



CITY OF ASHLAND



TREE COMMISSION AGENDA July 6, 2017

I. CALL TO ORDER

6:00 p.m. in the Siskiyou Room of the Community Development and Engineering Services Building located at 51 Winburn Way.

II. APPROVAL OF MINUTES

Approval of June 8, 2017 meeting minutes.

III. ANNOUNCEMENTS & LIAISON REPORTS

- Parks & Recreation Liaison
- Community Development Liaison

IV. PUBLIC FORUM

Open to guests.

V. TYPE I REVIEWS

PLANNING ACTION: PA-2017-01226

SUBJECT PROPERTY: 1465 Webster St.

OWNER/APPLICANT: Southern Oregon University

DESCRIPTION: A request for a Tree Removal Permit to remove a hazard tree from the property located at 1465 Webster Street. The tree is a 56-inch diameter at breast height (d.b.h.) Alder which was identified as Tree #1 in Planning Action #2015-00418, which approved the reconstruction of McNeal Pavilion. The application materials note that the tree's stem is hollow, and the tree is in severe decline with signs of decay, twisting cracks, and frequent branch loss. The project arborist indicates that the tree is at the end of its life, in a high traffic area and poses a high risk. The applicants propose to plant two new trees to mitigate the removal, and will also provide a new sheltered seating area as part of the lower plaza area improvements at the northwest corner of McNeal Pavilion.

COMPREHENSIVE PLAN DESIGNATION: Southern Oregon University; **ZONING:** SO; **ASSESSOR'S MAP:** 39 1E 10CD; **TAX LOT #:**100.

VI. TYPE II REVIEWS

PLANNING ACTION: PA-2017-01059

SUBJECT PROPERTY: 1068 East Main Street

OWNER: Marcel Verzeano Trust (Paulena E.C. Verzeano, *trustee*)

APPLICANT: KDA Homes, LLC

DESCRIPTION: A request for Outline Plan and Site Design Review approvals for a 29-unit, 28-lot Performance Standards Option subdivision for the property located at

1068 East Main Street and the vacant parcel directly to the east. The proposal includes the partial demolition and relocation of the existing house on site and a Tree Removal Permit to remove 14 of the site's 25 trees.

COMPREHENSIVE PLAN DESIGNATION: High Density, Multi-Family Residential; **ZONING:** R-3/Pedestrian Places Overlay; **ASSESSOR'S MAP:** 39 1E 09AD; **TAX LOT #:** 6800 and 6801.

VII. STREET TREE REMOVAL PERMITS

PLANNING ACTION: PW-2017-00990

SUBJECT PROPERTY: 420 Morton St.

OWNER/APPLICANT: Kathleen Greathouse & Jeff Stark

DESCRIPTION: A request reconsideration of a denial of a request to remove two approximately 12-inch d.b.h. *liquidambar* street trees from the property located at 420 Morton Street. The owner indicates that the site grades need to be re-worked to address drainage problems, and the owner is concerned that the installation of a French drain and providing a grade which slopes away from the house will necessitate cutting roots that would impact the stability and vigor of the trees.

COMPREHENSIVE PLAN DESIGNATION: Single Family Residential; **ZONING:** R-1-7.5; **ASSESSOR'S MAP:** 39 1E 09DC; **TAX LOT #:** 10800.

VIII. DISCUSSION

1. Attendance Report
2. Election of Officers
3. Street Tree Guide (*Members to bring their marked-up guides for discussion*)
4. Tree of the Year 2017

IX. ADJOURNMENT

Next Meeting: August 3, 2017



CITY OF ASHLAND



TREE COMMISSION MINUTES June 8, 2017

ATTENDANCE: Commissioners Oxendine, Neff and Cates were present, along with Parks & Recreation Department Staff Liaison Peter Baughman and Community Development Department Staff Liaison Derek Severson. Commissioner John had an excused absence.

CALL TO ORDER

Oxendine called the meeting to order at 6:02 p.m. in the Siskiyou Room of the Community Development and Engineering Services Building located at 51 Winburn Way.

APPROVAL OF MINUTES

Neff/Cates m/s to approve the April 6, 2017 meeting minutes as presented. Voice vote: All AYES. Motion passed.

ANNOUNCEMENTS & LIAISON REPORTS

Parks & Recreation Department Staff Liaison Peter Baughman noted that Garfield Park improvements are now largely complete, but that there would be additional improvements to the splash pad, basketball courts, gazebos, and trees to follow. He also noted that the trees planted in North Mountain Park for Arbor Day 2017 are doing well.

Community Development Staff Liaison Derek Severson noted that: 1) Staff has requested that Commissioner John be reappointed to another term at the June 20th council meeting. He was inadvertently left off of the reappointment list approved in April; 2) It was staff's understanding that the Mayor is considering appointing Jim Falkenstein as a new Commissioner at the June 20th meeting; 3) No Council liaison was appointed in the last round of appointments; and 4) Interviews occurred today for the open Assistant Planner positions, and it is hoped that the department will be back up to normal staffing levels very soon.

Oxendine noted that he met with city staff and Landscape Architect Kerry Kencairn and her team to look at options for saving the trees in front of the "Stop & Shop" and redesigning the corner at Lithia and Pioneer. He explained that they hoped to arrive at a cheaper alternative than "silva-cells" which would provide additional soil volume to benefit these established trees, and thought that the use of modified utility vaults might work. Three alternatives are being considered, one of which would require removal of the trees.

Cates noted that he had checked up on the site of the approved removal at 552 Beach Street and the tree has already been removed.

PUBLIC FORUM

There was no one present wishing to speak.

TYPE I REVIEWS

PLANNING ACTION: PA-2017-00969

SUBJECT PROPERTY: 244 Hargadine Street

OWNER/APPLICANT: Elisa Fox/Tim Plankenhorn

DESCRIPTION: A request for a Site Design Review and Conditional Use Permit approval to operate a two-unit Accessory Traveler's Accommodation including one detached guest unit and one owner's unit in the existing home for the property located at 244 Hargadine Street.

COMPREHENSIVE PLAN DESIGNATION: Low Density, Multi-Family Residential; **ZONING:** R-2;

ASSESSOR'S MAP: 39 1E 09BD; **TAX LOT #:** 16500.

Severson gave a brief staff report, noting that the proposal is for an accessory traveler's accommodation with one detached guest unit, with the main house to serve as the owners' unit. The detached guest unit is to be constructed on an existing block foundation which is already in place, and parking is to use existing paved areas so there should be minimal disturbance to the site. The item was brought to the Commission to identify any concerns with impacts to the existing tree in proximity to the building and parking during construction, such as special recommendations for tree protection or construction staging, or any on-going recommendations as the use continues.

Following discussion, the Tree Commission recommended approving the application subject to the condition that the applicants either:

- 1) Identify a Tree Protection Zone, protect it with standard tree protection fencing, and keep all staging, excavation and other construction disturbance including utility installation out of the tree protection zone, and have an arborist on site during trenching to insure that roots are not being cut, or
- 2) Install any utilities through the tree/s root zone by boring the lines through the tree's root zone rather than trenching.

STREET TREE REMOVAL PERMITS

Severson noted that there was one street tree permit to consider for 420 Morton Street, and briefly explained the request as proposing the removal of two liquidambar trees out of concern for the large quantity of seed pods dropped and the hazard these pose to pedestrians. The arborist report provided suggested that these trees pose hazard in terms of their proximity to drop service power lines, invasive root systems which break-up the curbs, and the seed pods which create a tripping hazard. If removal is approved, the two trees would be replaced. Severson noted that *Liquidambar* are not addressed in the *Street Tree guide*, although *Wikipedia* notes that they are banned in some jurisdictions and when accumulated over time seed pods can make a lawn "bumpy".

Following discussion, the Tree Commission recommended **denying** the application as submitted with the following comments:

1. Liquidambar or sweetgums are good trees, and are very commonly encountered in plantings locally as both street trees and landscape trees.
2. Removing two healthy trees because of their fruit, seeds or leaves would set a dangerous precedent that could lead to the removal of a lot of healthy trees in the city.
3. If removals are proposed based on a specific hazard condition of the tree, Commissioners would ask that a standard tree risk assessment form be provided.

DISCUSSION

Arbor Day Debrief – Commissioners noted that two trees were planted along the creek in North Mountain Park, and appreciation was expressed to Plan Oregon for allowing the commission to change its order from more/smaller trees to a couple of larger trees at the last minute. It was noted that there were a number of members of the public present, including one person who brought a tree of their own to plant in the park.

Oxendine noted that the SOU Arbor Day event was well attended.

Earth Day Debrief – It was noted that due to miscommunications, there was no Tree Commission presence at the Earth Day event this year.

Street Tree Guide – Commissioners discussed revisiting the guide and the process for public involvement and ultimate council adoption of a new guide. Commissioners agreed that they would mark-up their copies of the Ashland and Medford Street Tree Guides for discussion at the next meeting, and it was noted that the City of Medford’s Arborist (Adam) might be available to attend a future meeting and discuss Medford’s document.

Site Visit Discussion - The Commissioners discussed that while at times it is necessary to go onto the applicant’s property to look at the trees and landscaping that are part of a planning action, especially with flag lots, entering private property without permission could be considered trespassing. Severson explained that Commissioner should not enter private property without explicit permission of the owner, and that if features cannot be seen from the right-of-way staff should arrange a formal commission site visit with all the commissioners, and that this would include staff obtaining permission to enter the property and providing requisite public notice that a quorum of the commission would be meeting.

ADJOURNMENT

The meeting was adjourned at 6:40 p.m., and it was noted that the next regular meeting would be on Thursday July 6th.



NOTICE OF APPLICATION

PLANNING ACTION: PA-2017-01226

SUBJECT PROPERTY: 1465 Webster St.

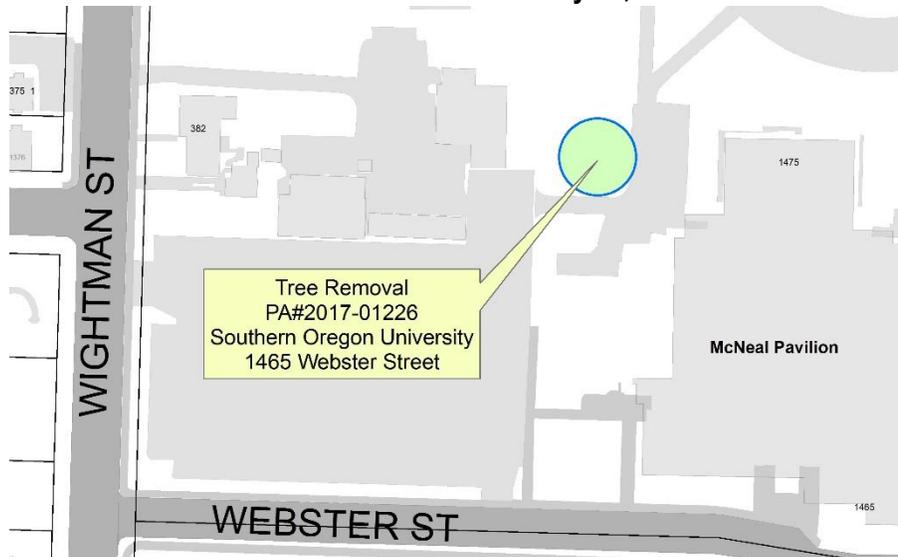
OWNER/APPLICANT: Southern Oregon University

DESCRIPTION: A request for a Tree Removal Permit to remove a hazard tree from the property located at 1465 Webster Street. The tree is a 56-inch diameter at breast height (d.b.h.) Alder which was identified as Tree #1 in Planning Action #2015-00418, which approved the reconstruction of McNeal Pavilion. The application materials note that the tree's stem is hollow, and the tree is in severe decline with signs of decay, twisting cracks, and frequent branch loss. The project arborist indicates that the tree is at the end of its life, in a high traffic area and poses a high risk. The applicants propose to plant two new trees to mitigate the removal, and will also provide a new sheltered seating area as part of the lower plaza area improvements at the northwest corner of McNeal Pavilion. **COMPREHENSIVE PLAN DESIGNATION:** Southern Oregon University; **ZONING:** SO; **ASSESSOR'S MAP:** 39 1E 10CD; **TAX LOT #:**100.

NOTE: The Ashland Tree Commission will also review this Planning Action on **Thursday, July 6, 2017 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTICE OF COMPLETE APPLICATION: June 29, 2017

DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS: July 13, 2017



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.5.1.050.G)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

TREE REMOVAL PERMIT

18.5.7.040.B

1. **Hazard Tree.** A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The applicant must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. See definition of hazard tree in part 18.6.
 - b. The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.
2. **Tree That is Not a Hazard.** A Tree Removal Permit for a tree that is not a hazard shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.10.
 - b. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.
 - c. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.
 - d. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.
 - e. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

June 26,2017

City of Ashland
Planning Division
51 Winburn Way
Ashland, Oregon 97520

“Zoning Permit Application”

Hazard Tree Removal at Southern Oregon University, McNeal Pavilion

Tree Removal Permit 18.5.7.040.B

NARATIVE

1. Hazard Tree. *A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.*
 - a. *The application must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonable be alleviated by treatment, relocation, or pruning.*

Response: The “Basic Tree Risk Assessment Form” (attached) completed by Mike Oxendine, Southern Oregon University Arborist, clearly sets forth the hazard condition for removal of this hazard tree noted on the attached Site Plan. Please see attached documentation and narrative by Mike Oxendine.

- b. *The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.*

Response: Two new trees will be installed in the North West lower Plaza area of McNeal Pavilion, see attached Site Plan for location.

2. Tree That is Not a Hazard. NA

Submitted by:
David Straus AIA, NCARB
Straus & Seibert, Architects

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ISA Basic Tree Risk Assessment Form

Client Southern Oregon University Date 6/20/2017 Time 1:30 PM
 Address/Tree location 1465 Webster Street - McNeal Pavilion Project Site Tree no. _____ Sheet _____ of _____
 Tree species Alnus rhombifolia - White Alder dbh 56 inches Height 45 feet Crown spread dia. 30 feet
 Assessor(s) Mike Oxendine PN-7681A Time frame 30 Min Tools used DBH Tape, dead blow hammer

Target Assessment

Target number	Target description	Target zone			Occupancy rate 1 - rare 2 - occasional 3 - frequent 4 - constant	Practical to move target?	Restriction practical?
		Target within drip line	Target within 1 x Ht.	Target within 1.5 x Ht.			
1	Human Foot Traffic 6,000 people walk under the tree daily at peak - football/graduation.	X			3	N	N
2	Proposed - future outdoor classroom/ampitheater		X		4	N	N
3	Fence	X			4	N	N
4	Equipment - Tractors and implements	X			3	N	N

Site Factors

History of failures This tree frequently sheds branches. See picture from today. Topography Flat Slope 12 % Aspect E
 Site changes None Grade change Site clearing Changed soil hydrology Root cuts Describe Proposed slight grade change.
 Soil conditions Limited volume Saturated Shallow Compacted Pavement over roots 30 % Describe Driveway over roots
 Prevailing wind direction South Common weather Strong winds Ice Snow Heavy rain Describe _____

Tree Health and Species Profile

Vigor Low Normal High Foliage None (seasonal) None (dead) Normal _____ % Chlorotic _____ % Necrotic _____ %
 Pests _____ Abiotic _____
 Species failure profile Branches Trunk Roots Describe several fungal species cause stem decay
 Load Factors Wood boring insects are common
 Wind exposure Protected Partial Full Wind funneling Relative crown size Small Medium Large
 Crown density Sparse Normal Dense Interior branches Few Normal Dense Vines/Mistletoe/Moss
 Recent or planned change in load factors _____

Tree Defects and Conditions Affecting the Likelihood of Failure

— Crown and Branches —

Unbalanced crown LCR _____ % Cracks twisting cracks Lightning damage
 Dead twigs/branches 9-10% overall Max. dia. _____ Codominant Included bark
 Broken/Hangers Number 4 Max. dia. _____ Weak attachments Cavity/Nest hole _____ % circ.
 Over-extended branches Previous branch failures Similar branches present
 Pruning history Dead/Missing bark Cankers/Galls/Burls Sapwood damage/decay
 Crown cleaned Thinned Raised Conks Heartwood decay
 Reduced Topped Lion-tailed Response growth _____
 Flush cuts Other _____

Main concern(s) Tree loses branches frequently and has lots of decay on stems.

Load on defect N/A Minor Moderate Significant Tree is heavy for % decay
 Likelihood of failure Improbable Possible Probable Imminent Tree in severe decline

— Trunk —

Dead/Missing bark Abnormal bark texture/color
 Codominant stems Included bark Cracks
 Sapwood damage/decay Cankers/Galls/Burls Sap ooze
 Lightning damage Heartwood decay Conks/Mushrooms
 Cavity/Nest hole _____ % circ. Depth _____ Poor taper
 Lean _____ ° Corrected? _____

Response growth _____

Main concern(s) stem is hollow and shows signs of decay

Load on defect N/A Minor Moderate Significant
 Likelihood of failure Improbable Possible Probable Imminent

— Roots and Root Collar —

Collar buried/Not visible Depth _____ Stem girdling
 Dead Decay Conks/Mushrooms
 Ooze Cavity _____ % circ.
 Cracks Cut/Damaged roots Distance from trunk _____
 Root plate lifting Soil weakness

Response growth _____

Main concern(s) _____

Load on defect N/A Minor Moderate Significant
 Likelihood of failure Improbable Possible Probable Imminent

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White alder (*Alnus rhombifolia*)

Ecology

Description		A small, often multi-stemmed, deciduous broadleaf tree, typically reaching a height of 50 to 60 ft (15 to 18 m); a broadly rounded crown; dark green leaves, pale green beneath; bark is light gray and smooth on young trees, becoming reddish brown and plated on older trees
Distribution		From valleys of southeastern and south-central Washington southward through northeastern and north-central Oregon; from the Willamette Valley southward in the foothills of the Coast Ranges and in the low- to mid-elevation slopes of the Sierra Nevada; occurs as far south as southern California
Successional stage		A riparian pioneer species, colonizing moist sites disturbed by water
Associated forest cover		Grows in riparian communities with species including Oregon ash, willow (<i>Salix</i> spp.), black cottonwood, red alder, and Oregon white oak
Habitat	Sites	Occupies riparian areas in relatively warm, dry regions, including east of the Cascade Range in Oregon and Washington; occurs primarily in low-elevation riparian areas in western Oregon; found in non-forested areas near perennial streams; a good indicator of water
	Soils	Colonizes fresh alluvium; found on alluvial soils and soils with continuous moisture
	Moisture	Requires a constant water supply; restricted to locations with year-round water flow; low drought tolerance; occurs in areas that flood
	Temperature	Unknown; occurs on warm, interior sites
	Shade tolerance	Shade intolerant
Interspecific interactions	Animal damage	Not a preferred browse species
	Mycorrhizal fungi	Known to be mycorrhizal

Reproduction and Growth

Mode of reproduction		Sexual and vegetative reproduction; monoecious; vegetative reproduction is through stem and root sprouts; reproduction from seed is important in colonization of new sites; vegetative reproduction is important in established stands
Reproductive phenology		In Oregon: flowers in March; fruit ripens in late September to early October
Pollination		Wind-pollinated
Seed	Seed type	Woody cone-like catkins contain numerous, winged, nutlike seeds
	Seed-bearing age	Undocumented; although red alder, which is closely related, may produce seed as early as 3 to 4 years of age
	Seed size/weight	Averages 650,000 seeds per lb (1,430,000 per kg)
	Seed longevity/survivability	Undocumented under natural conditions; seed of closely related red alder may be stored for 10 to 20 years at temperatures of 10 °F (-12 °C) or lower
	Seed crop and frequency	Undocumented

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Seed dissemination	Time of year	Seeds mature beginning in late September
	Method and dispersal agents	Seeds dispersed by wind and water
	Distance	Undocumented
Germination requirements		Germination is greatest in full sunlight, on wet mineral soils, such as those exposed after flooding; cold stratification not necessary
Seedling survival		Seedling establishment requires a continuously moist substrate

Threats and Management Considerations

Insects and disease	Leaf damage by the alder leaf beetle and several foliar pathogens is common but not usually debilitating; several fungal species cause stem decay in older trees; branch and stem dieback associated with woodboring insects are common.
Harvest	Not an important commercial species
Fragmentation	Scattered populations occur in eastern Washington and Oregon
Fire	Trees are not fire-resistant, although their streamside habitat burns less frequently than other areas; little information exists on their response to fire; high-intensity fire has been observed to kill trees and root systems, while root systems of associated species sprouted post-fire
NatureServe conservation status ranking	G5 Secure—Common; widespread and abundant
Silvicultural considerations	Planted to disturbed riparian areas to restore vegetation and stabilize soil

References

Arno and Hammerly 2007, Bonner and Karrfalt 2008, NatureServe 2010, Opperman and Merenlender 2001, Uchytel 1989b, USDA NRCS 2010

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City Of Ashland

Dear City of Ashland Tree Commission members and Planning Department Officials,

Due to the construction of a new outdoor courtyard type space at the Student Recreation Center I have been asked to evaluate a large *Alnus rhombifolia* (White Alder). I have had this tree on my concerned watch list for 5 years. It continually drops branches every year and is in an extremely high traffic area. In fact the most commonly used walkway on campus is directly underneath the canopy of this tree. During football games and SOU's Commencement there are as many as 6,000 people who walk underneath this tree daily. As you will see in the attached photos this tree is in severe decline and has been for many years.

This Alder tree has reached the end of its lifespan for a urban environment and is no longer safe. The construction of a new outdoor space on this location is only a catalyst for SOU dealing with this high risk tree. Regardless of construction this tree needs to be removed. White Alder trees are a keystone riparian species and require a constant water supply, and have extremely low tolerance to drought. The past 3 years of drought have severely weakened this tree. The species profile which I have attached to this report states that "several fungal species cause stem decay in older trees; branches and stem dieback associated with wood boring insects are common". Please note in the attached pictures the evidence of decay and branch dieback.

During my assessment, I used a large dead blow hammer to test the main stem for decay. When striking the stem a throaty hollow sound emanates - signaling the main stem is likely hollow and decayed. This is a multi dominant tree with included bark at the branch unions. There is also a large amount of leaf debris built up in the main stem crotch which retains water and I believe has led to the decayed main stem.

Almost all of the large main branches/stems have large twisting cracks with clearly visible decayed wood on the interior of the branches. The branch that was on the ground this morning had decayed at the base of a similar twisting crack - see photo. I believe it's only a matter of time before this tree loses one of its larger branches/stems.

Please note that there are many trees on the landscape plan for this project. There is also another White Alder about 50 feet away that is of almost equal size and is in much better condition. It is actually stop [# 11 of the SOU Botanical Tour](#). As mitigation for the removal of such a large canopy tree I have requested that Covey Pardee Landscape Architects increase the size of the trees planned for this area to help increase canopy density more quickly.

Removing such a large tree is a last resort. Normally I would propose this as a habitat tree and leave the main stems, however with the planned landscape for this area that isn't possible or practical.

