

CITY OF ASHLAND



TREE COMMISSION AGENDA APRIL 9, 2015

CALL TO ORDER

6:00 p.m. in the Siskiyou Room of the Community Development and Engineering Services Building located at 51 Winburn Way.

APPROVAL OF MINUTES

Approval of March 5, 2015 regular meeting minutes.

ANNOUNCEMENTS & LIAISON REPORTS

- City Council Liaison
- Parks & Recreation Liaison
- Community Development Liaison

PUBLIC FORUM

Welcome Guests

TYPE I REVIEWS

PLANNING ACTION: PA-2015-00423

SUBJECT PROPERTY: Vacant lot to the east of 308 Laurel St.

APPLICANT: Urban Development Services LLC

OWNER: Fred Cox

DESCRIPTION: A request for a Site Review approval to construct a new 9,876 square foot, two and one half-story mixed-use building on the vacant property located between 145 E Hersey and 308 N Laurel Street. Four residential units above the ground floor commercial space is proposed. The request includes an exception to reduce the required sidewalk width from eight feet to six feet to accommodate an on-street parking bay.

COMPREHENSIVE PLAN DESIGNATION: Employment; **ZONING:** E-1; **ASSESSOR'S MAP #:** 39 1E 04CC; **TAX LOT #:** 12100

PLANNING ACTION: PA-2015-00425

SUBJECT PROPERTY: 185 Skycrest

APPLICANT: Eric Hansen

DESCRIPTION: A request for Physical and Environmental Constraints Review approval to allow for the construction of a new single family home, garage and carport. The request includes approval for development on Severe Constraints Land and a request to remove five Madrone trees greater than six-inches in diameter at breast height. The subject property is located at 185 Skycrest.

COMPREHENSIVE PLAN DESIGNATION: Rural Residential; **ZONING:** RR-.5;

ASSESSOR'S MAP: 39 1E 08AB; **TAX LOTS:** 211

PLANNER: Amy **TREE:** YES **HISTORIC:** NO

PLANNING ACTION: PA-2015-00541
SUBJECT PROPERTY: 345 Lithia Way
OWNER/APPLICANT: Hays Oil
Kistler, Small & White Architects for Double R Products

DESCRIPTION: A request for a modification of a previously approved Site Review approval (PA-2014-01226) to convert the Lithia Way Texaco located at 345 Lithia Way into a retail and restaurant establishment. The proposal is to add an outdoor seating area adjacent to the building on the south façade adjacent to Lithia Way and modification to the proposed exterior finishes.
COMPREHENSIVE PLAN DESIGNATION: Commercial; **ZONING:** C-1; **ASSESSOR'S MAP:** 39 1E 09BD; **TAX LOTS:** 1801

PLANNING ACTION: PA-2015-00568
SUBJECT PROPERTY: 854 A Street
OWNER/APPLICANT: Ilene Rubenstien/Mark Frueh

DESCRIPTION: A request for a Tree Removal Permit to remove a hazard tree - an approximately 30-inch diameter Black Locust - from the property at 854 A Street. *(Another tree, also an approximately 30-inch diameter Black Locust was approved for immediate removal as an emergency because the soil and roots at its base had begun to heave and the tree was leaning at approximately a 45 degree angle and posed an immediate risk to structures and people in the vicinity.)*

COMPREHENSIVE PLAN DESIGNATION: Employment; **ZONING:** E-1; **ASSESSOR'S MAP:** 39 1E 09AA; **TAX LOT:** 6600

PLANNING ACTION: PA-2015-00603
SUBJECT PROPERTY: 95 North Main Street
OWNER/APPLICANT: Durant-Newton Trust/Randy Mason

DESCRIPTION: A request for a Tree Removal Permit to remove a hazard tree - an approximately 14-inch diameter Almond - from the rear of Brother's Restaurant at 95 North Main Street. The project arborist notes that the tree is growing against the deck and roof and damaging the existing structure on the property

COMPREHENSIVE PLAN DESIGNATION: Commercial; **ZONING:** C-1-D;
ASSESSOR'S MAP: 39 1E 09BB; **TAX LOTS:** 5700

TYPE II REVIEWS

PLANNING ACTION: PA-2014-02106
SUBJECT PROPERTY: 2352 Morada Ln.
APPLICANT/OWNER: Ron & Lisa Albano

DESCRIPTION: The Planning Commission will review staff's approval of a request for Site Review and Conditional Use Permit approvals to construct a new approximately 1,000 square foot accessory residential unit behind the existing home at 2352 Morada Lane. The item is being considered by the Planning Commission to correct an error in the mailing of the notice of decision. [NOTE: *The Tree Commission initially reviewed and made recommendations on this item at the regular meeting on January 8, 2015.*]

COMPREHENSIVE PLAN DESIGNATION: Single Family Residential; **ZONING:** R-1-7.5;
ASSESSOR'S MAP : 39 1E 14CD; **TAX LOT:** 4700

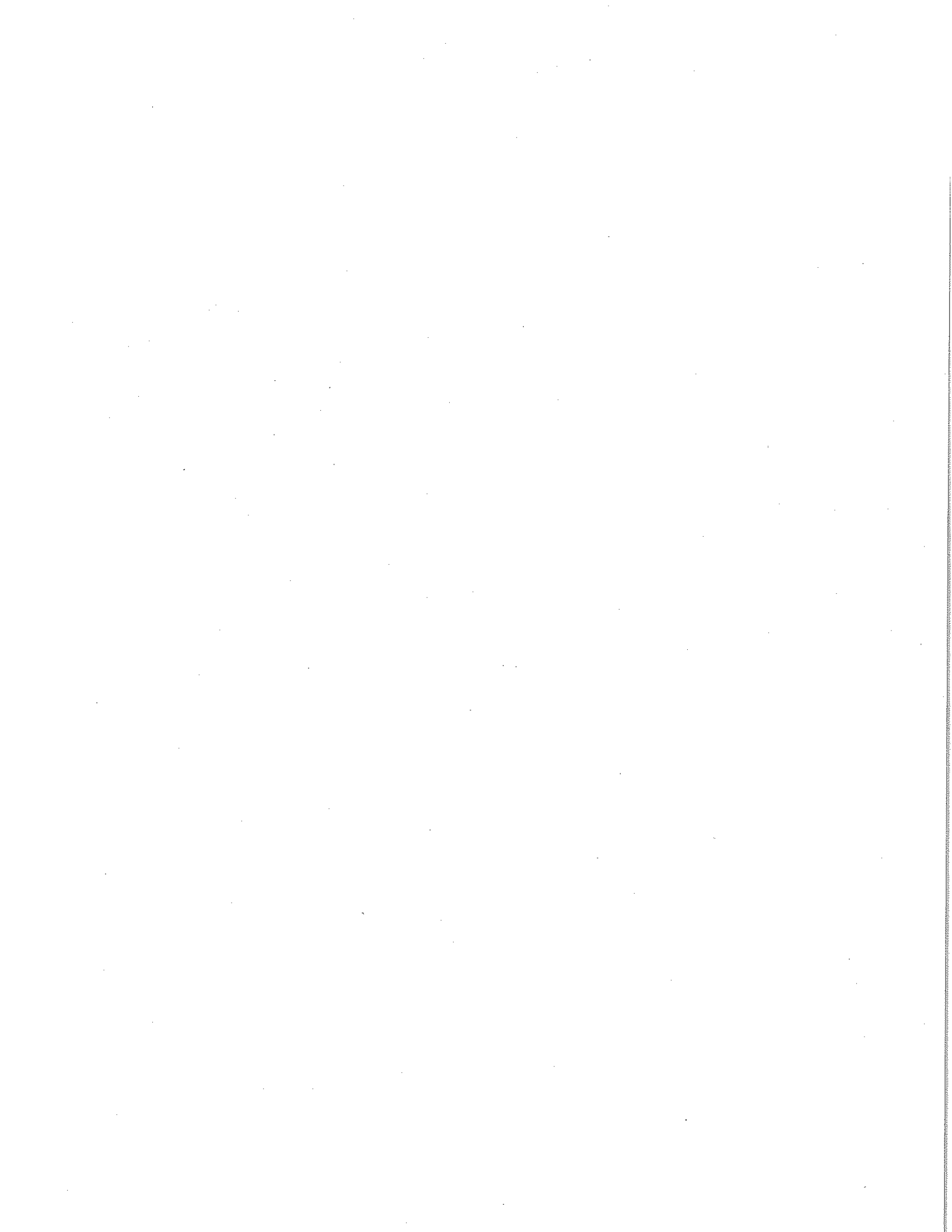
DISCUSSION ITEMS

- Wildfire Zone Code Changes
- Arbor Week 2015 Tree Planting – Friday April 10th at 10:00 a.m., Ashland Creek Park
- Earth Day 2015 – Earth Day Tabling on April 25th
- Debriefing: Council Update & Tree of the Year Award at SOU

NEW BUSINESS/ITEMS FROM COMMISSIONERS

ADJOURNMENT

Next Meeting: May 7, 2015



CITY OF ASHLAND

TREE COMMISSION DRAFT Minutes March 5, 2015

CALL TO ORDER – Chair Greg Trunnell called the meeting of the Ashland Tree Commission to order at 6:00 p.m. on March 5, 2015 in the Siskiyou Room of the Community Development and Engineering Services Building located at 51 Winburn Way, Ashland, Oregon.

Commissioners	Council Liaison
Ken Schmidt	Carol Voisin
Gregg Trunnell	Staff
Russ Neff	Derek Severson, Associate Planner
Casey Roland	Carolyn Schwendener, Admin
Christopher John	Pete Baughman, Parks Liaison

APPROVAL OF MINUTES

Schmidt/Trunnell m/s to approval of minutes of the February 5, 2015 Tree Commission meeting. Voice Vote: All Ayes minutes were approved as presented.

PUBLIC FORUM

Bill and Pat Scheuner were present to observe and gain understanding of what the Tree Commission does. They have recently moved to Ashland from El Dorado County. Mr. Scheuner is a graduate of Oregon State University with a degree in Forest Management. He spent thirteen years as a Forest Service Culturist and eight years in the University of California Cooperative extensions Master Gardeners. Mr. Scheuner's last job was the nursery manager at the Forest Service Nursery in Placerville California. The Commissioners invited him to become a member of the Tree Commission.

ANNOUNCEMENTS & LIAISON REPORTS

City Council Liaison – Voisin reported that City Council with a four to one vote approved the purchase and sale agreement with the Housing Authority of Jackson County for the City owned property located at 380 Clay Street. The Housing Authority plans to use the property to expand its affordable housing development in the area. The sale agreement includes a contingency that the sale will not close until a permit has been issued for the removal of the Cottonwood tree located on that property. Voisin reviewed the process for the removal of the tree informing the Commission that it starts with them. After the City applies for a Planning Action to remove the tree the Tree Commission will review the application and make a recommendation to the Planning Commission. The Planning Commission is the approval authority, but there is an appeal process that could take a Planning Commission decision to the City Council if appealed.

Voisin said that \$24,000 from the Transient Occupancy Tax has been allocated for two new welcome signs at both the south and north ends of town as well as for hanging plants in the downtown area. The Council passed the Film and Media Ordinance. The pool at Southern Oregon University is being torn down and currently there is no plan to replace it. It was decided to put a cover over the City pool located at Hunter Park so that High School students can practice year round. Voisin added that the cost is around \$100,000 and the school district appears to be willing to pay for it.

The March 17th Council meeting will include a drought update and a discussion around the proposed Accessory Traveler's Accommodation Ordinance in R-1 and R-2 zones. No date has been set yet for the governmental agreement between ODOT and the City regarding the Welcome Center. Voisin announced that March 8 is International Woman's Day and April 28th is a Wildlife Summit.

The Commissioners briefly discussed the removal of the tree on 380 Clay Street, which did receive Tree of the Year in 2013. Severson encouraged the Commissioners to focus on the criteria when making a recommendation with regard to the tree removal, and explained that the applicable criteria are provided with the application notice. Severson reminded the Commissioners that in their quasi-judicial role they cannot participate in a decision if they are biased and unable to fairly consider the request in light of the applicable criteria. He stressed they need to be careful about expressing bias in the interim while waiting for this application.

Parks & Recreation Liaison – Baughman will discuss the recommendation of a location for the Arbor Day planting later in the meeting when they get to that agenda item.

Community Development Liaison – Severson commented that at last month's meeting there was mention of rubber sidewalks. After a visit to look at the rubber sidewalks in Central Point Severson brought in pictures to show the Commissioners. He has been taking pictures

of those particular sidewalks since 2007 and it seems to be accommodating the trees very well. After speaking with the staff in Central Point they confirmed the project has been successful and would not hesitate to use them again.

Severson announced that the Wildfire Lands Ordinance amendments will be coming to the Tree Commission in April. The Fire Department is looking at modifying the Wildfire Lands to incorporate the entire City.

Severson distributed information regarding the upcoming Airport Code Amendments. The Airport Commission is working on the Master Plan for the airport and would like to change some of the code to facilitate the development there. They would like the same allowances the Parks Department has for removing trees in the park without tree removal permits if trees need to be removed for safety when mandated by the Federal Aviation Administration (FAA). They would also like some flexibility with regard to landscaping requirements. This item will come back to the Commission in the next month or two.

TYPE I REVIEWS

PLANNING ACTION: PA-2014-02023
SUBJECT PROPERTIES: 678 Glendale Avenue
APPLICANT: Canopy LLC
OWNER: Siskiyou Initiative, dba Siskiyou School
DESCRIPTION: A request for a Tree Removal Permit to remove three trees: an 11½-inch diameter at breast height (DBH) Scots Pine (*pinus sylvestris*), a ten-inch DBH Thundercloud Plum (*prunus cerasifera*), and a 13-inch DBH Ponderosa Pine (*pinus ponderosa*) from the property located at 678 Glendale Avenue. The subject property received Conditional Use and Site Review Permit approval under Planning Action #2013-01695 to utilize the single family residence at 678 Glendale Avenue as added break-out classroom and administrative/faculty space for the Siskiyou School, a private school located on the adjacent property to the east at 631 Clay Street. These three trees were identified to be preserved and protected in that approval, however after subsequent assessment by an arborist the applicants are requesting to remove them as hazard trees.

Commissioner John recused himself because he is the project arborist on this job.

Trunnell and Schmidt did site visits.

Severson explained that this property is in a Single Family zone and is occupied by a Single Family residence which typically is exempt from tree removal permit requirements. The Siskiyou School received a Conditional Use Permit (CUP) to use the house for classroom space for a small number of students. One of the bases for that CUP approval was that the mature trees in the back of the property provided a buffer to the adjacent neighboring residential properties. The presence of Cemetery Creek and its associated Water Resource Protection zone also bring a higher level of regulation to the property with regard to tree removal. Severson stated that two of the trees are leaning and meet the criteria for hazard tree removal but the third does not seem to present a clear public safety hazard and staff is not recommending its removal.

John confirmed that the issue surrounding the third tree is really the overcrowding of the other trees. John also explained that the students at the Siskiyou School voted to save the Ponderosa Pine.

Trunnell/Schmidt m/s to recommend that the 11 ½-inch diameter at breast height (DBH) Scots Pine and the ten-inch DBH Thundercloud Plum be removed leaving the 13-inch DBH Ponderosa Pine. Voice Vote: All Ayes motion passed.

PLANNING ACTION: PA-2015-00178
SUBJECT PROPERTY: 156, 160 & 164 Van Ness
APPLICANT: Sean and Julia Downey
DESCRIPTION: The request is for Site Design Review to allow for two dwelling units on the consolidated parcel; one of the dwellings will be the existing cottage moved to the rear of the property accessed off of the alley and a new residence constructed at the front of the parcel. Site Review approval is also requested for two units at 156 Van Ness, the existing cottage at 160 Van Ness is proposed to move to rear of that property. A tree removal permit is also requested to a seven inch DBH Box Elder tree.

Trunnell, Schmidt and Christopher did site visits.

After a discussion the Commissioners did not see an issue in removing the tree. There was a concern for the two Elm Trees in the middle of the property on how they will be protected during the moving of the home. Severson acknowledged the applicants narrative said there would be protective fencing around those trees. Severson will be sure there is a tree protection plan in conjunction with the ordinance. The applicant plans on mitigating two trees for the one tree being removed.

Schmidt/Trunnell m/s to recommend the approval of the removal of the Box Elder tree. Voice Vote: All Ayes motion passed.

DISCUSSION ITEMS

The following is the schedule for Tree Commission/Arbor Week activities.

- On **Tuesday, March 17th at 7:00 p.m.**, Tree Commission will make its annual presentation to the City Council. The Commission chair and Community Development liaison will be there, along with any other commissioners who may show up. At that time, the Mayor will make a proclamation of April 5-11 as Arbor week in Ashland, and the Arbor Day Foundation may present the annual Tree City USA award - this is a benchmark year as Ashland is one of only three Oregon cities to have been a Tree City for 30 years or more.
- On **Wednesday, April 8th at 12:00 noon**, the City and Tree Commission will present Southern Oregon University with the 2014 Tree of the Year award for the large Silver Maple which was protected during recent construction of their two new North Campus Village residence halls and which now is the centerpiece to the large courtyard area between the dorms. This will be done in conjunction with SOU's being named a "Tree Campus USA" and that there will be quite a bit of media coverage.
- On **Friday, April 10th at 10:00 a.m.**, the Tree Commission will plant a large stature tree donated by Commissioner Casey Roland in Ashland Creek Park at 27 East Hersey Street. (If the Tree City USA Award isn't presented at 3/17 Council, it will be here.)
- On **Saturday, April 25th** the Tree Commission will be participating in the Rogue Valley's annual Earth Day celebration.

NEW BUSINESS ITEMS FROM COMMISSIONERS

Roland remarked that he previously took some cuttings from the Cottonwood Tree located at 380 Clay Street. The cuttings were successful and the starts are located at Plant Oregon.

The Commissioners would like to see the Jackson County Housing Authority replace the dead street trees along Clay Street in front of the Snowberry Brook complex.

Roland offered to work with Severson on ordinance language and permitting requirements to more clearly address the topping of trees. The current ordinance is vague regarding the definition of tree topping and the Commission would like to see it be more complete.

ADJOURNMENT

Meeting adjourned at 7:10p.m., Next meeting: March 5, 2015
Respectively submitted by Carolyn Schwendener





NOTICE OF APPLICATION

PLANNING ACTION: PA-2015-00423

SUBJECT PROPERTY: Vacant property located between 145 E Hersey and 308 N Laurel Street

APPLICANT: Urban Development Services LLC

OWNER: Fred Cox

DESCRIPTION: A request for a Site Review approval to construct a new 9,876 square foot, two and one half-story mixed-use building on the vacant property located between 145 E Hersey and 308 N Laurel Street. Four residential units above the ground floor commercial space is proposed. The request includes an exception to the Street Standards to reduce the required sidewalk width from eight feet to six feet to accommodate an on-street parking bay.

