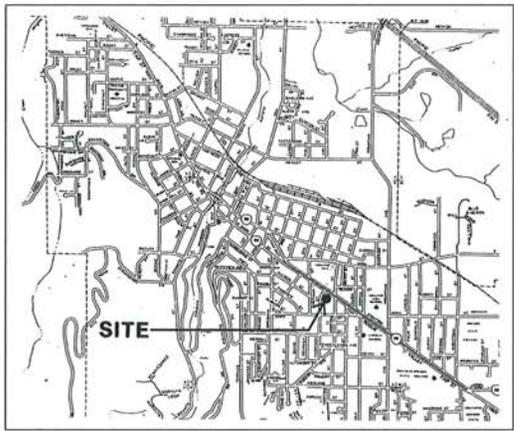
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DAMAGE TO MASTER BEDROOM AND FOUNDATION FROM MODESTO ASH





1 SITE PLAN
SCALE: 1/8" = 1'-0"



PROJECT LOCATION
SCALE: NTS

GARAGE/RESIDENTIAL ADDITION
176 HARRISON STREET, ASHLAND, OREGON
RICHARD ANDERSON AND KATHERINE GOSNELL
GENERAL INFORMATION

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SCALE	1/8" = 1'-0"
DATE	6/6/19
DRAWN BY	OWNER
SHEET	

A2.1
2 OF 13

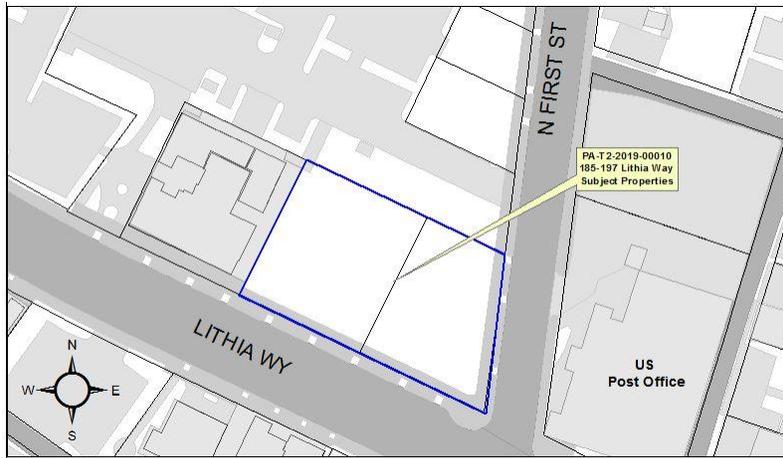


PLANNING ACTION: PA-T2-2019-00010
SUBJECT PROPERTY: 185-197 Lithia Way
OWNER/APPLICANT: Randy Jones/First Place Partners, LLC
DESCRIPTION: A request for Site Design Review approval to construct a new mixed-use building on Lots #2 and #3 of the First Place subdivision at 185-197 Lithia Way, on the corner of Lithia Way and First Street. The proposal includes consolidation of the two lots and construction of a 32,191 square foot, three-story mixed-use building consisting of basement parking, ground floor commercial, and 34 residential units distributed between the ground, second and third floors to serve as Oregon Shakespeare Festival artist housing. The application includes requests to modify the common area landscaping and parking configuration to better accommodate the proposal, and Exceptions to the Site Development and Design Standards' Downtown Design Standards to allow for balconies on the front of the building and windows that are more horizontal than vertical. *(A nearly identical proposal - but with only 15 residential units - was approved in 2015 but has subsequently expired. Phase One, a three-story 18,577 square foot mixed-use building (**Plaza West**) consisting of basement parking, commercial and residential space on the first floor and residential space on the second and third floors was completed on the adjacent property at 175 Lithia Way in 2015 and currently houses Pony Espresso and the Washington Federal bank.)*
COMPREHENSIVE PLAN DESIGNATION: Commercial; **ZONING:** C-1; **ASSESSOR'S MAP #:** 391E09BA; **TAX LOT:** 10102 & 10103

NOTE: The Ashland Tree Commission will also review this Planning Action on **Thursday, July 8, 2019 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTE: The Ashland Historic Commission will also review this Planning Action on **Wednesday, July 10, 2019 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

ASHLAND PLANNING COMMISSION MEETING: **Tuesday July 9, 2019 at 7:00 PM, Ashland Civic Center, 1175 East Main Street**



Notice is hereby given that a PUBLIC HEARING on the following request with respect to the ASHLAND LAND USE ORDINANCE will be held before the ASHLAND PLANNING COMMISSION on meeting date shown above. The meeting will be at the ASHLAND CIVIC CENTER, 1175 East Main Street, Ashland, Oregon.

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, either in person or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Commission to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. A copy of the Staff Report will be available for inspection seven days prior to the hearing and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Department, Community Development and Engineering Services, 51 Winburn Way, Ashland, Oregon 97520.

During the Public Hearing, the Chair shall allow testimony from the applicant and those in attendance concerning this request. The Chair shall have the right to limit the length of testimony and require that comments be restricted to the applicable criteria. Unless there is a continuance, if a participant so requests before the conclusion of the hearing, the record shall remain open for at least seven days after the hearing.

In compliance with the American with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Administrator's office at 541-488-6002 (TTY phone number 1-800-735-2900). Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting. (28 CFR 35.102.-35.104 ADA Title I). If you have questions or comments concerning this request, please feel free to contact Derek Severson, 541-488-5305.

SITE DESIGN AND USE STANDARDS

18.5.2.050

The following criteria shall be used to approve or deny an application:

- A. Underlying Zone: The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.
- B. Overlay Zones: The proposal complies with applicable overlay zone requirements (part 18.3).
- C. Site Development and Design Standards: The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.
- D. City Facilities: The proposal complies with the applicable standards in section 18.4.6 Public Facilities and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property and adequate transportation can and will be provided to the subject property.
- E. **Exception to the Site Development and Design Standards.** The approval authority may approve exceptions to the Site Development and Design Standards of part 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.
 1. There is a demonstrable difficulty meeting the specific requirements of the Site Development and Design Standards due to a unique or unusual aspect of an existing structure or the proposed use of a site; and approval of the exception will not substantially negatively impact adjacent properties; and approval of the exception is consistent with the stated purpose of the Site Development and Design; and the exception requested is the minimum which would alleviate the difficulty.; or
 2. There is no demonstrable difficulty in meeting the specific requirements, but granting the exception will result in a design that equally or better achieves the stated purpose of the Site Development and Design Standards.