Sincerely, Mike Oxendine PN-7681A

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City Of Ashland

David Board

Dead



Dead

Crack

Big decay
Crack

Dead branch

Crack



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↑ Freshly fallen Branch
Twisted decay



IVED

2017

City of Ashland

Accumulation of rotting debris & water

✓ decay
crack



REMOVED

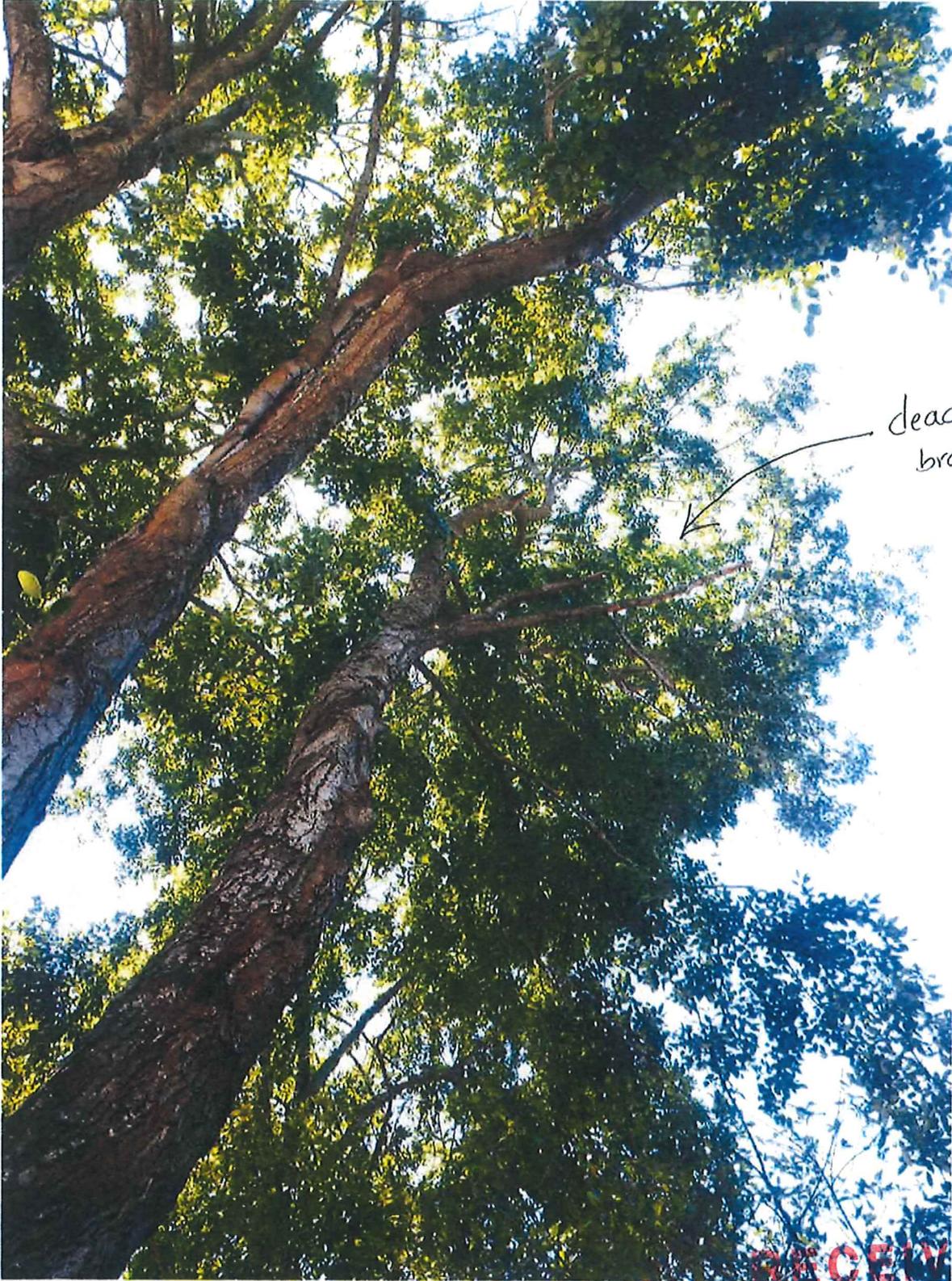
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Included bark @ crotch unions

↙ dead branch



Decay
Cracks ↗

↖ dead
branch

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Bad photo of included crotch



→
Dead
Branches

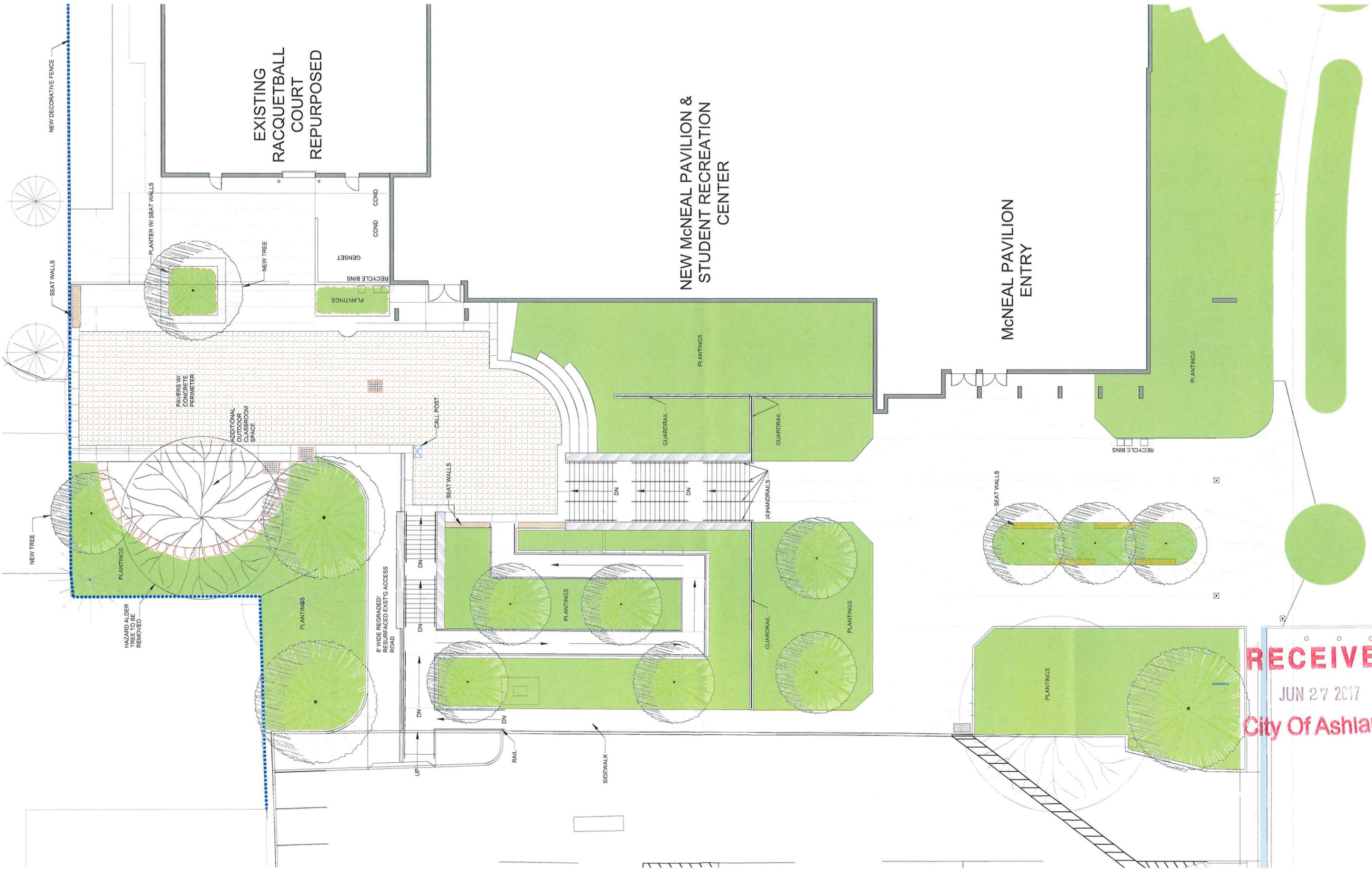
↗
decay
cracks

↗
Twisted decay cracks

VED
JUN 27 2017
City Of Ashland



Dead branches



**NEW McNEAL PAVILION &
STUDENT RECREATION
CENTER**

**McNEAL PAVILION
ENTRY**

**EXISTING
RACQUETBALL
COURT
REPURPOSED**

SOU McNeal West Plaza

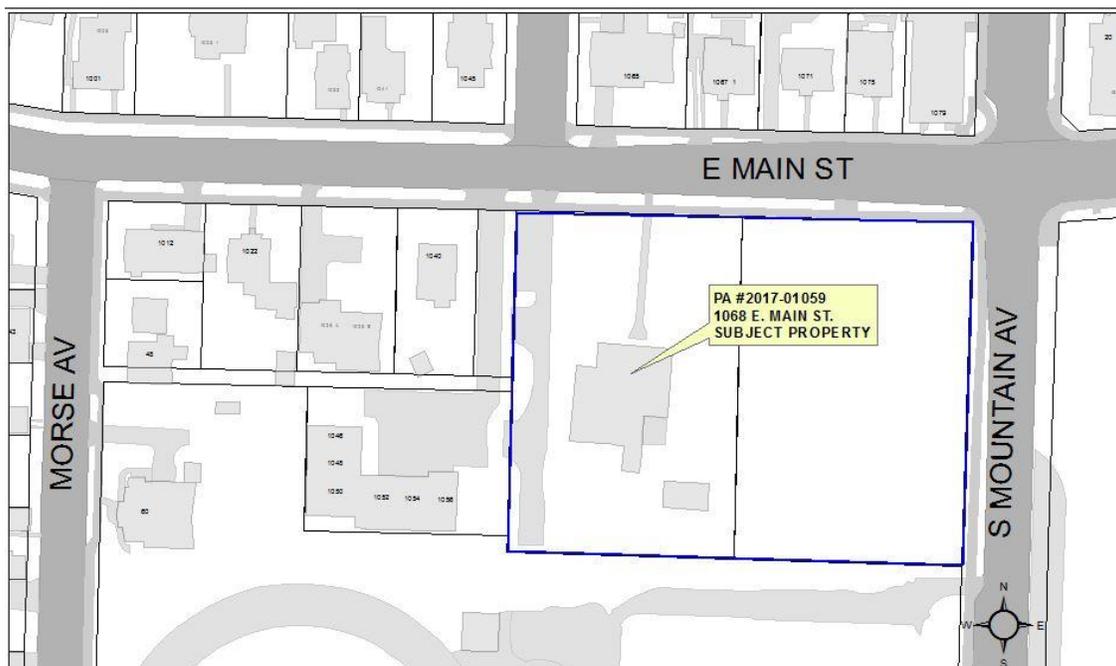
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City Of Ashland



PLANNING ACTION: PA-2017-01059
SUBJECT PROPERTY: 1068 East Main Street
OWNER: Marcel Verzeano Trust (Paulena E.C. Verzeano, *trustee*)
APPLICANT: KDA Homes, LLC
DESCRIPTION: A request for Outline Plan and Site Design Review approvals for a 29-unit, 28-lot Performance Standards Option subdivision for the property located at 1068 East Main Street and the vacant parcel directly to the east. The proposal includes the partial demolition and relocation of the existing house on site and a Tree Removal Permit to remove 14 of the site's 25 trees. **COMPREHENSIVE PLAN DESIGNATION:** High Density, Multi-Family Residential; **ZONING:** R-3/Pedestrian Places Overlay; **ASSESSOR'S MAP:** 39 1E 09AD; **TAX LOT #:** 6800 and 6801.

NOTE: The Ashland Tree Commission will also review this Planning Action on **Thursday, July 6, 2017 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

ASHLAND PLANNING COMMISSION MEETING: **Tuesday, July 11, 2017 at 7:00 PM, Ashland Civic Center, 1175 East Main Street**



Notice is hereby given that a PUBLIC HEARING on the following request with respect to the ASHLAND LAND USE ORDINANCE will be held before the ASHLAND PLANNING COMMISSION on meeting date shown above. The meeting will be at the ASHLAND CIVIC CENTER, 1175 East Main Street, Ashland, Oregon.

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, either in person or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Commission to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. A copy of the Staff Report will be available for inspection seven days prior to the hearing and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Department, Community Development and Engineering Services, 51 Winburn Way, Ashland, Oregon 97520.

During the Public Hearing, the Chair shall allow testimony from the applicant and those in attendance concerning this request. The Chair shall have the right to limit the length of testimony and require that comments be restricted to the applicable criteria. Unless there is a continuance, if a participant so requests before the conclusion of the hearing, the record shall remain open for at least seven days after the hearing.

In compliance with the American with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Administrator's office at 541-488-6002 (TTY phone number 1-800-735-2900). Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting. (28 CFR 35.102.-35.104 ADA Title I).

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division, 541-488-5305.

OUTLINE PLAN APPROVAL

18.3.9.040.A.3

Approval Criteria for Outline Plan. The Planning Commission shall approve the outline plan when it finds all of the following criteria have been met.

- a. The development meets all applicable ordinance requirements of the City.
- b. Adequate key City facilities can be provided including water, sewer, paved access to and through the development, electricity, urban storm drainage, police and fire protection, and adequate transportation; and that the development will not cause a City facility to operate beyond capacity.
- c. The existing and natural features of the land; such as wetlands, floodplain corridors, ponds, large trees, rock outcroppings, etc., have been identified in the plan of the development and significant features have been included in the open space, common areas, and unbuildable areas.
- d. The development of the land will not prevent adjacent land from being developed for the uses shown in the Comprehensive Plan.
- e. There are adequate provisions for the maintenance of open space and common areas, if required or provided, and that if developments are done in phases that the early phases have the same or higher ratio of amenities as proposed in the entire project.
- f. The proposed density meets the base and bonus density standards established under this chapter.
- g. The development complies with the Street Standards.

SITE DESIGN AND USE STANDARDS

18.5.2.050

The following criteria shall be used to approve or deny an application:

- A. **Underlying Zone:** The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.
- B. **Overlay Zones:** The proposal complies with applicable overlay zone requirements (part 18.3).
- C. **Site Development and Design Standards:** The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.
- D. **City Facilities:** The proposal complies with the applicable standards in section 18.4.6 Public Facilities and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property and adequate transportation can and will be provided to the subject property.
- E. **Exception to the Site Development and Design Standards.** The approval authority may approve exceptions to the Site Development and Design Standards of part 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.
 1. There is a demonstrable difficulty meeting the specific requirements of the Site Development and Design Standards due to a unique or unusual aspect of an existing structure or the proposed use of a site; and approval of the exception will not substantially negatively impact adjacent properties; and approval of the exception is consistent with the stated purpose of the Site Development and Design; and the exception requested is the minimum which would alleviate the difficulty.; or
 2. There is no demonstrable difficulty in meeting the specific requirements, but granting the exception will result in a design that equally or better achieves the stated purpose of the Site Development and Design Standards.

TREE REMOVAL PERMIT

18.5.7.040.B

1. **Hazard Tree.** A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The applicant must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. See definition of hazard tree in part 18.6.
 - b. The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.
2. **Tree That is Not a Hazard.** A Tree Removal Permit for a tree that is not a hazard shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.10.
 - b. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.
 - c. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.
 - d. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.
 - e. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

TEN SIXTY EIGHT

**PROJECT DESCRIPTION AND FINDINGS OF FACT
FOR A 29 UNIT OUTLINE PLAN SUBDIVISION
FOR THE PROPERTY LOCATED AT 1068 E. MAIN STREET**



SUBMITTED TO

**CITY OF ASHLAND PLANNING DEPARTMENT
ASHLAND, OREGON**

SUBMITTED BY

**KDA HOMES, LLC
604 FAIR OAKS COURT
ASHLAND, OR 97520**

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JUNE 2ND, 2017

I. PROJECT INFORMATION:

PROJECT NAME: "Ten Sixty Eight"

PLANNING ACTION: A request for an Outline Plan and Site Review Permit for a 29 unit / 28 lot subdivision on the property located at 1068 E. Main Street and the vacant parcel directly to the east. The proposal also includes partial demolition and the relocation of the existing house on site and a Tree Removal Permit to remove 14 trees.

PROPERTY ADDRESS: 1068 E. Main Street

LEGAL DESCRIPTION: 391E 09AD Tax Lots 6800 & 6801

COMPREHENIVE PLAN DESIGNATION: Multi-Family Residential District

ZONING DESIGNATION: R-3, High Density Multi-Family Residential District (20 units per acre)

ZONING OVERLAYS: Pedestrian Places

PARCEL SIZE: Two parcels consisting of 1.78 Acres (77,910 Square Feet)

BASE DENSITY: 35.6 Dwelling Units (20 X 1.78)

80% MINIMUM DENSITY REQUIRED (PROPOSED): 28.48 units (29)

<p>APPLICANTS: KDA Homes, LLC 604 Fair Oaks Court Ashland, OR 97520</p> <p>ARCHITECT Gary Collins, AIA PO Box 262 Jacksonville, OR 97530</p> <p>SURVEYOR: Polaris Land Survey P.O. Box 459 Ashland, Oregon 97520</p>	<p>CIVIL ENGINEER: Construction Engineering Consultants P.O. Box 1724 Medford, Oregon 97501</p> <p>LANDSCAPE ARCHITECT/ARBORIST: Madara Design, Inc. 2994 Wells Fargo Road Central Point, OR 97502</p> <p>ATTORNEY OF RECORD: Huycke O'Connor Jarvis, LLP 823 Alder Creek Drive Medford, Oregon 97504</p>
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II. SITE DESCRIPTION: The two parcels are located on the corner of South Mountain Avenue and E. Main Street, directly below the Ashland High School’s football field. The property is .93 acres and .85 acres (1.78 acres) one of which is vacant and the other retains the existing old house. The property is rectangular shaped measuring 315’ along E. Main Street x 237’ along S. Mountain Avenue. A number of large stature trees exist, but primarily around the area of the house. It should also be noted the 1909 house was actually an addition to the rear part of the house which will be removed due to its dilapidating

condition. There is limited information about the original home's construction date, but it as well as the addition, was constructed by the grandfather of the current owner who is now in her 80's.

The old home is accessed from E. Main Street via a long driveway off the home's west side that is canopied by various trees. A sidewalk extends to the old home from the E. Main Street sidewalk which gives the home a strong "sense of entry" coupled by its Craftsman architecture and extended setback from the street. The property slopes to the north roughly 4% and beyond the existing house and the sites mature trees, has limited physical constraints. The property does abut to the Ashland High School football field which is separated not only by a short retaining wall along the southern property line, but sits below the field's surface by roughly 10'.

The property is zoned R-3, Multi-Family Residential and within the Pedestrian Places Overlay. The neighboring properties consist of the Ashland High School baseball field to the east across South Mountain Avenue, football field to the south, multi-family to the west and single family homes across E. Main Street to the north.

III. PROPERTY HISTORY: The current property owner has owned the subject property since 1950 and prior to that time the property was owned by her family dating back more than 100 years. As noted, the front of the iconic old 1909 house is actually a large addition to the original house built prior to the turn of the century which is attached in the rear of the 1909 addition. Aerial photos from 1939 appear to identify stacks of lumber within the northeast corner of the property, likely related to the lumber mill which operated on the site of the current Community Center property (where Council Chambers currently reside), but the property has largely sat vacant and used as a single family residence up to the 1990's. Since the late 1990's, the home has been either vacant or intermittingly used as professional office space.

IV. PROJECT DESCRIPTION: The applicants intend to retain the existing 1909 portion of the house, but relocate it "on-site" roughly 40' to the north, centered between two mature trees and on a new foundation which it currently needs. Once the home is set on its new foundation and the rear wall repaired (where the original home abutted), the home will then be sold. The existing driveway off of E. Main Street and the adjacent mature trees aligning the driveway will remain "as is". The applicants contend the end result will be a considerate approach to historic preservation and environmental conservation that retains an old historic house and keeps its iconic streetscape appearance (deep setback from street, sidewalk/porch symmetry and long procession entrance), while at the same time producing a multi-family development plan that not only respects the old home, but also optimizes the zone's required multi-family density.

Once relocated and segregated on its parcel, the old home will sit on .34 of an acre parcel and sit back roughly 40' from the front property line. The old home site would retain the property's remaining density of 6.8 units, but continue to be a single-family residence or convert to other uses as designated in the R-3 and Pedestrian Places Overlay Zones.

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The remaining part of the property will be developed with 26 townhomes and 2 apartments consisting of 19 three-bedroom units, 7 one-bedroom units and 2 studio apartment units.

Vehicular ingress and egress will be from S. Mountain Avenue with an internal looping system and pedestrian access penetrates the site in various locations. All of the street fronting units will have patios and/or porches with short connecting sidewalks as required by the City's Site Design & Use Standards for multi-family developments. The majority of the internal units will be oriented to the subdivision's private open spaces and driveways.

Site Design: In accordance with the City's adopted Site Design Standards as well as the recently adopted Pedestrian Places Overlay, the proposal attempts to be respectful of the E. Main Street and North Mountain Avenue streetscapes by orientating a portion of the units along the street frontages, with direct pedestrian connectivity from the public sidewalk and vehicular access from the back, directly off an internal driveway. Elevated porches, deep roof overhangs, articulated facades, attractive landscaping and added street trees within newly planted planting bays are intended to enhance the pedestrian vibe along the streets and provide the project residents a positive semi-private outdoor experience.

Pedestrian Places / Concept Planning: The applicants would like to let the Planning Commission, Staff and neighbors know that multiple concept plans were explored prior to committing to the proposed plan. The concept plans included the old house being demolished, the old house remaining in-place (on its current foundation), three mixed-use buildings along the streets similar to Pedestrian Place Concept Plan and a cottage house plan with units along the street frontage and a common parking area behind, but for numerous reasons those plans were fraught with issues which included the applicant's historic preservation values, tree preservation concerns, solar access conflicts, density below the base zone's required minimum, variances, solar reflective heat gain and market acceptance. In the end, the applicants contend the proposed plan, is far superior than the alternative concept plans and will provide needed housing to the community.

Density: The subject property is zoned R-3, High Density Multi-Family, allowing a maximum of 20 dwelling units per acre and a minimum of 16 dwelling units per acre. The subject properties combined are 1.788 acres and have a base density of 35.6 dwelling units and a minimum of 28.48 dwelling units. The applicants are proposing a total of 29 dwelling units, including the old house which is intended to remain on a larger .27 acre parcel setback from East Main Street in an attempt to respect its iconic setting. The proposed density per acre will be roughly 82% of the base density. However, when calculating the property, less the old house site of .27 acres, the base density on the remaining property is 30.36 units with a minimum density of 24.2. As such, the proposed 28 new units will be roughly 92% of the maximum base density.

Finally, it is the applicants' intention to "retain" the remaining available density (6.6 dwelling units) by applying it to the old house lot so that if it is ever partitioned, the house divided or its use intensified (such as a restaurant, traveler's accommodation, neighborhood market, art center, etc.),

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the future property owners will have the ability to justify the more intensified use based on the zone's target use as applied in AMC 18.5.4.050 5(c)3.

Unit Types: The proposal includes a variety of unit types and sizes. Of the 28 proposed units, 19 are three bedrooms, 13 of which have their bedroom spaces on the second floor and 6 with ground floor master bedrooms, 7 one-bedroom units over garages and 2 apartment studio units. The chosen unit types are intended to provide a variety of housing for families, elderly and young single occupants. The proposal is for a subdivision with 26 of the new units being for sale and 2 of the units being apartments. However, as the applicants have experienced with a similar project, the Ridgeview Subdivision roughly 80 yards to the north of the subject property, 30% of those "for sale" units are being rented.

Parking Calculation: The project's Architect has attempted to spread the project's parking spaces throughout the development so no one area of the development is concentrated with parking in order to avoid excessive vehicular lights and noises, excessive walking distances or concentrated heat gain areas from solar reflection. That said, the parking calculations are in accordance with AMC Chapter 18.4.3, requiring a total of 54 parking spaces based on the number of units and bedrooms. A total of 64 parking spaces are provided, including a centrally located handicap space.

Of the 64 parking spaces provided, 43 parking spaces are enclosed within garages and 21 parking spaces remain uncovered. Of the uncovered parking spaces, seven are assigned to specific units and 14 remain open on a first come basis. Each unit within the subdivision, including the two rental apartments, has at least one attached or assigned garage parking garage. No on-street parking spaces have been provided, but two to three could easily be constructed along N. Mountain Avenue, in place of the parkrow, at the request of the Planning Commission.

The on-site parking space calculations are as follows:

AMC 18.4.3.040 Automobile Parking Spaces for Multi-Family:

Use	Units	Spaces Per Unit	Required	Provided
Single Family Home	1	2	2	3
3-bedroom	19	2	38	38
1-bedroom	7	1.5	10.5	11
Studio Apts. (<500 sq. ft.)	2	1	2	2
Overflow	-	-	-	10
Total	29	-	53.5 (54)	64

Parking Configuration: As noted, the project's parking spaces are dispersed throughout the proposed development. In some cases, the spaces are across driveways and technically within the boundaries of another unit's property. For example, the enclosed parking spaces for Unit #17 are under Unit #26. In another example, Unit #14's enclosed parking spaces are tucked under the living space of Unit #20's, across the driveway. Each of these parking spaces is separated by partition walls

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with each having its own garage door and locks. Parking spaces within the footprint of a building will technically be the property of the underlying title owner, Unit #26 for example, but a perpetual use easement will be granted to the benefitting property owner of Unit #17.

Other than the few unenclosed parking spaces on Lots #2 - #7, the site's remaining unenclosed parking spaces are sprinkled throughout the development, with the majority of the those spaces clustered along the southwestern property lines. The parking spaces on Lots #2 - #7 are intended to be assigned to that unit whereas all of the remaining unenclosed spaces will remain open on a first come basis. Finally, all assigned parking spaces will be bound by legal agreement recorded with the subdivision's plat and clarified in the Association's home owner documents.