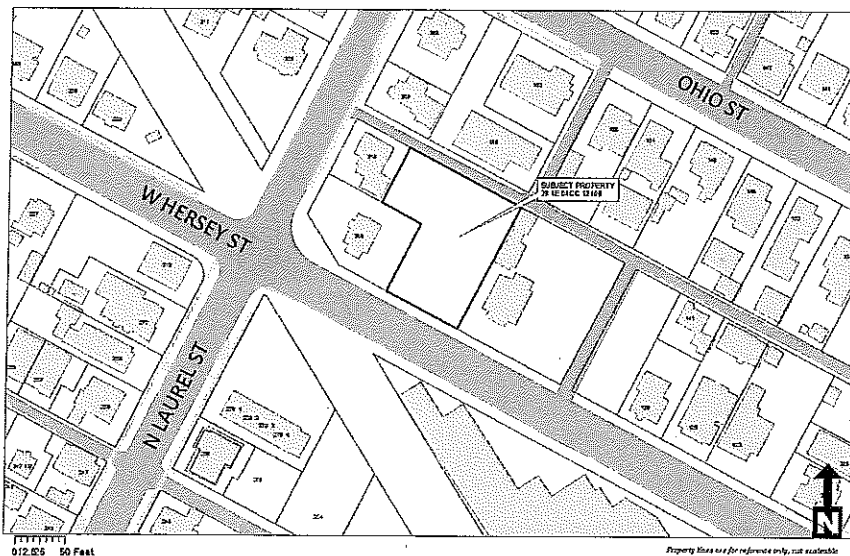
COMPREHENSIVE PLAN DESIGNATION: Employment; **ZONING:** E-1; **ASSESSOR'S MAP #:** 39 1E 04CC; **TAX LOT #:** 12100.

NOTE: The Ashland Historic Commission will also review this Planning Action on **Wednesday, April 8, 2015 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTE: The Ashland Tree Commission will also review this Planning Action on **Thursday, April 9, 2015 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room) located at 51 Winburn Way.

NOTICE OF COMPLETE APPLICATION: March 25, 2015

DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS: April 8, 2015



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.108.040)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

SITE DESIGN AND USE STANDARDS

18.5.2.050 Approval Criteria

The following criteria shall be used to approve or deny an application:

- A. **Underlying Zone:** The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.
- B. **Overlay Zones:** The proposal complies with applicable overlay zone requirements (part 18.3).
- C. **Site Development and Design Standards:** The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.
- D. **City Facilities:** The proposal complies with the applicable standards in section 18.4.6 Public Facilities and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property and adequate transportation can and will be provided to the subject property.

EXCEPTION TO STREET STANDARDS

18.4.6.020.B.1. Exception to the Street Design Standards. The approval authority may approve exceptions to the standards section in 18.4.6.040 Street Design Standards if all of the following circumstances are found to exist.

- a. There is demonstrable difficulty in meeting the specific requirements of this chapter due to a unique or unusual aspect of the site or proposed use of the site.
- b. The exception will result in equal or superior transportation facilities and connectivity considering the following factors where applicable.
 - i. For transit facilities and related improvements, access, wait time, and ride experience.
 - ii. For bicycle facilities, feeling of safety, quality of experience (i.e., comfort level of bicycling along the roadway), and frequency of conflicts with vehicle cross traffic.
 - iii. For pedestrian facilities, feeling of safety, quality of experience (i.e., comfort level of walking along roadway), and ability to safety and efficiency crossing roadway.
- c. The exception is the minimum necessary to alleviate the difficulty.
- d. The exception is consistent with the Purpose and Intent of the Street Standards in subsection 18.4.6.040.A.

**PROJECT DESCRIPTION
FOR A PROPOSED SITE REVIEW PERMIT AND
SIDEWALK STREET EXCEPTION FOR A
MIXED-USE BUILDING ON THE VACANT PROPERTY
LOCATED BETWEEN 145 HERESY AND 308 LAUREL STREETS**



SUBMITTED TO

**CITY OF ASHLAND PLANNING DEPARTMENT
ASHLAND, OREGON**

SUBMITTED BY

**URBAN DEVELOPMENT SERVICES, LLC.
485 W. NEVADA STREET
ASHLAND, OR 97520**

RECEIVED

MAR 06 2015

MARCH 6TH, 2015

City Of Ashland

I. PROJECT INFORMATION:

APPLICANTS & OWNERS:

Fred Cox Company
213 Eastbrook Way
Ashland, OR 97520

STRUCTURAL ENGINEER & DESIGN:

Structural Integrity
724 Main Street
Klamath Falls OR 97601

LAND USE PLANNING:

Urban Development Services, LLC
604 Fair Oaks Court
Ashland, OR 97520

DRAFTING:

Lindemann Design
550 Nevada Street
Ashland, Or 97520

LANDSCAPE DESIGN:

Madara Design, Inc.
2994 Wells Fargo Road
Central Point, OR 97502

CIVIL ENGINEER:

Construction Engineering Consultants
P.O. Box 1724
Medford, Oregon 97501

ADDRESS & LEGAL DESCRIPTION: Vacant Property (between 145 Heresy & 308 Laurel Streets;
Map & Tax Lots: 391E 04CC 1200

PROJECT ZONING: Employment (E-1) w/ "R" Overlay

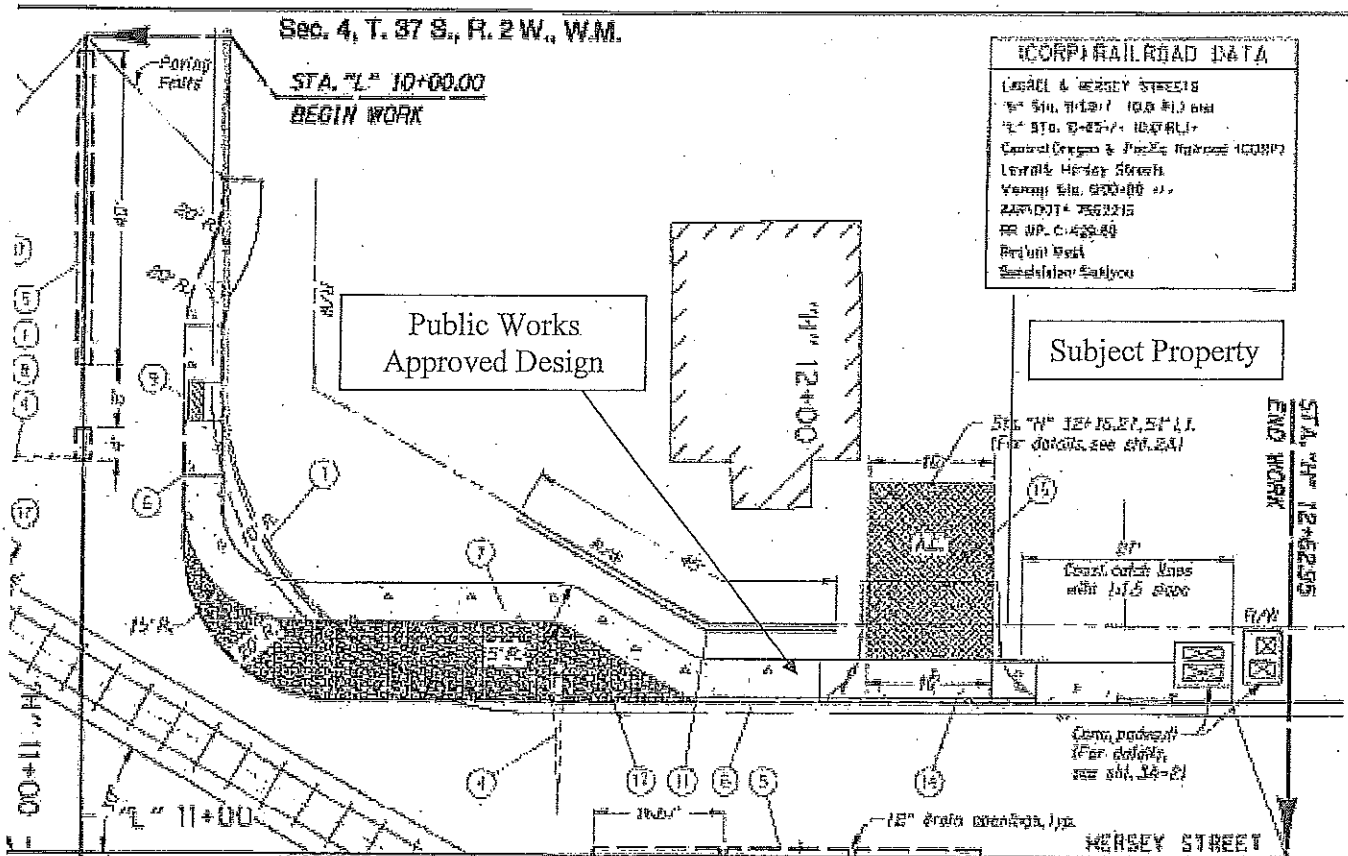
PROJECT PROPOSAL: The applicant is requesting a Site Review Permit to construct a 2½ story mixed-use building on a vacant parcel along Heresy Street and a Street Exception request for a reduced sidewalk width. The building will be roughly 9,876 square feet in area, consisting of four residential units on the upper floor, two office spaces on the main floor and four enclosed garage spaces within the daylight basement. The building is oriented towards Heresy Street with all vehicular parking screened from the street and all and vehicular access via the rear alley.



Architecture: The convergence of commercial and residential—with stark contrasts on the north and south sides of Hersey Street—is the driving factor that informed the building design. The architecture responds to this reality by softening the commercial scale with traditional, residential vernacular, evident in familiar choices such as a hipped roof, horizontal siding, generous overhangs, wood accents and warm colors.

Another primary objective was to respond to the full potential of the site: its proximity to Ashland’s town center, generous frontage and mountain views in both directions. The architectural solution aspires to be a flagship for revitalization of this close-in urban district, setting the tone for future development by offering a desirable work/live experience that blends urban vibe within a nature-focused setting. The design’s value profile emphasizes features that enhance livability, such as generous glazing and access to outdoor spaces, while economizing via square footage (modestly-sized residential units) and simplicity of form. In the end, the architectural solution presents a human-scale structure that clearly expresses its dual nature—commercial and residential—without sacrificing the best qualities of either experience.

Density: In accordance with AMC 18.2.3.130, Dwellings in Non-Residential Zones, the project’s density is based upon the allowed number of units within the E-1 zoning code, which allows up to 15 dwelling units per acre. The subject parcel size is .31 acres with a base density of 4.65 dwelling units which is roughly 15% greater than the applicants requested amount. Further, this section of code also requires at least 65% of the building’s ground floor area to be dedicated to commercial uses and 68% is proposed.



City of Ashland, Final Review Plans for Hersey & Laurel Street Railroad Crossing

Street Exception: The proposal also includes a request for a street exception to reduce a “small” section of the public sidewalk’s width along the front of Hersey Street to be 6’ where 8’ is required. The vast majority of the sidewalk complies with the 8’ standard as the sidewalk abuts the adjacent plaza space and

the proposed pedestrian sidewalk leading to the rear of the property which is also concrete. This leaves roughly two small sections of 8' and 12' in length that are 6' wide. The general reasoning is the design team felt too much hard surface area was unnecessarily being applied to the front of the building and that the additional area could be better utilized by street trees and landscaping. The overall design takes into consideration a multitude of factors such as the plaza space, the on-street parking bays and the site's physical constraints.

Finally, it should be noted the sidewalk's design, as it meanders back to the Heresy Street curb, attempts to connect to a "future" sidewalk path that will not meet the City's current street standards due to a lack of right-of-way and consent from the adjacent property owner. As evidenced in the insert above, the City's Public Works Department has received approval to upgrade the Railroad Crossing at Heresy and Laurel Streets to improve visibility and function of the intersection which includes various utility and pedestrian improvements such as a sidewalk along Heresy Street.

Frontage Improvements: Measured from the back of the curb along Heresy Street to the front of the building there is roughly 24'. The site plan identifies two on-street parking bays measuring 8' wide, an 8' wide sidewalk and a 10' wide landscape/hardscape area adjacent to the front of the building that is intended to function as a mini-plaza space with seating for pedestrian relief, tenant recreation and aesthetics. The plans illustrate a sidewalk abutting the parking bays and then back to the original curb line where it abuts the adjacent neighboring property boundary in order to eventually tie into the planned sidewalk system extending from Laurel Street as noted previously.

The applicant contends there are multiple reasons for the on-street parking which include: 1) the on-street spaces provides an opportunity to reduce vehicular trips along the rear alley which was a primary request by the neighboring property owners living adjacent to the alley; 2) the on-street spaces provide for accessible parking for semi-handicap individuals; 3) the on-street spaces are intended to be time limited to allow for short term parking which in-turn helps make some businesses more viable; and 4) the on-street parking provides for alternative loading and unloading.

Alley Improvements: The rear alley extends from Laurel Street to Helman Street with an intersecting connection of alleys that extend to Ohio and Heresy Streets. The alley is currently unpaved and has multiple encroachments such as vehicles, hedges and fencing. The applicant intends to pave the alley 12' in width from Laurel Street to the eastern boundary of the property and then rough grade from the edge of pavement to a point where the alley from Heresy Street connects. The applicant has also preliminarily agreed with the Public Works Department to rough grade the section of alley extending to Heresy Street. The Public Works Department would supply the materials.

In reality, the vast majority of incoming and outgoing vehicle trips will be from Laurel Street and thus extending the existing paving to the edge of the property line is justified. Any additional improvements to the alley, such as the rough grading as described, is a really a benefit to the neighboring properties. The City's Public Works staff has expressed interest in completing improvements beyond the applicant's property boundary and the applicant is willing to assist since his contractor's equipment will already be on-site.

Parking Space Standards: A total of 16 private parking spaces are proposed for the site with four spaces located within the building's footprint within four separate garages and 12 surface parking spaces located behind the building, accessed from the rear alley per AMC 18.4.3.080 C.5. An additional two public parking spaces are proposed along Heresy Street within a street bay. As permitted by AMC, Chapter 18.4.3.060 A., one of the two spaces along the street is permitted as a street credit which in this case is

specifically designed into the project to improve circulation and access needs for semi-disabled persons patronizing the commercial space, but also reduce vehicle trips off the rear alley. As such, a total pool of 18 parking spaces are proposed with this application and 17 parking spaces are required by code - seven (7) parking spaces for the four residential units and ten (technically 9.4) parking spaces for the commercial uses.

The four enclosed garages are intended to be dedicated to the residential units, one space per residential unit, with the remaining 14 open parking spaces shared between the residents and the commercial users. In the applicant's opinion, the combination of secured parking for the residents provides a necessary level of comfort for the residents and the remaining surface spaces, including on-street spaces, comfortably accommodates a variety of uses, specifically medical and/or professional uses.

Parking, Access & Circulation: All automobile parking has been designed in compliance with AMC 18.4.3.010 - 18.4.3.040 and Table 18.4.3.010 (Automobile Parking Spaces) as well as the applicable standards noted in AMC 18.4.3.050 - 18.4.3.060 and 18.4.3.080 as it relates to parking space dimensions, driveway spacing and construction.

All bicycle parking has been designed in compliance with the applicable standards and designs noted in Section 18.4.3.070, specifically the number of bike spaces provided, their design and location. All bike parking standards will be verified by the Planning Staff at the time of the building's occupancy. Specifically, each of the units will have bike storage capability within their garages and an additional 4 spaces are to be located at the front of the building via inverted "U" bike racks.

The building has been designed in accordance with AMC 18.4.3.090 as it relates to pedestrian mobility and the sidewalk placement along not only the front of the building, but also from the front to the rear of the building and through the parking lot. All pedestrian connections have been based on handicap mobility, lighting and practical use.

All of the site's parking spaces, landscaping and circulation facilities will be installed prior to a Final Certificate of Occupancy Permit in accordance with AMC 18.4.3.100. Note: In accordance with 18.4.3.080 B.5., the rear parking area will be designed to comply with the City's adopted microclimatic design standards and bio-swale design for capturing and treating a portion of the driveway's storm water. The project's final building and civil plans will clarify which options will be chosen, but the preliminary Civil and Landscape plans are proposing 50% shading of the parking spaces and bio-swales. The other options are just too expensive to consider for this size of a project.

Bike Parking: In accordance with the AMC, Chapter 18.4.3.070, a total of eight bike parking spaces are required for this mixed-use building. As such, two bike parking spaces are intended to be within each residential garage space for a total of eight sheltered bike spaces and an additional four bike spaces are to be located at the entrance of the commercial space along Heresy Street. The site plan identifies two inverted "U" bike racks within the recessed entrance area, one on each side of the entry door, with each rack accommodating two sheltered bike spaces. Note: Depending on the final outcome of the building, the applicant may elect a different bike rack type (i.e., wall mounted or single rack) which could reduce the number of commercial bike spaces from four to two which would still remain in compliance with the code.

Commercial Floor: Although there is roughly a 3' grade difference between the building's front wall and Heresy Street, the commercial floor is designed to be level with the planned sidewalk along the street to help reflect the building's primary orientation to the street and accommodate handicap individuals. The

front will be backfilled and the various improvements added in order to improve the building's street appearance along Heresy Street. Access is also provided by an exterior sidewalk adjacent to the building's west wall as well as an internal ramp and elevator system. The commercial space is designed to accommodate one or two users for marketing flexibility. The overall square footage is 3,612 sq. ft., excluding common areas.

Residential Floor: The floor plans identify four residential condominium units each designed to take advantage of Ashland's many impressive views. The four units will roughly be 1,225 square feet in size consisting two bedrooms, two bathrooms and a living room and kitchen area.

Landscaping, Lighting & Screening: The site will be fully landscaped and all screening of trash enclosures and screening of lights will occur in accordance with AMC 18.4.4.010 – 18.4.4.060 in an attempt to reduce the project's impacts relating to glare, noise and visual impacts onto the adjacent neighbors. The subject property is void of any existing trees so the Tree Preservation and Protection standards noted in 18.4.5 do not apply.

All landscaping areas have been designed by a local Landscape Designer who is also a Certified Arborist knowledgeable with the area's plantings, soil conditions, conservation goals and local climate. That said, the Landscape Plan complies with Section 18.4.4.030, C (plant selection), 18.4.4.030 E (street tree planting), 18.4.4.030 F. (parking lot landscaping and screening), 18.4.4.030 H. (irrigation) and I (water conservation). NOTE: Due to the length of each of these sections, the project's Landscape Designer and Arborist has reviewed Section 18.4.4.030 and contends the landscaping and irrigation plans will comply with the noted code requirements.

The landscaping plan also includes street tree sizes that meet or exceed the minimum 2" caliper in order to improve the streetscape's aesthetic, not interfere with the building's structural components and provide shade to pedestrians.

Public Facilities: All public facilities are available to service the building in accordance with AMC 18.4.6.070 and 18.4.6.080. The conceptual utility plan identifies the various service lines connecting to the proposed building from either Heresy Street or Laurel Street. Other than overflow storm water, all utilities will extend to or from Heresy Street. The building's storm water will drain towards Heresy Street while the parking lot's storm water will be diverted to the site's bio-swales where it will generally cleanse the water from the heaviest of particulates and slow its volume prior to joining an overflow pipe extending to the existing storm water system in Laurel Street. Final civil plans will be completed at the time of the building permit illustrating compliance with the City of Ashland Engineering Standards, specifically Appendix 2.05 for storm water design requirements, but the conceptual plans included herein have identified a location for all utilities, including an electric transformer, fire hydrant and all underground service lines.

Again, the alley will be paved 12' in width from Laurel Street to the east boundary of the lot. As noted previously, there is also an agreement between the applicant and the City's Public Works Department that the remaining section of the alley will be layered with a recycled asphalt material or gravel base, provided by the City, from the project's east property line to the alley extending from Heresy Street. The applicant will complete the City's portion during the period the applicant's portion is being completed.

Signs: The building's signage is intended to be mounted on the front of the building and within the window areas of the front façade. Prior to installation, permits for any signage will be applied for in

accordance with 18.4.7.020 B. and all standards for Employment Zoned signs will be in accordance with AMC 18.4.7.080.

Solar Access: The proposal complies with the City's adopted Solar Access Ordinance, AMC 18.4.8, as the property is not only classified as a Type "B" Lot, but also includes an unbuildable area (alley) to the north. Further, the building's height is 27'-6" and the property's northern slope is -3.5% which would cast a shadow, based upon the adopted code for a Type "B" Lot, roughly 28'. The site plan shows a building setback of 42' from the rear property line and 58' from the property line on the north side of the alley. Note: The actual shadow only extends 52' to the north and thus, housing on the north side of the alley is not impacted.