Finally, it should be clearly understood that as a subdivision with the common area platted, planned, owned and maintained under the ownership of the remaining lot owners, the common area's open space, landscaping and parking lot landscaping is equally owned and equally allocated to each buildable lot so that each lot already meets its minimum landscaping and plaza space requirements required in the C-1 zone and Site Design and Use Standards.

Modified Landscape/Parking Plan: The proposal includes a request to modify a small area of the site's parking and landscaping plans. The modification is necessitated due to the proposed single garage entrance where two had previously been designed. The removal creates the opportunity to replace this area with additional landscaping and parking (See Sheet L1, Planting Plan). The end result with the proposed modification is an increase in the common area's overall landscaping area and improved site plan layout.

Parking: The previous application for Plaza West (PA-2012-01122) proposed a total of 56 "open" parking spaces, with 54 on-site and two parking spaces along First Street as on-street parking credits. The current proposal also proposes 56 open parking spaces, but in a slightly altered arrangement to better accommodate additional garage parking and to provide more open space. Also, the first parking space adjacent to the First Street entrance was removed to reduce its slightly difficult turning radius, but which is now proposed to be added landscaping. These three parking spaces have now been relocated where the previous plan identified an ingress/egress ramp which is now no longer necessary based on the merging of the two parcels and the single basement parking design.

As such, the subdivision contains 56 "open" spaces and an additional 28 which are to be located within the footprints of the three buildings. Plaza West currently has 12 enclosed basement parking spaces, Plaza East proposes 14 enclosed basement parking spaces and Plaza North (separate application) proposes 2 two enclosed parking spaces for a total of 84 on-site parking spaces. Applicant seeks a reduction of the required residential parking, per the Parking Management Strategies, as discussed in the Findings below.

Bike Parking: Bike parking was provided at the time of the subdivision's improvements and is dispersed throughout the project site. A total of eight bike parking spaces are required based on one space per every five required commercial parking spaces. A six-space bike parking area is located northwest Plaza West and three existing bike spaces are located on the east side of Plaza North. In addition, Plaza East contains and additional 42 bike (wall hung racks) within the parking garage, as well as storage areas.

Ground Floor Area Usage: In accordance with LUO 18.2.3.130(B)(1), "*at least 65% of the gross floor area of the ground floor shall be designated for permitted uses and uses permitted with special use standards, not including residential uses*". In this case, Sheet A1 best illustrates how this provision is being met in that 66.6% of the ground floor is designated commercial / office space (green color) and 33.4% is designated to residential use (blue color). The common area, which includes the entry area, internal stairwells and elevator, is "equally" divided between the two uses as this area serves both commercial

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that are ADA accessible, and walkways shall provide direct routes to primary building entrances.

All walkways will be in compliance with the ADA. Building Plan Check review will ensure compliance with this Ordinance section.

e. **Lighting.** Lighting shall comply with section 18.4.4.050.

LUO 18.4.4 LANDSCAPING, LIGHTING, AND SCREENING

A. General Landscape Standard. All portions of a lot not otherwise developed with buildings, accessory structures, vehicle maneuvering areas, parking, or other approved hardscapes shall be landscaped pursuant to this chapter.

The area between the north face of the proposed building and the existing driveway, and the area between the east face of the proposed building and the sidewalk on 1st Street are to be landscaped. All other site landscaping is existing.

B. Minimum Landscape Area and Coverage. All lots shall conform to the minimum landscape area standards of the applicable zoning district (see Table 18.2.5.030.A - C for residential zones and Table 18.2.6.030 for non-residential zones). Except as otherwise provided by this chapter, areas proposed to be covered with plant materials shall have plant coverage of not less than 50 percent coverage within one year and 90 percent coverage within five years of planting.

The proposed landscaping has been designed by a Landscape Architect and will meet this requirement. (See Landscape Plan L1).

C. Landscape Design and Plant Selection. The landscape design and selection of plants shall be based on all of the following standards:

1. Tree and Shrub Retention. Existing healthy trees and shrubs shall be retained, pursuant to chapter 18.4.5. Consistent with chapter 18.4.5 Tree Preservation and Protection, credit may be granted toward the landscape area requirements where a project proposal includes preserving healthy vegetation that contribute(s) to the landscape design.

All existing trees and shrubs installed by this project's developer at the time of Plaza West construction will be maintained.

2. Plant Selection.

a. Use a variety of deciduous and evergreen trees, shrubs, and ground covers.

b. Use plants that are appropriate to the local climate, exposure, and water availability. The presence of utilities and drainage conditions shall also be considered.

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(2. a-b) Selections of plants in the new planter areas are appropriate and were previously approved by the Tree Commission.

c. Storm Water Facilities. Use water-tolerant species where storm water retention/detention or water quality treatment facilities are proposed.

Selections of plants in the existing storm water retention and water quality treatment facilities are appropriate and were previously approved by the Tree Commission.

d. Crime Prevention and Defensible Space. Landscape plans shall provide for crime prevention and defensible space, for example, by using low hedges and similar plants allowing natural surveillance of public and semi-public areas, and by using impenetrable hedges in areas where physical access is discouraged.

e. Street Trees. Street trees shall conform to the street tree list approved by the Ashland Tree Commission. See the Ashland Recommended Street Tree Guide.

Selections of existing street trees were previously approved by the Tree Commission and were installed at the time of Plaza West construction.

3. Water Conserving Landscaping. Commercial, industrial, non-residential, and mixed-use developments that are subject to chapter 18.5.2 Site Design Review, shall use plants that are low water use and meet the requirements of 18.4.4.030.1 Water Conserving Landscaping.

Selections of existing plants were selected for water conserving qualities and were previously approved by the Tree Commission. Proposed new plantings have been selected by the Landscape Architect to comply with this standard and were also previously approved by the Tree Commission.

4. Hillside Lands and Water Resources. Landscape plans for land located in the Hillside Lands overlay must also conform to section 18.3.10.090 Development Standards for Hillside Lands, and in the Water Resources overlay must also conform to section 18.3.11.110 Mitigation Requirements for Water Resource Protection Zones.

Not Applicable.