Phasing: The applicants intend to phase the property with the old house lot being the first phase and the remaining townhome development the second phase, in accordance with AMC 18.5.3.030.C. The old house site will be completely independent from the townhome portion of the project and will not share in HOA affairs or dues. Further, it is the applicants' intention to first remove the dilapidated rear of the home, move the old home on its new foundation, underground its overhead electrical line, remodel the rear of the house where the old addition once abutted and record the parcel as Phase 1 of the development. For efficiency and financial reasons, some financial bonding will likely be necessary for the new sidewalk and street trees along the parcel's East Main Street frontage as those improvements should occur at the time the remaining project's sidewalks and landscaping is installed.

Bike Parking: All bike parking is intended to be within each unit's assigned garage. Considering this project is for attached townhomes and will be developed and constructed as a Planned Unit Development, each garage will be constructed with the inclusion of hanging bike racks to accommodate a minimum of two bikes spaces per AMC 18.92.060 B.

Recreational Spaces: The applicants have attempted to create both common and private recreational spaces in order to provide the tenants a comfortable urban living environment. The recreational spaces are well thought-out, centrally located and provide dual purpose. The front porches along the streets help articulate the architecture, enhance the public right-of-way and add human scale to East Main Street and South Mountain Avenue. All of the units along both East Main Street and South Mountain Avenue have 8' deep porches and the internal units, Units #8 - #20 abut the subdivision's three common open space areas, one a small passive garden bed area, a small tot lot play area and the other a passive landscaped courtyard. Units #21 - #28 do not directly abut recreational space, but do have decks with unobstructed views to the south at the Ashland High School's football field. Overall, 9.5% of the multi-family portion of the property is dedicated as recreational space.

Tree Preservation / Removal: The majority of the site's large statured trees, primarily those around the perimeter of the old house will remain. The survey has identified 25 trees greater than 6" dbh and of the 25 trees, 14 are proposed to be removed. Of the 14 to be removed, Tree #14, a Fir, and Tree #15, a Western Cedar tree, are the most significant. According to the Arborist's report, both trees are damaged or

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stressed from lack of proper care and water and both need significant pruning.

The remaining trees to be removed are generally noted as dead, marginal or in fair condition. In conversations with the project Arborist, all of the site's trees have been neglected and have either been compromised due to lack of water, lack of maintenance or impact of adjacent urban development (sidewalks along street). *Note:* in the location where the old house is proposed to be relocated to the north of its current site, it was determined by the project Arborist, the two trees, #9 and #18, are in good condition and will not be impacted by the home's proposed location, new footing or new utilities. Tree #18 will have a portion of a new sidewalk and parking space within its root zone, but as planned, the parking space is shortened to accommodate "compact" parking and its surface area within the root zone will be of porous materials. Also, the applicants intend to work with the project arborist as it relates to root pruning during the footing's construction.

A total of 37 trees will be planted as mitigations trees, including 1 for every 30' of street frontage along both East Main Street and South Mountain Avenue.

Architecture: The character of 1068 East Main Street will loosely play off the existing old 1909 house to give it an iconic anchor calculated to integrate with the site and relate to local history, but without imitation of the craftsman style. The project will be largely monochromatic with accent relief in deeper hues, adding surprise and interest to accentuate the massing of the buildings. The orientation of garages is laid out to be as varied as possible to avoid the "alley" of garage doors so common to dense at-grade multifamily housing. The general tone will be contemporary, emphasizing horizontal siding, unconventional window treatments, lower roof pitches, and crisp lines with few architectural clichés. At the time of the Planning Commission's public hearing, a color chart and material board will be presented.

Easements: There are two utility easements that will be vacated or partially vacated. Both relate to remnant rights-of-way that once existed on the property's west and south property lines. The western easement, where Emerick Street once was to be extended through, was vacated, but a 50' easement for utilities was retained. However, based on research, only 33'-6" of the western most half has utilities within the easement (sewer line). The eastern 16'-6" of the easement has no utilities and is to be vacated via an eventual request to the City Council.

The southern easement is 15' wide located along the southern property line, abutting the high school's football field. Preliminary research does not show any utilities within the easement and it too will be vacated via an eventual request to the City Council.

Utilities: The project's Civil Engineer has inquired with the Engineering and Public Works staff regarding utilities. These inquiries have shown that all necessary services are available to the site via the mains in the E. Main Street or South Mountain Avenue rights-of-way. A Conceptual Utility Plan (C.1) has been provided illustrating the all utility types, routes and connections.

- 1) **Storm Drainage:** The Conceptual Utility Plan identifies a storm water detention and water quality tank near the low point of the property (intersection of E. Main and S. Mountain). An outlet control

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structure sits adjacent which slowly emits storm water into the existing public system in the right-of-way so that no excess volumes flow off the property any more than a 25 year storm event.

2) Water: A 6" water main is available to the subject site within both South Mountain Avenue and East Main Street. A private water line will loop through the property connecting both mains in order to provide consistent water pressure to the site for both domestic use and emergency needs.

3) Sewer Service: There is an existing 8" sewer line located within both South Mountain Avenue and East Main Street to serve the development. The Public Works Department has stated that the sewer lines are adequate to serve the project. The proposed sewer line will loop through the property and connect to the South Mountain Avenue line near the low point of the property.

4) Electrical: Both South Mountain Avenue and East Main Street have existing overhead power lines and the capacity to service the project. All electrical lines servicing the proposed development will be routed down the existing power poles and buried underground to the proposed units. Electrical transformer locations, possibly up to four, will be evenly dispersed throughout the site in discrete, but accessible locations. At the time of the Final Plan submittal, an Electric Distribution Plan illustrating the location and size of the transformer vaults will be submitted. The Electric Distribution Plan will also indicate the location of any planned street lights along the rights-of-way.

Solar Access: Because the property is zoned high-density residential and included within the Pedestrian Places Overlay, the application complies with the City's Solar Access requirements. The recently adopted Pedestrian Places Overlay recognized that with high-density housing separation between buildings or groups of attached units is critical to the livability and appearance and thus included code allowing units *within* a project to be exempt from standard solar access provisions which can be rigid, which in-turn can force high-density housing to be less creative and less desirable.

That said, the applicants design team did not dismiss the intent of the Solar Access code and designed the project, but for a couple of minor areas, with the City's Solar Access provisions in mind (See Site Plan Solar Study). These include the incorporation of low roof pitches, no large north facing gable ends and private streets or common area to the north. In general, the shadows fall at the foot of buildings or on a garage's wall (unheated space). Of the area where a shadow is being cast on a building to the north, the shadow is from the project's two third-floor apartment units (Units #27 and #28) above Units #25 and #26 which falls on Units #16 - #19. However, based on the Solar Shadow Study, the shadow falls on the garage walls (unheated space) or no higher than the bottom of a south facing window sill.

Fire Department Input: The applicants have included the Ashland Fire Marshall in the design who not only was instructional as it relates to fire code and access management issues, but also helpful in balancing design aesthetics and tree preservation. In particular, fire sprinklers are to be added in the third floor apartment units (Units #27 and #28) allowing for the necessary minimum density, fire hydrants placed in key locations for optimal connections with the fire equipment and the inclusion of a modified turning radius in the area of project's handicap parking space to preserve two medium sized Maple Trees (Tree #19 and adjacent tree less than 6" dbh) which not only help provide shade to the site and the

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common recreational area, but also help provide some vegetation relief between the old house and the new multi-family development.

Transportation Planning: The proposal complies with all standards noted with AMC 18.4.3.80 Vehicle Area Design, AMC 18.4.3.080 C. Vehicle Access and Circulation and AMC 18.4.3.090 Pedestrian Access and Circulation. According to the Institute of Traffic Engineers Trip Generation Report, 7th Edition, a total of 6.47 vehicle trips per unit / per 24 hour period will be generated by the proposed development (181 trips). Vehicular ingress and egress trips have been designed to come in and out to South Mountain Avenue where as the old houses vehicle trips will continue to be from East Main Street and only generate roughly 10 vehicle trips per day. The location of both driveways are as far as practical from the East Main and Mountain Avenue intersection (300' E. Main and 200' S. Mountain) which is a typical access management standard. Finally, it should be noted that during the initial concept site planning process, a looping driveway, extending from South Mountain Avenue to and through the project over to East Main Street was considered. However, this was quickly dismissed for a variety of reasons, the primary reason East Main Street is a higher order street and the City's Access Management and Transportation System Plan prohibit vehicular access, specifically left-turn movements, onto higher order streets.

Pedestrian access is also more than adequate for the development as full "avenue" street standard improvements are proposed along both frontages which will include a 6' sidewalk, 7' planting strip with ground cover and street trees planted every 30' as required under the City's Street Standards. The plan also identifies a 3' street dedication along E. Main Street per the Transportation System Plan for future road or sidewalk widening (intended for the Pedestrian Place Mixed-Use Concept Plan). In addition to the public sidewalks along the perimeter of the property, there are multiple private pedestrian connections to and through the property, similar to what was envisioned in the Pedestrian Places Concept Plan, but instead of the path being placed along the western and southern edge of the property, the sidewalk plan extends just east of the old house to and through the development.

Football / Soccer Field: The applicants have met with the Ashland School District staff and School's Facility Board regarding an odd gap of property between the two properties. Specifically, there is a 7' to 12' strip of property between the short retaining wall on the School District's property and the subject property. The gap is very likely a remnant from a right-of-way vacation that once occurred leaving the retaining wall off-set from the actual property line where it typically would sit. Nevertheless, the two parties had met to discuss the gap as well as potential conflicts and resolutions as there are shared concerns on both sides relating to soccer and footballs sailing over the fences, retrieving of soccer and footballs, loitering, access for maintenance, etc. Possible considerations included the applicants purchasing the property, obtaining an easement, adding taller fencing, etc. Although options and dialogue remain open, the end decision was to leave the gap as, including the additional 6' side yard setback leaving a total of 13' to 19' of land between the District's short retaining wall and the proposed buildings – with no landscaping or fencing. The reasoning is that when balls sail over the fence, there will not be any impediments to retrieve them. Further, since these units actually have their living space above the ground floor garage area, the tenants do not have ground floor access to that area, thus there is not a need for private fencing.

Intersection Design: The Pedestrian Place Concept Plan identified a corner feature at the intersection of East Main and Mountain Avenue in an effort to enhance the intersection's appearance as an active pedestrian node. The applicants concur with the City's vision and have generated preliminary plans incorporating key features of the Pedestrian Place Concept Plans. These include a 45 degree short retaining wall with seating capacity along the wall and framing the subject development, additional right-of-way dedication, street trees and wider sidewalks in the area of the intersection for a possible bus stop.

Final Plan: In accordance with the Performance Standards Options chapter, this proposal will be reviewed by the Ashland Tree and Planning Commissions as a Type II application with public notice. The proposal will also include a Final Plan step which will include additional documents/plans identifying the project's preliminary survey plat, final grading and utilities and Conditions, Covenants and Restrictions (CC&R's) for the eventual Homeowner Association.

Conclusion: The applicants are excited with the proposed plan and hope the neighbors and community will be also. The applicants have strived to address the many values the Ashland Planning staff advocate and the municipal code requires while at the same time address market demand, budget constraints and our own self consciousness of a developments impact on a site's physical features, surrounding neighbors and the community. To this end, the applicants firmly believe the proposed plan is an excellent approach in fusing together these values in order to provide much needed quality housing in Ashland while at the same time preserve an iconic old house, design multi-family buildings that are context sensitive, preserve large stured trees, work with our neighbors, provide a mixture of housing types and sizes, address vehicular and pedestrian access management issues and design to a human scale so as to not overwhelm the passing pedestrian.

V. FINDINGS OF FACT:

The following information has been provided by the applicants to help the Planning Staff, Planning Commission and neighbors better understand the proposed project. In addition, the required *findings of fact* have been provided to ensure the proposed project meets the requirements and procedures outlined in the Ashland Municipal Code (AMC) pertaining to the Performance Standards Options Subdivision requirements in Chapter 18.3.9 and Site Development and Design Standards Chapter 18.4.

*For clarity reasons, the following documentation has been formatted in "outline" form with the City's approval criteria noted in **BOLD** font and the applicant's response in regular font. Also, there are a number of responses that are repeated in order to ensure that the findings of fact are complete.*

Section 18.3.9.040 A.3 Outline Plan for Performance Standards Options Subdivision Criteria

The Planning Commission shall approve the outline plan when it finds the following criteria have been met:

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A. That the development meets all applicable ordinance requirements of the City.

The proposed development meets all applicable City ordinances and design standards of the City of Ashland. The applicants are not requesting any exceptions or Variances with the proposal.

B. That adequate key City facilities can be provided including water, sewer, paved access to and through the development, electricity, urban storm drainage, police and fire protection and adequate transportation; and that the development will not cause a City facility to operate beyond capacity.

All of the site's utilities will extend to and from East Main Street or South Mountain Avenue. Based on discussions with the various service providers, there is adequate capacity to serve the development. All utilities will extend to and through the property as identified on the Conceptual Utility Plan. At the time of the application's Final Plan submittal, Civil Engineered drawings will be submitted identifying specific utility information.

C. That the existing and natural features of the land; such as wetlands, floodplain corridors, ponds, large trees, rock outcroppings, etc., have been identified in the plan of the development and significant features have been included in the open space, common areas, and unbuildable areas.

The only significant natural features are a number of large trees concentrated around the perimeter of the old house. The submittals identify the trees and how the proposed development has attempted to include the majority of the trees. The submittals also include an Arborist Report detailing the health of the trees and if they should be removed or treated with special care. Overall, maintenance of the site's trees has been largely ignored for many years and appear to be stressed due to recent drought conditions, nevertheless, efforts to preserve as many of the site's healthy trees have been incorporated into the project's common areas or remain within the ownership of the old home's future owner.

D. That the development of the land will not prevent adjacent land from being developed for the uses shown in the Comprehensive Plan.

The development of the land will not prevent adjacent land from being developed for the uses shown in the Comprehensive Plan.

E. That there are adequate provisions for the maintenance of open space and common areas, if required or provided, and that if developments are done in phases that the early phases have the same or higher ratio of amenities as proposed in the entire project.

At the time of Final Plan, Conditions, Covenants and Restrictions (CC&R's) will be drafted by the project's Land Use Attorney for review and approval by the City. The documents will address the project's common areas in order to provide adequate provisions for maintenance.

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F. That the proposed density meets the base and bonus density standards established under this Chapter.

The subject property is zoned R-3, High Density Multi-Family, allowing a maximum of 20 dwelling units per acre and a minimum of 16 dwelling units per acre. The subject properties combined are 1.788 acres and have a base density of 35.6 dwelling units and a minimum of 28.48 dwelling units. The applicants are proposing a total of 29 dwelling units, including the old house which is intended to remain on a larger .27 acre parcel setback from East Main Street in an attempt to respect its iconic setting. The proposed density per acre will be roughly 82% of the base density. However, when calculating the property, less the old house site of .27 acres, the base density on the remaining property is 30.36 units with a minimum density of 24.2. As such, the proposed 28 new units will be roughly 92% of the maximum base density.

Note: It is the applicants' intention to "retain" the property's remaining available density (6.6 dwelling units) by applying it to the old house lot so that if it is ever partitioned, the house divided or its use intensified (such as a restaurant, traveler's accommodation, neighborhood market, art center, etc.), the future property owners will have the ability to justify the more intensified use based on the zone's target use as applied in AMC 18.5.4.050 5(c)3.

G. The development complies with the Street Standards.

The application complies with the City's adopted Street Standards, February 2, 1999, with 6' sidewalks, 7' park rows and 6" curbs. The applicant is also proposing to dedicate an additional 3' of land along the East Main Street right-of-way per the City's adopted Transportation System Plan and Pedestrian Places Overlay. Finally, the applicant has attempted to design the corner of the property at the intersection to be largely consistent with the illustration as adopted by the Transportation System Plan in an effort to provide not only an attractive streetscape appearance from the intersection, but to also provide the preliminary base infrastructure (wide sidewalks) if and when the City and RVTD decide to add additional transportation improvements such as bike parking facilities or a bus shelter.

Section 18.3.9.040 A2.k. Written Statement for Outline Plan Subdivisions

k. A written statement which will contain an explanation of:

i. The character of the proposed development and the manner in which it has been designed to take advantage of the Performance Standards Concept.

The proposal has been designed in accordance with the purpose statement of the Performance Standards Options subdivision, as well as many recent policies and codes adopted to address Ashland's land use building inventory needs, housing needs, efficient use of the land, historic preservation, environmental

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considerations, neighborhood context and be aesthetically pleasing to the community and tenants with the intent to provide an improved quality of life when compared to conventional zoning developments.

ii. The proposed manner of financing.

The proposed manner of financing will occur through conventional loans and personal investment capital.

iii. The present ownership of all the land included within the development.

See attached application information.

iv. The method proposed to maintain common open areas, buildings and private thoroughfares.

The method proposed to maintain common open areas, buildings and private thoroughfares will be via a Home Owners Association, including the incorporation of private restrictions and maintenance provisions (CC&R's), all of which will be included at the time of the Final Plat.

v. The proposed time schedule of the development.

The general time schedule of the development will likely occur in the fall/winter of 2017/2018 and be completed towards the end of the summer.

vi. The findings of the applicant showing that the development meets the criteria set forth in this Ordinance and the Ashland Comprehensive Plan.

As noted herein, the proposal complies with the City's Land Use Ordinance and Comprehensive Plan. No exceptions or variances are proposed with this application. The applicant's have gone to significant lengths to address not only the adopted standards, but conceptual elements noted within the Pedestrian Places Overlay. As such, the proposal complies with the City's development standards and pertinent development criteria.

Section 18.5.2.050 Site Design Review Approval Criteria:

An application for Site Design Review shall be approved if the proposal meets the criteria in subsections A, B, C, and D below. The approval authority may, in approving the application, impose conditions of approval, consistent with the applicable criteria.

A. Underlying Zone. The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.

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To the best of the applicant's knowledge all City regulations of the underlying R-3 zone are or will be complied with. All building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards have been evaluated and re-evaluated to ensure consistency with the applicable provisions of the Ashland Municipal Code. The applicants are not requesting any exceptions or variances.

B. Overlay Zones. The proposal complies with applicable overlay zone requirements (part 18.3).

To the best of the applicant's knowledge, the proposal complies with all applicable overlay zone requirements which include the Pedestrian Place Overlay requirements of Chapter 18.3.

C. Site Development and Design Standards. The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.

To the best of the applicant's knowledge, the proposal complies with all applicable Site Development and Design Standards which include provisions for access management, building orientation, parking configuration, etc. The application's various plans have been primarily based on the City's Site Development and Design Standards.

D. City Facilities. The proposal complies with the applicable standards in section 18.4.6 Public Facilities, and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property, and adequate transportation can and will be provided to the subject property.

To the best of the applicant's knowledge, the proposal complies with all applicable standards in section 18.4.6 Public Facilities, and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property, and adequate transportation can and will be provided to the subject property. Multiple meetings have occurred with the City's various department heads / staff and other utility providers and at no time was there any indication adequate capacities of any public facilities are in question.

E. Exception to the Site Development and Design Standards. The approval authority may approve exceptions to the Site Development and Design Standards of part AMC 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.

Not applicable. No exceptions are proposed.

18.4.2.030 Building Placement, Orientation, and Design - Multi-Family Residential Development

18.4.2.030 Residential Development

A. Purpose and Intent. For new multi-family residential developments, careful design considerations must be made to assure that the development is compatible with the surrounding neighborhood. For example, the use of earth tone colors and wood siding will blend a development into an area rather than causing contrast through the use of overwhelming colors and concrete block walls.

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As noted, multiple concept plans were explored prior to committing to the proposed plan. The concept plans included the old house being demolished, the old house remaining in-place (on its current foundation), three mixed-use buildings along the streets similar to Pedestrian Place Concept Plan and a cottage house plan with units along the street frontage and a common parking area behind, but for numerous reasons those plans were fraught with issues which included the applicant's historic preservation values, tree preservation concerns, solar access conflicts, density below the base zone's required minimum, variances, solar reflective heat gain and market acceptance. In the end, the applicants contend the proposed plan, is far superior than the alternative concept plans and will provide needed housing to the community.

1. Crime Prevention and Defensible Space.

a. Parking Layout. Parking for residents should be located so that distances to dwellings are minimized. However, avoid designs where parking areas are immediately abutting dwelling units because there is little or no transition from public to private areas. Parking areas should be easily visible from adjacent areas and windows.

Although not necessarily the design team's primary consideration, consideration of defensible space is always a point of discussion. In this particular case, the parking areas are dispersed throughout the property so no one area of the development is concentrated with parking in order to avoid excessive vehicular lights and noises, excessive walking distances or concentrated heat gain areas from solar reflection.

b. Orientation of Windows. Windows should be located so that vulnerable areas can be easily surveyed by residents.

Windows have been located so that vulnerable areas can be easily surveyed by residents.

c. Service and Laundry Areas. Service and laundry areas should be located so that they can be easily observed by others. Windows and lighting should be incorporated to assure surveillance opportunities. Mail boxes should not be located in dark alcoves out of sight. Barriers to police surveillance such as tall shrubs and fences should be avoided.

There are no common service or laundry areas within the proposed development. However, appropriately placed windows and lights are planned to be incorporated throughout the project to minimize uncomfortable zones and to promote natural surveillance opportunities. Mail box location has yet to be determined, but surveillance will be a consideration when discussing with the Ashland Postmaster.

d. Hardware. Reliance solely upon security hardware in lieu of other alternatives is discouraged.

The applicants are aware of this provision and do not intend to rely on any security hardware at this time.

e. Lighting. Site development should utilize lighting prudently. More lighting does not necessarily

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mean better security. **Lighting should be oriented so that areas vulnerable to crime are accented.**

The applicants intend to light the project sparingly and intend to incorporate down lighting techniques and fixtures. Low luminary emitting lights will be provided along all common area sidewalks.

f. Landscaping. Plant materials such as high shrubs should be placed so that surveillance of semi-public and semi-private areas is not blocked. Thorny shrubs will discourage crime activity. Low shrubs and canopy trees will allow surveillance, hence, reduce the potential for crime.

The applicants are aware of this provision and have chosen plant material and location based on the local climate, water conservation techniques, maintenance and surveillance.

B. Applicability. Except as otherwise required by an overlay zone or plan district, the following standards apply to residential development pursuant to section 18.5.2.020. See conceptual site plan of multi-family development in Figure 18.4.2.030 (see below).

C. Building Orientation. Residential buildings that are subject to the provisions of this chapter shall conform to all of the following standards. See also, solar orientation standards in section 18.4.8.050.

1. Building Orientation to Street. Dwelling units shall have their primary orientation toward a street. Where residential buildings are located within 20 feet of a street, they shall have a primary entrance opening toward the street and connected to the right-of-way via an approved walkway.

The applicants firmly believe a successful development is one that is not only livable and appreciated by the tenants, but one that also respects the adjacent rights-of-way in relation to human scale design. In this case, the buildings have not turned their back on either street which are considered "busy", but instead incorporated primary entrances directly off the street with porches for aesthetic purpose and pedestrian comfort.

2. Limitation on Parking Between Primary Entrance and Street. Automobile circulation or off-street parking is not allowed between the building and the street. Parking areas shall be located behind buildings, or on one or both sides.

Automobile circulation and off-street parking is between the buildings and the streets. Parking areas are located behind buildings, or on one or both sides but are limited and discrete from the public realm.

3. Build-to Line. Where a new building is proposed in a zone that requires a build-to line or maximum front setback yard, except as otherwise required for clear vision at intersections, the building shall comply with the build-to line standard.

Not applicable as there is no build-to line or maximum front setback.