Trash & Recycling: In accordance with 18.4.4.040 G., the project's trash and recycling area is to be within a combined enclosure, 5' in height, accessed from the rear parking lot. The enclosed structure is aligned directly with the driveway's opening for easy access allowing for convenient and quick service by Ashland Recology. The enclosure provides screening from all adjoining neighbors.

Neighborhood Outreach: On February 15th, 2015, a neighborhood meeting was held to address neighborhood questions. In attendance were two neighbors and the applicant and land use consultant. Few questions were asked about construction timing, materials and use of the alley vs. Heresy Street, improvements to the alley. A separate meeting also occurred accommodating a neighbor who was out of town, but generally did not have any major issues. Overall the discussions were relatively straightforward with no objections to the application.

Procedures: Based on the Ashland Municipal Code, Chapter 18.5.2.030 B, the application is subject to a Type I plan review procedure and all applicable criteria and design standards of the Ashland Municipal Code, specifically the Site Review Chapter (18.4 and 18.5.2) and Street Standards Chapter (18.4.6.040)

II. FINDINGS OF FACT:

The required *findings of fact* have been provided to ensure the proposed project meets the requirements and procedures outlined in the Ashland Municipal Code (AMC) pertaining to the site's zoning, applicable overlay zones, site development and design regulations as well as the Site Review Criteria listed in AMC 18.5.2.050.

*For clarity reasons, the following documentation has been formatted in "outline" form with the City's approval criteria noted in **BOLD** font and the applicant's response in regular font. Also, there are a number of responses that are repeated in order to ensure that the findings of fact are complete.*

Chapter 18.5.2.050 Site Review Permit – Approval Criteria

18.5.2.050 Approval Criteria

An application for Site Design Review shall be approved if the proposal meets the criteria in subsections A, B, C, and D below. The approval authority may, in approving the application, impose conditions of approval, consistent with the applicable criteria.

A. Underlying Zone. The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.

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To the applicant's knowledge, all of the applicable provisions of the property's E-1 zone (Chapter 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture and other applicable standards are being complied with.

B. Overlay Zones. The proposal complies with applicable overlay zone requirements (part 18.3).

The proposal complies with the Residential Overlay for this site which is regulated by AMC Chapter 18.3.13.010, including but not limited to commercial and residential ground floor ratios (65/35) as well as permissible residential densities (15 du/a). The project is for an attractive and well thought-out mixed use building that will not only improve the Heresy Street streetscape, but also create a positive tone for future buildings along the street.

C. Site Development and Design Standards. The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.

The proposal complies with the applicable Site Development and Design Standards of AMC Chapter 18.4, addressed below in Section III. To the best of the applicant's knowledge, no exceptions to the Site Development and Design Standards are proposed with this application.

D. City Facilities. The proposal complies with the applicable standards in section 18.4.6 Public Facilities, and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property, and adequate transportation can and will be provided to the subject property.

All key facilities are available to service the proposed building. All utilities to service the building exist within the adjoining rights-of-way or will be installed at the time of construction in accordance with Ashland Public Work Standards. The applicant, Planning Agent and project Civil Engineer have met with all of the utility departments to verify if there were any capacity issues. The results of the meetings were that adequate City facilities are available to the subject site. An electric transformer and public utility easement was requested by the City's Public Works and Electric Departments to service the building and a future building to the west as well as some additional alley improvements as noted.

E. Exception to the Site Development and Design Standards. The approval authority may approve exceptions to the Site Development and Design Standards of part 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.

1. There is a demonstrable difficulty meeting the specific requirements of the Site Development and Design Standards due to a unique or unusual aspect of an existing structure or the proposed use of a site; and approval of the exception will not substantially negatively impact adjacent properties; and approval of the exception is consistent with the stated purpose of the Site Development and Design; and the exception requested is the minimum which would alleviate the difficulty.; or

2. There is no demonstrable difficulty in meeting the specific requirements, but granting the exception will result in a design that equally or better achieves the stated purpose of the Site Development and Design Standards.

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City Of Ashland

To the best of the applicant's knowledge, no exceptions are proposed with this application as they relate to the City's Site Development and Design Standards.

III. SITE DEVELOPMENT AND DESIGN STANDARDS

The application is subject to the AMC, Chapter 18.4.2.040, specifically Section B, the Basic Site Review Standards; Section 18.4.3 (Parking, Access & Circulation), Section 18.4.4 (Landscaping, Lighting & Screening), Section 18.4.5 (Tree Preservation & Protection), Section 18.4.6 (Public Facilities, Section 18.4.7 (Signs) and Section 18.4.8 (Solar Access).

18.4.2.040 Non-Residential Development – Site Design & Use Standards

A. Purpose and Intent: Commercial and employment developments should have a positive impact upon the streetscape. For example, buildings made of unadorned concrete block or painted with bright primary colors used to attract attention can create an undesirable effect upon the streetscape.

The elevations depict a building that is well thought-out and includes variation in its façade, changes in materials and is symmetrically balanced which encourages the building's sense of place along Heresy Street. Overall, the applicant and design team contend the proposed building will have a positive impact on Heresy Street which is primarily underutilized with remnant structures that are either non-conforming or dilapidated to the point the repairs, building code standards and zoning laws would logically prohibit restoration. For this reason, the team contends redevelopment of these properties, some of which are owned by known developers, will probably occur within the next five to ten years. In this regard, the proposed building will likely act as a model for future development to follow.

B. Basic Site Review Standards: Except as otherwise required by an overlay zone or plan district, the following requirements apply to commercial, industrial, non-residential and mixed-use development pursuant to section 18.5.2.020. See conceptual site plan of basic site review development in Figure 18.4.2.040.B.

1. Orientation and Scale.

a. Buildings shall have their primary orientation toward the street and not a parking area. Automobile circulation or off-street parking is not allowed between the building and the street. Parking areas shall be located behind buildings, or to one side. See Figure 18.4.2.040.B.1.

The building's primary orientation is towards Heresy Street, but also includes an inviting entrance from the rear parking area in an attempt to be respectful to both elevations and neighboring properties. Parking along the street will be in parking bays as permitted within the City's Street Standards; similar in design as the recently improved parking along Vogel Park, in order to accommodate additional on-street parking for short trips and semi-handicap individuals.

b. A building façade or multiple building facades shall occupy a large majority of a project's street frontage as illustrated in Figure 18.4.2.040.B, and avoid site design that incorporates extensive gaps between building frontages created through a combination of driveway aprons, parking areas, or vehicle aisles. This can be addressed by, but not limited to, positioning the wider side of the building rather than the narrow side of the building toward the street. In the case of a corner lot, this standard applies to both street frontages. Spaces between buildings shall consist of landscaping and hard durable surface materials to highlight pedestrian areas.

Roughly 85% of the lot's street frontage is occupied by the building's width leaving the remaining area for a pedestrian sidewalk linking the front to the back and some minor landscaping, primarily intended to provide space for future maintenance.

c. Building entrances shall be oriented toward the street and shall be accessed from a public sidewalk. The entrance shall be designed to be clearly visible, functional, and shall be open to the public during all business hours. See Figure 18.4.2.040.B.1.

The building's entrance is oriented toward the street and will be accessed from a new public sidewalk. The entrance is designed to be clearly visible and functional for a multitude of potential occupants over the lifespan of the building. The entrance will be open to the public during all business hours.

d. Building entrances shall be located within 20 feet of the public right of way to which they are required to be oriented. Exceptions may be granted for topographic constraints, lot configuration, designs where a greater setback results in an improved access or for sites with multiple buildings, such as shopping centers, where other buildings meet this standard.

The building's entrance is located within 16' of the public right-of-way.

e. Where a building is located on a corner lot, its entrance shall be oriented toward the higher order street or to the lot corner at the intersection of the streets. The building shall be located as close to the intersection corner as practicable.

Not applicable as the subject lot is an internal lot.

f. Public sidewalks shall be provided adjacent to a public street along the street frontage.

A public sidewalk will be installed along the frontage of the building, between the building and street's curb. If deemed necessary, a public pedestrian easement for use of the sidewalk will be provided at the time of the building's construction.

g. The standards in a-d, above, may be waived if the building is not accessed by pedestrians, such as warehouses and industrial buildings without attached offices, and automotive service stations.

The proposal will comply with the above standards.

2. Streetscape. One street tree chosen from the street tree list shall be placed for each 30 feet of frontage for that portion of the development fronting the street pursuant to subsection 18.4.4.030.E.

A total of four street trees are proposed for this project, all symmetrically aligned and balanced with the building and small plaza space. All of the trees have been chosen have been from the City's adopted Street Tree List and will be installed by a local landscape company familiar with the City's planting and staking standards.

3. Landscaping.

a. Landscape areas at least ten feet in width shall buffer buildings adjacent to streets, except the buffer is not required in the Detail Site Review, Historic District, and Pedestrian Place overlays.

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The subject property is within an E-1 (Employment Zone), but not within the Detail Site Review Zone, Historic District or the Pedestrian Places Overlay Zone and thus is required to have a 10' landscape buffer between the sidewalk and the building as identified on the site and landscaping plans.

b. Landscaping and recycle/refuse disposal areas shall be provided pursuant to chapter 18.4.4.

The site plan identifies a recycle / refuse disposal area. The trash enclosure will be of equal size to the recycling area. Final design and overall area will be based on specifications from Ashland Recology.

4. Designated Creek Protection. Where a project is proposed adjacent to a designated creek protection area, the project shall incorporate the creek into the design while maintaining required setbacks and buffering, and complying water quality protection standards. The developer shall plant native riparian plants in and adjacent to the creek protection zone.

Not applicable as no creek or riparian area abuts the property.

5. Noise and Glare. Artificial lighting shall meet the requirements of section 18.4.4.050. Compliance with AMC 9.08.170.c and AMC 9.08.175 related to noise is required.

All lighting will be directed downward towards the ground and walking areas. Noise will be minimal as the space is intended to be commercial offices and residential. Regardless, compliance with AMC 9.08.170.c and AMC 9.08.175 will be met.

6. Expansion of Existing Sites and Buildings. For sites that do not conform to the standards of section 18.4.2.040 (i.e., nonconforming developments), an equal percentage of the site must be made to comply with the standards of this section as the percentage of building expansion. For example, if building area is expanded by 25 percent, then 25 percent of the site must be brought up to the standards required by this document.

Not applicable as the subject property is currently vacant.

Chapter 18.4.6.020 - Street Exception Criteria

B. Exceptions and Variances. Requests to depart from the requirements of this chapter are subject to chapter 18.5.5 Variances, except that deviations from section 18.4.6.040 Street Design Standards are subject to 18.4.6.020.B.1 Exceptions to the Street Design Standards, below.

1. Exception to the Street Design Standards. The approval authority may approve exceptions to the standards section in 18.4.6.040 Street Design Standards if all of the following circumstances are found to exist.

a. There is demonstrable difficulty in meeting the specific requirements of this chapter due to a unique or unusual aspect of the site or proposed use of the site.

As noted, the proposal also includes a request for a street exception to reduce two "small" portions of the public sidewalk's width along the front of Heresy Street to 6' where 8' is required. There are unique or unusual aspects of the site and use of the site as the building is intended to be a commercial/residential mixed use building adjacent to a residential zone to the north. The applicant has

attempted to be cognizant of the fact the alley's use will increase with the building's development, but has proposed two on-street parking bays along the front to help mitigate the number of vehicle trips along the alley. In this regard, the standard for this section of Heresy Street is to provide a 10' landscape/hardscape buffer between the building and the street which has been provided. However, these factors, compiled with the project's plaza space, public utilities and the pedestrian sidewalk on the west side of the building, leave a minimal amount of green space for landscaping and trees to help soften the streetscape.

b The exception will result in equal or superior transportation facilities and connectivity considering the following factors where applicable.

- i. For transit facilities and related improvements, access, wait time, and ride experience.**
- ii. For bicycle facilities, feeling of safety, quality of experience (i.e., comfort level of bicycling along the roadway), and frequency of conflicts with vehicle cross traffic.**
- iii. For pedestrian facilities, feeling of safety, quality of experience (i.e., comfort level of walking along roadway), and ability to safety and efficiency crossing roadway.**

The applicant contends the meandering sidewalk, similar to that proposed by the City to the west, adjacent to a 10' landscape / hardscape plaza area provides for an equal level of comfort for pedestrians. In fact, the plaza space and the planned benches and extra shade trees are not City imposed design standards and thus a pedestrian's quality of experience is improved when this area could otherwise be minimally designed. The sidewalk will then connect to a future sidewalk to the west that is less than the required standard due to limited right-of-way or neighboring property owner's willingness to dedicate additional land to accommodate the City's sidewalk standards.

c. The exception is the minimum necessary to alleviate the difficulty.

The applicant believes the request is the minimum necessary to alleviate the difficulty and with the proposed landscaping and mini-plaza design helps mitigate the exception request. The majority of the sidewalk complies with the 8' standard as the sidewalk abuts the adjacent plaza space and the proposed pedestrian sidewalk leading to the rear of the property which is also concrete. This leaves roughly two small sections of 8' and 12' that are 6' wide.

d. The exception is consistent with the Purpose and Intent of the Street Standards in subsection 18.4.6.040.A.

The exception request is consistent with the Purpose and Intent of the Street Standards in subsection 18.4.6.040.A. The applicant believes the exception request does not diminish the Street Standard's focus on a safe environment for pedestrians, but in reality enhances the environment and livability of the surrounding neighborhood beyond the code's standards. Further, the applicant contends the transition between the approved sidewalk design west of the subject property vs. the proposed sidewalk and mini-plaza area creates a solution to not only intertie the two sidewalks, but to also promote a new semi-public space that promotes a healthy streetscape while at the same time assists a quality development. Lastly, the Street Standards recognize exceptions to the standards are necessary in certain situations where physical features or use of the property create a constraint and in this case, the 6' grade change directly at the back of the curb is significant.

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LAUREL STREET

HERSEY ST. MULTI-USE PROPOSAL

Owner: Fred Cox
Map & Taxlot: 391E04CC 12100

Drawing Date: 02-05-15

Drawing Version: 4.2

Sheet Size: 11 x17 (Tabloid)

Scale: As noted if Tabloid sheet is printed at 100%

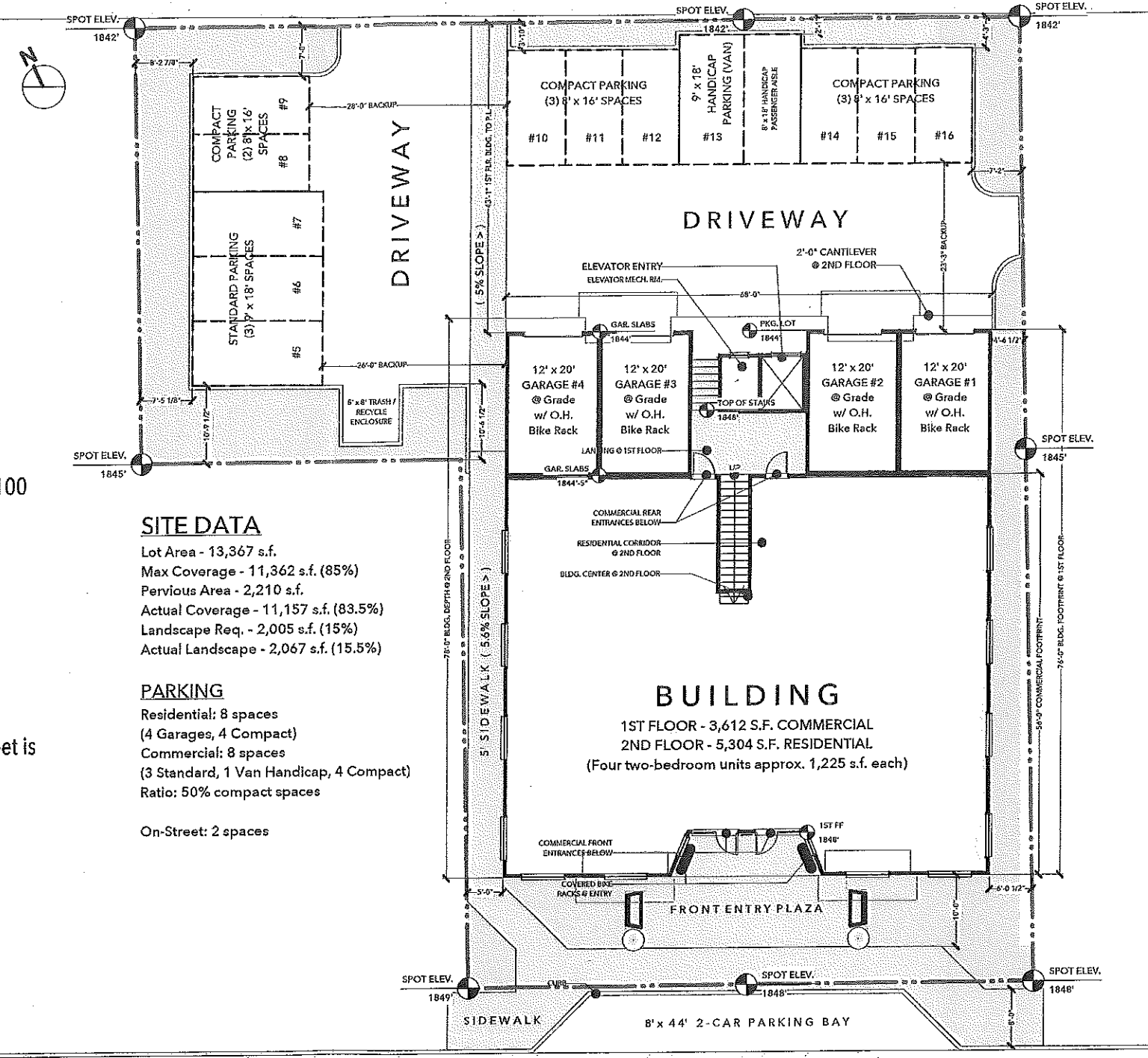
SITE DATA

Lot Area - 13,367 s.f.
Max Coverage - 11,362 s.f. (85%)
Pervious Area - 2,210 s.f.
Actual Coverage - 11,157 s.f. (83.5%)
Landscape Req. - 2,005 s.f. (15%)
Actual Landscape - 2,067 s.f. (15.5%)

PARKING

Residential: 8 spaces
(4 Garages, 4 Compact)
Commercial: 8 spaces
(3 Standard, 1 Van Handicap, 4 Compact)
Ratio: 50% compact spaces

On-Street: 2 spaces



HERSEY STREET

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Madara Design Inc
Landscape Architecture, Design & Consultation
2894 Wells Fargo Rd
Central Point, OR 97502
541-664-7055
madaradesign@yahoo.com

HERSEY STREET PROFESSIONAL OFFICE & RESIDENTIAL BUILDING
WEST HERSEY STREET
ASHLAND, OREGON 97520

NUMBER	DATE	DESCRIPTION

HERSEY ST. PROFESSIONAL BUILDING
FRED COX
213 EASTBROOK WAY
ASHLAND, OR 97520

SHEET TITLE:
LANDSCAPE PLAN

SHEET NO:
L-101

GRADING

1. All planting beds to be excavated to a minimum depth of 12" or deeper as determined by surrounding concrete and hardscapes. Excavation to continue until exposing native soil. Non-native soil to include gravel, rock and debris greater than 1 1/2" in size, and heavy clay soil. Final excavation not to exceed 18" below surrounding hardscapes.
2. Fill planters with top soil from Tom White Trucking or equal as determined by Soil & Plant Laboratory Inc of Anaheim, Ca. Fill with sufficient excess to allow for 25% compaction. Fill planters so as to achieve a final grade within 3" of the top of the nearest hard surface or concrete.
3. Placement of any soil to be done in coordination with suitable weather condition so as to prevent damage to soil structure.
4. Sub-grading and final grade to consist of: to a smooth even grade, no undulation greater than plus or minus 1" within any 10 lineal feet of distance.
5. SEE CIVIL ENGINEERS DRAWINGS FOR ADDITIONAL GRADES
6. All sub-grades to be adequately firm without being overly compacted.
7. Once subgrade is established the Landscape Contractor is to add mature compost at a rate of 3 cu yds per 1,000 sq. ft. and then rip to blend with top soil to a depth of 4-6"
8. Finish grade in shrub areas to be a smooth even grade mounded 3" high in the middle of beds and ending 3" below surrounding areas. All finish grading to promote positive drainage away from structures and to be done in such a way as to eliminate puddling or collection of water.
9. Landscape contractor responsible for addressing any drainage problems encountered during the course of construction, with Landscape Architect.