5. Screening.

a. Evergreen shrubs shall be used where a sight-obscuring landscape screen is required.

Not Applicable. No site obscuring landscape screen is proposed.

b. Where a hedge is used as a screen, fire-resistant and drought-tolerant evergreen shrubs shall be planted so that not less than 50 percent of the desired screening is achieved within two years and 100 percent is achieved within four years.

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groundcover in the screen strip shall be planted such that 100 percent coverage is achieved within two years.

(5. a-b) Not Applicable. No site obscuring landscape screen is proposed. The existing fencing at the north property line serves as the screen between the parking lot and the residential properties to the north.

6. Plant Sizes.

a. Trees shall be not less than two-inch caliper for street trees, and 1.5-inch caliper for other trees at the time of planting.

Street trees are existing and were installed as 2-inch caliper trees. Proposed new trees on site will be 1.5-inch caliper at the time of planting and were previously approved by the Tree Commission.

b. Shrubs shall be planted from not less than one gallon containers, and where required for screening shall meet the requirements of 18.4.4.030.C.5 Screening.

Plantings of shrubs will comply with this requirement.

LUO 18.4.4.030(E). Street Trees.

The purpose of street trees is to form a deciduous canopy over the street. The same effect is also desired in parking lots and internal circulation streets; rows of street trees should be included in these areas where feasible.

All development fronting on public or private streets shall be required to plant street trees in accordance with the following standards and chosen from the recommended list of street trees.

1. Location of Street Trees. Street trees shall be located in the designated planting strip or street tree wells between the curb and sidewalk, or behind the sidewalk in cases where a planting strip or tree wells are or will not be in place. Street trees shall include irrigation, root barriers, and generally conform to the standards established by the Community Development Department.

Not applicable. All the site's street trees were installed at the time of Plaza West's construction. The applicant may have to replace some of the previously installed street trees in the public right of way on Lithia Way, along with some sidewalk, to allow the applicant to safely excavate for new building footings 11-13 feet below grade near the back of existing sidewalk. In such event the applicant will replace the street trees with trees on the street tree list approved by the Ashland Tree Commission.

2. Spacing and Placement of Street Trees. All street tree spacing may be made subject to special site conditions that may, for reasons such as safety, affect the decision. Any such proposed special condition shall be subject to the Staff Advisor's

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review and approval. The placement, spacing, and pruning of street trees shall meet all of the following requirements.

- a. Street trees shall be placed at the rate of one tree for every 30 feet of street frontage. Trees shall be evenly spaced, with variations to the spacing permitted for specific site limitations, such as driveway approaches.
- b. Street trees shall not be planted closer than 25 feet from the curb line of intersections of streets or alleys, and not closer than ten feet from private driveways (measured at the back edge of the sidewalk), fire hydrants, or utility poles.
- c. Street trees shall not be planted closer than 20 feet to light standards. Except for public safety, no new light standard location shall be positioned closer than ten feet to any existing street tree, and preferably such locations will be at least 20 feet distant.
- d. Street trees shall not be planted closer than 2.5 feet from the face of the curb. Street trees shall not be planted within two feet of any permanent hard surface paving or walkway. Sidewalk cuts in concrete for trees, or tree wells, shall be at least 25 square feet; however, larger cuts are encouraged because they allow additional air and water into the root system and add to the health of the tree. Tree wells shall be covered by tree grates in accordance with City specifications.
- e. Street trees planted under or near power lines shall be selected so as to not conflict with power lines at maturity.
- f. Existing trees may be used as street trees if there will be no damage from the development which will kill or weaken the tree. Sidewalks of variable width and elevation, where approved pursuant to section 18.4.6.040 Street Design Standards, may be utilized to save existing street trees, subject to approval by the Staff Advisor.

(2. a-f) Not applicable. All the site's street trees were installed at the time of Plaza West's construction and were previously approved by the Tree Commission.

3. Pruning. Street trees, as they grow, shall be pruned to provide at least eight feet of clearance above sidewalks and 12 feet above street roadway surfaces.

Applicant will comply with this standard.

4. Replacement of Street Trees. Existing street trees removed by development projects shall be replaced by the developer with those from the street tree list approved by the Ashland Tree Commission. The replacement trees shall be of size and species similar to the trees that are approved by the Staff Advisor. See the Ashland Recommended Street Tree Guide.

All street trees were planted in conjunction with Plaza West. The applicant may have to replace some of the previously installed street trees in the public right of way on Lithia Way, along with some sidewalk, to allow the applicant to safely excavate for new

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building footings 11-13 feet below grade near the back of existing sidewalk. In such event the applicant will replace the street trees with trees on the street tree list approved by the Ashland Tree Commission.

LUO 18.4.4.030(F) Parking Lot Landscaping and Screening.

Parking lot landscaping, including areas of vehicle maneuvering, parking, and loading, shall meet the following requirements. Single-family dwellings and accessory residential units are exempt from the requirements of subsection 18.4.4.030.F.2, below.

1. Landscaping.

a. Parking lot landscaping shall consist of a minimum of seven percent of the total parking area plus a ratio of one tree for each seven parking spaces to create a canopy effect.

The majority of the parking lot's trees were installed at the time Plaza West was completed and the existing parking lot upgraded. Nevertheless, approximately 8% of the parking area consists of landscaping with approximately three trees per seven parking spaces to provide parking lot shading.

b. The tree species shall be an appropriate large canopied shade tree and shall be selected from the street tree list approved by the Ashland Tree Commission to avoid root damage to pavement and utilities, and damage from droppings to parked cars and pedestrians. See the Ashland Recommended Street Tree Guide.

The majority of the parking lot's trees were installed at the time Plaza West was completed and the existing parking lot upgraded. The trees were chosen by a professional Landscape Architect with the intent to provide shade and a canopy effect over parked automobiles. All trees were chosen from the City's adopted street tree guide which included a variety of tree species recommended for parking lots and urban environments.

c. The tree shall be planted in a landscaped area such that the tree bole is at least two feet from any curb or paved area.

All new trees to be planted near a hard surface area will be setback at least 2'. All new or revised landscaping will be installed by a licensed local landscaping company familiar with the above standard.

d. The landscaped area shall be distributed throughout the parking area and parking perimeter at the required ratio.