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MULTI-FAMILY CONCEPTUAL SITE DESIGN

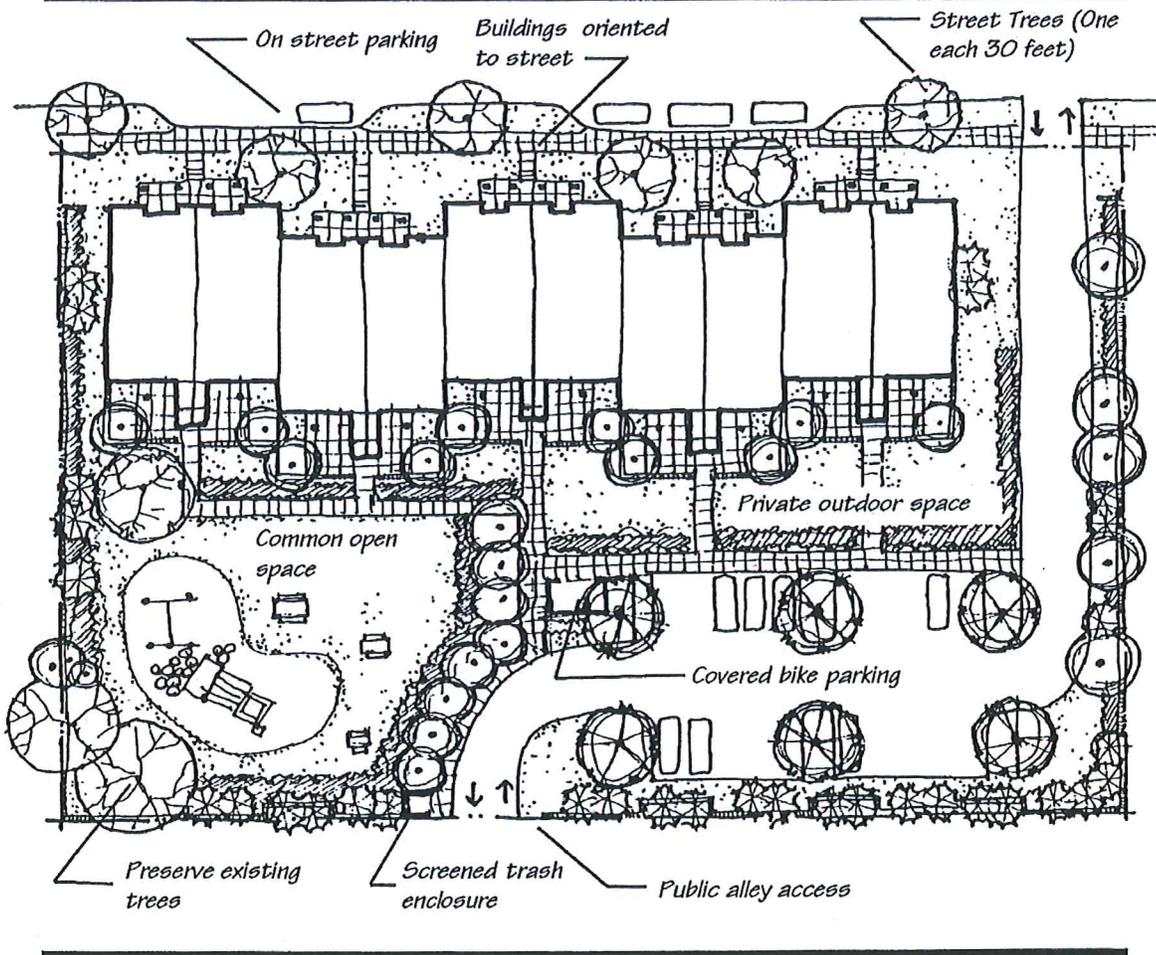


Figure 18.4.2.030

D. Garages. The following standards apply to garages, carports, canopies, and other permanent and temporary structures used for parking or storing vehicles, including those parking and vehicle storage structures accessory to detached single-family dwellings. The standards are intended to balance residents' desire for a convenient, safe, and private vehicle access to their homes with the public interest in maintaining safe and aesthetically pleasing streetscapes. The standards therefore promote pedestrian safety and visibility of public ways, while addressing aesthetic concerns associated with street-facing garages. For the purpose of this subsection, a garage opening is considered to be facing a street where the opening is parallel to or within 45 degrees of the street right-of-way line.

1. Alleys and Shared Drives. Where a lot abuts a rear or side alley, or a shared driveway, including flag drives, the garage or carport opening(s) for that dwelling shall orient to the alley or shared drive, as applicable, and not a street.

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All garages are oriented internally and no garages face a public street.

2. Setback for Garage Opening Facing Street. The minimum setback for a garage (or carport) opening facing a street is 20 feet. This provision does not apply to alleys.

All garages are oriented internally and no garages face a public street.

E. Building Materials. Building materials and paint colors should be compatible with the surrounding area. Very bright primary or neon-type paint colors, which attract attention to the building or use, are unacceptable.

All proposed building materials are commonly found throughout Ashland and all paint colors are intended to be earth tone, but for minor instances for accent treatments. In no case are bright neon-type colors which are intended to attract attention will be used.

F. Streetscape. One street tree chosen from the street tree list shall be placed for each 30 feet of frontage for that portion of the development fronting the street pursuant to subsection 18.4.4.030.E.

The project's landscaping plan identifies street trees, 1 per 30', of street frontage on both East Main Street and South Mountain Avenue. All trees have been chosen by the Ashland Street Tree Guide.

G. Landscaping and Recycle/Refuse Disposal Areas. Landscaping and recycle/refuse disposal areas shall be provided pursuant to chapter 18.4.4.

Landscaping and recycle/refuse disposal areas will be provided pursuant to chapter 18.4.4. The plans identify a recycle and refuse area in the center of the project, easily accessible for Ashland Recology service equipment. Such areas are also screened from public view via walls and a gate.

H. Open Space. Residential developments that are subject to the provisions of this chapter shall conform to all of the following standards.

1. Recreation Area. An area equal to at least eight percent of the lot area shall be dedicated to open space for recreational use by the tenants of the development.

Roughly 9.5% of the multi-family portion of the property is dedicated as recreational space. The applicants have attempted to create both common and private recreational spaces in order to provide the tenants a comfortable urban living environment. The recreational spaces are well thought-out and provide dual purpose by articulating the building's architecture, enhancing the public right-of-way and adding human scale to this section of East Main Street and South Mountain Avenue. All of the units along both East Main Street and South Mountain Avenue have 8' deep porches and the internal units, Units #8 - #20 about the subdivision's three common open space areas, one a small passive garden bed area, a small tot lot play area and the other a passive landscaped courtyard. Units #21 -

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#28 do not directly abut recreational space, but do have decks with unobstructed views to the south at the Ashland High School's football field.

2. Surfacing. Areas covered by shrubs, bark mulch, and other ground covers that do not provide suitable surface for human use may not be counted towards this requirement.

All surface areas within the identified recreational space areas are useable and suitable for human activity.

3. Decks and Patios. Decks, patios, and similar areas are eligible for open space.

A combination of recreational spaces are proposed in this development which include decks, patios, porches, passive garden beds and a small tot lot.

4. Play Areas. Play areas for children are required for projects of greater than 20 units that are designed to include families. Play areas are eligible for open space.

The applicants have designed the subject townhomes for multiple family types, including families, but are unsure if families will purchase or lease the units based on the design provided. Nevertheless, because the project exceeds 20 units, a small play area (tot-lot) has been provided within the central part of the development which is very visible for project residents to monitor. Additional play areas are within very close walking distance.

Section 18.3.12.060 Pedestrian Place Overlay:

D. Development Standards. The following standards shall apply to development in the Pedestrian Places overlay in addition to all applicable provisions of this ordinance.

1. Building Setbacks. The solar access setback in chapter 18.4.8 Solar Access applies only to those lots abutting a residential zone to the north.

The property to the north is East Main Street, a 60' public right-of-way with the fronting units sitting back an additional 20' for a total of 80'. The proposed buildings along the East Main Street frontage only shadow 29' of the street's right-of-way complying with the above standard. Internal solar access does not apply, but the applicants have made every effort to mitigate shadowing onto the project's internal buildings by reducing roof pitch and attaching buildings. In fact, the only area where shadows are cast are from the "E" Units which sit along the south property line and shadow the main entry drive and a portion of the wall area of the units to the north. Most of the shadowing occurs onto non-headed space (garages), but a shadowing does occur on Units #17 and #18 due to the two third-floor apartment units sitting above Units #25 and #26.

2. Plazas and Landscaping Ratio. Outdoor seating areas, plazas, and other useable paved surfaces may be applied toward meeting the landscaping area requirements in chapter 18.4.4 Landscaping, Lighting, and Screening, but shall not constitute more than 50 percent of the required area.

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The proposal does include a small plaza on the corner with seating and for improved streetscape appearance. The plaza does include hardscape surfaces for durability and maintenance, but only 50% is intended to apply to the project's landscape ratio.

E. Development in Residential Zone. The following standards apply to development located in the Pedestrian Places overlay and a residential zone, in addition to all applicable provisions of this ordinance.

1. Special Permitted Uses. In addition to the permitted uses in the underlying residential zone, the following uses and their accessory uses are permitted subject to the requirements of this section.

- a. Professional, financial, business and medical offices, and personal service establishments.
- b. Stores, shops, and offices supplying commodities or performing services.
- c. Restaurants.

Not applicable as the proposal is for multi-family residential, a permitted use of the R-3 zoning district is proposed.

2. Development Standards and Limitations.

- a. The maximum gross floor area occupied by a special permitted use shall be 2,500 square feet.

Not applicable as the proposal is for a permitted use.

b. Special permitted uses shall be allowed in a building or in a group of buildings including a mixture of businesses and housing. At least 50 percent of the total gross floor area of a building, or of where there is more than one building on a site, 50 percent of the total lot area including accessory uses such as parking, landscaping and public space, shall be designated for residential uses.

Not applicable as the proposal is for a permitted use.

- c. The development shall meet the minimum housing density requirements of the underlying zone.

The subject property is zoned R-3, High Density Multi-Family, allowing a maximum of 20 dwelling units per acre and a minimum of 16 dwelling units per acre. The subject properties combined are 1.788 acres and have a base density of 35.6 dwelling units and a minimum of 28.48 dwelling units. The applicants are proposing a total of 29 dwelling units, including the old house which is intended to remain on a larger .27 acre parcel setback from East Main Street in an attempt to respect its iconic setting. The proposed density per acre will be roughly 82% of the base density. However, when calculating the property, less the old house site of .27 acres, the base density on the remaining property is 30.36 units with a minimum density of 24.2. As such, the proposed 28 new units will be roughly 92% of the maximum base density.

Finally, it is the applicants' intention to "retain" the remaining available density (6.6 dwelling units) by applying it to the old house lot so that if it is ever partitioned, the house divided or its use intensified (such as a restaurant, traveler's accommodation, neighborhood market, art center, etc.), the future property owners will have the ability to justify the more intensified use based on the

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zone's target use as applied in AMC 18.5.4.050 5(c)3.

d. Mixed-use buildings shall be setback not more than five feet from a public sidewalk unless the area is used for pedestrian activities such as plazas or outside eating areas, or for a required public utility easement.

Not applicable as the proposal is for a permitted use.

e. Mixed-use developments shall have a minimum Floor Area Ratio (FAR) of .50. Plazas and pedestrian areas shall count as floor area for the purposes of meeting the minimum FAR. Projects including existing buildings or vacant parcels of a half an acre or greater in size shall achieve the required minimum FAR or provide a shadow plan (see graphic) that demonstrates how development may be intensified over time to meet the required minimum FAR.

Not applicable as the proposal is for a permitted use.

Section 18.4.4 Landscaping, Lighting, and Screening – Site Design Review:

18.4.4.030 Landscaping and Screening

A. General Landscape Standard. All portions of a lot not otherwise developed with buildings, accessory structures, vehicle maneuvering areas, parking, or other approved hardscapes shall be landscaped pursuant to this chapter.

The proposal complies with this standard. As noted on the Landscape Plan, all portions of the lot are landscaped that do not have buildings, driveways or parking areas.

B. Minimum Landscape Area and Coverage. All lots shall conform to the minimum landscape area standards of the applicable zoning district (see Table 18.2.5.030.A - C for residential zones and Table 18.2.6.030 for non-residential zones). Except as otherwise provided by this chapter, areas proposed to be covered with plant materials shall have plant coverage of not less than 50 percent coverage within one year and 90 percent coverage within five years of planting.

The proposal complies with this standard and the R-3 zone's maximum 75% lot coverage. Further, the landscaping plan has been designed by a certified landscape designer and tree arborist who has worked within the Rogue Valley for over 30 years who is very capable of identifying plant choices that are best suited for the property based on not only climate, but also the site's physical characteristics. The plantings have all been chosen to cover their respective landscape areas by 50% within the 1st year and 90% after five years.

C. Landscape Design and Plant Selection. The landscape design and selection of plants shall be based on all of the following standards.

1. Tree and Shrub Retention. Existing healthy trees and shrubs shall be retained, pursuant to chapter 18.4.5. Consistent with chapter 18.4.5 Tree Preservation and Protection, credit may be

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granted toward the landscape area requirements where a project proposal includes preserving healthy vegetation that contribute(s) to the landscape design.

To the best of the applicant's ability and in accordance with various other code factors considered herein, the applicants contend as many of the site's existing healthy trees and shrubs have been saved. Unfortunately, a number of the site's trees are in a marginal condition and have not been properly maintained or stand too precariously close to proposed buildings and could potentially be a hazard if not immediate, but soon after the disturbance occurs.

2. Plant Selection.

a. Use a variety of deciduous and evergreen trees, shrubs, and ground covers.

A variety of deciduous and evergreen trees, shrubs, and ground covers have been selected for this application.

b. Use plants that are appropriate to the local climate, exposure, and water availability. The presence of utilities and drainage conditions shall also be considered.

The Landscape Designer has used plants appropriate to the local climate. The landscaping plan identifies plants and trees located in areas for optimum purpose such as shade, privacy, aesthetic and exposure for the purpose of water conservation.

c. Storm Water Facilities. Use water-tolerant species where storm water retention/detention or water quality treatment facilities are proposed.

Not applicable as the project's storm water facility is underground, located on the corner of the two public rights-of-way.

d. Crime Prevention and Defensible Space. Landscape plans shall provide for crime prevention and defensible space, for example, by using low hedges and similar plants allowing natural surveillance of public and semi-public areas, and by using impenetrable hedges in areas where physical access is discouraged.

The proposed landscape plans do not include tall plantings of hedges along walkways in order to encourage comfortable and safe pedestrian activity.

e. Street Trees. Street trees shall conform to the street tree list approved by the Ashland Tree Commission. See the Ashland Recommended Street Tree Guide.

All proposed street trees were chosen from the Ashland Recommended Street Tree Guide.

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3. Water Conserving Landscaping. Commercial, industrial, non-residential, and mixed-use developments that are subject to chapter 18.5.2 Site Design Review, shall use plants that are low water use and meet the requirements of 18.4.4.030.I Water Conserving Landscaping.

Not applicable as the application is for residential, multi-family housing. However, the project's Landscape Designer has chosen water conservation landscaping where possible.

4. Hillside Lands and Water Resources. Landscape plans for land located in the Hillside Lands overlay must also conform to section 18.3.10.090 Development Standards for Hillside Lands, and in the Water Resources overlay must also conform to section 18.3.11.110 Mitigation Requirements for Water Resource Protection Zones.

Not applicable as the subject property is not within a designated hillside or water resource area.

5. Screening

a. Evergreen shrubs shall be used where a sight-obscuring landscape screen is required.

b. Where a hedge is used as a screen, evergreen shrubs shall be planted so that not less than 50 percent of the desired screening is achieved within two years and 100 percent is achieved within four years. Living groundcover in the screen strip shall be planted such that 100 percent coverage is achieved within two years.

No site-obscuring landscaping is necessary, but if it is determined during construction one should be necessary, the applicants will use an evergreen type of shrub.

6. Plant Sizes

a. Trees shall be not less than two-inch caliper for street trees, and 1.5-inch caliper for other trees at the time of planting.

b. Shrubs shall be planted from not less than one gallon containers, and where required for screening shall meet the requirements of 18.4.4.030.C.5 Screening.

All street trees will be 2" caliper and all others 1.5" caliper per the above standard. All plants are at least one-gallon.

D. Tree Preservation, Protection, and Removal. See chapter 18.4.5 for Tree Protection and Preservation and chapter 18.5.7 for Tree Removal Permit requirements.

Tree protection measures in accordance with Chapter 18.4.5 will be implemented at the time of construction. Details of the tree protection plan will be provided with the application's Final Plan documents.

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E. Street Trees. The purpose of street trees is to form a deciduous canopy over the street. The same effect is also desired in parking lots and internal circulation streets; rows of street trees should be included in these areas where feasible. All development fronting on public or private streets shall be required to plant street trees in accordance with the following standards and chosen from the recommended list of street trees.

1. Location of Street Trees. Street trees shall be located in the designated planting strip or street tree wells between the curb and sidewalk, or behind the sidewalk in cases where a planting strip or tree wells are or will not be in place. Street trees shall include irrigation, root barriers, and generally conform to the standards established by the Community Development Department.

All street trees are proposed to be planted in the 7' wide planting strips paralleling each street. All street trees will include irrigation and planted in accordance with the standards of the Community Development Department. All irrigation and maintenance of the trees and groundcover within the planting strips will be the responsibility of the Home Owners Association.

2. Spacing and Placement of Street Trees

All street tree spacing may be made subject to special site conditions that may, for reasons such as safety, affect the decision. Any such proposed special condition shall be subject to the Staff Advisor's review and approval. The placement, spacing, and pruning of street trees shall meet all of the following requirements.

a. Street trees shall be placed at the rate of one tree for every 30 feet of street frontage. Trees shall be evenly spaced, with variations to the spacing permitted for specific site limitations, such as driveway approaches.

b. Street trees shall not be planted closer than 25 feet from the curb line of intersections of streets or alleys, and not closer than ten feet from private driveways (measured at the back edge of the sidewalk), fire hydrants, or utility poles.

d. Street trees shall not be planted closer than 20 feet to light standards. Except for public safety, no new light standard location shall be positioned closer than ten feet to any existing street tree, and preferably such locations will be at least 20 feet distant.

e. Street trees shall not be planted closer than 2.5 feet from the face of the curb. Street trees shall not be planted within two feet of any permanent hard surface paving or walkway. Sidewalk cuts in concrete for trees, or tree wells, shall be at least 25 square feet; however, larger cuts are encouraged because they allow additional air and water into the root system and add to the health of the tree. Tree wells shall be covered by tree grates in accordance with City specifications.

g. Street trees planted under or near power lines shall be selected so as to not conflict with power lines at maturity.

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h. Existing trees may be used as street trees if there will be no damage from the development which will kill or weaken the tree. Sidewalks of variable width and elevation, where approved pursuant to section 18.4.6.040 Street Design Standards, may be utilized to save existing street trees, subject to approval by the Staff Advisor.

To the best of the applicant's ability, the above street tree standards can and will be met. The proposed project is a collaboration of many professionals, including a Landscape Designer and Civil Engineer, who have reviewed the City's street tree standards and designed the project accordingly.

3. Pruning. Street trees, as they grow, shall be pruned to provide at least eight feet of clearance above sidewalks and 12 feet above street roadway surfaces.

The applicants will include this or similar language within the eventual Home Owner Association documents in order to maintain proper clearance.

4. Replacement of Street Trees. Existing street trees removed by development projects shall be replaced by the developer with those from the street tree list approved by the Ashland Tree Commission. The replacement trees shall be of size and species similar to the trees that are approved by the Staff Advisor. See the Ashland Recommended Street Tree Guide.

The only replacement street trees, by definition, to be removed are Trees #24 and #25 (Oak and Almond). Both trees have been stressed due to years of neglect and possibly because of the adjacent sidewalk. Both need significant pruning as both have lots of dead wood. Unfortunately, the combination of these factors, plus the various amounts of disturbance that will occur in this area will result in the trees' loss. As such, the chosen street trees, chosen from the Ashland Recommended Street Tree Guide, will be similar in type and eventual size.

F. Parking Lot Landscaping and Screening. Parking lot landscaping, including areas of vehicle maneuvering, parking, and loading, shall meet the following requirements.

1. Landscaping.

a. Parking lot landscaping shall consist of a minimum of seven percent of the total parking area plus a ratio of one tree for each seven parking spaces to create a canopy effect.

b. The tree species shall be an appropriate large canopied shade tree and shall be selected from the street tree list approved by the Ashland Tree Commission to avoid root damage to pavement and utilities, and damage from droppings to parked cars and pedestrians. See the Ashland Recommended Street Tree Guide.

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c. The tree shall be planted in a landscaped area such that the tree bole is at least two feet from any curb or paved area.

d. The landscaped area shall be distributed throughout the parking area and parking perimeter at the required ratio.

e. That portion of a required landscaped yard, buffer strip, or screening strip abutting parking stalls may be counted toward required parking lot landscaping but only for those stalls abutting landscaping as long as the tree species, living plant material coverage, and placement distribution criteria are also met. Front or exterior yard landscaping may not be substituted for the interior landscaping required for interior parking stalls.

Not applicable as the proposal does not include a parking lot. However, there are areas of consolidated parking, specifically on the west property line, where 7 parking spaces are proposed. The applicants have designed the landscaping around the subject spaces in accordance with the above standards.

2. Screening.

a. **Screening Abutting Property Lines.** A five foot landscaped strip shall screen parking abutting a property line. Where a buffer between zones is required, the screening shall be incorporated into the required buffer strip, and will not be an additional requirement.

b. **Screening Adjacent to Residential Building.** Where a parking area is adjacent to a residential building it shall be setback at least eight feet from the building, and shall provide a continuous hedge screen.

c. Screening at Required Yards.

i. **Parking abutting a required landscaped front yard or exterior yard shall incorporate a sight obstructing hedge screen into the required landscaped yard.**

ii. **The screen shall grow to be at least 36 inches higher than the finished grade of the parking area, except within vision clearance areas, section 18.2.4.050.**

iii. **The screen height may be achieved by a combination of earth mounding and plant materials.**

iv. **Elevated parking lots shall screen both the parking and the retaining walls.**

Not applicable as the proposal does not include a parking lot. However, landscape screening and setbacks along adjacent property lines is proposed. In addition, parking spaces within the vicinity of the public rights-of-way are to be screened with landscaping in order to minimize visibility of autos.

G. Other Screening Requirements. Screening is required for refuse and recycle containers, outdoor

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storage areas, loading and service corridors, mechanical equipment, and the City may require screening other situations, pursuant with the requirements of this ordinance.

1. Recycle and Refuse Container Screen. Recycle and refuse containers or disposal areas shall be screened from view by placement of a solid wood fence or masonry wall five to eight feet in height to limit the view from adjacent properties or public rights-of-way. All recycle and refuse materials shall be contained within the screened area.

The project's recycle and refuse area will be screened by an enclosed block wall with metal gate.

2. Outdoor Storage. Outdoor storage areas shall be screened from view, except such screening is not required in the M-1 zone.

No outdoor storage is proposed.

3. Loading Facilities and Service Corridors. Commercial and industrial loading facilities and service corridors shall be screened when adjacent to residential zones. Siting and design of such service areas shall reduce the adverse effects of noise, odor, and visual clutter upon adjacent residential uses.

No loading or service facilities are proposed.

4. Mechanical Equipment. Mechanical equipment shall be screened by placement of features at least equal in height to the equipment to limit view from public rights-of-way, except alleys, and adjacent residentially zoned property. Mechanical equipment meeting the requirements of this section satisfy the screening requirements in 18.5.2.020.C.3.

a. Roof-mounted Equipment. Screening for roof-mounted equipment shall be constructed of materials used in the building's exterior construction and include features such as a parapet, wall, or other sight-blocking features. Roof-mounted solar collection devices are exempt from this requirement pursuant to subsection 18.5.2.020.C.3.

b. Other Mechanical Equipment. Screening for other mechanical equipment (e.g., installed at ground level) include features such as a solid wood fence, masonry wall, or hedge screen.

At this preliminary juncture, it's not anticipated any mechanical equipment will be visible from the adjacent rights-of-way. Roof mounted solar equipment is being explored, but if not installed, Solar (panel) Reserve Areas will be identified at the time of the building permit so that tenant owners can opt to install with little conflict.

H. Irrigation. Irrigation systems shall be installed to ensure landscape success. If a landscape area is proposed without irrigation, a landscape professional shall certify the area can be maintained and

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survive without artificial irrigation. Irrigation plans are reviewed through a Ministerial process at the time of building permit submittals.

The project's Landscape Designer will ensure the landscaping and irrigation systems will work as planned.

18.4.4.050 Outdoor Lighting

A. Purpose. This section contains regulations requiring adequate levels of outdoor lighting while minimizing light spillover onto adjacent properties.

B. Applicability. All outdoor lighting is subject to the requirements of this section. Where a proposed development is subject to Type I, Type II, or Type III review, the approval authority may require specific lighting levels or limit lighting as a condition of approval to protect the public health, safety, and welfare.

C. Standards. As a guideline, lighting levels shall be no greater than necessary to provide for pedestrian safety, property/business identification, and crime prevention. All outdoor lighting, except streetlights, shall comply with the following standards.

1. Arrange and install artificial lighting so there is no direct illumination onto adjacent residential properties.
2. Provide light poles no greater than 14 feet in height for pedestrian facilities. (Pedestal or bollard style lighting is an alternative method for illuminating walkways located inside a development but not located in a public street right-of-way.)
3. Where a light standard is placed over a sidewalk or walkway, maintain a minimum vertical clearance of eight feet.
4. Install light fixtures where they will not obstruct public ways, driveways, or walkways. Where a light standard must be placed within a walkway, maintain an unobstructed pedestrian through zone per Americans with Disabilities Act (ADA) compliance.
5. Except as permitted for signs, direct outdoor light fixtures downward and have full shielding to minimize excessive light spillover onto adjacent properties.
6. For streetlight requirements, see subsection 18.4.6.040.D.18.