GENERAL CONSTRUCTION NOTES

1. General preparation of site to include:
 - A. Eradication of weeds through the certified application of herbicides, allowing adequate time for kill.
 - B. Removal, from site, of all existing surface rock in planting beds.
2. All shrub beds to be finish raked to a smooth condition prior to mulching.
3. Medium dark mulch to be placed in all shrub beds to a depth of 4".
4. Plan is diagrammatic and measurements should be confirmed on-site. Any changes are the responsibility of the contractor to co-ordinate with the owner's representative.
5. INCLUDE 180 DAYS OF MAINTENANCE from the day of acceptance. Including but not limited to:
 - A. Maintain planting area in a healthy, weed free condition through a minimum of bi-weekly visits.
 - B. Replace any material showing signs of stress.
 - C. Monitor irrigation for correct timing.
 - D. Provide owner with complete list of instructions for continued care at the end of the maintenance period.

IRRIGATION DETAILS

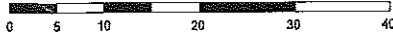
1. An automatic irrigation system to be provided for all plant materials areas in accordance with industry standards. System is intended to perform at 8 gpm and 40 psi. Confirm on-site before proceeding depending on the available water source..
2. All materials are to be new and in original condition.
3. Install and approved double check valve per city and state requirements.
4. Place manual drain valves as needed at low points in mainline
5. Mainline should be located in area with least conflict with surrounding utilities. Mainline location on plan for ease of interpretation
6. All drip zones to use PVC laterals to locate a point of connection in each individual planting bed.
7. Shrub areas to be irrigated by drip irrigation
 - A. All surface drip tubing to be 1/2" poly tubing. Tubing ends to have removable caps. Tubing to be buried a minimum of 3-5" and held down every 5' with J-stakes.
 - B. Rain Bird XB-10 Emitters to be placed at the edge of root zones of plants at the following rate:
 1-2g plants 2-1GPH emitters placed on opposite sides of root ball
 3-5g plants 3-1GPH emitters placed on opposite sides of root ball
 Larger material 5-1GPH emitters spaced equally around perimeter of root ball
 - C. All Drip zones to include a 200 mesh filter and 30psi pressure regulator
8. All trenching to be a minimum of 12" deep. Backfill is to be clean and free of any material larger than 1 1/2" in diameter. Backfill shall be adequately compacted and guaranteed against further settling.
9. All lateral pipe shall be PVC soft and 1" minimum.
10. Include a Hunter ProControl clock wired to a constant electrical source on the outside of the building.
11. Sleeving to be provided under all hardscapes by general contractor for irrigation purposes.
12. Irrigation system to be guaranteed against defective material or workmanship for one year from the date of final acceptance. Damage or loss due to vandalism, freezing or acts of neglect by others, is exempt from Contractor's replacement responsibility.
13. Provide owner with an accurate as-built locating all valves, wire splices, main line and any sleeving.
14. Provide owner with preliminary watering schedule for the established landscape.
15. Provide owner with complete set of written instructions for operation of sprinkler system including spring start up, clock operation, and winterization.
16. Walk owner through the entire system describing the operating instructions.

EP- Febon 850XL 3/4" Double Check Valve

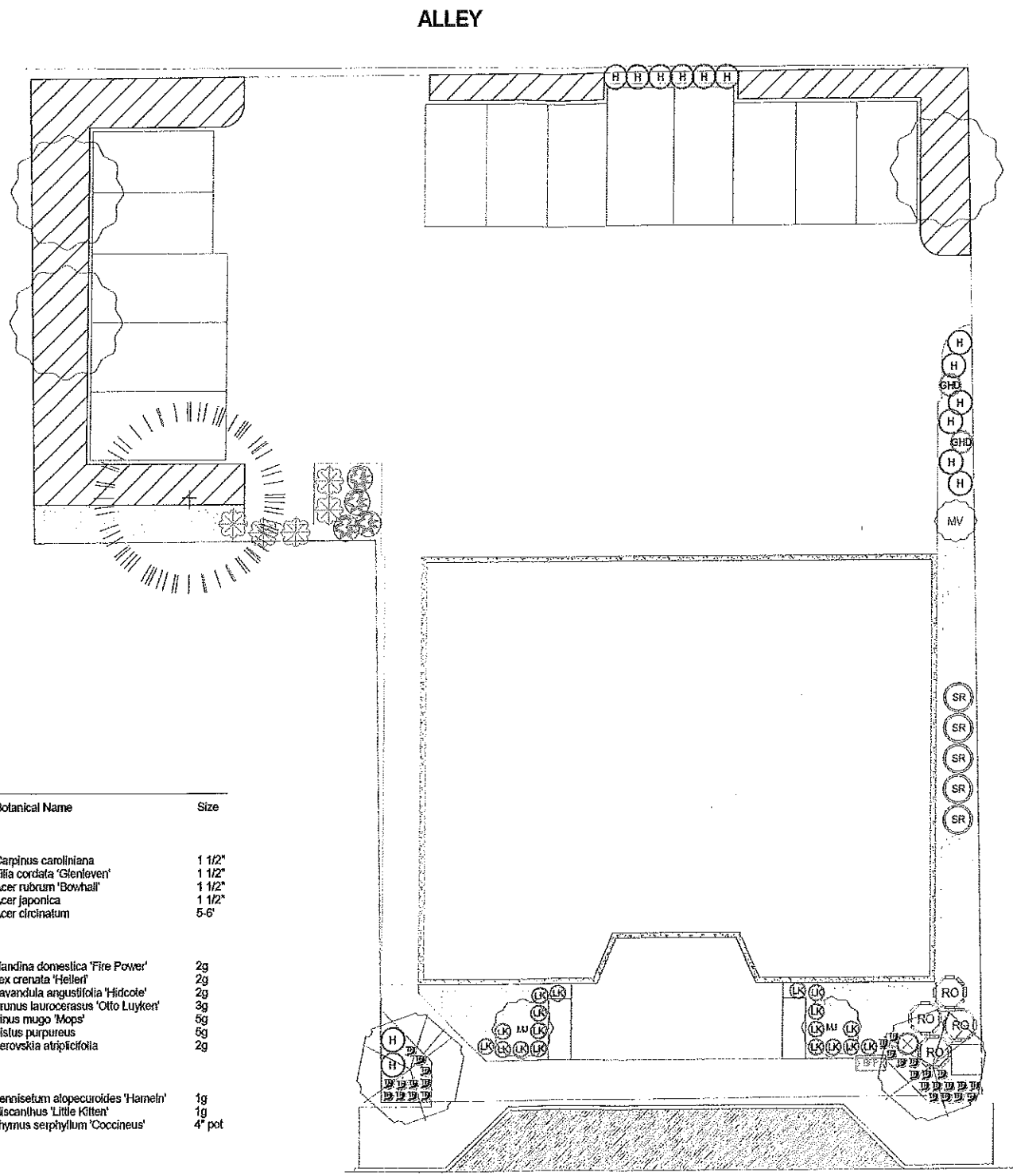
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City of Ashland

LANDSCAPE PLAN



Scale 1" = 10'



ALLEY

HERSEY STREET

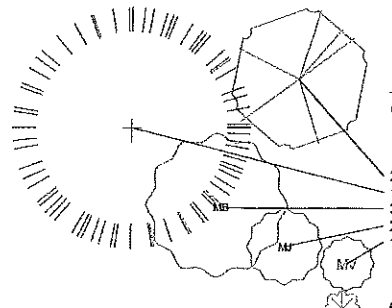
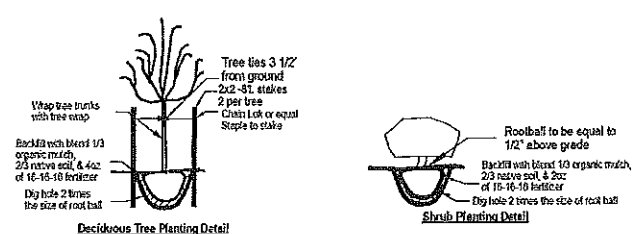
PLANTING

1. Plant material to be provided in accordance with species, sizes and quantities indicated below. Substitutions based on list provided may be made as applicable. Remaining substitutions to be made with the approval of landscape architect.
2. No planting to proceed until irrigation system is fully functioning in the area to be planted.
3. All plant holes to be dug 2 times the volume of their root ball size. Backfill shall consist of 1/3 organic mulch, 2/3 native soil, nitrifyzyme supplement and 16-16-16 fertilizer as follows:
 1gal 1oz
 3-5gal 2oz
 larger 4oz
4. Plant upright and face to give best appearance or relationship to plants, structures and predominant veining angle. Trees are to be planted so as to be straight up and down without the assistance of staking. Staking is solely for support against outside forces.
5. Loosen and remove fine binding and burrs from around top of each root ball. Scarify root balls of plants exhibiting a root bound condition, being careful not to damage the root balls integrity. Stake and guy trees immediately after this work.
6. Place and compact backfill soil mixture carefully to avoid injury to roots, and fill all voids.
7. When hole is 2/3 filled with soil, completely soak and allow water to soak away at least two times or more, as necessary to completely water individual plants.
8. Guarantee plant materials and related workmanship of installation, beginning after written acceptance of work, for one year.
 - A. Replace plant material not surviving or in poor condition during guarantee period.
 - B. Perform all replacement work in accordance with original specifications at no additional cost to Owner.
 - C. Damage or loss of plant materials due to vandalism, freezing or acts of neglect by others, is exempt from Contractor's replacement responsibility.

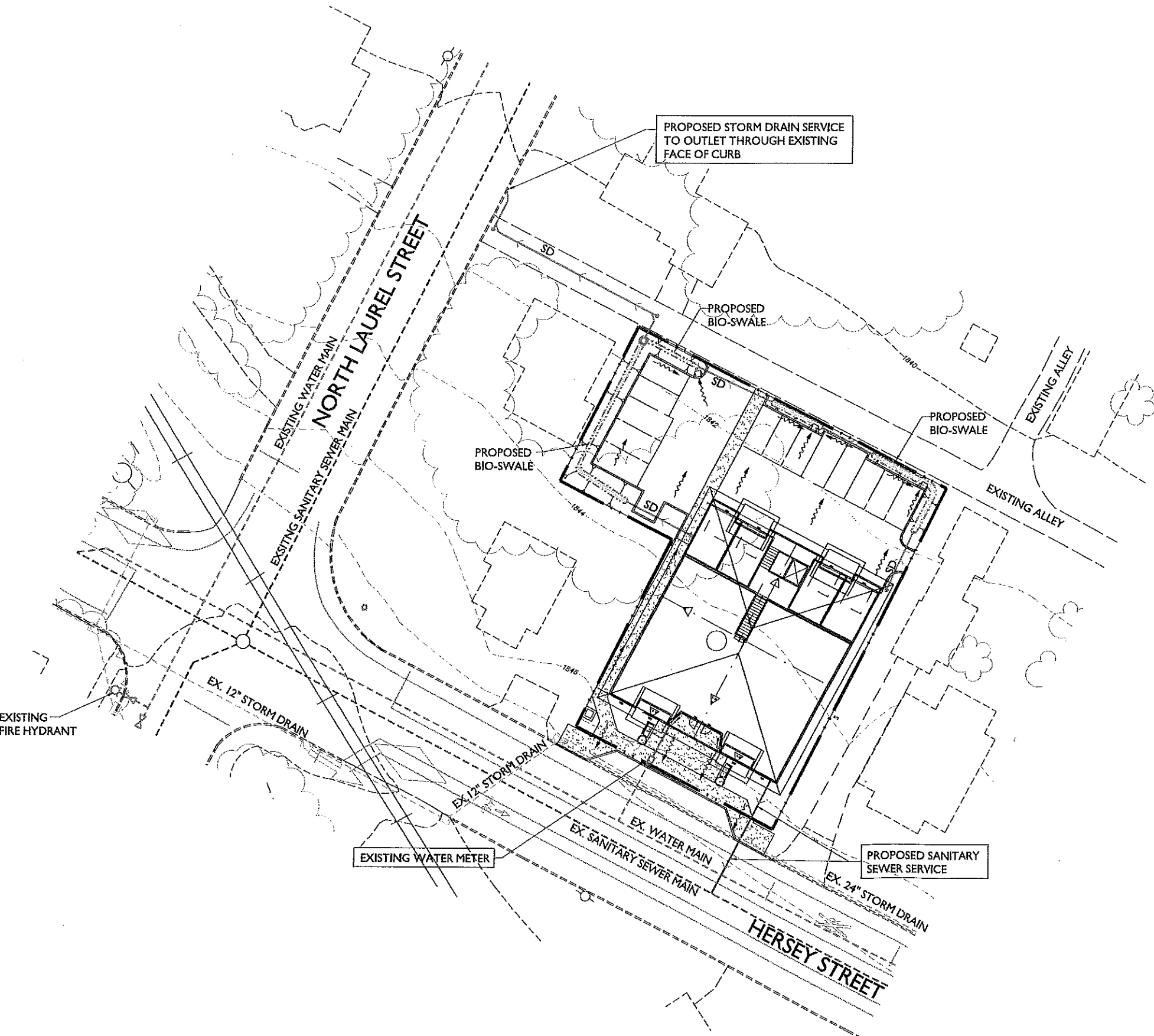
PLANT LIST

Quantity	Common Name	Botanical Name	Size
Trees			
2	Hophornbeam, American	Carpinus caroliniana	1 1/2"
1	Linden, Glenleven	Tilia cordata 'Glenleven'	1 1/2"
3	Maple, Bowhall	Acer rubrum 'Bowhall'	1 1/2"
2	Maple, Japanese Green	Acer japonica	1 1/2"
1	Maple, Vine	Acer circinatum	5-6'
Shrubs			
5	Heavenly Bamboo, Fire Power	Nandina domestica 'Fire Power'	2g
14	Holly, Japanese Helleri	Ilex crenata 'Helleri'	2g
4	Lavender, Hidcote	Lavandula angustifolia 'Hidcote'	2g
19	Laurel, Otto Luyken	Prunus laurocerasus 'Otto Luyken'	3g
1	Pine, Mugo Mops	Pinus mugo 'Mops'	5g
4	Rockrose, Orchid	Cistus purpureus	5g
5	Sage, Russian	Perovskia atriplicifolia	2g
Ground Cover / Grasses			
2	Grass, Hameln Dwarf	Pennisetum alopecuroides 'Hameln'	1g
18	Grass, Little Kitten	Miscanthus 'Little Kitten'	1g
28	Thyme, Red	Thymus serpyllum 'Coccineus'	4" pot

Hydro-seed Bio-swale grass seed



NOTE: IF THIS SHEET IS LESS THAN 11" x 17" IT HAS BEEN REDUCED AND IS NOT TO SCALE.

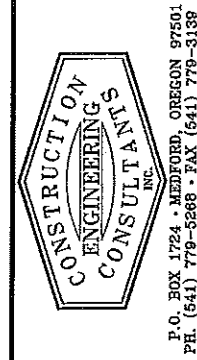
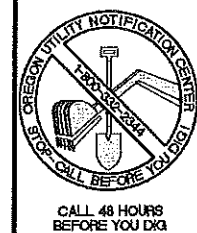


PROPOSED STORM DRAIN SERVICE TO OUTLET THROUGH EXISTING FACE OF CURB

EXISTING WATER METER

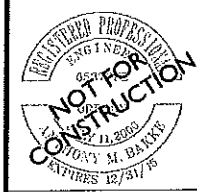
PROPOSED SANITARY SEWER SERVICE

- LEGEND**
- EXISTING WATER MAIN
 - EXISTING STORM DRAIN
 - EXISTING SANITARY SEWER MAIN
 - EXISTING SEWER MANHOLE
 - EXISTING STORM CATCH BASIN
 - EXISTING FIRE HYDRANT
 - EXISTING WATER SERVICE
 - PROPOSED STORM DRAIN
 - PROPOSED DRAINAGE BIO-SWALE
 - PROPOSED WATER
 - PROPOSED SEWER SERVICE
 - PROPOSED SURFACE DRAINAGE DIRECTION

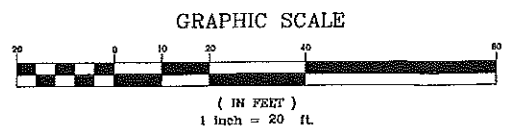


DRAWN BY:	MWK	DATE:	2/15
CHECKED BY:	MWK, AMB	DATE:	2/15
APPROVED:		DATE:	
APPROVED:		DATE:	
APPROVED:		DATE:	
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VERIFY SCALES!!!
SEE LIST OF SCALES ON ORIGINAL SET
IF NOT ON THIS LIST
VERIFY SCALES ACCORDING TO
0 1"



NO.	REVISION	DATE	BY

CONSTRUCTION ENGINEERING CONSULTANTS, INC.
HERSEY STREET MULTI USE COMPLEX
391E04CC, TAXLOT 12100
CONCEPTUAL DRAINAGE & UTILITY PLAN