The existing and proposed landscape plan shows the parking lot landscaping being evenly distributed throughout the parking lot. All landscaping has and will continue to be installed by a licensed local landscaping company familiar with the above standard.

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e. That portion of a required landscaped yard, buffer strip, or screening strip abutting parking stalls may be counted toward required parking lot landscaping but only for those stalls abutting landscaping as long as the tree species, living plant material coverage, and placement distribution criteria are also met. Front or exterior yard landscaping may not be substituted for the interior landscaping required for interior parking stalls.

The project complies with the above standard.

2. Screening.

a. Screening Abutting Property Lines. A five-foot landscaped strip shall screen parking abutting a property line. Where a buffer between zones is required, the screening shall be incorporated into the required buffer strip, and will not be an additional requirement.

The common area parking was approved and constructed in conjunction with the construction of Plaza West. No further revision to the common parking area is proposed. In any event, the project's parking areas are screened from the adjacent rights-of-way by the buildings and landscaping.

b. Screening Adjacent to Residential Building. Where a parking area is adjacent to a residential building it shall be set back at least eight feet from the building and shall provide a continuous hedge screen.

The existing parking is roughly 16' from the proposed building or under the footprint of the building and is in compliance with the standard.

c. Screening at Required Yards.

i. Parking abutting a required landscaped front yard or exterior yard shall incorporate a sight obstructing hedge screen into the required landscaped yard.

ii. The screen shall grow to be at least 36 inches higher than the finished grade of the parking area, except within vision clearance areas, section 18.2.4.040.

iii. The screen height may be achieved by a combination of earth mounding and plant materials.

iv. Elevated parking lots shall screen both the parking and the retaining walls.

The parking area was constructed in conjunction with Plaza West. As installed, the property abutting the rear property is screened by a minimum 5' landscape strip and for most of the property a much greater width.

LUO 18.4.4.030(G) Other Screening Requirements. Screening is required for refuse and recycle containers, outdoor storage areas, loading and service corridors,

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Plaza North buildings. The enclosure has been located with an existing planter area in the existing parking lot just west of the future Plaza North building (see Site Plan sheet A1).

LUO 18.4.8 SOLAR ACCESS

LUO 18.4.8.020 Applicability

LUO 18.4.8.020(A) Lot Classifications. All lots shall meet the provisions of this section and will be classified according to the following formulas and table.

1. Standard A Lots. Lots with a north-south lot dimension exceeding that calculated by Formula I and zoned for residential uses shall be required to meet setback standard A in subsection 18.4.8.030.A. See definition of north-south lot dimension in part 18.6.

$$\text{Minimum N/S lot dimension for Formula I} = \frac{30'}{0.445 + S}$$

Where: S is the decimal value of slope, as defined in part 18.6.

Not Applicable – Standard B applies to Commercial properties abutting Residential zones.

(2) Standard B Lots. Those lots with a north-south lot dimension that is less than that calculated by Formula I but greater than that calculated by Formula II, any lot zoned C-1, E-1, or M-1 and not exempt by subsection 18.4.8.020.B, or a lot not abutting a residential zone to the north, shall be required to meet setback standard B in subsection 18.4.8.030.B. See definition of north-south lot dimension in part 18.6.

$$\text{Minimum N/S lot dimension for Formula II} = \frac{10'}{0.445 + S}$$

Applies to this property. Sheet A10 demonstrates through building/site section projections that the solar shadow falls entirely within the subdivisions property and does not reach the north solar property line.

3. Standard C Lots. Those lots with a north-south lot dimension that is less than that calculated by Formula II shall be required to meet setback standard C in subsection 18.4.8.030.C. See definition of north-south lot dimension in part 18.6.

Not Applicable – Standard B applies to Commercial properties abutting Residential zones.

LUO 18.4.5 TREE PRESERVATION & PROTECTION

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LUO 18.4.5.020(C) Tree Removal. All tree removal and topping activities shall be carried out in accordance with the requirements of chapter **18.5.7** Tree Removal Permits.

No trees are proposed to be removed with this application.

18.4.5.030 – Tree Protection

All the site's trees are healthy recently planted trees. The existing trees, in need of protection, abutting the construction site are within the construction area and are street trees whose roots are protected by existing steel tree well grates and concrete. All are less than 2" caliper and will be segregated by construction fencing along the entire sidewalk length along 1st street and Lithia Way to minimize accidental damage by construction. This construction fencing, a standard construction practice to protect pedestrians from the construction site, will be installed between the street trees and the construction site prior to any construction or site alteration and at the time of the project's Certificate of Occupancy, verification by staff can occur ensuring the subject trees have not been damaged.

Plaza North: As noted, Plaza North is being applied for separately from this application. However, for the benefit of the Planning Commission and neighbors, the application includes herein basic information about that building on the site plan, survey, tree protection plan, landscaping plan etc. In addition, the preliminary illustration below has been included showing the Plaza North's architecture.



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BUILDING AREA:

BASEMENT	11,204 sf
1st FLOOR	
COMMERCIAL * (86%)	7,084 sf
RESIDENTIAL * (13.2%)	3,514 sf
2nd FLOOR	
RESEIDENTIAL	10,947 sf
RESIDENTIAL	50,947 sf
TOTAL AREA	43,878 sf
* INCLUDES 50% OF COMMON AREA	

PUBLIC SPACE REQUIREMENT:

TOTAL BUILDING AREA	60,811 sf
AREA REQUIRED (10%)	6,081 sf
AREA PROVIDED ON LOT 1	734 sf
AREA PROVIDED ON LOTS 2-3	463 sf
AREA ON COMMON LOT	6 sf
TOTAL PUBLIC SPACE**	6,211 sf
**PUBLIC SPACE SURPLUS FOR FUTURE BUILDAGE	

LANDSCAPE REQUIREMENT:

LOT AREA	63,028 sf
PARKING LOT AREA	18,832 sf
AREA PROPOSED	11,825 sf
15% OF LOT DIFFERENCE	+1,548 sf
TOTAL LOT AREA	83,028 sf

IMPERVIOUS SURFACES:

LOT AREA	63,028 sf
PERVIOUS AREAS:	
LANDSCAPE	11,825 sf
CRUSHED ROCK PAVING	410 sf
TOTAL PERVIOUS	11,435 sf
PERCENTAGE PERVIOUS	18.1%
IMPERVIOUS AREAS	43,800 sf
PERCENTAGE IMPERVIOUS	69.3%
BUILDING COVERAGE	35,238 sf
CONCRETE PAVING	4,728 sf
ASPHALT PAVING	18,832 sf