D. Maintenance. Outdoor lighting shall be maintained in good condition, or otherwise replaced by the property owner.

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All proposed lighting will be adequate to service the proposed development and no light will spillover onto adjacent properties. Because the site is adjacent to the Ashland High School's football / soccer field where lighting spills over onto the subject property, the applicant's believe the projects lighting will only be minimal. All lighting will meet the requirements of the City of Ashland, specifically Section 18.4.4.050 C. Outdoor Lighting Standards. Specific details will be provided at the time of the application's Final Plan submittals.

Section 18.5.7.040 Tree Removal Permit:

18.5.7.040 Approval Criteria

B. Tree Removal Permit.

2. Tree is Not a Hazard. A Tree Removal Permit for a tree that is not a hazard shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.

a. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.3.10.

The trees proposed for removal are the minimum number of trees on the site that should be removed based on their health, condition or location. Further, the trees proposed for removal are the minimum necessary to be consistent with other applicable Land Use Ordinance requirements and standards of the Ashland Land Use Code.

b. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.

The removal of the trees on the subject property will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks. The property is mildly sloped and proposed earth cuts and fill work will be primarily limited to the Phase II portion of the property (multi-family phase) where few trees now exist and, according to the Arborist's Report, should be removed due to their health and/or construction activities planned within close proximity to the trees.

c. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.

Removal of the trees will not have a significant negative impact on the sites remaining tree densities, sizes, canopies, and species diversity within 200 feet of the subject property as explained in the Arborist Report. As noted previously, this development application was designed by a combination of professionals including a Landscape Designer, Arborist, Civil Engineer, Architect, Surveyor, Construction Contractor and Land Use Planner who met on-site on multiple occasions in an attempt to

fully evaluate the site's trees and other natural features with the intent to minimize the project's development impacts. To this end, the applicants fully believe the trees proposed for removal will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property.

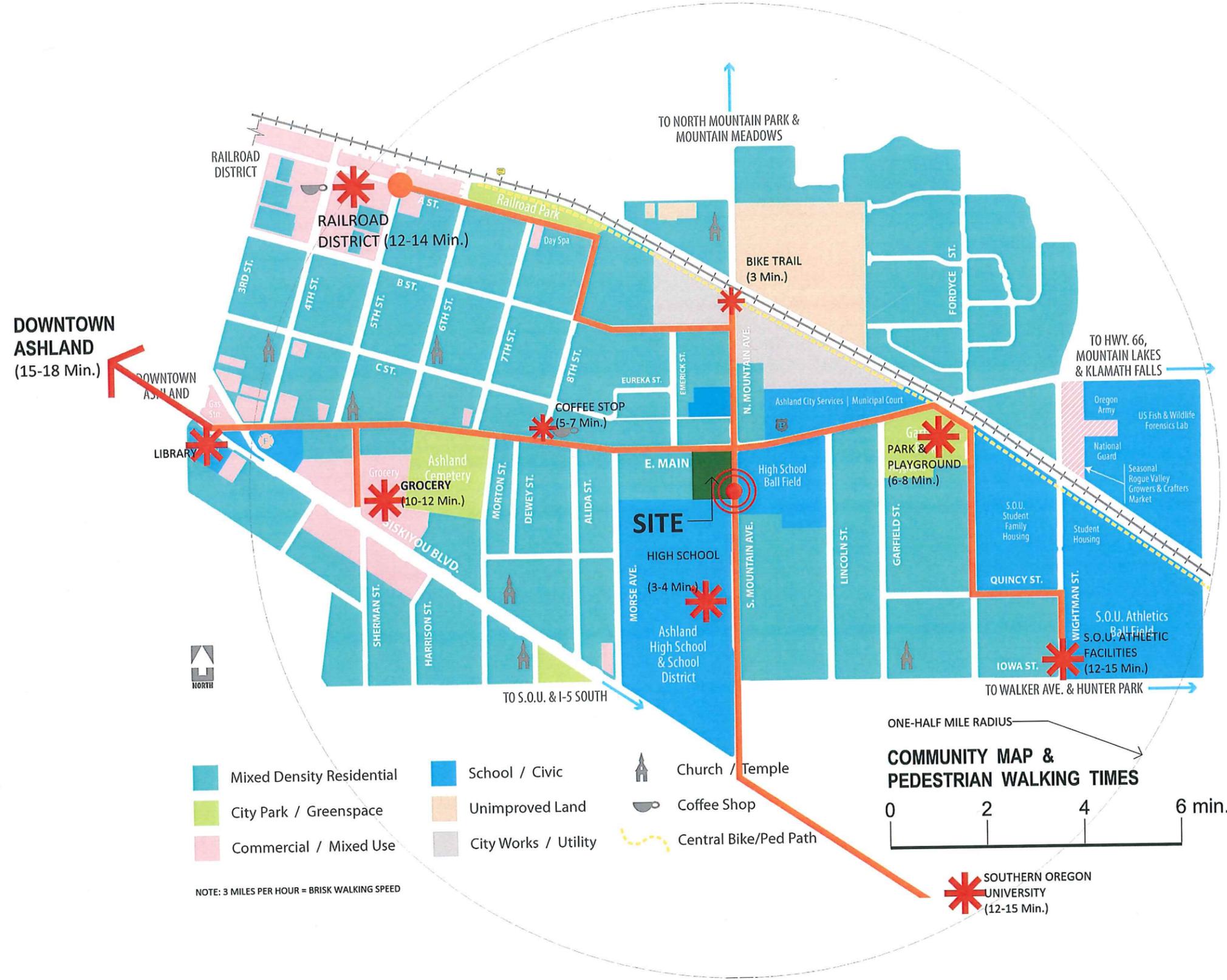
d. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.

As noted previously, the site planning of this property consisted of a number of concept plans that were eventually rejected for one or multiple reason. During this period, the primary goal was to save the old home and as much of its iconic site and street presence as practically possible without sacrificing the site's healthy trees or codified site design standards and transportation goals. That said, roughly one month before the submittal, the application had two less units than required and thus a "Variance" would have been necessary. This scenario wouldn't have been considered or necessary if the applicant's primary goal was to simply obtain density without conscientious site planning. In the end, the applicants and project Architect decided to consider a unique design option to obtain the zone's required density by adding two small apartment units above Units #25 and #26 - Accessory Dwelling Units "above" the primary unit.

e. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

A total of 37 new trees are being proposed to mitigate the removal of the proposed 14 trees. All of the replacement trees will be property irrigated and maintained by the project's Home Owner Association. All new street trees will be at least 2" caliper trees, chosen from the City's Adopted Street Tree List.

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PUD PROPOSAL
 SITE PLAN - 1068 EAST MAIN ST.
 TOWNHOME PROJECT FOR KDA HOMES

Gary R. Collins, AIA
ARCHITECT + PLANNER

P.O. BOX 253
 JACKSONVILLE, OR 97530
 541-702-2116
 541-702-2117 FAX

KDAHomes
 plan. develop. build

Mark Knox
 Project Management/Planner
 Cell 541-821-3752
 03 #28490

604 Fair Oaks Court
 Ashland, Oregon 97520
 mark@kda-homes.com
 www.kda-homes.com

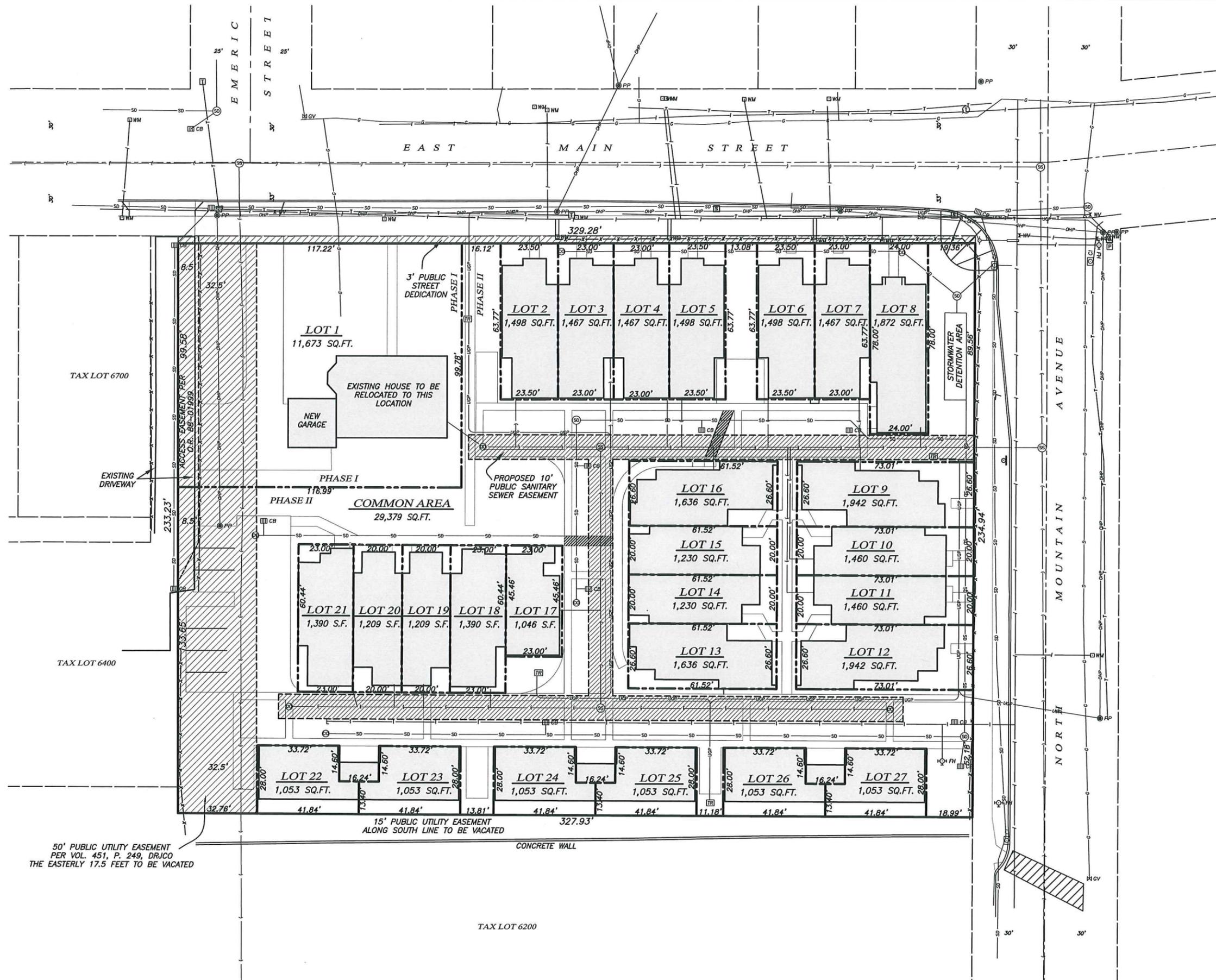
APRIL 3, 2017

**PRELIMINARY MAP
PLANNED UNIT DEVELOPMENT**

LOCATED AT
1068 East Main Street
Ashland, Oregon

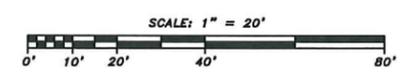
LYING SITUATE WITHIN
NORTHEAST QUARTER OF SECTION 9,
TOWNSHIP 39 SOUTH, RANGE 1 EAST, WILLAMETTE MERIDIAN
CITY OF ASHLAND, JACKSON COUNTY, OREGON

FOR
KDA Homes
604 Fair Oaks Drive
Ashland, Oregon 97520



- LEGEND**
- 5/8" IRON PIN MONUMENT
 - SURVEY CONTROL POINT, AS DESCRIBED
 - PROPERTY BOUNDARY LINE
 - BOUNDARY LINE
 - CENTERLINE
 - EASEMENT LINE
 - FENCELINE
 - WATER LINE
 - BURIED GAS LINE
 - BURIED PHONE LINE
 - STORM DRAIN LINE
 - SEWER LINE
 - OVERHEAD POWER LINE
 - UNDERGROUND POWER LINE
 - GUY ANCHOR
 - POWER POLE
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT
 - CURB INLET
 - STORM DRAIN MANHOLE
 - SANITARY SEWER MANHOLE
 - ELECTRIC METER
 - GAS METER
- BUILDING STRUCTURE
- EASEMENT AS NOTED

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REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JULY 14, 1988
SHAWN KAUFMANN
2283 LS
RENEWAL DATE: 8/30/2017

SURVEYED BY:
POLARIS LAND SURVEYING LLC
P.O. BOX 459
ASHLAND, OREGON 97520
(541) 482-5009

DATE: MAY 27, 2017
PROJECT NO. 1120-17

E M E
S T R

E A S T
M A I N
S T R E E T

STATISTICS:

GROSS SITE AREA: 1.789 ACRES

OLD HOUSE SITE: 12,013 S.F. (0.276 AC. = 15.4%; not a part)
MULTIFAMILY SITE: 65,897 S.F. (1.513 AC. = 84.6%)
TOTAL AREA: 77,910 S.F. (1.79 AC. = 100.0%)

OPEN SPACE

LANDSCAPED YARDS: 17,378 S.F.
RECREATIONAL: (DEDICATED GARDEN BEDS & PLAY) 2,391 S.F.
PRIVATE PORCHES & PATIOS: 3,712 S.F. (USEABLE)
TOTAL OPEN SPACE, AT GRADE: (26.4%) 17,378 S.F.
[O/SPACE W/ PORCHES (RECREATIONAL): (73.6%) 20,952 S.F.]

COVERAGE (UNITS, PORCHES, GARAGES, PARKING & DRIVES, WALKS, & TRASH [GROSS]): (73.6%) 48,519 S.F.

30.5% OPEN SPACE > 25% MIN.
73.6% LAND COVERAGE < 75% MAX.

ATTACHED UNITS

RIDGEVIEW 3 BEDROOM UNIT A(A-E, B, & D): 13
NEW MASTER AT GRADE 3 BR. UNIT C: 6
1 BEDROOM FLAT "E" (OVER GARAGE): 7
3RD. STORY EFFICIENCY FLAT F: 2
MULTIFAMILY TOTAL: 28

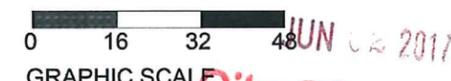
OLD HOUSE (PARKING - 2 COVERED, 4 GUEST) 1

GRAND TOTAL: 29

GROSS DENSITY: 16.2 DU/AC
MULTIFAMILY DENSITY: 18.5 DU/AC

MULTIFAMILY PARKING

gb 2 CAR ATTACHED GARAGE - 3 BR B UNITS: 4
ga 1 CAR ATTACHED GARAGE - 3 BR A UNITS: 5
gb-1 - 1 CAR ATTACHED GAR. - 3 BR END UNIT: 1
sb ADJACENT OPEN PARK'G. SP.-UNIT 7-B1: 1
sa ADJACENT OPEN PARK'G SP. - UNITS A: 5
gg 2 CAR ATTACHED GARAGE - UNIT A INT.: 2
gd COVERED 3 BR UNITS D: 8
gc REMOTE COVERED 3 BR UNITS C: 12
ge 1 BR. FLATS E (1.5:1 MIN. REQD.), COVERED: 7
ges SHARED E UNIT OPEN PARKING (0.5:1): 4
geu 1 BR. 3rd. LEVEL FLATS E, COVERED: 2
guest parking: 9
HANDICAP PARKING: 1
TOTAL: 61



City of Ashland

PUD PROPOSAL
SITE PLAN
TEN SIXTY EIGHT TOWNHOMES

Gary R. Collins, AIA
ARCHITECT +
PLANNER
JUNE 1, 2017
P.O. BOX 253
JACKSONVILLE, OR 97530
541-702-2116
541-702-2117 FAX

KDAHomes
plan. develop. build

Mark Knox
Project Management/Planner
Ashland, Oregon 97520
Cell 541-821-3752
mark@kda-homes.com
www.kda-homes.com



NOTE: EXISTING 50 FT. P.U.E. EASEMENT TO BE VACATED AND REDUCED TO 25 FT.

DEAD 12" CALIPER TREE TO BE REMOVED

3RD. LEVEL "F" UNITS 27, 28 (ABOVE UNITS 25 & 26) SHOWN IN LIGHT LINES

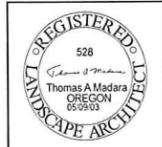
TREES TO BE REMOVED SHOWN DASHED

CONCRETE RETAINING WALL

EXIST. CONCRETE RETAINING WALL

NOTE: EXISTING 15 FT. P.U.E. EASEMENT TO BE VACATED

HIGH SCHOOL GAME FIELDS



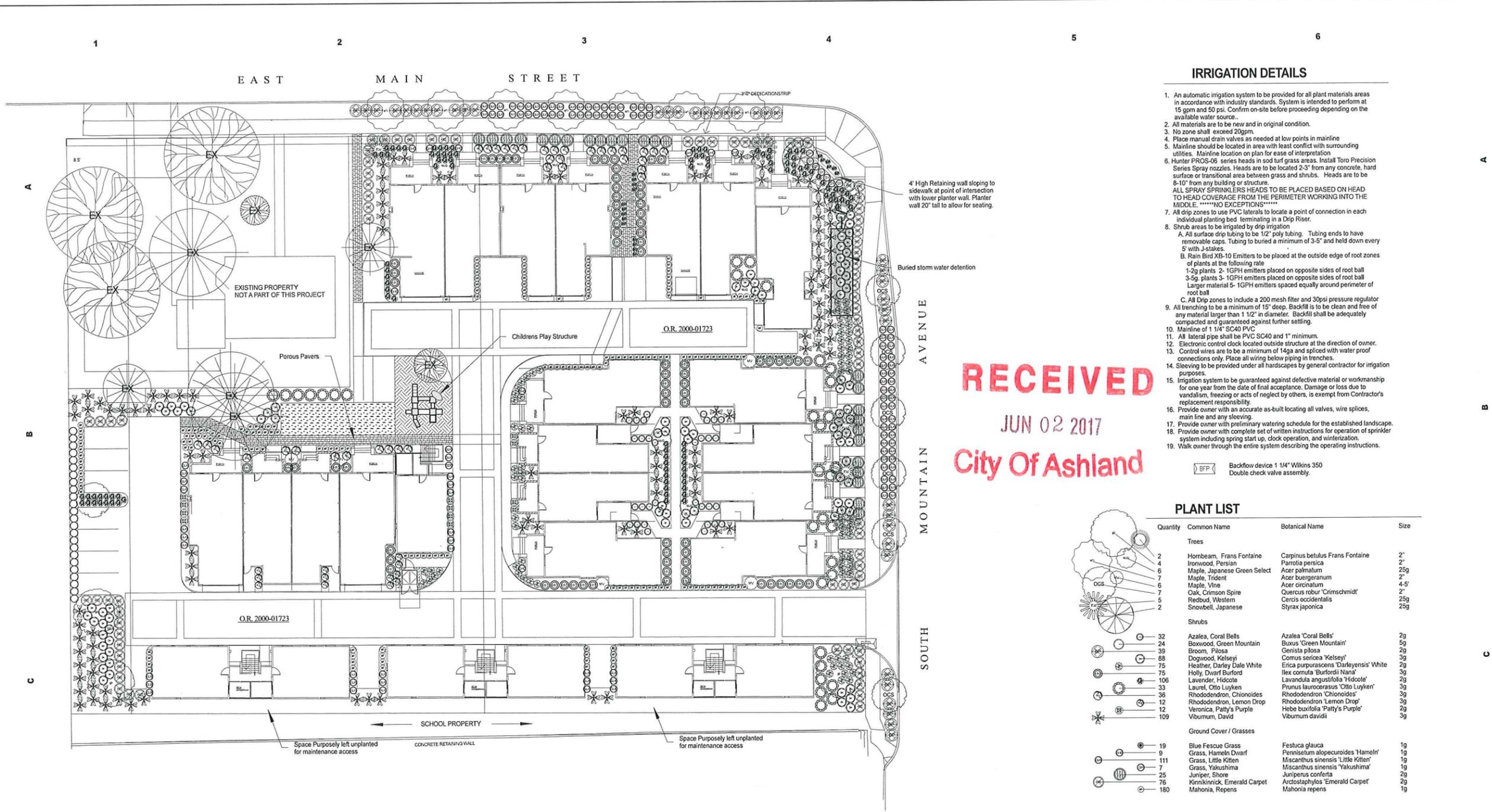
Madara Design Inc
Landscape Architecture, Design & Consultation
2994 Wells Fargo Rd
Central Point, Or 97502
541-864-7055

KDAHomes
plant energy. built.
541-944-1921 Dave Decartow
541-821-1315 Mark Knox
www.kdahomes.com

TEN SIXTY EIGHT
1068 EAST MAIN STREET
Ashland, Oregon

All drawings and written material appearing herein constitutes the original and unpublished work of Madara Design Inc and the same may not be duplicated, used, or disclosed without written consent. Installer is to assume responsibility for revisions to plan due to unknown grade variations, differences in dimensions, or on-site changes by others.
DRAWN BY: TM
CHECKED BY: TM
6.02.17

L1



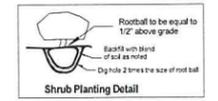
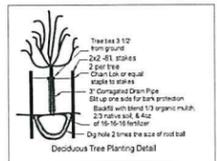
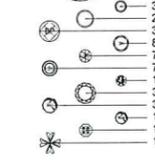
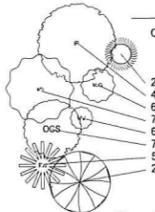
IRRIGATION DETAILS

- An automatic irrigation system to be provided for all plant materials areas in accordance with industry standards. System is intended to perform at 15 gpm and 50 psi. Confirm on-site before proceeding depending on the available water source.
- All materials are to be new and in original condition.
- No zone shall exceed 20gpm.
- Place manual drain valves as needed at low points in mainline
- Mainline should be located in area with least conflict with surrounding utilities. Mainline location on plan for ease of interpretation
- Hunter PROS-06 series heads in sod turf grass areas. Install Toro Precision Series Spray nozzles. Heads are to be located 2-3' from any concrete, hard surface or transitional area between grass and shrubs. Heads are to be 8-10' from any building or structure.
- ALL SPRAY SPRINKLER HEADS TO BE PLACED BASED ON HEAD TO HEAD COVERAGE FROM THE PERIMETER WORKING INTO THE MIDDLE. ****NO EXCEPTIONS****
- All drip zones to use PVC laterals to locate a point of connection in each individual planting bed terminating in a Drip Riser.
- Shrub areas to be irrigated by drip irrigation
 - All surface drip tubing to be 1/2" poly tubing. Tubing ends to have removable caps. Tubing to be buried a minimum of 3-5" and held down every 5' with J-stakes.
 - Rain Bird XB-10 Emitters to be placed at the outside edge of root zones of plants at the following rate:
1-5g plants 2-1GPH emitters placed on opposite sides of root ball
3-5g plants 3-1GPH emitters placed on opposite sides of root ball
Larger material 5-1GPH emitters spaced equally around perimeter of root ball
 - All Drip zones to include a 200 mesh filter and 30psi pressure regulator
- All trenching to be a minimum of 15" deep. Backfill is to be clean and free of any material larger than 1 1/2" in diameter. Backfill shall be adequately compacted and guaranteed against further settling.
- Mainline of 1 1/4" SC40 PVC
- All lateral pipe shall be PVC-SC40 and 1" minimum.
- Electronic control clock located outside structure at the direction of owner.
- Control wires are to be a minimum of 14ga and spliced with water proof connections only. Place all wiring below piping in trenches.
- Slewing to be provided under all hardscapes by general contractor for irrigation purposes.
- Irrigation system to be guaranteed against defective material or workmanship for one year from the date of final acceptance. Damage or loss due to vandalism, freezing or acts of neglect by others, is exempt from Contractor's replacement responsibility.
- Provide owner with an accurate as-built locating all valves, wire splices, main line and any slewing.
- Provide owner with preliminary watering schedule for the established landscape.
- Provide owner with complete set of written instructions for operation of sprinkler system including spring start up, clock operation, and winterization.
- Walk owner through the entire system describing the operating instructions.

Backflow device 1/4" Wilkins 350 Double check valve assembly.