PROJECT NO.
DRAWING NO.
1 OF 1



SOUTHWEST PERSPECTIVE VIEW AT HERSEY STREET

NOT TO SCALE | SOLAR ANGLE: 5 P.M. D.S.T. @ EQUINOX

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SHEET
1

FRONT PERSPECTIVE

APPLICANT: FRED COX CO.
SUBMITTAL DATE: 03-06-2015
REVISION DATE: N/A
SHEET SIZE: 11X17 | SCALE: AS NOTED

PROJECT LOCATED AT
HERSEY ST., LOT 12100
ASHLAND, OREGON

HERSEY STREET MULTI-USE:
RESIDENTIAL OVER COMMERCIAL

FRED COX
COMPANY



NORTHEAST PERSPECTIVE VIEW AT ALLEY

NOT TO SCALE | SOLAR ANGLE: 7:30 A.M. D.S.T. @ EQUINOX

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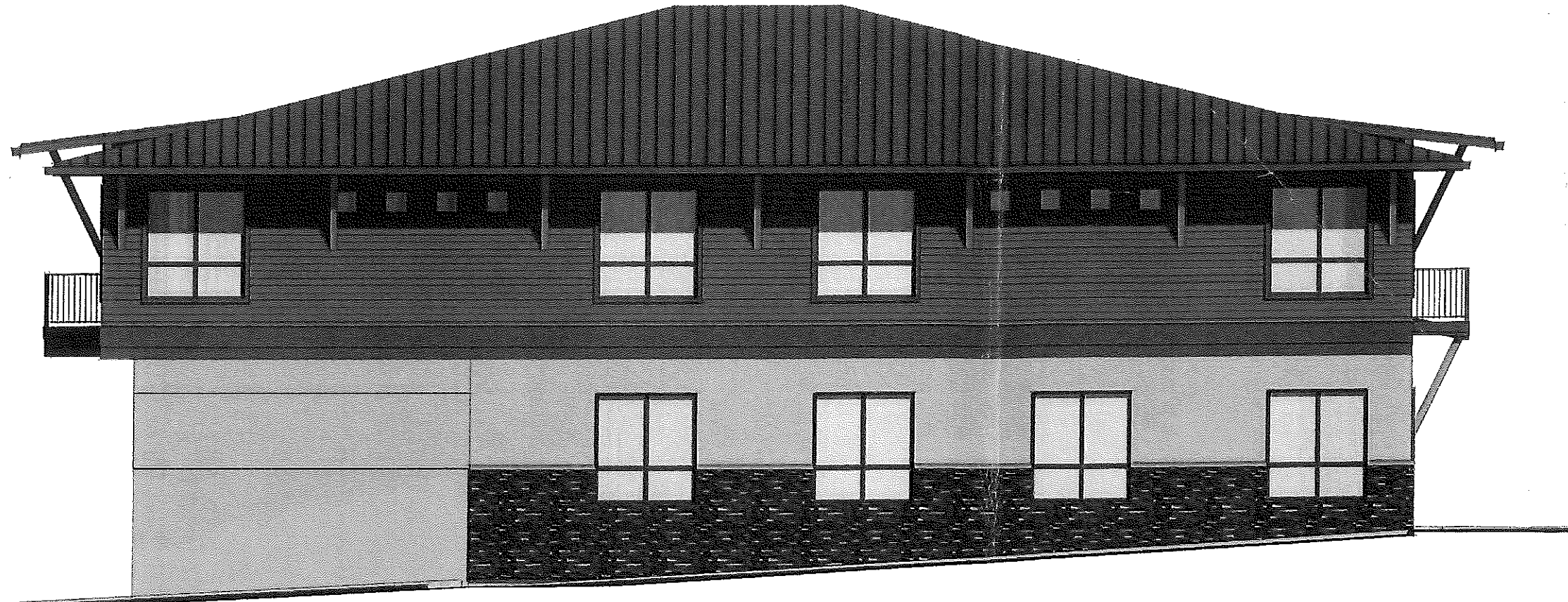
City Of Ashland

FRONT ELEVATION AT
HERSEY STREET
SCALE: 1/8" = 1'

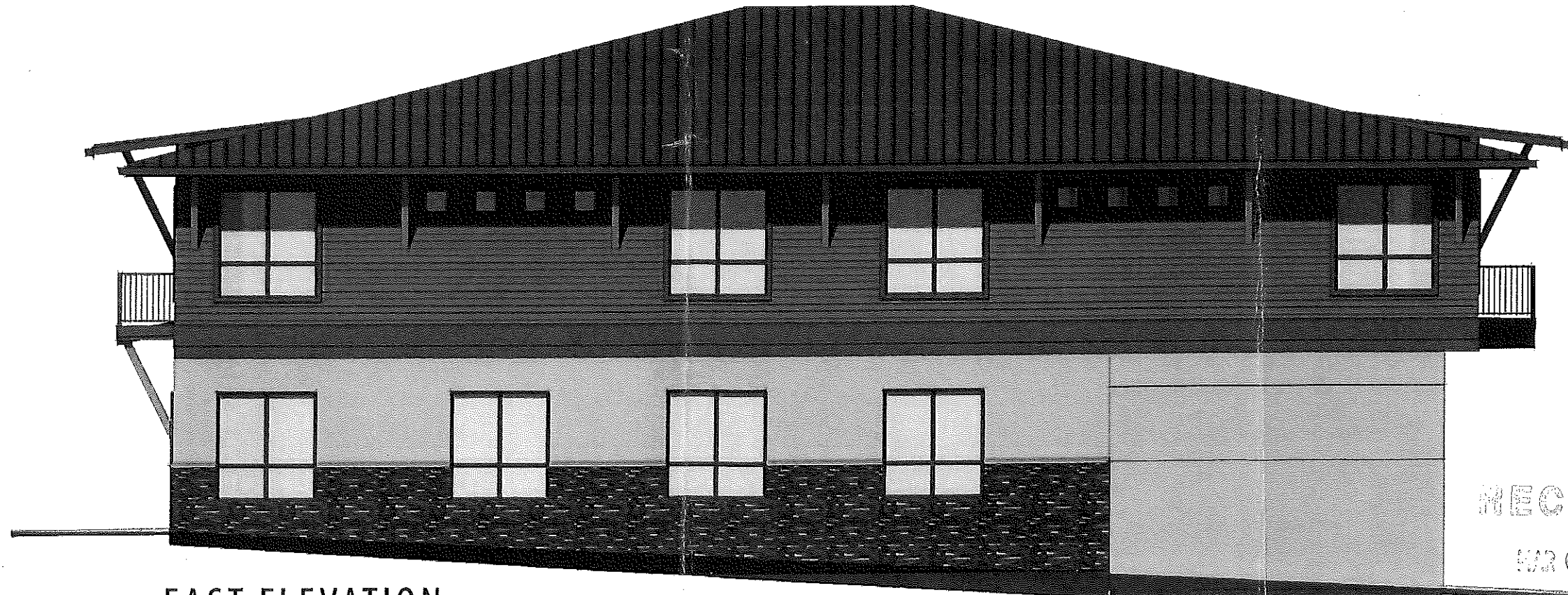


REAR ELEVATION
AT ALLEY
SCALE: 1/8" = 1'

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WEST ELEVATION
SCALE: 1/8" = 1'



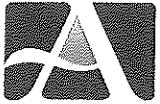
EAST ELEVATION
SCALE: 1/8" = 1'

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FRED COX
COMPANY

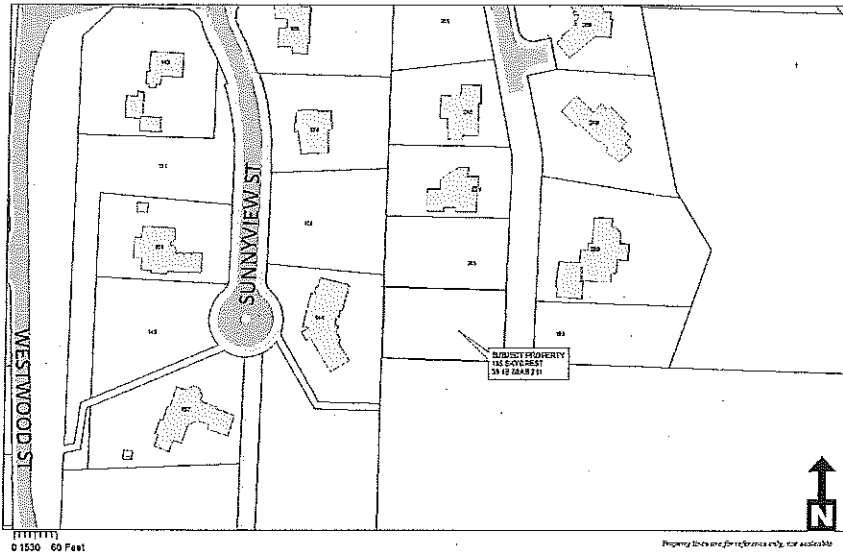


NOTICE OF APPLICATION

PLANNING ACTION: PA-2015-00425
SUBJECT PROPERTY: 185 Skycrest
APPLICANT: Eric Hansen
DESCRIPTION: A request for Physical and Environmental Constraints Review approval to allow for the construction of a new single family home, garage and carport. The request includes approval for development on Severe Constraints Land and a request to remove five Madrone trees greater than six-inches in diameter at breast height. The subject property is located at 185 Skycrest.
COMPREHENSIVE PLAN DESIGNATION: Rural Residential; **ZONING:** RR-.5;
ASSESSOR'S MAP: 39 1E 08AB; **TAX LOTS:** 211

NOTE: The Ashland Tree Commission will also review this Planning Action on **Thursday, April 9, 2015 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room) located at 51 Winburn Way.

NOTICE OF COMPLETE APPLICATION: April 2, 2015
DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS: April 16, 2015



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.108.040)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

PHYSICAL & ENVIRONMENTAL CONSTRAINTS

18.3.10.050 Approval Criteria

An application for a Physical Constraints Review Permit is subject to the Type I procedure in section 18.5.1.050 and shall be approved if the proposal meets all of the following criteria.

- A. Through the application of the development standards of this chapter, the potential impacts to the property and nearby areas have been considered, and adverse impacts have been minimized.
- B. That the applicant has considered the potential hazards that the development may create and implemented measures to mitigate the potential hazards caused by the development.
- C. That the applicant has taken all reasonable steps to reduce the adverse impact on the environment. Irreversible actions shall be considered more seriously than reversible actions. The Staff Advisor or Planning Commission shall consider the existing development of the surrounding area, and the maximum development permitted by this ordinance.

draw the owners to this site and the development of this project is focused on maintaining this function and aesthetic through time.

9. Inspections and Final Report. Prior to the acceptance of a subdivision by the City, signature of the final survey plat on partitions, or issuance of a certificate of occupancy for individual structures, the project geotechnical expert shall provide a final report indicating that the approved grading, drainage, and erosion control measures were installed as per the approved plans, and that all scheduled inspections, as per 18.3.10.090.A.4.j were conducted by the project geotechnical expert periodically throughout the project.

Surface and Groundwater Drainage. All development on Hillside Lands shall conform to the following standards.

1. All facilities for the collection of stormwater runoff shall be constructed on the site and according to the following requirements:
 - a. Stormwater facilities shall include storm drain systems associated with street construction, facilities for accommodating drainage from driveways, parking areas and other impervious surfaces, and roof drainage systems.
 - b. Stormwater facilities, when part of the overall site improvements, shall be, to the greatest extent feasible, the first improvements constructed on the development site.
 - c. Stormwater facilities shall be designed to divert surface water away from cut faces or sloping surfaces of a fill.
 - d. Existing natural drainage systems shall be utilized, as much as possible, in their natural state, recognizing the erosion potential from increased storm drainage.
 - e. Flow-retarding devices, such as detention ponds and recharge berms, shall be used where practical to minimize increases in runoff volume and peak flow rate due to development. Each facility shall consider the needs for an emergency overflow system to safely carry any overflow water to an acceptable disposal point.
 - f. Stormwater facilities shall be designed, constructed and maintained in a manner that will avoid erosion on-site and to adjacent and downstream properties.
 - g. Alternate stormwater systems, such as dry well systems, detention ponds, and leach fields, shall be designed by a registered engineer or geotechnical expert and approved by the Public Works Department or Building Official.

Refer to Sheet E-1.0 Erosion and sediment control plan for compliance

Tree Conservation, Protection and Removal. All development on Hillside Lands shall conform to the following requirements.

1. Inventory of Existing Trees. A tree survey at the same scale as the project site plan shall be prepared, which locates all trees greater than six inches diameter at breast height (DBH) identified by DBH, species, approximate extent of tree canopy. In addition, for areas proposed to be disturbed, existing tree base elevations shall be provided. Dead or diseased trees shall be identified. Groups of trees in close proximity (i.e., those within five feet of each other) may be designated as a clump of trees, with the predominant species, estimated number and average diameter indicated. All tree surveys shall have an accuracy of plus or minus two feet. The name, signature, and address of the site surveyor responsible for the accuracy of the

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vey shall be provided on the tree survey. Portions of the lot or project area not to be disturbed by development need not be included in the inventory.

Refer to Sheets L-2.0 and L-2.1 – Tree Protection and Removal Plan and Legend.

2. Evaluation of Suitability for Conservation. All trees indicated on the inventory of existing trees shall also be identified as to their suitability for conservation. When required by the hearing authority, the evaluation shall be conducted by a landscape professional. The following factors shall be included in this determination.

- a. *Tree Health.* Healthy trees can better withstand the rigors of development than non-vigorous trees.
- b. *Tree Structure.* Trees with severe decay or substantial defects are more likely to result in damage to people and property.
- c. *Species.* Species vary in their ability to tolerate impacts and damage to their environment.
- d. *Longevity.* Potential longevity.
- e. *Variety.* A variety of native tree species and ages.
- f. *Size.* Large trees provide a greater protection for erosion and shade than smaller trees.

Refer to tree inventory on Sheets L-2.0 and L-2.1 Tree Protection and Removal Plan and Legend

3. Tree Conservation in Project Design. Significant trees (two feet DBH or greater conifers and one foot DBH or greater broadleaf) shall be protected and incorporated into the project design whenever possible.

Refer to Sheets L-2.0 and L-2.1 – Tree Protection and Removal Plan and Legend.

- a. Streets, driveways, buildings, utilities, parking areas, and other site disturbances shall be located such that the maximum number of existing trees on the site are preserved, while recognizing and following the standards for fuel reduction if the development is located in Wildfire Lands. See Figure 18.3.10.090.D.3.a.
- b. Building envelopes shall be located and sized to preserve the maximum number of trees on site while recognizing and following the standards for fuel reduction if the development is located in Wildfire Lands.
- c. Layout of the project site utility and grading plan shall avoid disturbance of tree protection areas.

*Refer to Sheets L-2.0 and L-2.1 Tree Protection and Removal Plan and Legend.
The design was driven a number of criteria including solar setback requirements, driveway access and parking and the desire to preserve as many viable trees as possible*

Tree Protection. On all properties where trees are required to be preserved during the course of development, the developer shall follow the following tree protection standards.

- a. All trees designated for conservation shall be clearly marked on the project site. Prior to the start of any clearing, stripping, stockpiling, trenching, grading, compaction, paving or

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- change in ground elevation, the applicant shall install tree protection fencing in accordance with 18.4.5.030.C Prior to any construction activity, the shall be inspected pursuant to section 18.4.5.030.D.
- b. Construction site activities, including but not limited to parking, material storage, soil compaction, and concrete washout, shall be arranged so as to prevent disturbances within tree protection areas.
 - c. No grading, stripping, compaction, or significant change in ground elevation shall be permitted within the drip line of trees designated for conservation unless indicated on the grading plans, as approved by the City, and landscape professional. If grading or construction is approved within the drip-line, a landscape professional may be required to be present during grading operations, and shall have authority to require protective measures to protect the roots.
 - d. Changes in soil hydrology and site drainage within tree protection areas shall be minimized. Excessive site run-off shall be directed to appropriate storm drain facilities and away from trees designated for conservation.
 - e. Should encroachment into a tree protection area occur which causes irreparable damage, as determined by a landscape professional, to trees, the project plan shall be revised to compensate for the loss. Under no circumstances shall the developer be relieved of responsibility for compliance with the provisions of this chapter.

Refer to Sheets L-2.0 and L-2.1 Tree Protection and Removal Plan and Legend.

5. Tree Removal. Development shall be designed to preserve the maximum number of trees on a site. The development shall follow the standards for fuel reduction if the development is located in Wildfire Lands. When justified by findings of fact, the hearing authority may approve the removal of trees for one or more of the following conditions.
- a. The tree is located within the building envelope.
There are 3 trees within the proposed building envelope. Tree s #3-7 are being proposed for removal.
 - b. The tree is located within a proposed street, driveway, or parking area.
 - c. The tree is located within a water, sewer, or other public utility easement.
 - d. The tree is determined by a landscape professional to be dead or diseased, or it constitutes an unacceptable hazard to life or property when evaluated by the standards in 18.3.10.090.D.2.
 - e. The tree is located within or adjacent to areas of cuts or fills that are deemed threatening to the life of the tree, as determined by a landscape professional.

Items b. through e. are not applicable

6. Tree Replacement. Trees approved for removal, with the exception of trees removed because they were determined to be diseased, dead, or a hazard, shall be replaced in compliance with the following standards.

- a. Replacement trees shall be indicated on a tree replanting plan. The replanting plan shall include all locations for replacement trees, and shall also indicate tree planting

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details.

- b. Replacement trees shall be planted such that the trees will in time result in canopy equal to or greater than the tree canopy present prior to development of the property. See Figure 18.3.10.090.D.6.b. The canopy shall be designed to mitigate of the impact of paved and developed areas, reduce surface erosion, and increase slope stability. Replacement tree locations shall consider impact on the wildfire prevention and control plan. The hearing authority shall have the discretion to adjust the proposed replacement tree canopy based upon site-specific evidence and testimony.
- c. Maintenance of replacement trees shall be the responsibility of the property owner. Required replacement trees shall be continuously maintained in a healthy manner. Trees that die within the first five years after initial planting must be replaced in kind, after which a new five-year replacement period shall begin. Replanting must occur within 30 days of notification unless otherwise noted.

Complies: The replacement trees shall be identified on the Planting Plan which shall be provided prior to issuance of building permit. Proposed trees shall comply – refer to Sheets for specifications for planting and maintenance compliance.

E. Building Location and Design Standards. All buildings and buildable areas proposed for Hillside Lands shall be designed and constructed in compliance with the following standards.

1. Building Envelopes. All newly created lots, either by subdivision or partition, shall contain building envelopes conforming to the following standards.
 - a. The building envelope shall contain a buildable area with a slope of 35 percent or less. See Figure 18.3.10.090.E.1.a.
 - b. Building envelopes and lot design shall address the retention of a percentage of the lot in a natural state as required in 18.3.10.090.B.3.
 - c. Building envelopes shall be designed and located to maximize tree conservation as required in 18.3.10.090.D.3 while recognizing and following the standards for fuel reduction if the development is located in Wildfire Lands.
 - d. It is recommended that building envelope locations should be located to avoid ridgeline exposures, and designed such that the roofline of a building within the envelope does not project above the ridgeline as illustrated in Figure 18.3.10.090.E.1.d.
2. Building Design. To reduce hillside disturbance through the use of slope responsive design techniques, buildings on Hillside Lands, excepting those lands within the designated Historic District, shall incorporate the following into the building design and indicate features on required building permits.
 - a. The height of all structures shall be measured vertically from the natural grade to the uppermost point of the roof edge or peak, wall, parapet, mansard, or other feature perpendicular to that grade. Maximum hillside building height shall be 35 feet. See Figure 18.3.10.090.E.2.a.i and Figure 18.3.10.090.E.2.a.ii

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on properties deemed to be hazardous or in need of additional security.

6. Deer Fencing.

- a. Deer fencing may be attached to a permitted front, side, or rear yard fence provided the area in excess of the allowable fence heights per this section is designed and constructed to provide a clear view through the fence.
 - i. Within required front yards, at least 85 percent of the surface shall be unobstructed to both light and air when viewed perpendicular to the plane of the fence.
 - ii. Within required side and rear yards, at least 80 percent of the surface shall be unobstructed to both light and air when viewed perpendicular to the plane of the fence.
- b. Deer fencing shall have a minimum height of 6 ½ feet and shall not exceed eight feet above grade.
- c. Permitted deer fencing materials may include, woven wire fencing, field fence, "hog panels", wire strand, or polypropylene mesh net that is open and visible through the material. Within front yards all mesh material shall have a minimum open diameter of 1 ½ square inches.
- d. Deer fencing shall be supported by structural supports, or tension wires, that run along the top of the fence to prevent sagging.
- e. Chain link fences shall not be considered to be deer fences under this section even if they meet the criteria above.

Refer to Sheet L-1.0 for proposed deer fencing that complies with this section for deer fencing as well as general lot line fencing.

7.

18.4.5 Tree Preservation and Protection
18.4.5.010 Purpose

Chapter 18.4.5 contains requirements for tree preservation and protection. The regulations are intended to reduce development impacts by preserving healthy trees for soil stability, noise buffering, wind protection, temperature mitigation, and wildlife habitat, as well as for the contribution to the character and beauty of Ashland.