PROPOSED LOT AREAS & PARKING ALLOCATIONS:

LOT	AREA	PARKING
LOT 1	7,943 sf	27 SP
LOT 2-3	14,431 sf	40 SP
LOT 4-5	8,274 sf	15 SP
UNALLOCATED	2.8a	2
COMMON AREA	35,411 sf	5.5a
TOTAL LOT AREA	83,028 sf	84 SP

SUBDIVISION PARKING SPACES:

(B) ON SITE SURFACE	49 SP
(N) ON SITE SURFACE	5 SP
(C) BASEMENT	14 SP
(N) BASEMENT	14 SP
(S) ON STREET (1st Street)	2.5a
SUBDIVISION TOTAL	84 SP

RESIDENTIAL DENSITY:

LOT	AREAGE	DWELLING UNITS
LOT 1	8,182 AC	27
LOT 2-3	8,331 AC	27
LOT 4-5	8,274 AC	3
LOT 8	8,000 AC	2
COMMON	8,833 AC	10a
TOTAL	1,448 AC	63

* 30 D.U./AC IN C-1 DISTRICT ALLOWED D.U. # 43

** ADJUSTED BASEMENT PARKING COUNTS

APPROXIMATE UNITS REQUIRED: 9

APPROXIMATE UNITS PROVIDED: 9

PROPOSED F.A.R. ALLOCATIONS:

BUILDING	AREA*	F.A.R.**
LOT 1	25,040 sf	30.7%
LOT 2	26,460 sf	41.5%
LOT 3	18,540 sf	25.4%
LOT 4	7,700 sf	12.2%
LOT 5	8,300 sf	12.2%
TOTAL	83,880 sf	131.3%

TOTAL LOT AREA: 63,028 sf

* NOT INCLUDING BASEMENT AREAS

** F.A.R. RELATIVE TO TOTAL LOT AREA AND RESPECTIVE IN-DEVELOPMENT

PLAZA EAST BUILDING SUMMARY

BUILDING AREA -

GROSS AREA	11,204 sf
1st FLOOR	10,578 sf
2nd FLOOR	10,947 sf
3rd FLOOR	50,947 sf
TOTAL	43,878 sf

BUILDING HEIGHT -

LOCATION (SEE PLAN)	FIN. GRADE
POINT A	1004.20'
POINT B	1004.20'
POINT C	1007.02'
POINT D	1016.34'

Ave. Grade: 1002.00'

Max. Building Height: 1942.00'

Proposed Height: 1942.00'

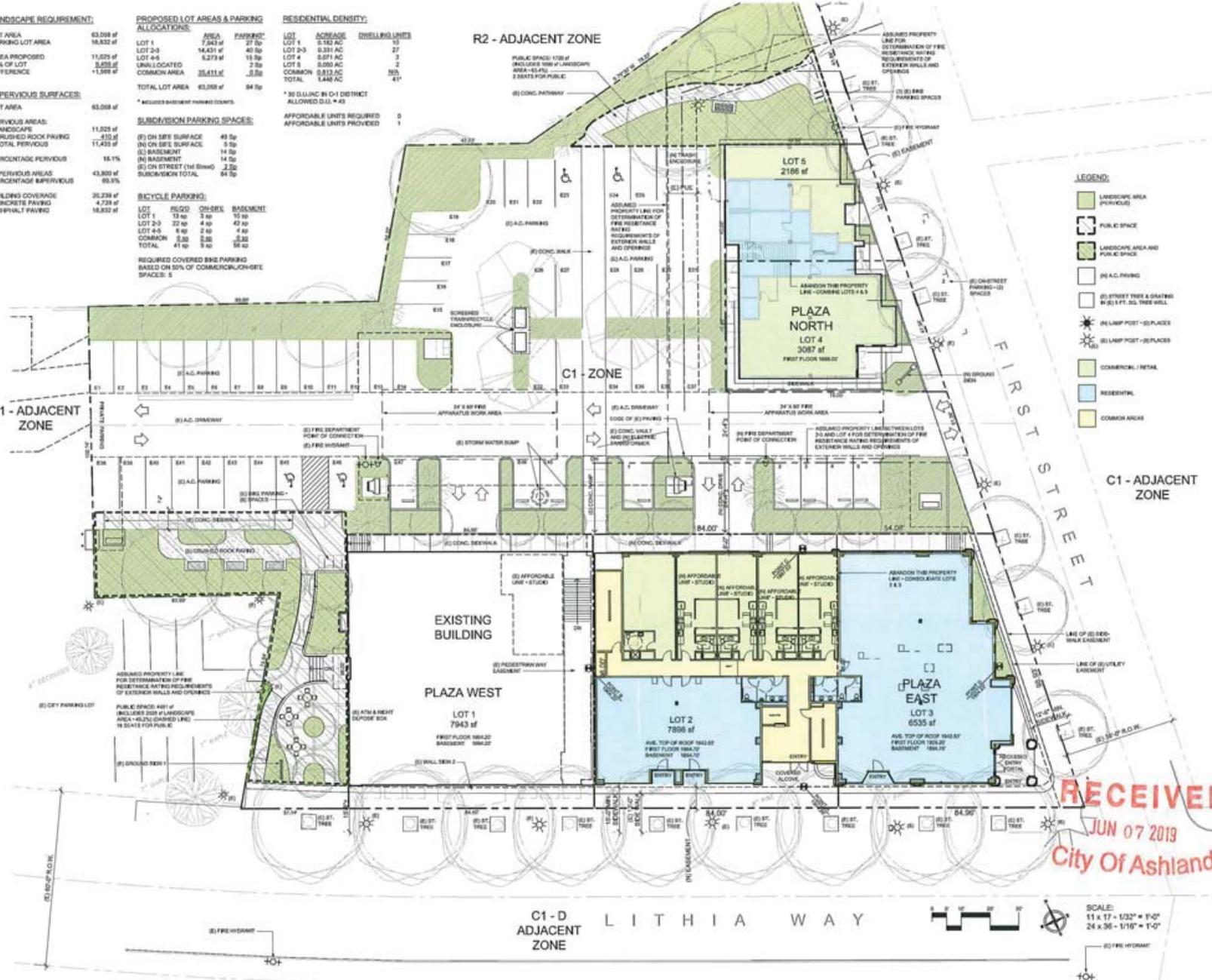
RESIDENTIAL MAKE-UP:

STUDIO - 450 SF	26
STUDIO - 850 SF	4
1 BEDROOM	2
2 BEDROOM	2
TOTAL RESIDENTIAL UNITS	34

CONSTRUCTION TYPE:

TYPE: 10

FULLY SPRINKLERED



kistler + small + white

88 WATER STREET
SUITE 101
ASHLAND, OR
97132
TEL: 541.488.8200

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SITE REVIEW
SUBMITTAL
06-07-19

PLAZA EAST
OSF - WORK FORCE HOUSING

OWNER: FIRST PLACE PARTNERS LLC
PROJECT ADDRESS: 185-195 LITHIA WAY ASHLAND, OREGON

REVISIONS

ARCHITECTURAL SITE PLAN

PROJECT: 19-053
ISSUE DATE: 06-07-19
SHEET:

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**PRELIMINARY MAP
FIRST PLACE SUBDIVISION**
OF
FORMER COPELAND LUMBER & TEMPCO MALL SITE
165 LITHIA WAY & 123 NORTH FIRST STREET

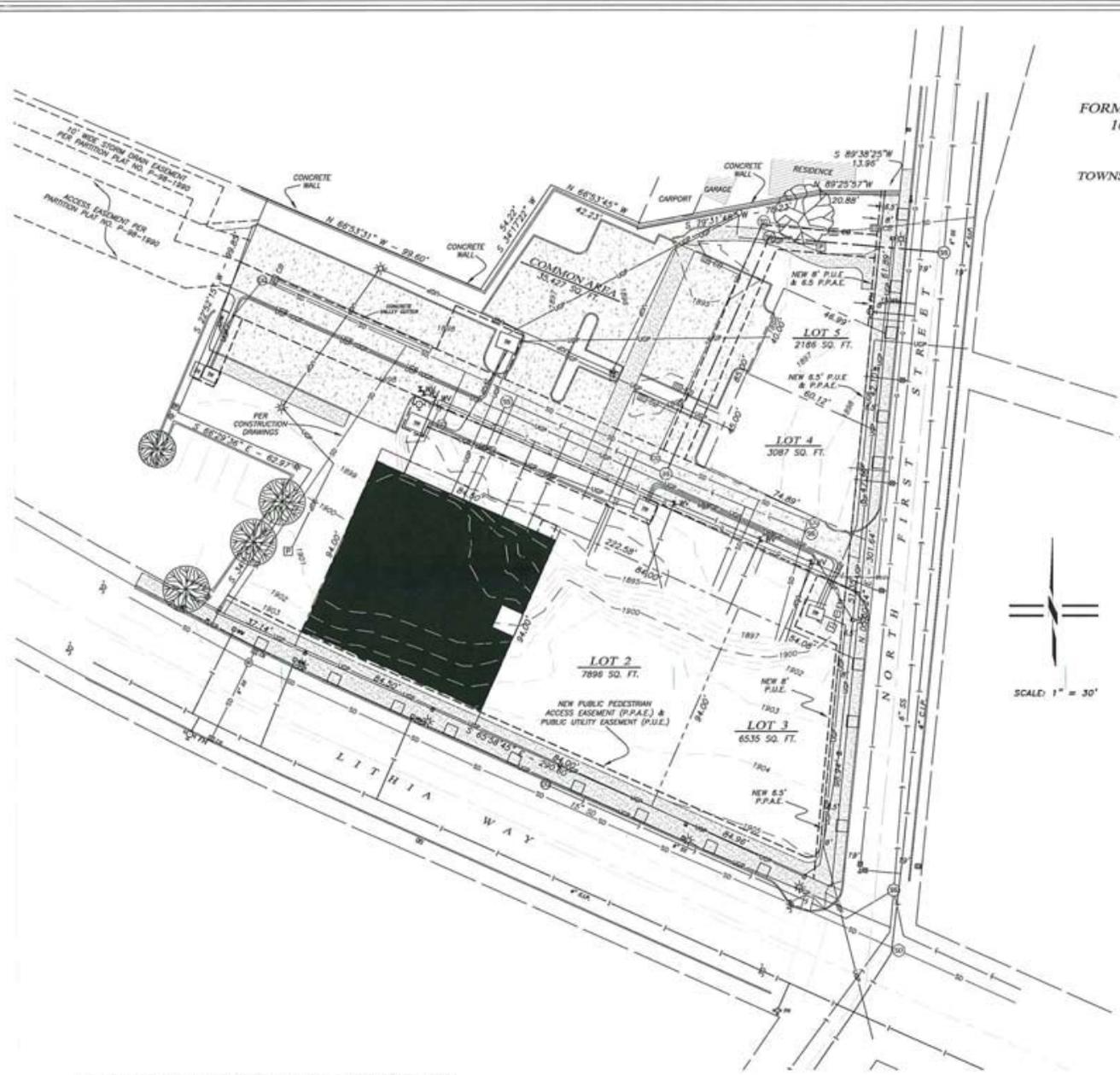
LYING SITUATE WITHIN
NORTHWEST QUARTER OF SECTION 9,
TOWNSHIP 39 SOUTH, RANGE 1 EAST, WILLAMETTE MERIDIAN
CITY OF ASHLAND, JACKSON COUNTY, OREGON

FOR
FIRST PLACE PARTNERS LLC
815 ALDER CREEK DRIVE
MEDFORD, OREGON 97504

LEGEND

- PROPERTY BOUNDARY LINE
- - - NEW LOT LINE
- BOUNDARY LINE
- CENTERLINE
- - - EASEMENT LINE
- - - FENCELINE
- - - WATER LINE
- - - BURIED NATURAL GAS LINE
- - - BURIED PHONE LINE
- - - STORM DRAIN LINE
- - - SANITARY SEWER LINE
- - - BURIED POWER LINE
- - - OVERHEAD POWER LINE
- - - BURIED IRRIGATION LINE
- - - CONTOUR LINE
- - - GUY ANCHOR
- PP POWER POLE
- PT POWER TRANSFORMER
- PC POWER CABINET
- AL AREA LIGHT
- WM WATER METER
- WV WATER VALVE
- FH FIRE HYDRANT
- CB CATCHBASIN
- SM STORM SEWER MANHOLE
- SS SANITARY SEWER MANHOLE
- CN CLEANOUT
- PH PHONE PEDESTAL
- GM GAS METER
- GV GAS VALVE
- IB IRRIGATION BOX
- CS CONCRETE SURFACE
- B BUILDING
- DT DECIDUOUS TREE (AS DESCRIBED)