PLANT LIST

Quantity	Common Name	Botanical Name	Size
Trees			
2	Hornbeam, Frans Fontaine	Carpinus betulus Frans Fontaine	2'
4	Ironwood, Persian	Parrotia persica	2'
6	Maple, Japanese Green Select	Acer palmatum	25g
7	Maple, Trident	Acer buergerianum	2'
6	Maple, Vine	Acer circinnatum	4-5'
7	Oak, Crimson Spire	Quercus robur 'Crimschmidt'	2'
5	Redbud, Western	Cercis occidentalis	25g
2	Snowbell, Japanese	Styrax japonica	25g
Shrubs			
32	Azalea, Coral Bells	Azalea 'Coral Bells'	2g
24	Boxwood, Green Mountain	Buxus 'Green Mountain'	5g
39	Broom, Filosa	Cenista pilosa	2g
68	Dogwood, Kelsey	Comus sericea 'Kelsey'	3g
75	Heather, Darley Dale White	Erica purpurascens 'Darleydale' White	2g
75	Holly, Dwarf Burford	Ilex cornuta 'Burfordii' Nana	3g
106	Lavender, Hidcole	Lavandula angustifolia 'Hidcole'	2g
33	Laurel, Otto Luyken	Prunus laurocerasus 'Otto Luyken'	3g
36	Rhododendron, Chionoides	Rhododendron 'Chionoides'	3g
12	Rhododendron, Lemon Drop	Rhododendron 'Lemon Drop'	3g
12	Veronica, Patty's Purple	Hebe buxifolia 'Patty's Purple'	2g
109	Viburnum, David	Viburnum davidii	5g
Ground Cover / Grasses			
19	Blue Fescue Grass	Festuca glauca	1g
9	Grass, Hameln Dwarf	Pennisetum alopecuroides 'Hameln'	1g
111	Grass, Little Kitten	Miscanthus sinensis 'Little Kitten'	1g
7	Grass, Yakushima	Miscanthus sinensis 'Yakushima'	1g
25	Juniper, Shore	Juniperus conferta	2g
75	Konikinnick, Emerald Carpet	Arctostaphylos 'Emerald Carpet'	2g
180	Mahonia, Repens	Mahonia repens	1g



GENERAL CONSTRUCTION NOTES

- General preparation of site to include:
 - Eradication of weeds through the certified application of herbicides, allowing adequate time for kill.
 - Removal, from site, of all existing surface rock and/or debris in planting beds.
- All shrub beds to be finish raked to a smooth condition prior to mulching.
- Medium dark mulch to be placed in all shrub beds to a depth of 3"
- Sod lawn to be Perennial Ryegrass Blend or equal as determined by Landscape Architect.
- Sod lawn preparation:
 - Bring areas to an even, smooth grade removing hard or soft areas that might impede drainage or cause puddling.
 - Install as per growers recommendations.
- INCLUDE 365 DAYS OF MAINTENANCE from the day of acceptance. Including but not limited to:
 - Mow lawns weekly to manufacturers recommended height. Fertilize to manufacturers recommendation.
 - Maintain planting areas in a healthy, weed free condition through a minimum of bi-weekly visits.
 - Replace any material showing signs of stress.
 - Monitor irrigation for correct timing.
 - Provide owner with complete list of instructions for continued care.
- Plan is diagrammatic and measurements should be confirmed on-site. Any changes are the responsibility of the contractor to co-ordinate with the owners representative.

- Turf Rye Grass Blend Sod

GRADING

- All planting beds to be excavated to a minimum depth of 12" or deeper as determined by surrounding concrete and hardscapes. Excavation to continue until contacting native soil. Non-native soil to include gravel, rock and debris greater than 1 1/2" in size, and heavy clay soil. Final excavation not to exceed 18" below surrounding hardscapes.
- Fill planters with top soil that is determined to be satisfactory for superior plant growth by testing done at Soil & Plant Laboratory Inc of Anaheim, Ca. Fill with sufficient excess to allow for 25% compaction. Fill planters so as to achieve a final grade within 3" of the top of the nearest hard surface or concrete.
- Placement of any soil to be done in coordination with suitable weather condition so as to prevent damage to soil structure.
- Sub-grading and final grade to consist of to a smooth even grade, no undulation greater than plus or minus 1" within any 10 lineal feet of distance.
- SEE CIVIL ENGINEERS DRAWINGS FOR GRADING AS REQUIRED
- All sub-grades to be adequately firm without being overly compacted.
- Once subgrade is established the Landscape Contractor is to add mature compost at a rate of 3 cu yds per 1,000 sq. ft. and then rip to blend with top soil to a depth of 8"
- Finish grade in shrub areas to be a smooth even grade mounded 3" high in the middle of beds and ending 3" below surrounding areas. All finish grading to promote positive drainage away from structures and to be done in such a way as to eliminate puddling or collection of water.
- Landscape contractor responsible for addressing any drainage problems encountered during the course of construction, with Landscape Architect.

PLANTING

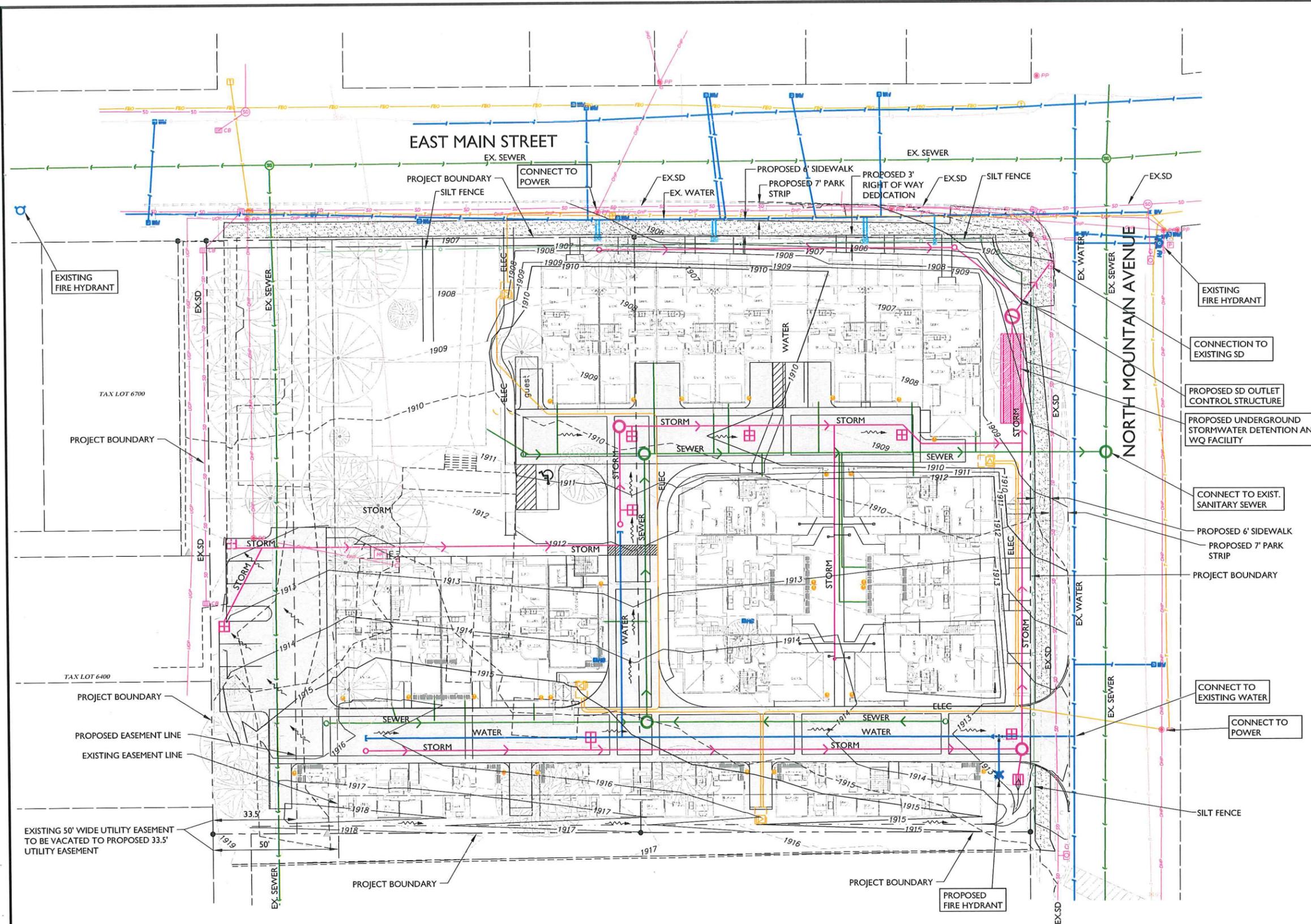
- Plant material to be provided in accordance with species, sizes and quantities indicated below. Substitutions to be made with the approval of landscape architect.
- No planting to proceed until irrigation system is fully functioning in the area to be planted.
- All plant holes to be dug 2 times the volume of their root ball size. Backfill shall consist of 1/3 organic mulch, 2/3 top soil, micorrhizae supplement and 16-16-16 fertilizer as follows:
1gall 1oz
3-Spal 2oz
larger 4oz
- Plant upright and face to give best appearance or relationship to plants, structures and predominant viewing angle. Trees are to be planted so as to be straight up and down without the assistance of staking. Staking is solely for support against outside forces.
- Loosen and remove wire binding and burisp from around top of each root ball. Scanty root balls of plants exhibiting a root bound condition, being careful not to damage the root balls integrity. Stake and guy trees immediately after this work.
- Place and compact backfill soil mixture carefully to avoid injury to roots, and fill all voids.
- When hole is 2/3 filled with soil, completely soak and allow water to soak away at least two times or more, as necessary to completely water individual plants.
- Guarantee plant materials and related workmanship of installation, beginning after written acceptance of work, for one year.
 - Replace plant material not surviving or in poor condition during guarantee period.
 - Perform all replacement work in accordance with original specifications at no additional cost to Owner.
 - Damage or loss of plant materials due to vandalism, freezing or acts of neglect by others, is exempt from Contractor's replacement responsibility.

NOTE: IF THIS SHEET IS LESS THAN 24" x 36" IT HAS BEEN REDUCED AND IS NOT TO SCALE.

LANDSCAPE PLAN

NORTH

SCALE 1" = 20"



- LEGEND**
- EXISTING WATER MAIN
 - EXISTING FIRE HYDRANT
 - PROPOSED WATER MAIN
 - PROPOSED FIRE HYDRANT
 - PROPOSED SEWER MANHOLE OR CLEANOUT
 - PROPOSED SANITARY SEWER MAIN
 - EXISTING SANITARY SEWER MAIN
 - PROPOSED STORM MANHOLE OR CLEANOUT
 - PROPOSED CURB INLET
 - PROPOSED CATCH BASIN
 - PROPOSED DITCH INLET
 - PROPOSED STORM MAIN
 - EXISTING STORM MAIN
 - DRAINAGE DIRECTION
 - EXISTING GAS
 - EXISTING TELEPHONE
 - EXISTING POWER
 - PROPOSED POWER
 - PROPOSED CONTOUR
 - EXISTING CONTOUR
 - PROPOSED EROSION CONTROL SILT FENCE

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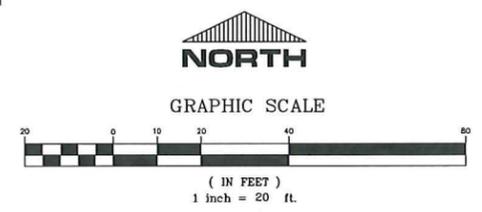


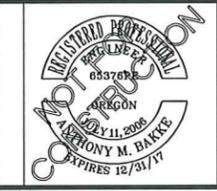
EXHIBIT C1



P.O. BOX 1724 • MEDFORD, OREGON 97501
 PH. (541) 779-5268

DRAWN BY:	MWK	DATE:	04/17
CHECKED BY:	MWK/AMB	DATE:	04/17
		DATE:	
		DATE:	
		DATE:	

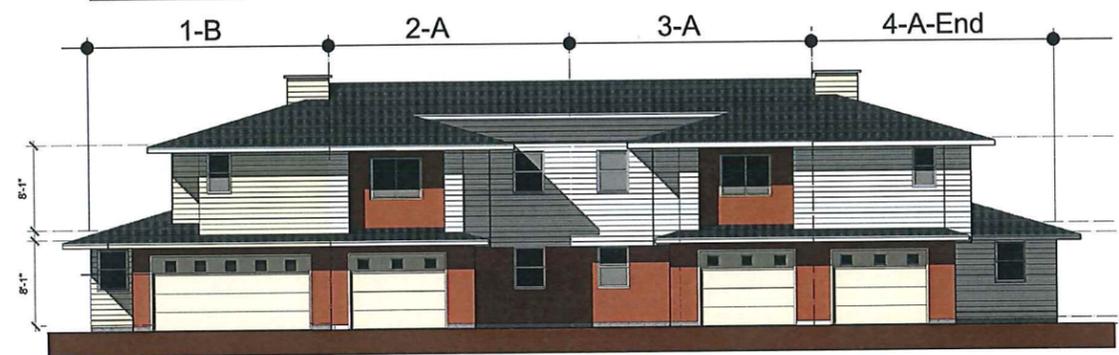
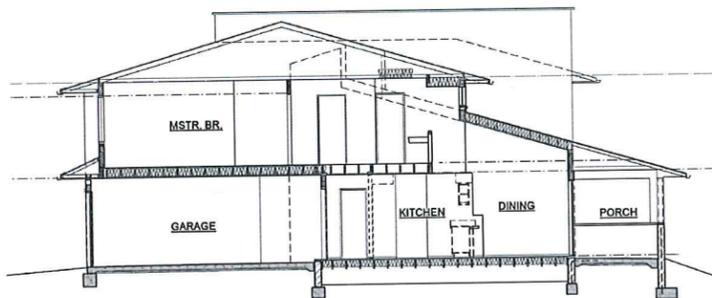
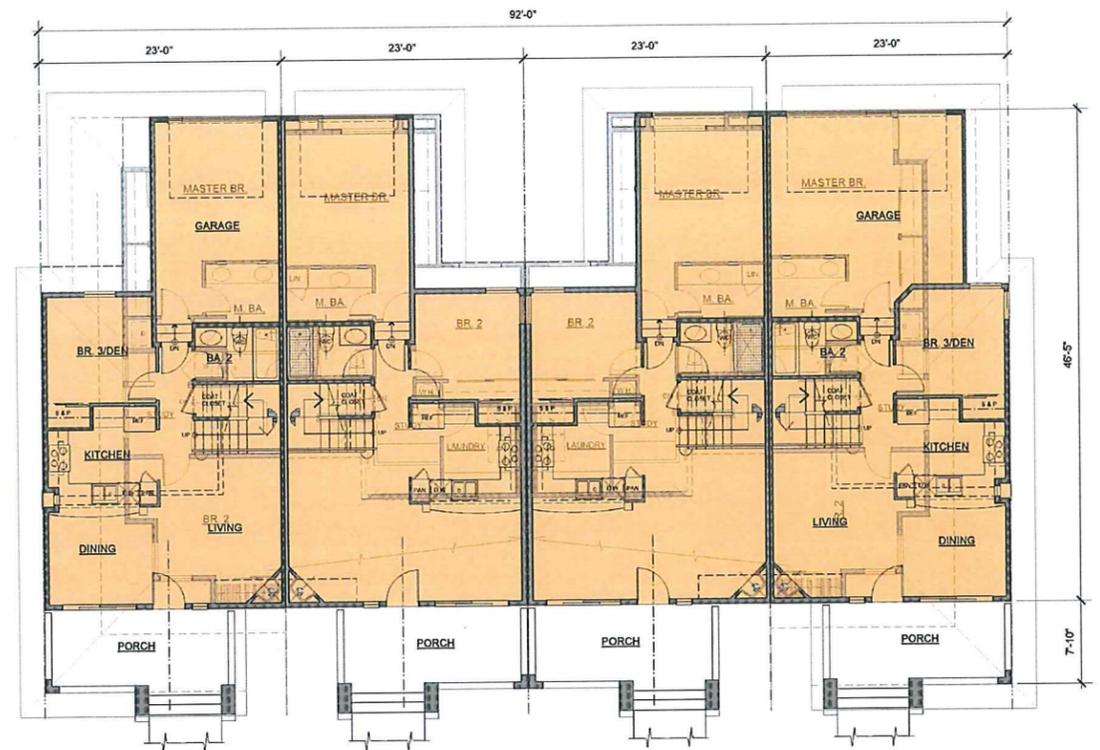
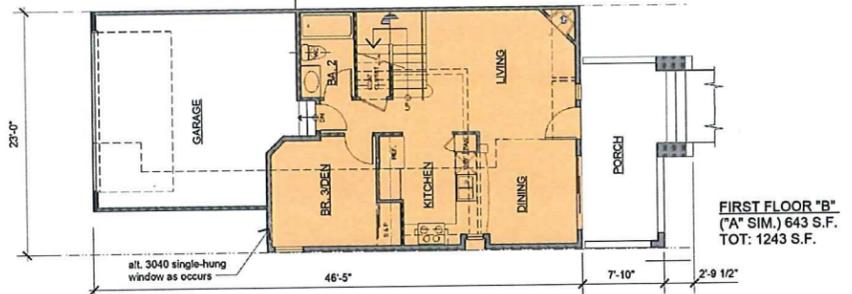
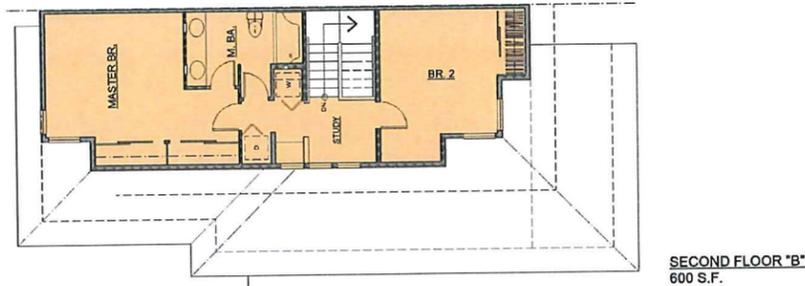
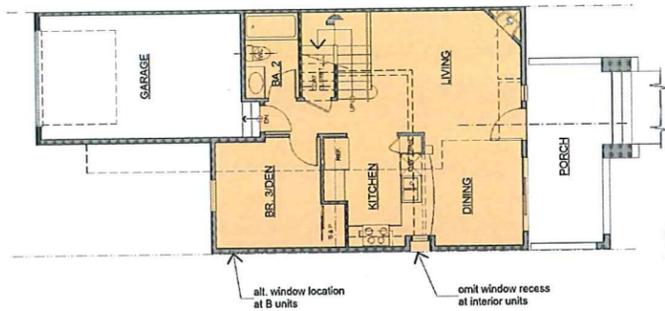
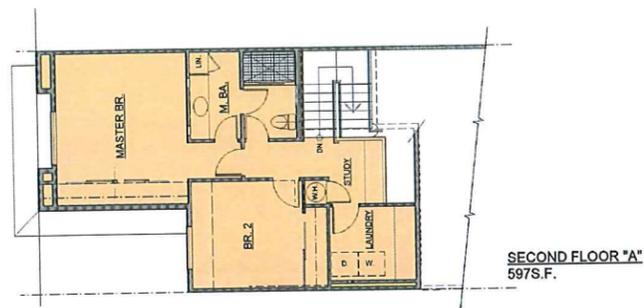
NO.	REVISION	DATE	BY



CONSTRUCTION ENGINEERING CONSULTANTS, INC.

1068 EAST MAIN
 CONCEPTUAL UTILITY, GRADING,
 DRAINAGE, AND EROSION PLAN

PROJECT NO.
 DRAWING NO.



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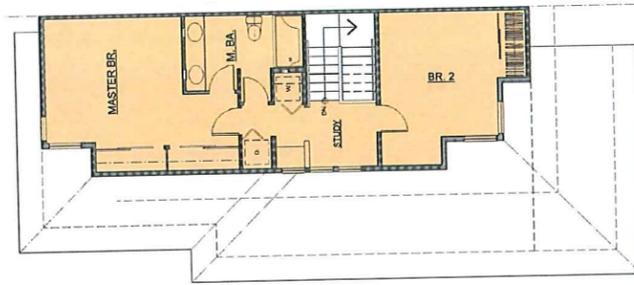
JUNE 1, 2017

PROPOSED PLANS & ELEVATIONS
BUILDING TYPE 1
TEN-SIXTY-EIGHT TOWNHOMES
1068 MAIN STREET, ASHLAND, OREGON
SCALE: 1/8" = 1'-0"

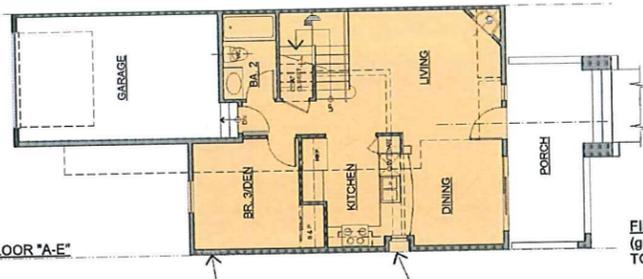
KDAHomes
plan. develop. build

Mark Knox
Project Management/Planner
Cell 541-821-3752
(503) 258-9490

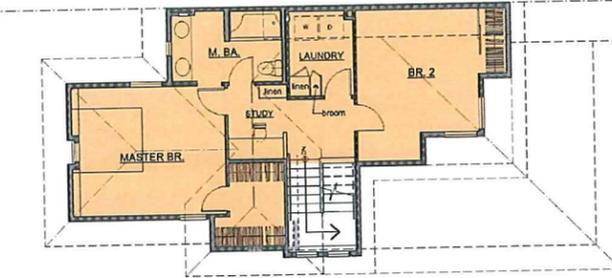
604 Fair Oaks Court
Ashland, Oregon 97520
mark@kda-homes.com
www.kda-homes.com



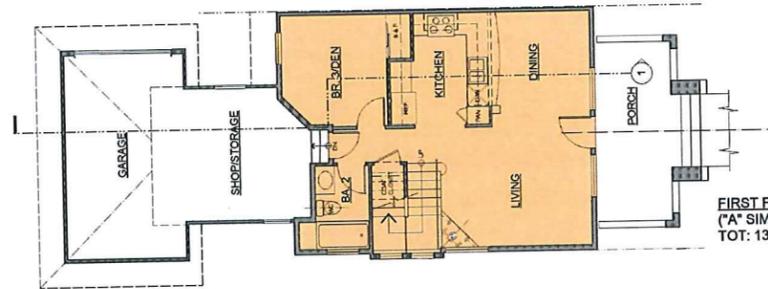
SECOND FLOOR "A-E"
600 S.F.



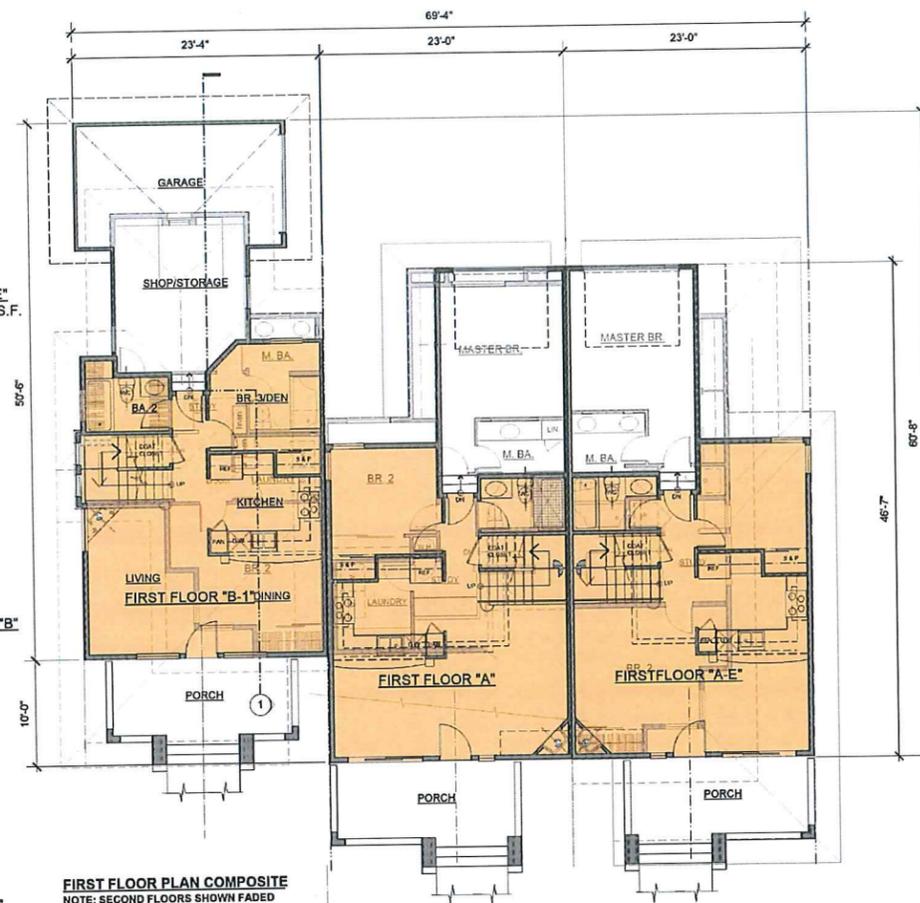
FIRST FLOOR "A-E"
(garage alt.) 644.5 S.F.
TOT: 1244.5 S.F.