18.4.5.020 Applicability

- A. Chapter 18.4.5 applies to developments requiring a Type I, Type II, or Type III planning action.
- B. No person who is required to install or maintain tree protection measures pursuant to this chapter shall do any development activities, including but not limited to clearing, grading, excavation, or demolition work, on a property or site which requires a planning action without approved tree protection measures properly installed and maintained pursuant to this chapter.
- C. **Tree Removal.** All tree removal and topping activities shall be carried out in accordance with the requirements of chapter 18.5.7 Tree Removal Permits.

18.4.5.030 Tree Protection

- A. **Tree Protection Plan.** A tree protection plan shall be approved by the Staff Advisor concurrent with applications for Type I, Type II, and Type III planning actions. If tree removal is proposed,

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Tree Removal Permit pursuant to chapter 18.5.7 may be required.

- B. **Tree Protection Plan Submission Requirements.** In order to obtain approval of a tree protection plan; an applicant shall submit a plan to the City, which clearly depicts all trees to be preserved and/or removed on the site. The plan must be drawn to scale and include the following.

Refer to Sheets L-2.0 & L-2.1 for conformance to Tree Protection standards under this chapter.

18.4.8 Solar Access
18.4.8.020 Applicability

- A. **Lot Classifications.** All lots shall meet the provisions of this section and will be classified according to the following formulas and table.

N/A – the property is within a subdivision that requires conformance to Standard A

18.4.8.030 Solar Setbacks

- A. **Setback Standard A.** This setback is designed to ensure that shadows are no greater than six feet at the north property line. Buildings on lots which are classified as standard A, pursuant to 18.4.8.020.A.1, shall be set back from the northern lot line according to the following formula.

$$SSB = \frac{H - 6'}{0.445 + S}$$

SSB = the minimum distance in feet that the tallest shadow producing point which creates the longest shadow onto the northerly property must be set back from the northern property line. See definition of northern property line in part 18.6.

H = the height in feet of the highest shade producing point of the structure which casts the longest shadow beyond the northern property line. See definition of highest shade producing point in part 18.6.

S = the slope of the lot, as defined in this chapter.

AVG. 150' SLOPE TO NORTH IS -.067

$$(2390' - 2380' = -10')(2340' - 2330' = -10') / 150' = -.067$$

Refer to Sheet L1.0 for roof heights and setbacks from north property line for compliance – calcs are as follows:

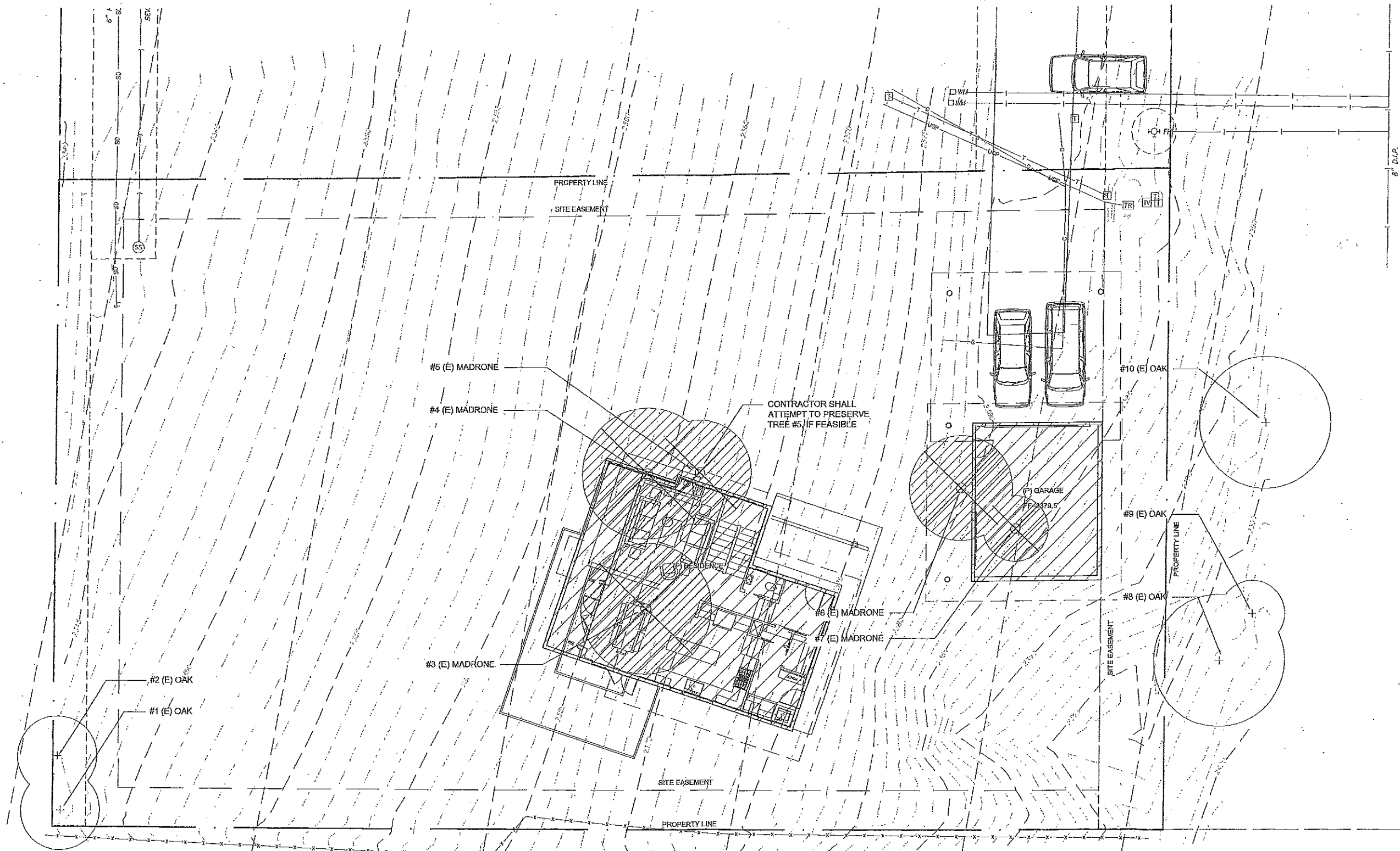
$$(2388' (-) 2365.5') = 22.5'; 22.5' (-) 6' / (.445 (-.067)) = 43'-8" \text{ SSB REQUIRED}$$
$$(2391.5' (-) 2366.2') = 25.3'; 25.3' (-) 6' / (.445 (-.067)) = 51'-1" \text{ SSB REQUIRED}$$
$$(2387.75' (-) 2376') = 11.75'; 11.75' (-) 6' / (.445 (-.067)) = 15'-3" \text{ SSB REQUIRED}$$

18.5.3.060 Additional Preliminary Flag Lot Partition Plat Criteria

Complies: The subject property is the third lot sharing a driveway that is greater than 50 feet that subjects the property to flag lot access standards of 15 feet width of drive through the final property to subject property and access narrows down to a minimum width of 12 feet within property. There is currently a 20 foot access easement through the adjacent property. Additionally, vehicular turnaround and vehicle exiting the flag drive in a forward manner is accomplished by a turnaround on the adjacent property (refer to project summary and Addendum B – turnaround easement)

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* SEE SHEET L-2.1 FOR LEGEND & NOTES

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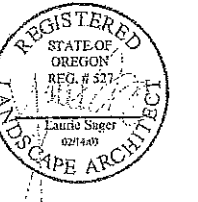
City Of Ashland



TREE PROTECTION AND REMOVAL PLAN



Laurie Sager
 AND ASSOCIATES LANDSCAPE ARCHITECTS INC
 700 MISTLETOE ROAD, SUITE 201
 ASHLAND, OREGON 97520



Revision Date:

Drawn By:

11X17 Scale: 1" = 16'-0"
 24X36 Scale: 1" = 8'-0"

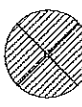
HANSEN RESIDENCE
 185 SKYCREST DRIVE
 ASHLAND, OREGON


March 6, 2015

L-2.0

TREE INVENTORY							TREE PROTECTION NOTES
TREE #	SPECIES	DBH IN INCHES	CROWN RADIUS IN FEET	CONDITION	SPECIES TOLERANCE TO CONSTRUCTION	NOTES	
1	OAK	8"	6'	GOOD	GOOD		TO REMAIN
2	OAK	8"	6'	GOOD	GOOD		TO REMAIN
3	MADRONE	12"	10'	GOOD	POOR		TO BE REMOVED
4	MADRONE	10"	10'	GOOD	POOR		TO BE REMOVED
5	MADRONE	10"	8'	GOOD	POOR		TO BE REMOVED
6	MADRONE	8"	8'	GOOD	POOR		TO BE REMOVED
7	MADRONE	7"	5'	GOOD	POOR		TO BE REMOVED
8	OAK	7"	10'	GOOD	GOOD	ON NEIGHBORING PROPERTY	TO REMAIN
9	OAK	6"	10'	GOOD	GOOD	ON NEIGHBORING PROPERTY	TO REMAIN
10	OAK	7"	5'	GOOD	GOOD	ON NEIGHBORING PROPERTY	TO REMAIN

LEGEND

 EXISTING TREE TO BE REMOVED

 EXISTING TREE TO REMAIN

SPECIFICATIONS FOR DEMOLITION AND SITE CLEARING

A. THE DEMOLITION CONTRACTOR IS REQUIRED TO MEET WITH THE OWNER'S REPRESENTATIVE AT THE SITE PRIOR TO BEGINNING WORK TO REVIEW ALL WORK PROCEDURES, ACCESS AND HAUL ROUTES, AND TREE PROTECTION MEASURES.

B. A QUALIFIED ARBORIST SHALL BE HIRED TO PRUNE ALL TREES TO REMAIN, AS NECESSARY.

C. TREES TO BE REMOVED SHALL BE FELLED SO AS TO FALL AWAY FROM TREE PROTECTION ZONES AND TO AVOID PULLING AND BREAKING OF ROOTS OF TREES TO REMAIN. IF ROOTS ARE ENTWINED, THE CONSULTANT REQUIRES TO FIRST SEVER THE MAJOR WOODY ROOT MASS BEFORE EXTRACTING THE TREES. THIS MAY BE ACCOMPLISHED BY CUTTING THROUGH THE ROOTS BY HAND, WITH A VIBRATING KNIFE, ROCK SAW, NARROW TRENCHER WITH SHARP BLADES, OR OTHER APPROVED ROOT-PRUNING EQUIPMENT.

D. STRUCTURES AND UNDERGROUND FEATURES TO BE REMOVED WITHIN THE TREE PROTECTION ZONE SHALL USE THE SMALLEST EQUIPMENT POSSIBLE AND OPERATE FROM OUTSIDE THE TREE PROTECTION ZONE.

E. ANY DAMAGE TO TREES DUE TO DEMOLITION ACTIVITIES SHALL BE REPORTED TO THE CONSULTING ARBORIST WITHIN SIX HOURS SO THAT REMEDIAL ACTION CAN BE TAKEN. TIMELINESS IS CRITICAL TO TREE HEALTH.

F. IF TEMPORARY HAUL OR ACCESS ROADS MUST PASS OVER THE ROOT AREA OF TREES TO BE RETAINED, A ROADBED OF 6 INCHES OF MULCH SHALL BE CREATED TO PROTECT THE SOIL. THE ROADBED MATERIAL SHALL BE REPLENISHED AS NECESSARY TO MAINTAIN A 6-INCH DEPTH.

TREE PROTECTION NOTES

A. Landscape adjacent to the project area shall be protected from damage. No storage of equipment or materials shall occur within drip lines of trees to be preserved, as identified on this plan. All damage caused by construction to existing trees shall be compensated for, before the project will be considered completed.

B. Trees that are shown to remain shall be protected with fencing as shown in Detail. Fencing shall be 6' tall temporary chain link panels installed with metal connections so that all panels are integrated, these fences shall be installed so that they do not allow passage of pedestrians and/or vehicles through it. If construction occurs more than 2 years from the date of City approval, all tree protection radius shall be re-evaluated and re-established by LA or certified Arborist.

C. Exceptions to the tree protection specifications may only be granted with written approval from owner's representative.

D. A certified arborist shall be consulted if any pruning is necessary during construction, on trees to remain.

E. Work within dripline of trees to remain may require disturbance of tree protection fences. Contractor shall obtain authorization from owner's representative prior to moving fence. Contractor shall remove the fence temporarily to complete work, and replace at the end of each work day. No storage of equipment or materials shall occur within dripline of trees. After the proposed work within dripline is completed, fencing shall be reinstalled. Note: Where protection fencing overlaps proposed construction, the following measures shall be followed:

- 1) Hand dig to required depth of final work.
- 2) Roots under 2" in diameter may be hand cut at a 90° angle.
- 3) Where roots greater than 2" in diameter are encircled, contractor shall notify Landscape Architect or arborist for direction.

F. Contractor shall not disturb roots of trees when removing sod or plant material.

G. Contractor shall not raise the soil level within the drip lines of existing trees to achieve positive drainage, except to match grades with sidewalks and curbs, and in those areas, feather the added topsoil back to existing grade at an approximately 3:1 slope.

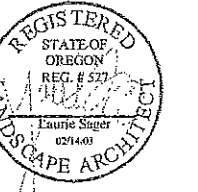
H. Inspection Schedule:

- 1) Tree protection fencing placement shall be approved by owner's representative before demolition begins.
- 2) Routine inspections of fencing and site conditions will occur during the course of construction, work shall cease if fencing is damaged or moved without prior approval or as outlined above.
- 3) Final Inspection at completion of project to determine condition of trees.

I. Irrigation of trees to remain:

- 1) All existing trees to remain that have been irrigated prior to construction shall be deep watered once a month for 8 hours throughout the dry season.
- 2) Do not irrigate trees that have not received irrigation prior to construction unless directed by arborist or Landscape Architect.
- 3) Use soaker hose per diagram.

LAURIE SAGER
 AND ASSOCIATES LANDSCAPE ARCHITECTS INC
 700 MISTLETOE ROAD, SUITE 201
 ASHLAND, OREGON 97520



Revision Date:

Drawn By:

Scale: NTS

HANSEN RESIDENCE
 185 SKYCREST DRIVE
 ASHLAND, OREGON

RECEIVED

MAR 06 2015

City Of Ashland TREE PROTECTION AND REMOVAL LEGEND

March 6, 2015

L-2.1



NOTICE OF APPLICATION

PLANNING ACTION: PA-2015-00541

SUBJECT PROPERTY: 345 Lithia Way

OWNER/APPLICANT: Hays Oil/Kistler, Small & White Architects for Double R Products

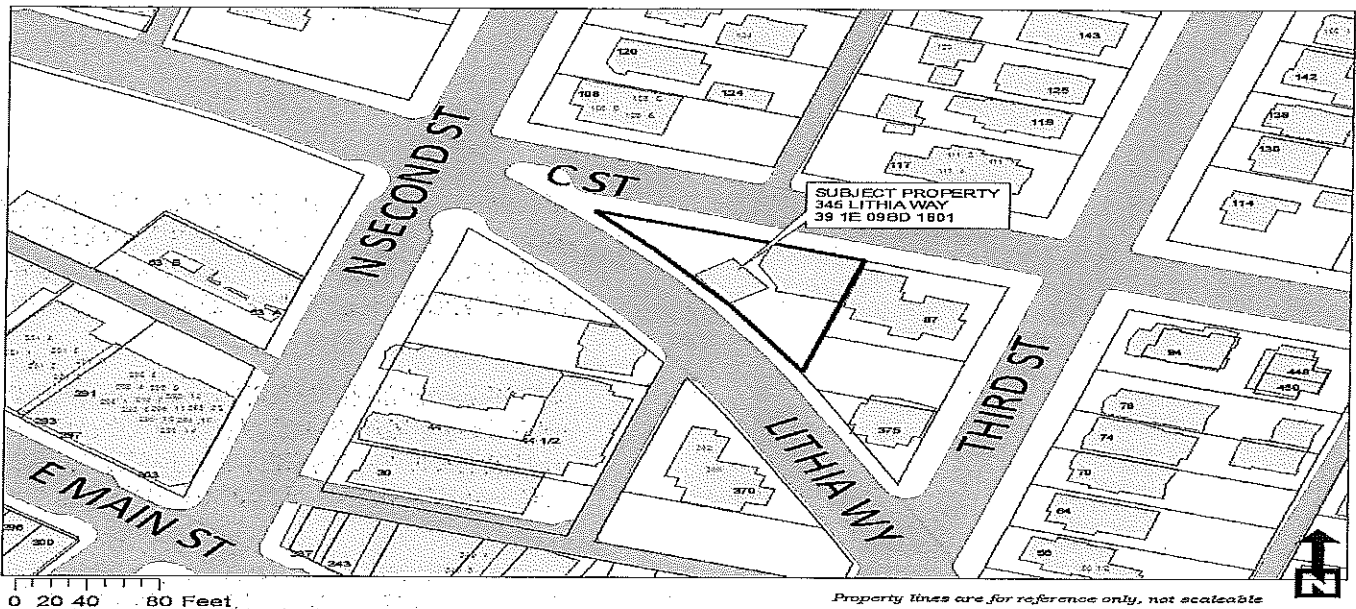
DESCRIPTION: A request for a modification of a previously approved Site Review approval (PA-2014-01226) to convert the Lithia Way Texaco located at 345 Lithia Way into a retail and restaurant establishment. The proposal is to add an outdoor seating area adjacent to the building on the south façade adjacent to Lithia Way and modification to the proposed exterior finishes. **COMPREHENSIVE PLAN DESIGNATION:** Commercial; **ZONING:** C-1; **ASSESSOR'S MAP:** 39 1E 09BD; **TAX LOTS:** 1801

NOTE: The Ashland Historic Commission will also review this Planning Action on **Wednesday, April 8, 2015 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTE: The Ashland Tree Commission will also review this Planning Action on **Thursday, April 9, 2015 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room) located at 51 Winburn Way.

NOTICE OF COMPLETE APPLICATION: April 1, 2015

DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS: April 15, 2015



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.108.040)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

SITE DESIGN AND USE STANDARDS

18.5.2.050 Approval Criteria

The following criteria shall be used to approve or deny an application:

- A. **Underlying Zone:** The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.
- B. **Overlay Zones:** The proposal complies with applicable overlay zone requirements (part 18.3).
- C. **Site Development and Design Standards:** The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.
- D. **City Facilities:** The proposal complies with the applicable standards in section 18.4.6 Public Facilities and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property and adequate transportation can and will be provided to the subject property.

March 20, 2015

City of Ashland
Planning Department
51 Winburn Way
Ashland, OR 97520

Re: Planning Action: PA - 2014 - 01226
Request for a Modification to an Approved Planning Action

Letter Describing the Modification

There are (2) primary modifications to the plans that were originally submitted. The first is a slight modification to the Site Plan and the second is a more extensive change to the exterior elevations. It our belief and that of the Owner/Developer that the revisions are significant improvements. Please refer to the original submittal for the original Site Plan and Exterior Elevations. The modifications are as described below:

SITE PLAN:

The outdoor seating area has been relocated to abut the building and is adjacent to (2) overhead doors that will provide the access to the outdoor seating area. This new location is preferred for many reasons including;

- improved sight lines from the interior of the building to the outdoor seating area
- improved access to the seating area by staff and patrons. The original plan required staff and patrons to cross a vehicular driveway to access the outdoor seating from the building. The new layout is safer and more efficient for staff.
- visibility from the street to the outdoor seating area remains strong and has been enhanced with the addition of a trellis, attractive fencing and gas fireplaces.
- street trees have been proposed for the existing planters along Lithia Way and along the east side of the property.
- please refer to the attached drawings.