SCALE 1" = 30'



REGISTERED
PROFESSIONAL
LAND SURVEYOR

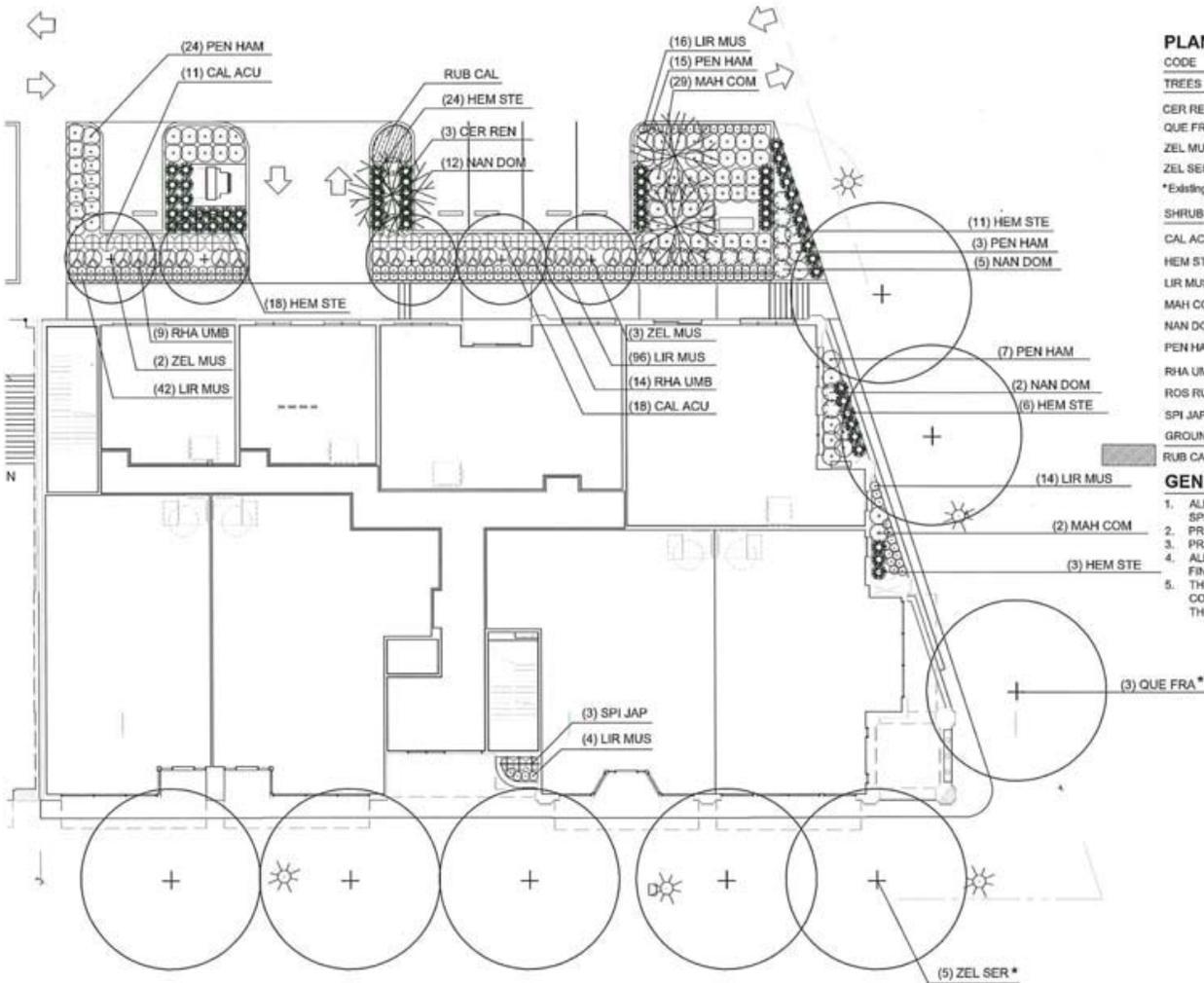
OREGON
11838
SHAWN KAMPHANN
2883 LS

RENEWAL DATE: 8/30/2013

SURVEYED BY:
POLARIS LAND SURVEYING LLC
P.O. BOX 459
ASHLAND, OREGON 97520
(541) 482-5009

DATE: FEBRUARY 20, 2013
PROJECT NO. 220-04

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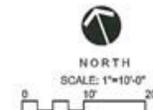
PLANT SCHEDULE

CODE	LATIN NAME	COMMON NAME	SIZE
TREES			
CER REN	<i>Cercis reniformis</i> 'Oklahoma'	Oklahoma Red Bud	36" Box
QUE FRA	<i>Quercus frainetto</i> 'Schmidt'	Forest Green Oak	2" cal.
ZEL MUS	<i>Zelkova serrata</i> 'Musashino'	Musashino Zelkova	2" cal.
ZEL SER	<i>Zelkova serrata</i> 'Green Vase'	Green Vase Zelkova	2" cal.
*Existing Trees newly planted to remain.			
SHRUBS			
CAL ACU	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Foerster's Reed Grass	1 G
HEM STE	<i>Hemerocallis</i> 'Stella de Oro'	Stella de Oro Daylily	1 G
LIR MUS	<i>Liriope muscari</i> 'Silvery Sunproof'	Silvery Sunproof Lilyturf	1 G @ 18" o.c.
MAH COM	<i>Mahonia aquifolium</i> 'Compacta'	Compact Oregon Grape	5 G
NAN DOM	<i>Nandina domestica</i> 'Monter'	Sienna Sunrise Nandina	5 G
PEN HAM	<i>Pennisetum a.</i> 'Hamet'	Dwarf Fountain Grass	1 G
RHA UMB	<i>Rhaphiolepis umbellata</i> 'Minor'	Dwarf Yedda Hawthorn	5 G
ROS RUG	<i>Rosa rugosa</i> 'Hansa'	Hansa Rugosa Rose	5 G
SPI JAP	<i>Spiraea japonica</i> 'Goldmound'	Goldmound Spiraea	5 G
GROUNDCOVER			
RUB CAL	<i>Rubus calycinoides</i>	Creeping Bramble	1 G @ 36" o.c.