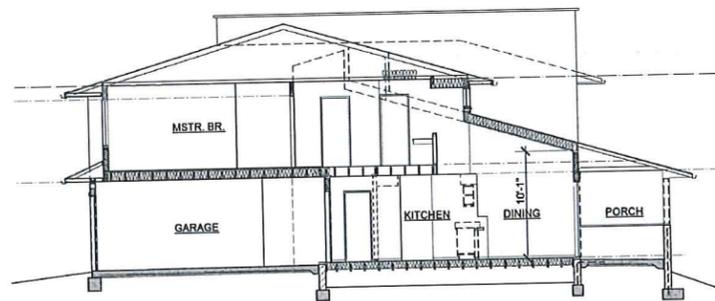
SECOND FLOOR "B"
651 S.F.



FIRST FLOOR "B"
("A" SIM.) 650 S.F.
TOT: 1301 S.F.



FIRST FLOOR PLAN COMPOSITE
NOTE: SECOND FLOORS SHOWN FADED



TYP. SECTION



LEFT (EAST) SIDE ELEVATION "B-1"



RIGHT (WEST) SIDE ELEVATION "A-E"



FRONT (NORTH) ELEVATION



REAR (SOUTH) ELEVATION

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ARCHITECT +
PLANNER

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541-702-2117 FAX

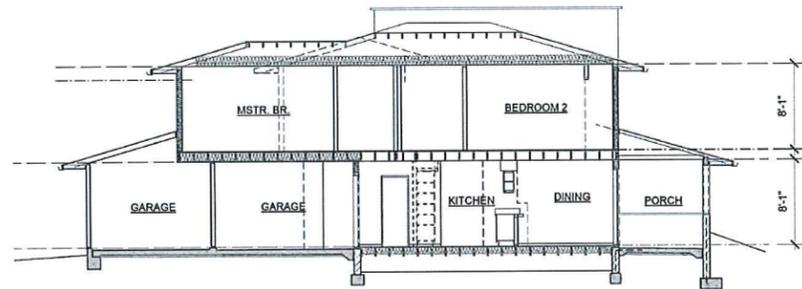
JUNE 1, 2017

PROPOSED PLANS & ELEVATIONS
BUILDING TYPE 2
TEN-SIXTY-EIGHT TOWNHOMES
1068 MAIN STREET, ASHLAND, OREGON
SCALE: 1/8" = 1'-0"

KDAHomes
plan. develop. build

Mark Knox
Project Management/Planner
Cell 541-821-3752
mark@kda-homes.com
www.kda-homes.com

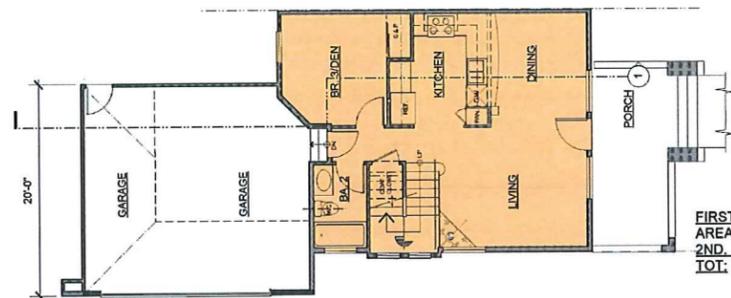
604 Fair Oaks Court
Ashland, Oregon 97520
mark@kda-homes.com
www.kda-homes.com



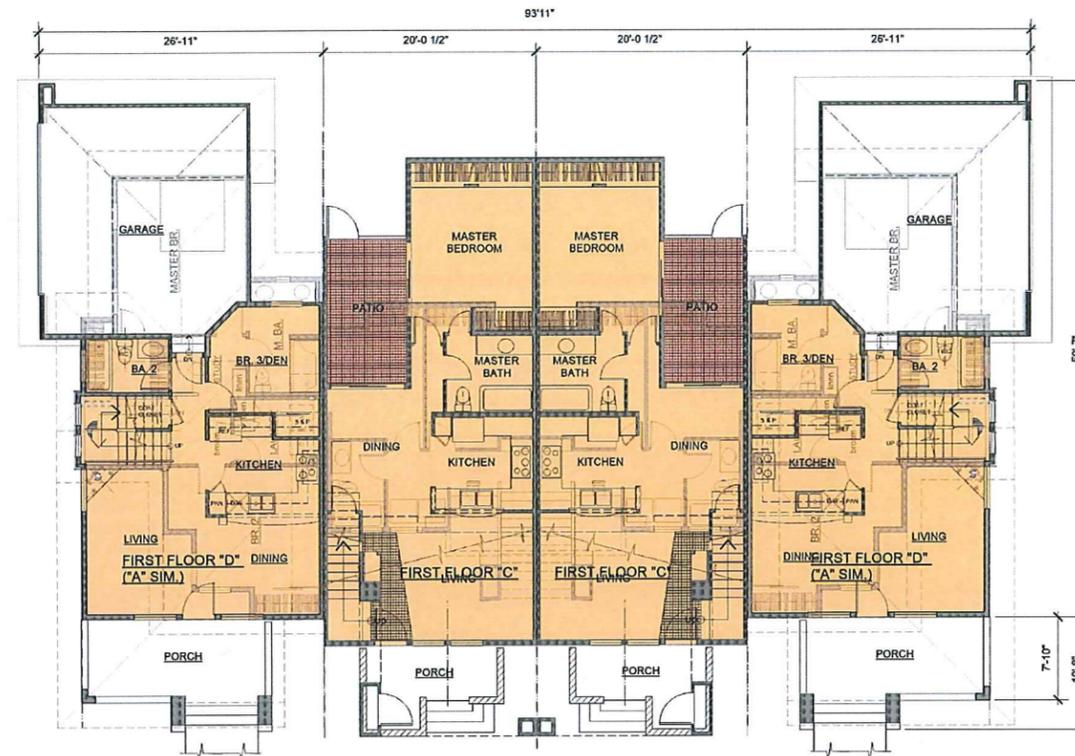
SECTION 1 - UNIT D (FIRST LEVEL PLAN B SIM.)



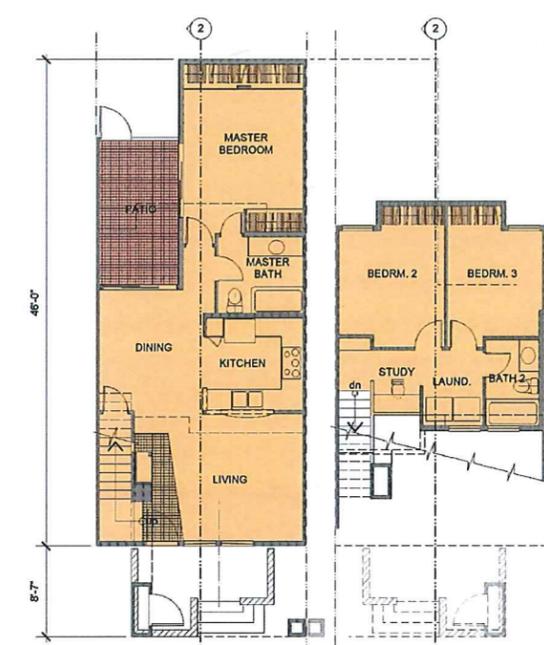
SECOND FLOOR "D" (new)
AREA: 643.5 S.F.



FIRST FLOOR "D" (A SIM.)
AREA: 641.0 S.F.
2ND. FLR.: 643.5 S.F.
TOT.: 1,284.5 S.F.



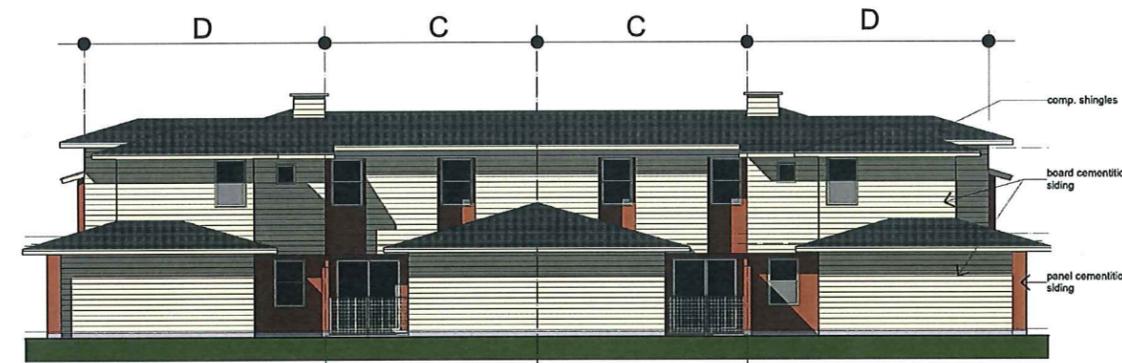
FIRST FLOOR PLAN COMPOSITE
NOTE: SECOND FLOORS SHOWN FADED



FIRST FLOOR "C"
751 S.F.

SECOND FLOOR "C"
394 S.F.

TOTAL: 1,145 S.F.



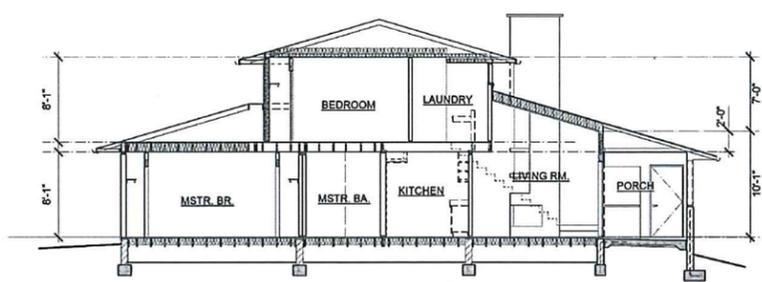
REAR (COURT) ELEVATION



FRONT (STREET) ELEVATION (INTERIOR DRIVE ELEV., SIM.)



TYPICAL SIDE ELEVATION "D"
BUILDING TYPE 3



SECTION 2 - UNIT C

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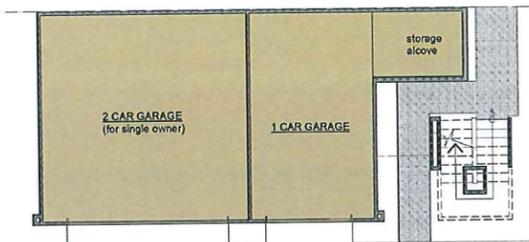
JUNE 1, 2017

PROPOSED PLANS & ELEVATIONS
BUILDING TYPE 3
TEN-SIXTY-EIGHT TOWNHOMES
1068 MAIN STREET, ASHLAND, OREGON
SCALE: 1/8" = 1'-0"

KDAHomes
plan. develop. build

Mark Knox
Project Management/Planner
Cell 541-821-3752
CB #29490

604 Fair Oaks Court
Ashland, Oregon 97520
mark@kda-homes.com
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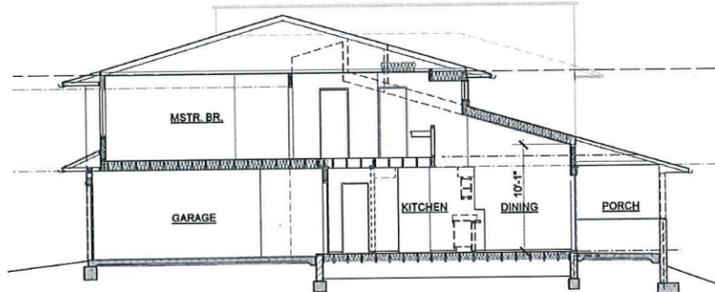
GARAGE LEVEL



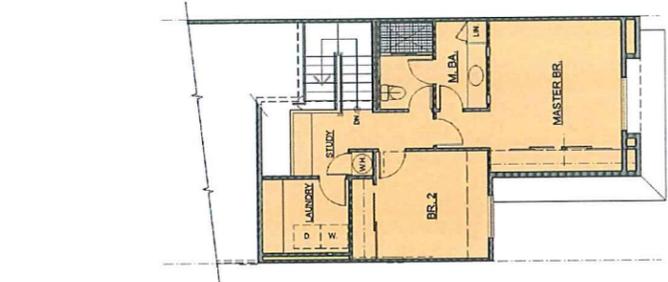
SECOND FLOOR - UNIT 20-E
715 S.F.



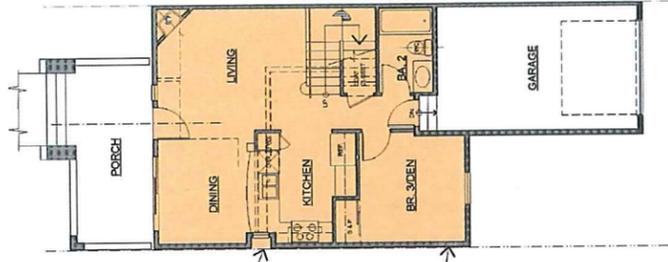
END (EAST) ELEVATION - BLDG TYPE 4 (UNIT 20-E)



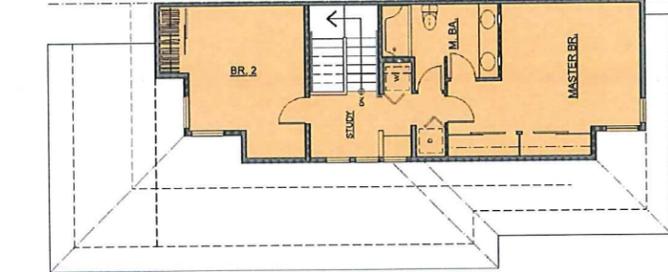
TYP. SECTION - UNIT A



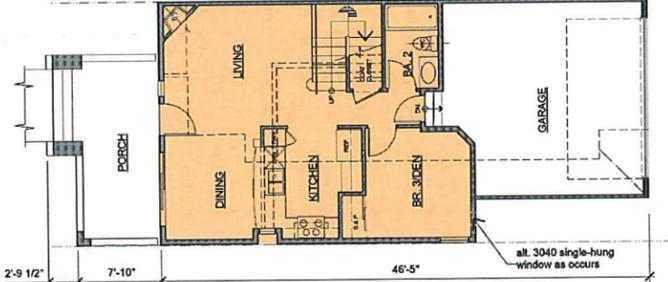
SECOND FLOOR "A"
593 S.F.



FIRST FLOOR "A"
644.5 S.F.
TOT: 1237.5 S.F.



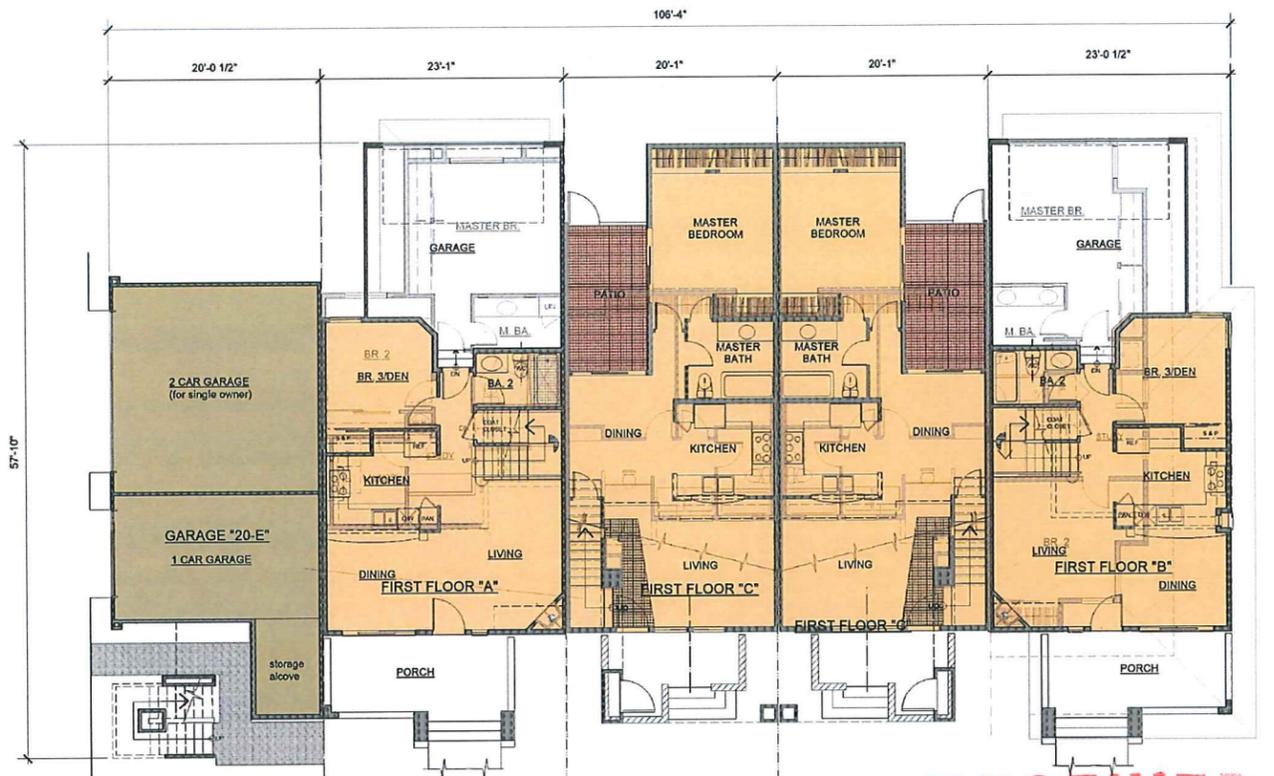
SECOND FLOOR "B"
602 S.F.



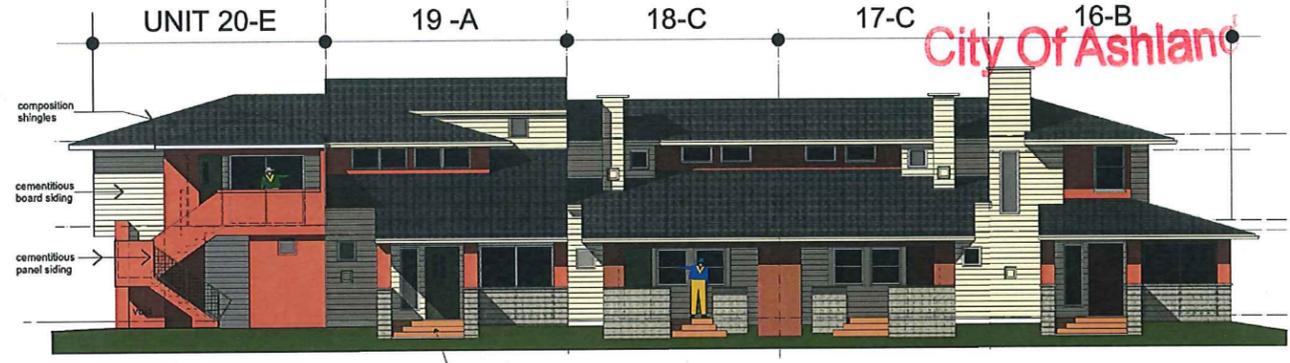
FIRST FLOOR "B"
("A" SIM.) 643 S.F.
TOT: 1245 S.F.



LEFT SIDE ELEVATION "16-B"



FIRST FLOOR PLAN COMPOSITE
NOTE: SECOND FLOORS SHOWN FADED

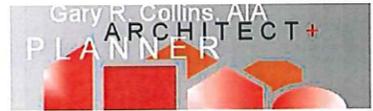


FRONT (NORTH) ELEVATION



REAR (SOUTH) ELEVATION

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PROPOSED PLANS & ELEVATIONS
BUILDING TYPE 4

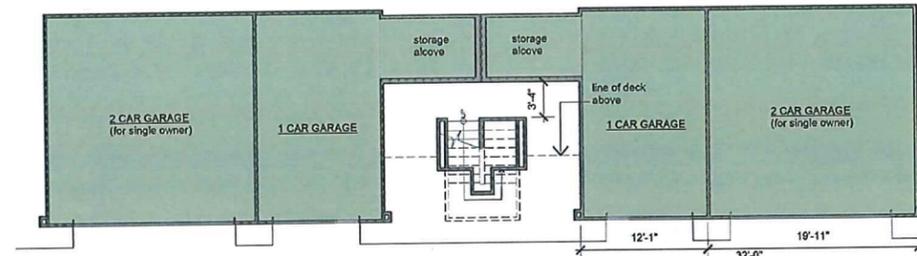
TEN-SIXTY-EIGHT TOWNHOMES
1068 MAIN STREET, ASHLAND, OREGON

SCALE: 1/8" = 1'-0"

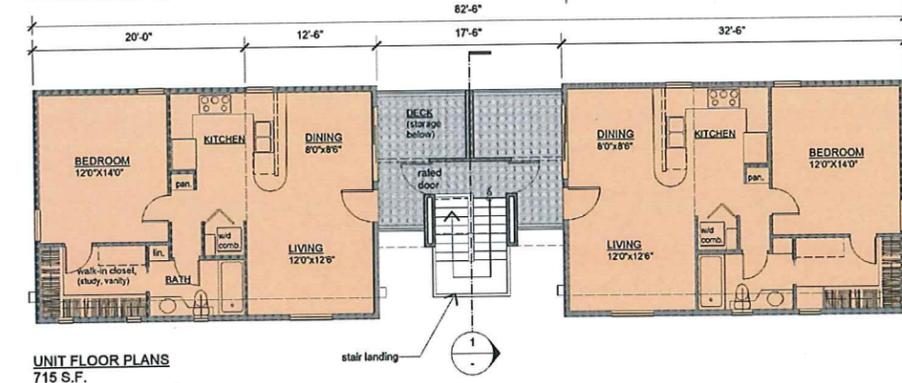


Mark Knox
Project Management/Planner
Cell 541-821-3752
CBA # 201490

604 Fair Oaks Court
Ashland, Oregon 97520
mark@kda-homes.com
www.kda-homes.com



TYP. GARAGE PLAN



UNIT FLOOR PLANS
715 S.F.