EXTERIOR ELEVATIONS:

The primary changes to the exterior envelope of the building include;

- the addition of a horizontal wood screen applied to portions of the existing walls
- the addition of decorative ceramic tile applied to portions of the existing walls
- the addition of the outdoor seating trellis and entry canopy. The trellis consists of steel frames and wood infill members. The trellis extends downward to a new planter on the east end of the outdoor seating area allowing for a vine to grow up and across the trellis.
- new, fully glazed, clear anodized aluminum framed overhead doors replacing the two existing overhead doors fronting Lithia Way
- the main entrance storefront door frame is scheduled to receive an attractive, contrasting accent color
- please refer to the attached drawings

Attachments: Floor Plan, 3D sketches of the exterior

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MAR 24 2015

City Of Ashland

March 20, 2015

City of Ashland
Planning Department
51 Winburn Way
Ashland, OR 97520

Re: Planning Action: PA - 2014 - 01226
Request for a Modification to an Approved Planning Action

Historic District Design Standards

BASIC SITE REVIEW STANDARDS

1. Orientation and Scale.
 - a. Building shall have their primary orientation towards the street rather than the parking area.
 - i. *Proposed storefront is orientated towards the street and thus meets this standard.*
 - b. Building entrances shall be located within 20' of the public right of way to which they are oriented.
 - i. *This standard would not apply since we are using an existing building and not building a new one. However, we propose to relocate the storefront so it is a few feet closer to the street, compared to the existing storefront. (see drawings)*
2. Streetscape
 - a. One tree chosen from the street tree list shall be placed for each 30' of frontage for that portion of development fronting the street.
 - i. *While the existing site did not have any street trees, we are proposing to plant 3 trees which brings the site closer to meeting this requirement.*
3. Landscaping
 - a. *The existing site does not have any landscaping. We are proposing to add approximately 250 sq ft of landscaping to accommodate the street trees mentioned above. An irrigation system will be installed with the new landscaping as well as water conservation procedures as required. In addition, a new trellis is proposed that will be able to support a growing vine.*
4. Parking.
 - a. *The existing parking is located on the side of the building and is shaded by trees. This standard is met.*
5. Designated Creek Protection
 - a. *Not applicable as there is no creek on the property.*

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6. Noise and Glare
 - a. *With the change of use, the site will produce less noise than the current use. Precautions will be taken to ensure glare is reduced by installing appropriate windows.*
7. Expansion of Existing Sites and Building
 - a. *While we are not expanding the site or building, we are bringing a larger % of the site into conformance.*

DETAIL SITE REVIEW STANDARDS

1. Orientation and Scale

- a. Developments shall have a min FAR of .5.
 - i. *Existing site does not meet a FAR of .5 due to parking requirements given the shape of the site. Our proposal adds 640 sqft of outdoor seating area which helps increase the FAR.*
- b. Buildings greater than 100' in length shall have jogs and offsets.
 - i. *Not applicable, building is less than 100' in length.*
- c. Building shall incorporate lighting and changes in mass, surface or finish to give emphasis to entrances.
 - i. *Entrances are in glass, which is a different surface/finish than the CMU on the rest of the building. In addition, decorative tile and an accent color at the door entrance will accentuate the main entrance into the building.*
- d. Infill or buildings, adjacent to public sidewalks, in existing parking lots is encouraged.
 - i. *Not applicable as we are not changing the location of the building.*
- e. Buildings shall incorporate arcades, roofs, alcoves, porticoes, and awnings.
 - i. *A new trellis and entry canopy are proposed.*

2. Streetscape

- a. Hardscape shall be utilized to designate people areas:
 - i. *The outdoor seating area is scheduled to have a floor finish of pavers and grass to help differentiate it from the parking lot.*
- b. Building shall be setback no more than 5' from a public sidewalk.
 - i. *The existing site does not meet this requirement; however our proposal of an outdoor seating area will bring the site closer to be within compliance.*

3. Buffering and Screening

- a. Landscape buffers and screening shall be incorporated between incompatible uses on an adjacent lot.
 - i. *The proposed new trellis has a vertical component that will help screen the neighboring property to the east. also, please note that there is sufficient landscaping on adjacent lots to meet this requirement.*
- b. Parking lots shall be buffered from Main Street, cross streets and screen from residentially zoned land.
 - i. *Existing landscaping on adjacent lots is sufficient to meet this requirement. We are adding 3 trees that will help provide additional screening from Main Street.*

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4. Building Materials

- a. Buildings shall include changes in relief to meet 15% of the exterior wall area.
 - i. *Our proposed addition of a new horizontal wood screen and decorative tile will bring the building in compliance to this standard.*
- b. Bright paint colors are prohibited. Buildings may not incorporate glass as a majority of the building skin.
 - i. *The building will be painted in earth tone colors and will only have enough glass to meet the 20% display area requirement.*

Parking lot landscaping and Screening Standards

1. Screening at required yards.
 - a. *Not applicable as there is no front yard.*
2. Screening abutting Property lines.
 - a. *There is an existing screen on the other side of the property line. We believe there was a lot line adjustment after the parking lot and landscaping was put in, so while there is no landscaping on the property, there is sufficient screening in place just on the other side of the property line. In addition please note the new trellis.*
3. Landscape Standards
 - a. *The existing site does not have any landscaping. We are proposing to add approximately 250 sq ft of landscaping to the site. While that is not enough to meet the 7% requirement, it does bring us closer to meeting the standard.*
4. Residential Screening
 - a. *Not applicable as there is residential dwellings adjacent to the parking lot.*
5. Hedge Screening
 - a. *Not applicable as no new shrubs will be planted.*
6. Other screening
 - a. *A new masonry trash enclosure is proposed to screen the refuse disposals from view.*

Street Tree Standards

1. Location for Street Trees
 - a. *Proposed street trees are located behind the sidewalk.*
2. Spacing Placement and Pruning of Street trees
 - a. *The proposed street trees will be planted in a manner that satisfies the city. We will accept any recommendation or guidance from the city as to what trees should be planted and where to locate them.*
3. Replacement of Street Trees
 - a. *Not applicable as no trees will be removed.*

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4. Recommended Street Trees
 - a. See #2 above.

Water Conserving Landscaping Guidelines and Policies

1. *The recommendations provided will be taken into account in the design of the site landscaping. We would also gladly accept the city's input and would prefer it if the city could provide us with a landscape design for us to implement.*

Historic District Development Standards

1. *Most of the standards in the historic district design standards do not apply as we are retaining the existing structure and not performing exterior renovations that will drastically change the shape or look of the existing structure. However as we would like to increase the curb appeal of the location, the applicant is proposing decorative wood and tile finishes.*

Downtown Design Standards

1. *Most of the standards in the historic district design standards do not apply as we are retaining the existing structure and not performing exterior renovations that will drastically change the shape or look of the existing structure. However we are proposing several changes that would increase the existing structures conformance with the Downtown design standards including:*
 - a. *New storefront and glass that will be vertically oriented and increase the transparency of the building.*
 - b. *New canopy above the main entrance to provide shelter for pedestrians.*
 - c. *New trellis.*

Additional issues from the Jun 18th pre-application meeting.

1. Walls within 30' of the street shall contain at least 20% of the wall are facing the street in display areas, windows and doorways.
 - a. *Windows have been added to storefront wall to meet requirements. Garage doors will be replaced with windowed doors to increase transparency. See updated elevation drawings.*
2. Awnings should extend a minimum of 4' from the face of the building.
 - a. *The proposed canopy and trellis meet this requirement.*
3. Parking Requirements & Parking Management. (1 per 4 seats)
 - a. *Parking for 4 cars is provided and the restaurant will have no more than 16 seats. The parking layout has also been modified to provide more back-up room.*
4. Bike Parking
 - a. *A bike parking spot will be located on the west side of the building. See updated site plan.*

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5. Distinguish outdoor seating and vehicular Circulation.
 - a. *Outdoor seating area will be distinguished from the rest of the site by the use of a trellis, fencing and a different floor finish. Floor finish will be pavers and grass, and will look different than the asphalt on the drive lanes. Traffic direction arrows will be painted on the asphalt.*

6. Tank Removal
 - a. *The tank will be decommissioned in a manner consistent with state regulations. (Tank removal might not be feasible due to its close proximity to the building.)*

7. Public Works and Utilities.
 - a. *No changes will be made to the existing power, water and sewer. The existing water meter will be sufficient and the existing HVAC system will be re-used. A new walk in cooler will be added, however it will not draw enough power to require an upgrade to the existing power equipment. Existing storm drainage and catch basins will be re-used along with existing methods of drainage.*

8. Ashland Fire & Rescue
 - a. *5" Address numbers will be installed above storefront entrance. The numbers will be made of white vinyl which contrasts against the clear window.*
 - b. *The existing building did not have any sprinklers, and we do not anticipate the need for sprinklers. Ashland fire can advise on fire protection requirements once the floor plan is available.*

Please consider our application to introduce a new small business to the Ashland Community while increasing the street appeal and business compatibility of one of the older, non-conforming structures of the city.

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MAR 24 2015

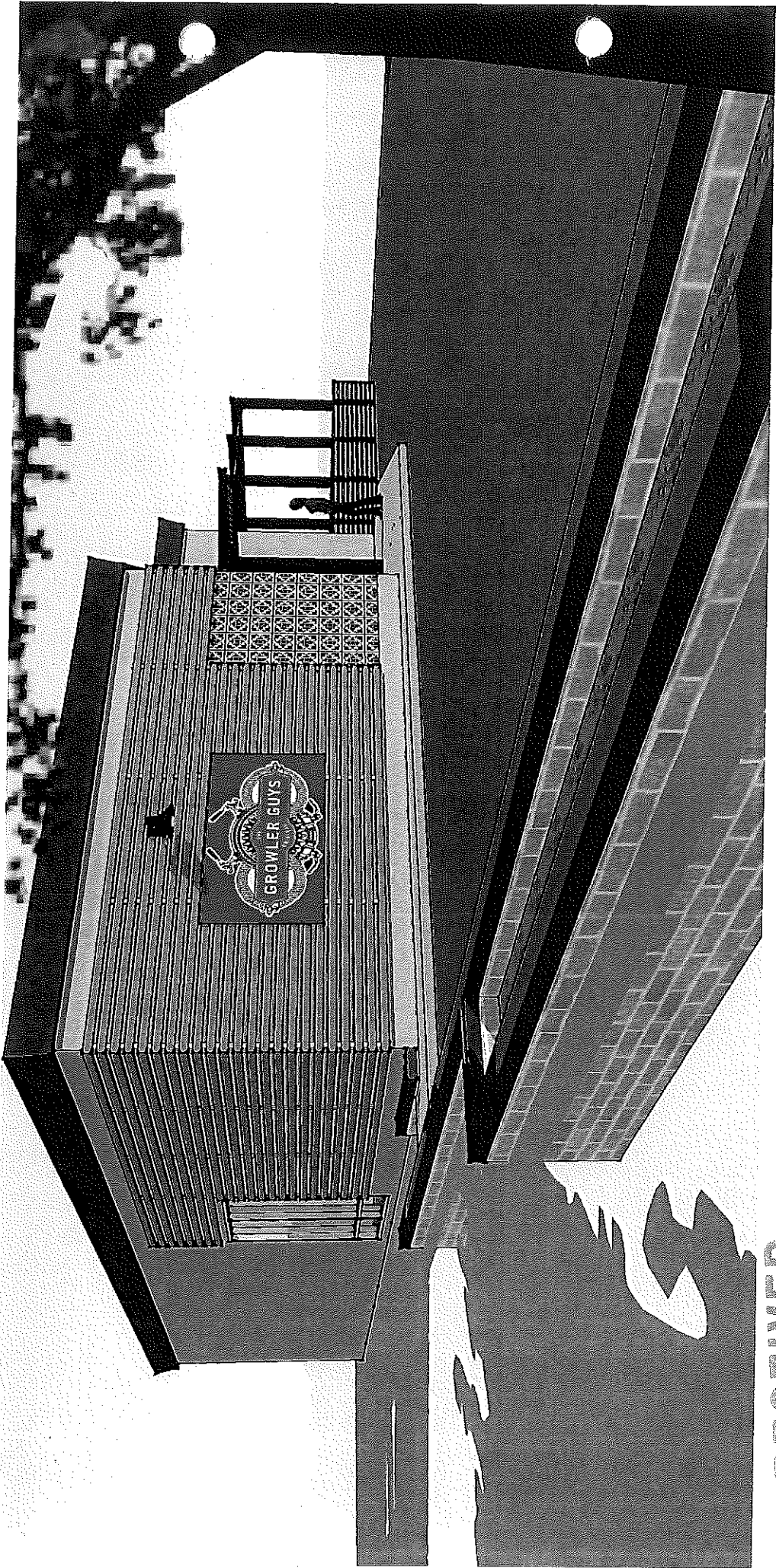
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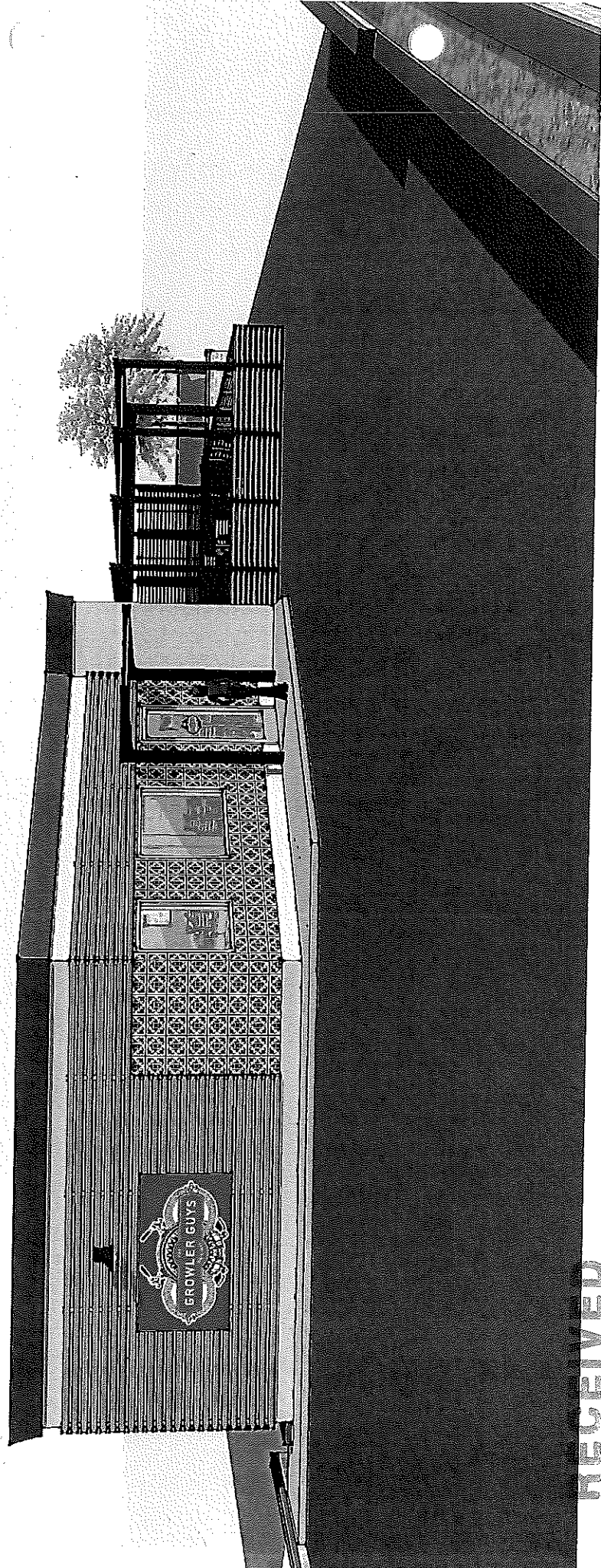
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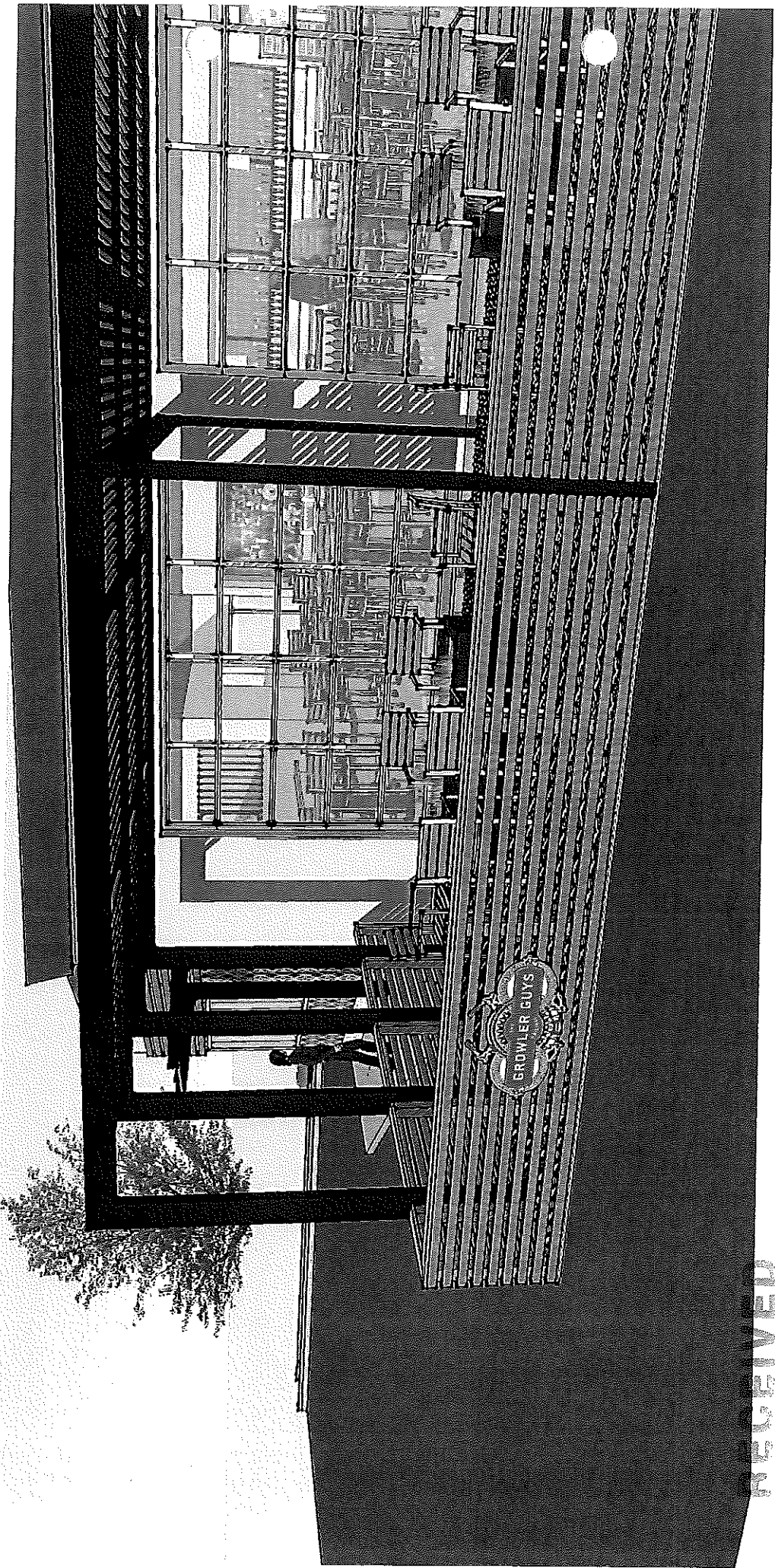
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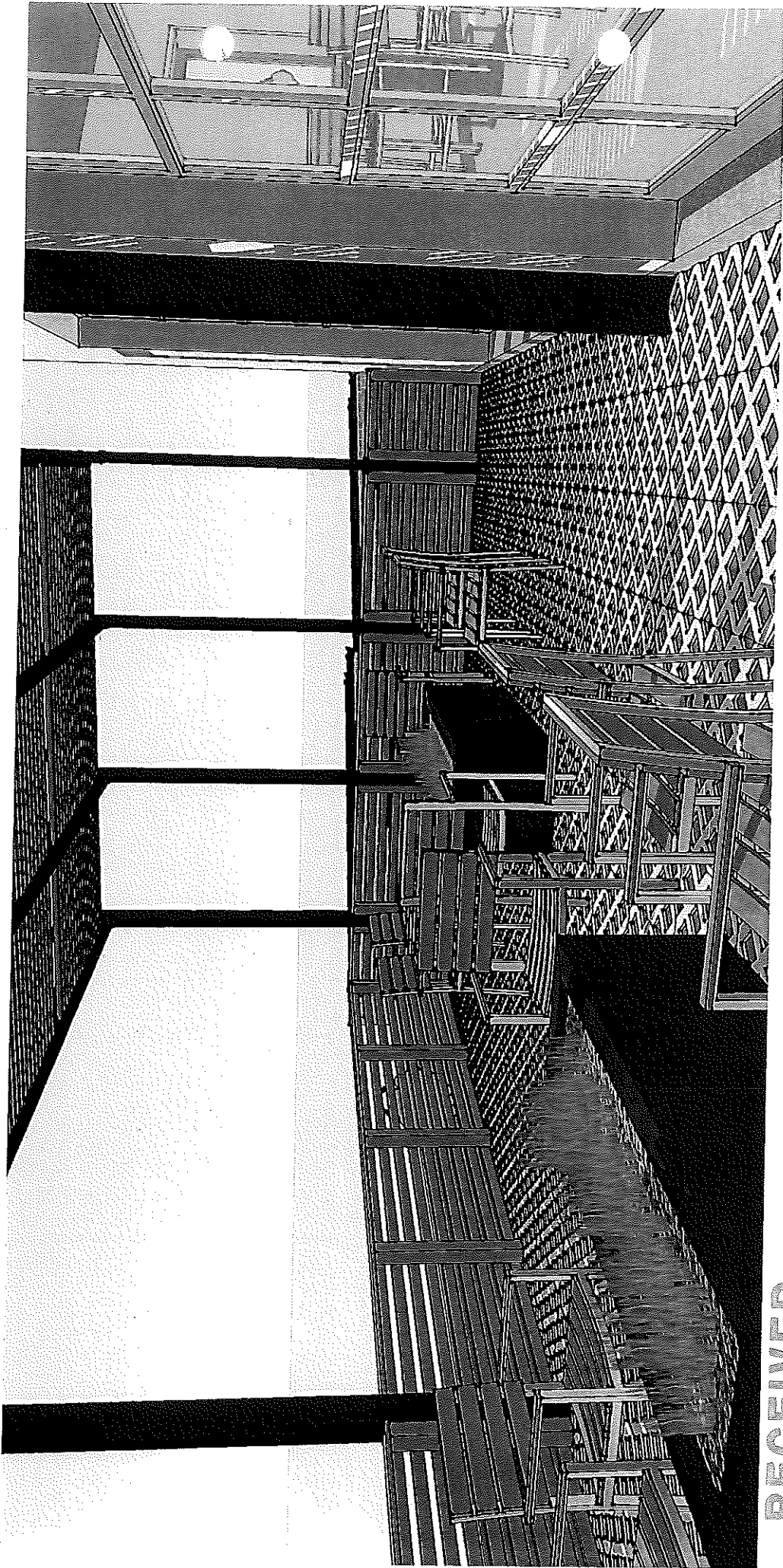
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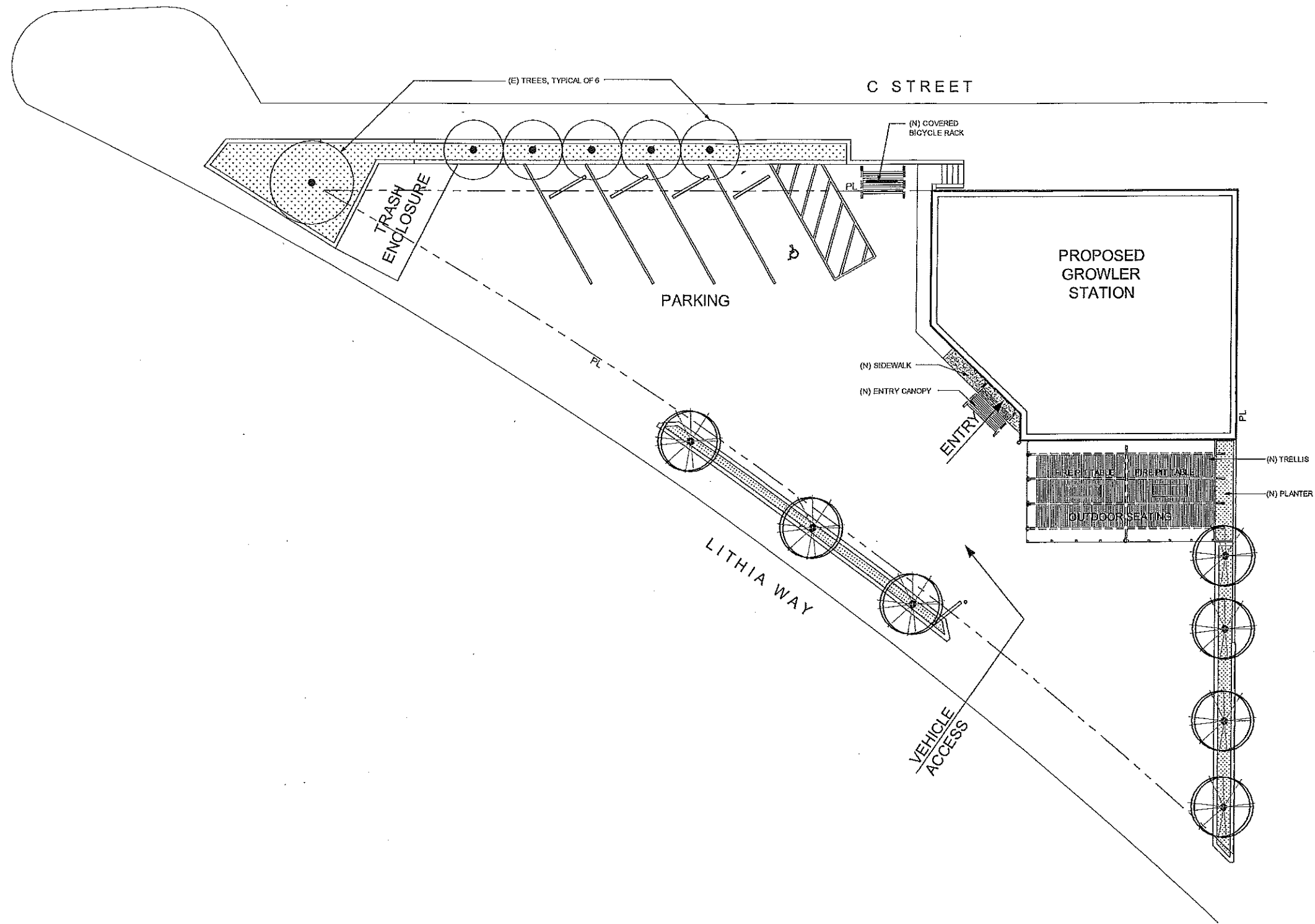
kistler+
small
+white
architects