GENERAL PLANTING NOTES

1. ALL SHRUB PLANTING AREAS SHALL RECEIVE 3" DEPTH OF BARK MULCH PER THE SPECIFICATIONS. TAPER TO 2" AT PERIMETER OF PLANTING BED.
2. PROVIDE IMPORTED TOPSOIL TO A MIN. DEPTH OF 12" IN ALL PLANTING SHRUB AREAS.
3. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL SHRUB PLANTING AREAS PER SHEET L7.
4. ALL PROPOSED PLANT MATERIAL SHALL BE WARRANTED FOR ONE (1) YEAR FROM THE TIME OF FINAL ACCEPTANCE.
5. THE NUMERICAL TEXT QUANTITIES OF PLANTS SHOWN ON THE PLAN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE QUANTITY OF PLANT MATERIAL SHOWN GRAPHICALLY ON THE PLAN.

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 06-07-19



PLAZA EAST
 OSF - WORK FORCE HOUSING
 OWNER: FIRST PLACE PARTNERS LLC
 PROJECT ADDRESS: 185-195 LITHIA WAY ASHLAND, OREGON

REVISIONS

LANDSCAPE PLAN

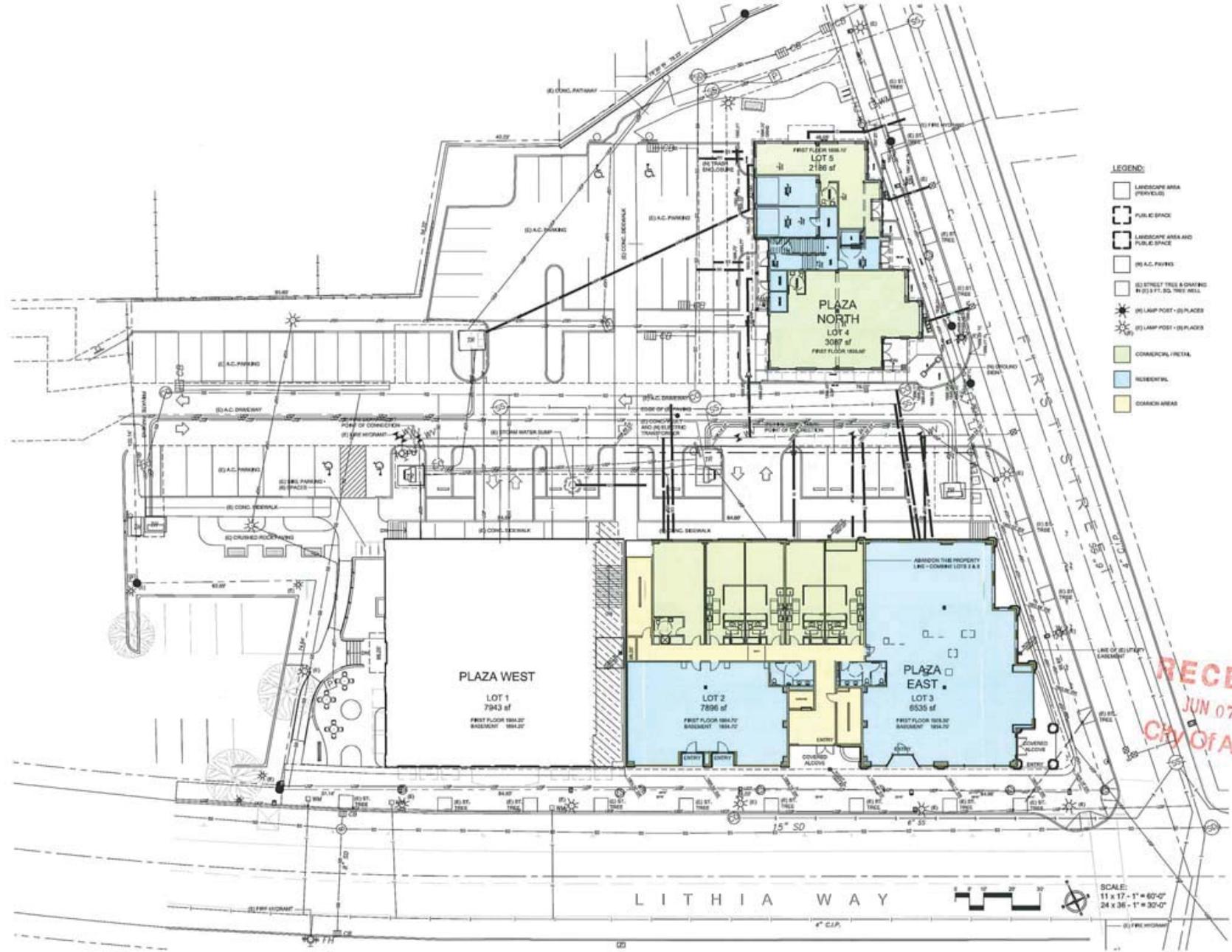
PROJECT NO. 19-03
 ISSUE DATE: 06-07-19
 SHEET:

L1



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- LEGEND:**
- LANDSCAPE AREA (PERMEABLE)
 - PUBLIC SPACE
 - LANDSCAPE AREA AND PUBLIC SPACE
 - A.C. PARKING
 - STREET TREE & CANOPY (4' TO 8' TREE HGT.)
 - LAMP POST - 6' PLACES
 - LAMP POST - 8' PLACES
 - COMMERCIAL USE
 - RESIDENTIAL
 - OPEN AREA

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PLAZA EAST
OSF - WORK FORCE HOUSING
OWNER: FIRST PLACE PARTNERS, LLC
PROJECT ADDRESS: 185-195 LITHIA WAY ASHLAND, OREGON

REVISIONS

PRELIMINARY
UTILITY AND
GRADING PLAN

PROJECT: 19-003
ISSUE DATE: 06-07-19
SHEET:

C1



kistler +
small
+ white

April 2019



kistler +
small
+ white
ARCHITECTS