BUILDING PLAN COMPOSITE

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LEFT SIDE (EAST) ELEVATION
(right side same)

REAR (SOUTH) ELEVATION



EAST ELEVATION
AT PROJECT ENTRY

NORTH/DRIVEWAY ELEVATION

SECTION 1

Gary R. Collins, AIA
ARCHITECT + PLANNER

P.O. BOX 253
JACKSONVILLE, OR 97530
541-702-2116
541-702-2117 FAX

JUNE 1, 2017

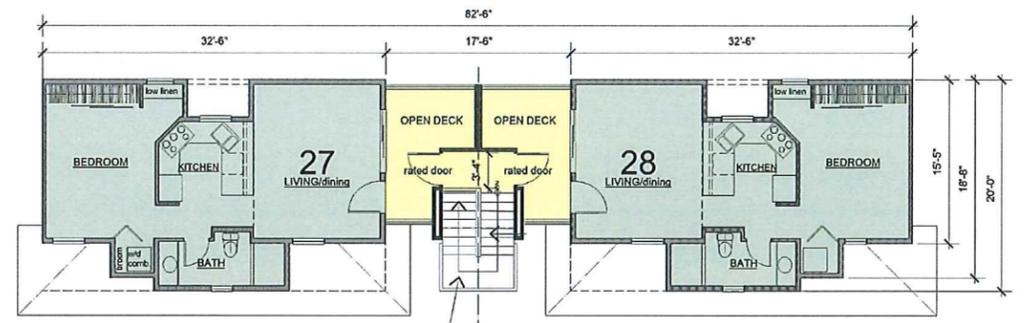
PROPOSED PLANS & ELEVATIONS
BUILDING TYPE 5
TEN-SIXTY-EIGHT TOWNHOMES
1068 MAIN STREET, ASHLAND, OREGON
SCALE: 1/8"

KDAHomes
plan. develop. build

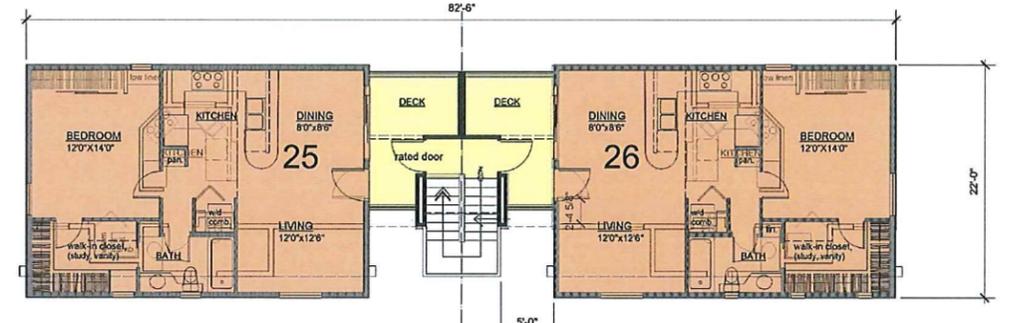
Mark Knox
Project Management/Planner
Cell 541-821-3752
1211 East

604 Fair Oaks Court
Ashland, Oregon 97520
mark.knox@kdahomes.com
www.kdahomes.com

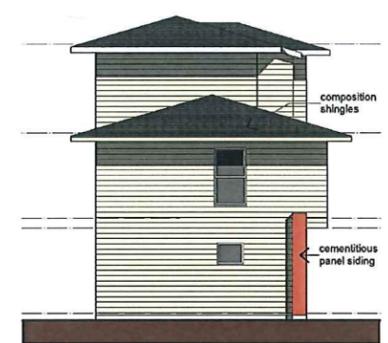
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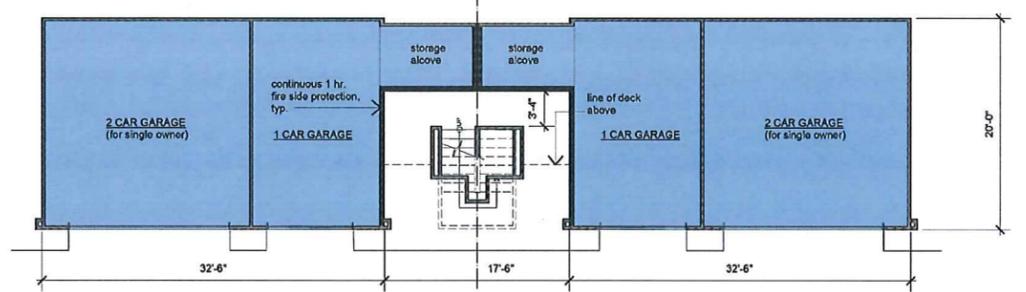
THIRD LEVEL PLAN
 555 s.f. per unit
 OCCUPANCY AREA: 1158
 DECK AREAS: 201



SECOND LEVEL PLAN
 715 s.f. per unit, gross
 OCCUPANCY AREA: 1490
 TOTAL OCCUPANCY AREA: 2648 S.F.
 (TOTAL OCCUPANTS: 2648/200 = 14)
 DECK AREAS: 201



LEFT (EAST) SIDE ELEVATION
 right side (west) same

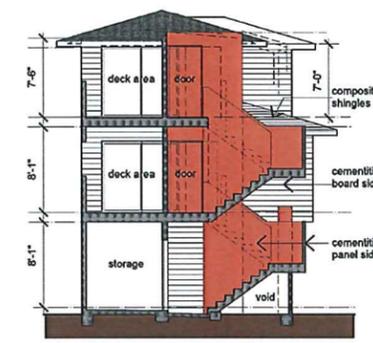


GARAGE LEVEL PLAN
 1412 s.f. total (entire bldg. to be 1 hr. const., fully sprinklered)
BUILDING COMPOSITE PLANS

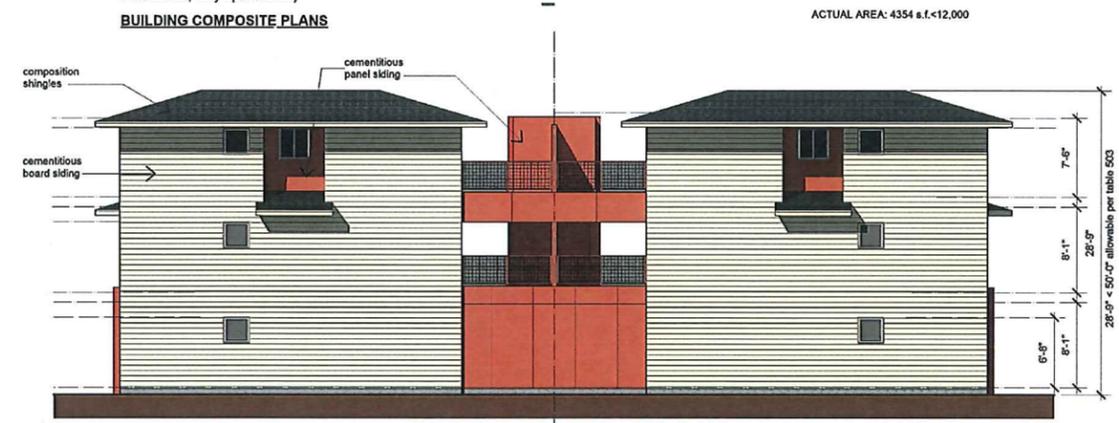
one-hr. barrier const. ———
 TOT. BUILDING AREA PER TABLE 503: 12,000 s.f.
 ACTUAL AREA: 4354 s.f. < 12,000



BUILDING TYPE 6 - FRONT/NORTH (DRIVE) ELEVATION



SECTION 1



REAR/SOUTH ELEVATION

Gary R. Collins, AIA
ARCHITECT
 PLANNER
 P.O. BOX 253
 JACKSONVILLE, OR 97530
 541-702-2116
 541-702-2117 FAX

PROPOSED PLANS & ELEVATIONS
BUILDING TYPE 6
 TEN-SIXTY-EIGHT TOWNHOMES
 1068 MAIN STREET, ASHLAND, OREGON
 SCALE: 1/8"

KDA Homes
 plan. develop. build
 Mark Knox
 Project Management/Planner
 654 E. Oak Coast
 Ashland, Oregon 97520
 541-201-13752
 611.2444
 mark@kda-homes.com
 www.kda-homes.com

JUNE 1, 2017



Street Tree Removal Permit

Permit Number: PW-2017-00990

A
P
P
L
I
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T

Job Address: 420 MORTON ST
ASHLAND OR 97520

Owner's Name: JEFFREY/KATHLEEN STARK/GREATHOL

Customer #: 09358

JEFFREY/KATHLEEN STARK/GREATHC

Applicant: 420 MORTON ST
Address: ASHLAND OR 97520

Phone: (209) 256-4091

Applied: 05/26/2017

Issued:

Expires: 11/22/2017

Maplot: 391E09DC10800

C
O
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T
R
A
C
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R

Contractor:
Address:

Phone:
State Lic No:
City Lic No:

Sub-Contractor:
Address:

Phone:
State Lic No:
City Lic No:

DESCRIPTION: Street tree removal permit for 2 liquid ambers

VALUATION

Occupancy Type	Construction	Units	Rate Amt	Actual Amt	Constuction Description
Total for Valuation:					

MECHANICAL

ELECTRICAL

STRUCTURAL

PERMIT FEE DETAIL

Fee Description	Amount	Fee Description	Amount
Tree Removal/Verification	28.00		

CONDITIONS OF APPROVAL

COMMUNITY DEVELOPMENT Tel: 541-488-5305
 20 East Main St. Fax: 541-488-5311
 Ashland, OR 97520 TTY: 800-735-2900
 www.ashland.or.us

Inspection Request Line: 541-552-2080

**CITY OF
ASHLAND**



Street Tree Removal Permit

Permit Number: PW-2017-00990

I hereby certify the contents of this application to be correct to the best of my knowledge, and furthermore, that I have read, understood and agreed to the following:

1. This permit shall remain valid only in accordance with code or regulation provisions relating to time lapse and revocation (180 days).
2. Work shall not proceed past approved inspection stage. All required inspections shall be called for 24 hours in advance.
3. Any modifications in plans or work shall be reported in advance to the department.
4. Responsibility for complying with all applicable federal, state, or local laws, ordinances, or regulations rests solely with the applicant.

Applicant _____

Date _____

Fee Summary

Paid Amounts

Building:	\$ 0.00	\$ 0.00
State Surcharge:	\$ 0.00	\$ 0.00
Development Fees:	\$ 0.00	\$ 0.00
Systems Development Charges:	\$ 0.00	\$ 0.00
Utility Connection Fees:	\$ 0.00	\$ 0.00
Public Works Fees:	\$ 0.00	\$ 0.00
Planning Fees:	\$ 28.00	\$ 28.00
Sub-Total:	\$ 28.00	
Fees Paid:	\$ 28.00	
Total Amount Due:	\$	0

COMMUNITY DEVELOPMENT
 20 East Main St.
 Ashland, OR 97520
 www.ashland.or.us

Tel: 541-488-5305
 Fax: 541-488-5311
 TTY: 800-735-2900

Inspection Request Line: 541-552-2080

CITY OF ASHLAND

June 15, 2017

Derek Severson
Senior Planner
City of Ashland
51 Winburn Way
Ashland, OR 97520

Dear Mr. Severson:

The Liquid Amber trees at 420 Morton St. may be in the City of Ashland right of way. The trees, however, pose a problem for the structure on the property. The structure, a residential house, is situated below the grade of the street. Drainage problems are evidenced by an interior French drain with sump and a slab floor drain installed retroactively in the basement by a previous owner. The grade on the property slopes into the house instead of properly sloping away and the grade clearance from the siding on the southwest corner does not meet code requirements.

In order to meet grade requirements, the existing grade needs to be reworked to provide a slope away from the house. The roots of the Liquid Amber trees are visible on the surface of the grade and extend approximately 15 feet towards the house to the southeast. In order to provide a gradient that slopes away from the house as dictated by the building code, the tree roots would need to be cut and an exterior French drain installed to prevent water intrusion in the basement. Cutting the trees roots would probably affect the stability and vigor of the trees. Our primary interest is in maintaining a dry basement and to that effect, the removal of the Liquid Amber trees would be the best solution.

With that, we would like a re-evaluation of our request to remove the trees .

Thank you for your consideration.

Sincerely,

Jeffrey Stark and Kathy Greathouse



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JUN 15 2017

City Of Ashland

Regan Trapp

From: Kathleen Greathouse <katgreathouse@icloud.com>
Sent: Thursday, June 15, 2017 12:40 PM
To: Regan Trapp
Subject: 420 Morton st







Sent from my iPhone



ASHLAND TREE COMMISSION
STREET TREE REMOVAL PERMIT COMMENT SHEET
June 9, 2017

PLANNING ACTION: PW-2017-00990

SUBJECT PROPERTY: 420 Morton St

APPLICANT: Kathleen Greathouse

DESCRIPTION: A request for Street Tree Removal Permits (2) to remove two approximately 12-inch d.b.h. liquidambar trees located approximately six feet behind the curb at 420 Morton Street.

The Tree Commission recommends **denying** the application as submitted with the following comments:

1. Liquidambar or sweetgums are good trees, and are very commonly encountered in plantings locally as both street trees and landscape trees.
2. Removing two healthy trees because of their fruit, seeds or leaves would set a dangerous precedent that could lead to the removal of a lot of healthy trees in the city.
3. If removals are proposed based on a specific hazard condition of the tree, Commissioners would ask that a standard tree risk assessment form be provided.

Street Tree Removal Request for 420 Morton

Derek Severson

Mon 6/12/2017 10:40 AM

To:katgreathouse@yahoo.com <katgreathouse@yahoo.com>;

Bcc:Regan Trapp <Regan.Trapp@ashland.or.us>; Maria Harris <maria.harris@ashland.or.us>;

1 attachments (680 KB)

BasicTreeRiskAssessmentForm_Fillable_FirstEdition.pdf;

Ms. Greathouse,

I presented your tree removal permit request to the Ashland Tree Commission last Thursday, June 8th. After reviewing the materials requested, they recommended that the removal request be denied. In reviewing the photos provided and reading the materials included with the application, they could not make the determination that the trees presented a clear public safety hazard.

During their discussion, they noted that liquidambars are good trees that are very commonly encountered both as street trees and as landscape specimens locally. They expressed concern that removing healthy trees because of their fruit, seed or leaves could set a dangerous precedent that could lead to the removal of a lot of healthy trees in the city.

They suggested that if you would like to further pursue removal based on a specific hazard that you or your arborist appear before the Tree Commission and provide an ISA Basic Tree Risk Assessment Form (attached) prepared by your arborist.

I also visited the site, and did not observe that the trees were causing damage to the curb or that they appeared to pose a clear public safety hazard, and as such city staff are not able to approve the Street Tree Removal Permit request. As noted above, you could appear before the Tree Commission if you wanted to make your case for removal to them with an arborist-prepared risk assessment form. *(Another option would be a private survey to verify the location of the property line relative to the trees. City mapping data indicates that Morton Street on your block has a 40 foot right-of-way but is only improved to 27 1/2 feet and shows the trees within the right-of-way, but a formal survey by a licensed surveyor could determine the exact property line location relative to the trees. I have reviewed county survey records and couldn't find any recorded survey of properties in the vicinity which would help more precisely locate the property line without a private survey.)*

If I can provide any clarification of the above, or any additional information or assistance, please don't hesitate to contact me.

- **Derek**

Derek Severson, *Senior Planner*
City of Ashland, Department of Community Development
51 Winburn Way, Ashland, OR 97520
PH: (541) 552-2040 **FAX:** (541) 552-2050 **TTY:** 1-800-735-2900
E-MAIL: derek.severson@ashland.or.us

This e-mail transmission is the official business of the City of Ashland, and is subject to Oregon's public records laws for disclosure and retention. If you've received this e-mail in error, please contact me at (541) 552-2040. Thank you.





5-26-17

Appeal to remove two Liquidambar trees located at 420 Morton St, Ashland.

We, Kathleen Greathouse and Jeffrey Stark, owners of 420 Morton St, would like to have these trees removed.

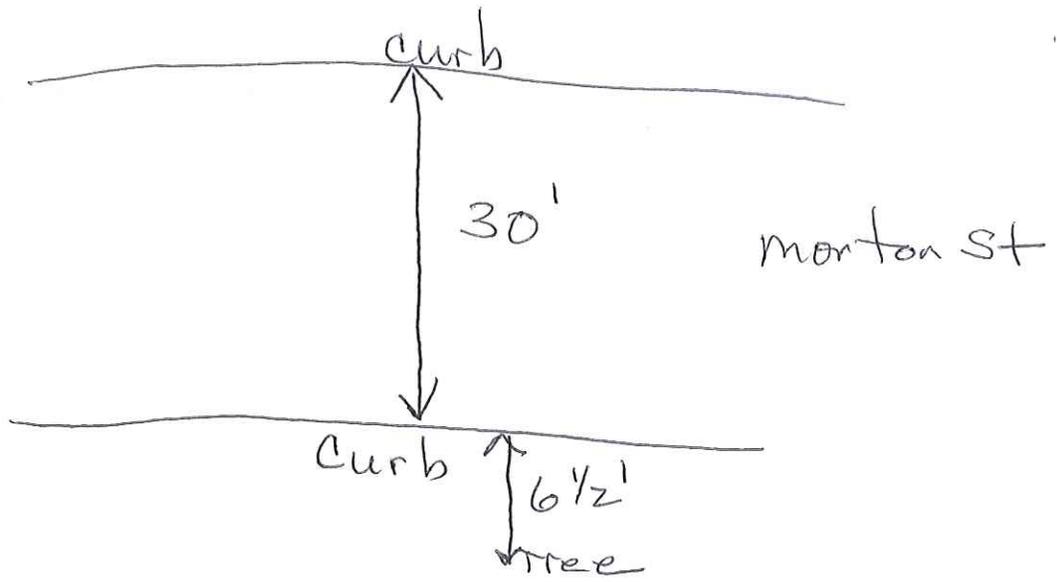
They drop large quantities of seed pods which are round & roll like marbles when walked on. I have fallen several times. There is no sidewalk on Morton St so people do walk on the area between the curb & tree so I feel it is a hazard & liability.

We will replace both liquidambar with at least two trees.

We appreciate your consideration.

Kathleen Greathouse

over



RECEIVED

JUN 06 2017

6-4-2017

City of Ashland

To Whom It May Concern:

This letter is in regards to the 2 liquid amber trees at 420 Morton st in Ashland

Oregon. As an ISA certified arborist PN-6469 at Rogue Tree CCB# 211726 I believe these trees pose a hazard risk and should be removed. The reasons are as follows:

- 1) Said trees are in close proximity to the drop service power lines and should they fall there is a potential for downed power lines. The power company does not maintain these trees as there concerned only with the high-tension wires.
- 2) Said trees have invasive root systems that can break and erode the integrity of curbs and sidewalks. The curb by these trees is already showing signs of this.
- 3) Said trees drop large seedpods in numerous quantities. These pose a risk to the landowners as well as any passerby's as they pose a significant tripping hazard.

The removed trees will be replaced with a more suitable species of tree. Please feel free to contact me with any questions at Phone number- 541.864.9127

Sincerely,
Stefan Gala
ISA # PN 6469

Rogue Tree
CCB# 211726

Regan Trapp

From: Kathleen Greathouse <katgreathouse@icloud.com>
Sent: Friday, May 26, 2017 10:24 AM
To: Regan Trapp
Subject: 420 Morton





Sent from my iPhone

Regan Trapp

From: Kathleen Greathouse <katgreathouse@icloud.com>
Sent: Friday, May 26, 2017 10:24 AM
To: Regan Trapp
Subject: 420 Morton



Sent from my iPhone



Planning Division
51 Winburn Way, Ashland OR 97520
541-488-5305 Fax 541-488-6006

STREET TREE REMOVAL PERMIT

A tree that is located in any public street right-of-way or other public property may not be removed until a Street Tree Removal Permit has been submitted according to the Application Submission Requirements, below, and reviewed and approved by the City of Ashland.

An application for street tree removal must demonstrate that the tree is an emergency, hazard, or dead tree as outlined below in the Application Submission Requirements.

Application Submission Requirements. An application for a street tree removal permit shall include all of the following information.

1. **Application Form and Fee.** The application must include the information requested on the Street Tree Removal Permit form provided by the City of Ashland and the permit application fee. Only those property owners of a lot adjoining the street tree location or homeowners' associations responsible for street trees in their development or subdivision may apply to remove an adjoining street tree. If a tree is located in front of more than one property, each property owner or homeowners' association official must sign the Street Tree Removal Permit form.
2. **Site Plan.** A site plan of the property drawn to scale containing the following information. The scale of the site plan must be at least one inch equals 50 feet or larger.
 - a. North arrow and scale.
 - b. Property boundaries including dimensions of all lot lines and driveway locations.
 - c. Location and width of all public streets, planting strips, and sidewalks adjoining the site.
 - d. Size, species, and location of the tree(s) proposed to be removed.
3. **Written Statement.** A written statement explaining how the proposed street tree removal satisfies one of the following approval criteria. The Community Development director may require additional information to demonstrate that the proposed removal satisfies one of the following approval criteria including: 1) a written statement to be prepared by an arborist licensed by the State of Oregon Landscape Contractors Board of Construction Contractors Board and certified by the International Society of Arboriculture or American Society of Consulting Arborists; and 2) an International Society of Arboriculture (ISA) Basic Tree Risk Assessment Form to be completed by an arborist.

Street Tree Removal Approval Criteria

- a) **Emergency Tree Removal.** The tree presents an immediate danger of collapse and represents a clear and present hazard to persons or property. Immediate danger of collapse is defined as a tree that may already be leaning, with the surrounding soil heaving, and/or there is a significant likelihood that the tree will topple or otherwise fail and cause damage before a tree removal permit could be obtained through the non-emergency process.
- b) **Hazard Tree Removal.** The tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. A hazard tree is a tree that is physically damaged to the degree that it is clear the tree is likely to fall and injure persons or property. A hazard tree may also include a tree that is located within a public right-of-way and is causing damage to existing public or private facilities or services and such facilities or services cannot be relocated.
- c) **Dead Tree.** The tree is dead. A dead tree is lifeless. Such evidence of lifelessness may include unseasonable lack of foliage, brittle dry branches, or lack of any growth during the growing season.

Replacement and Stump Removal. Applicants for approved Street Tree Removal Permits are required to remove any stumps and replace the tree. Stump removal and replacements for approved street tree removals shall meet the following requirements.

1. Any street tree removed shall be removed at ground level or lower. If a tree is removed below ground level, the surface must be restored to finish grade and any regrowth which occurs shall be promptly removed.
2. All street trees shall be an appropriate species selected from and planted according to the City of Ashland Recommended Street Tree List.
3. The minimum size for a replacement tree is eight feet in height or one inch in caliper measured at 12 inches above the root crown.
4. Applicants for a Street Tree Removal Permit may be required to replace the tree or trees being removed with a tree or trees of comparable value.
5. If a street tree is determined to be dead or dying, then the replacement need be no larger than the minimize size described above.

Type of Tree(s) Liquid Ambar (2)
 Approximate Diameter at breast height 1 ft Height 50' Canopy 10'
 Location of Tree 420 Morton St. Ashland
 Reason for Request See attached

Are there underground utility lines and/or overhead power lines present? _____

If yes, please list which lines are present _____

Is there sidewalk damage? no If yes, has a Public Works permit been issued? _____

OVER >>

DESCRIPTION OF PROPERTY

Street Address 420 Morton St

Assessor's Map No. 39 1E 391E9DC Tax Lot(s) 10800

Zoning _____ Comp Plan Designation _____

PROPERTY OWNER

Name Kathleen Greathouse Phone 209-256-4091 E-Mail katagreathouse@yahoo.com

Address 420 Morton St City Ashland Zip 97520

Name Jeff Stark Phone 209-217-4858 E-Mail _____

Address 420 Morton St City Ashland Zip 97520

PROFESSIONAL PERFORMING THE TREE REMOVAL (e.g., tree service)

Name Stefan Gala, Rogue Tree Phone 541-864-9127 E-Mail _____

Address _____ City _____ Zip _____

ARBORIST, LANDSCAPE ARCHITECT, OTHER

Title Canopy Name Chris Phone 541-631-8800 E-Mail _____

Address Talent City Talent, OR Zip _____

Title _____ Name _____ Phone _____ E-Mail _____

Address _____ City _____ Zip _____

As owner of the property involved in this request, I have read and understood the complete application and its consequences to me as a property owner. I hereby certify that the statements and information contained in this application are in all respects, true and correct. I further understand that if this request is subsequently contested, the burden will be on me to establish:

- 1) that I produced sufficient factual evidence to support this request;
- 2) that the information contained in this application are adequate; and further
- 3) that all trees, structures, or improvements are properly located on the ground.

Kathleen Greathouse
Property Owner's Signature (required)

5-26-17
Date

STAFF DECISION:

Permit is hereby (circle one):	Approved	Approved with Conditions	Denied
Conditions of Approval _____			

Is the tree 18" d.b.h or greater? <input type="checkbox"/> NO <input type="checkbox"/> YES		Has the City Administrator has been notified: <input type="checkbox"/> NO <input type="checkbox"/> YES	
Community Development Director/Planning Manager Signature _____		Date _____	



1:180
1 inch = 15 feet

Mapping is schematic only and bears no warranty of accuracy.
All features, structures, facilities, easement or roadway locations
should be independently field verified for existence and/or location.

CITY OF
ASHLAND

Tree Commission Member Attendance Report January - June 2017					
MEETING	Batistella	Cates	John	Neff	Oxendine
January 5, 2017	<i>Meeting Canceled/No Quorum</i>				
February 9, 2017	PRESENT	PRESENT	PRESENT	ABSENT	PRESENT
March 9, 2017	PRESENT	PRESENT	PRESENT	PRESENT	PRESENT
April 6, 2017	ABSENT	PRESENT	PRESENT	PRESENT	PRESENT
May 6, 2017	<i>Meeting Canceled/No Quorum</i>				
June 8, 2017		PRESENT	ABSENT	PRESENT	PRESENT
ABSENCES	1	0	1	1	0
ATTENDANCE %	67	100	75	75	100

Under the "new rules"...

- * All members are expected to attend all regularly scheduled meetings, study sessions and special meetings, when applicable.
- * All members must attend **seventy-five percent (75%)** of the full advisory body's noticed meetings in each full year of their tenure.
- * A person removed from the advisory body for non-compliance with attendance requirements subsequently may be appointed to fill the vacancy on the advisory body by means of the normal appointment
- * A member should provide at least 48-hour notice to both the chair of the advisory body and the staff liaison any planned absences
- * Unexpected emergencies (absences) if possible, must notify the chair or staff liaison in a reasonable time in advance of the meeting.
- ** **Each advisory body should review member and report to the City Recorder approximately every six months.**