66 WATER STREET
SUITE 101
ASHLAND, OR
97520
TEL.: 541.488.8200

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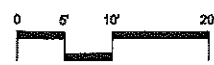
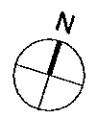
ASHLAND GROWLER
REMODEL
345 LITHIA WAY
ASHLAND, OREGON

REVISIONS

SITE PLAN

PROJECT: 15-005
ISSUE DATE: 03-04-15
SHEET:

A0.4



SITE PLAN 1
1" = 10'-0"



NOTICE OF APPLICATION

PLANNING ACTION: PA-2015-00568

SUBJECT PROPERTY: 854 A Street

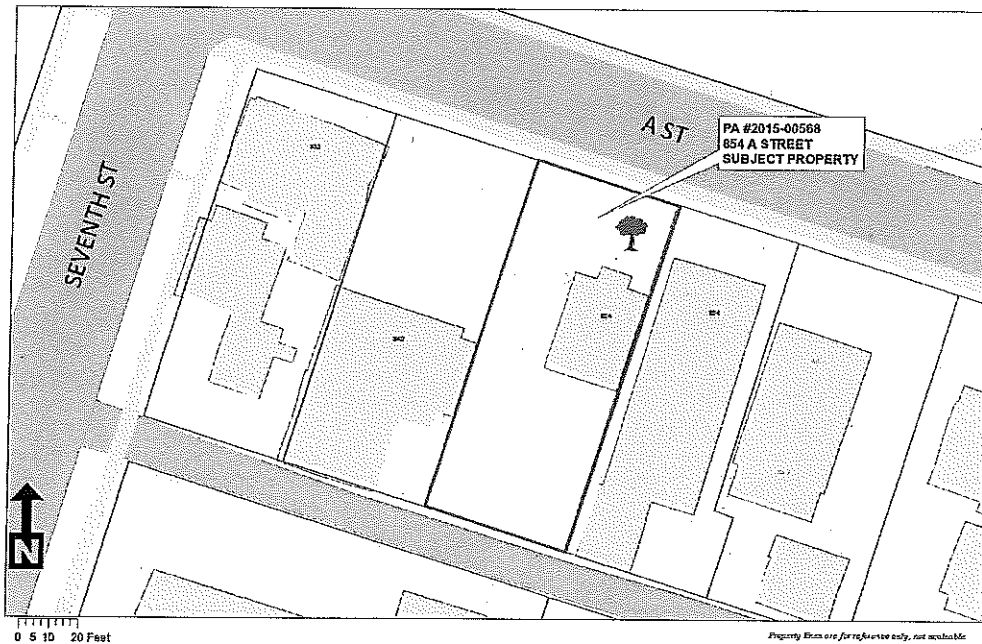
OWNER/APPLICANT: Ilene Rubenstien/Mark Frueh

DESCRIPTION: A request for a Tree Removal Permit to remove a hazard tree - an approximately 30-inch diameter Black Locust - from the property at 854 A Street. *(Another tree, also an approximately 30-inch diameter Black Locust was approved for immediate removal as an emergency because the soil and roots at its base had begun to heave and the tree was leaning at approximately a 45 degree angle and posed an immediate risk to structures and people in the vicinity.)* **COMPREHENSIVE PLAN DESIGNATION:** Employment; **ZONING:** E-1; **ASSESSOR'S MAP:** 39 1E 09AA; **TAX LOT:** 6600.

NOTE: The Ashland Tree Commission will also review this Planning Action on **Thursday, April 9, 2015 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room) located at 51 Winburn Way.

NOTICE OF COMPLETE APPLICATION: April 3, 2015

DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS: April 17, 2015



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.108.040)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

TREE REMOVAL PERMIT

18.5.7.040.B Criteria for Issuance of Tree Removal Permit

B. Tree Removal Permit.

1. **Hazard Tree.** A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The applicant must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. See definition of hazard tree in part 18.6.
 - b. The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.
2. **Tree That is Not a Hazard.** A Tree Removal Permit for a tree that is not a hazard shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 1. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.10.
 2. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.
 3. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.
 4. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.
 5. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

Amy Gunter

From: Mark [frueh.mark@yahoo.com]
Sent: Friday, March 27, 2015 7:36 AM
To: amy.gunter@ashland.or.us
Subject: 854 A St Locusts
Attachments: image2.JPG; ATT00037.txt; image1.JPG; ATT00040.txt

Hi, Amy!

Here are pics and descriptions of one Locust to be removed and one to be significantly reduced, with the expectation of imminent removal, as it declines.

Locust 1:

Locust one is a mature declining Black Locust located in the Western half of the front lawn of 854 At St.

Though it's challenging to observe via pictures, the earth opposite the fall line of the locust is heaving significantly, and the visible primary surface root has risen from the soil almost 4' in the last 10 days.

The earth around this root and the trunk continue to show cracking, breakage, movement, and lift.

This Locust bowl contains three primary trunks that are collectively 30 inches wide with the height of approximately 60 feet.

The two larger primary trunks/trees extend over property and have a significant lean, one in excess of 45°.

For confirmation of shift, I hung a plumbob from the tree and it has shown travel since I installed it.

19 years of experience as a climbing arborist tell me that this tree is an immediate an imminent risk of falling and damaging several structures and is a threat to pedestrians as well.

As I understand them, and based on my conversations with you, this tree falls within the City's guidelines for emergency removal.

Locust 2:

Black Locust number two is near the property line in the Eastern half of the front lawn of 854 A St.

This tree is roughly 30 inches in diameter and is a single trunk.

While it is not leaning and at immediate risk of full collapse, this tree is geriatric, very much in decline, and is shedding significant mass/branches of all sizes and is very much a hazard to structures, automobiles, bicycles, and pedestrians.

Though it's fairly poor image, the sparseness and lack of health and significant and random breakage of even of larger diameter material, is evident.

The more vibrant areas of this tree are light, 'anemic', only at the very tips, and few; only remnants of the tree's former health.

Using my throw line for tests, I was bringing branches as much as 5 inches in diameter to the ground - accidentally.

This is a very weak, declining, heavy, and hazardous tree. My intention is to significantly reduce it to safe live tissue, and observe it for likely full removal, as the city allows.

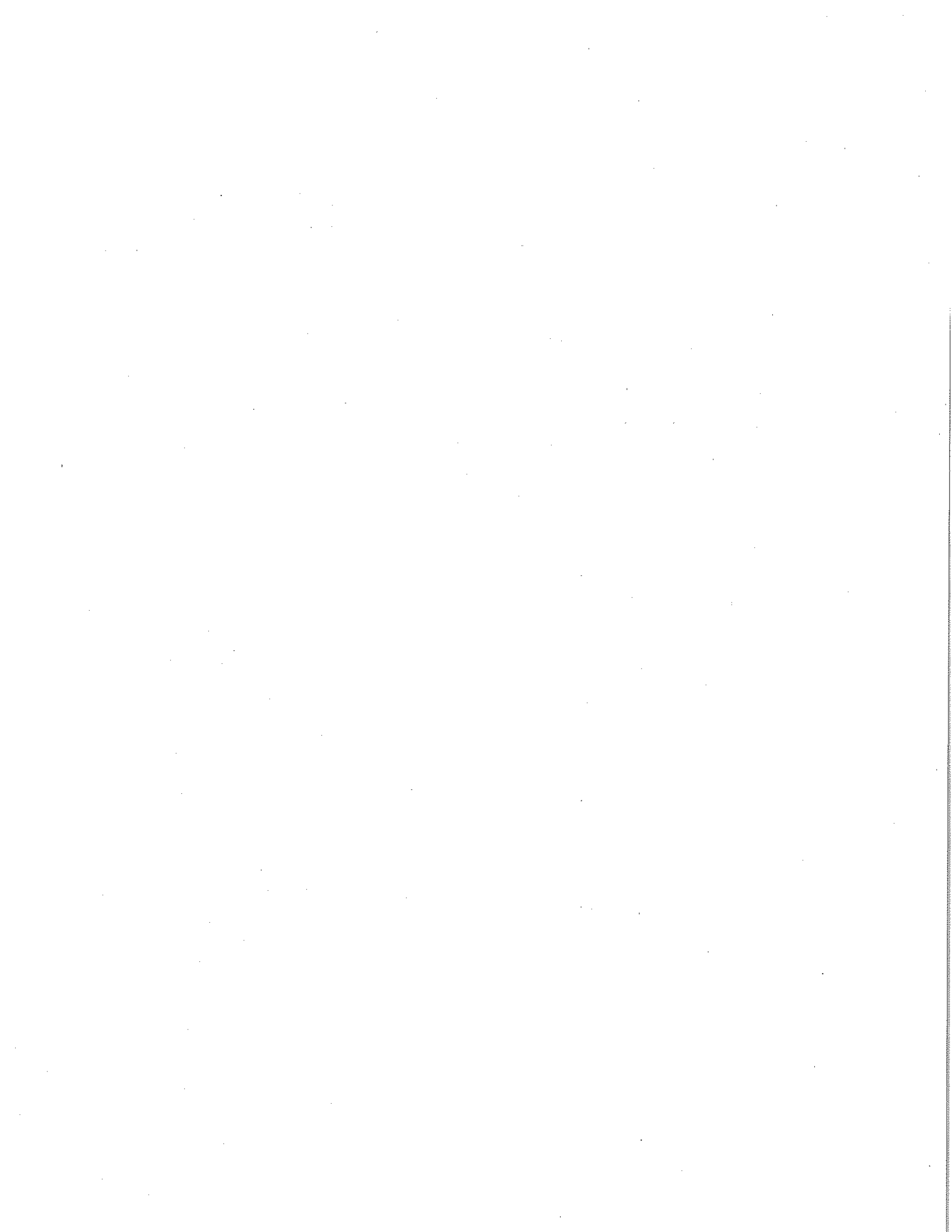
I do not, never have, and never will top or pollard any tree.

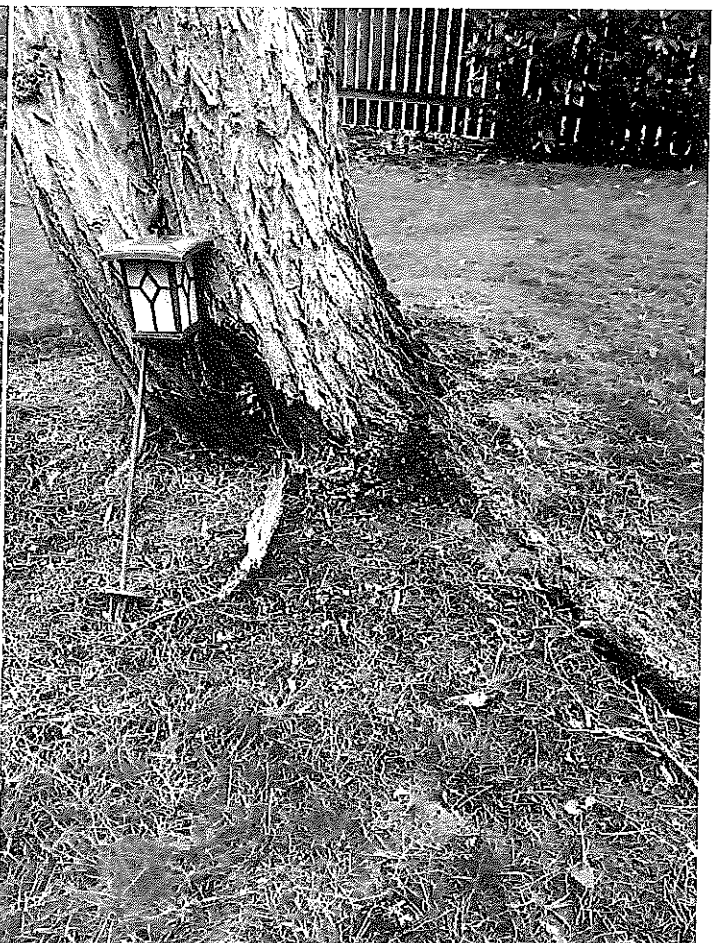
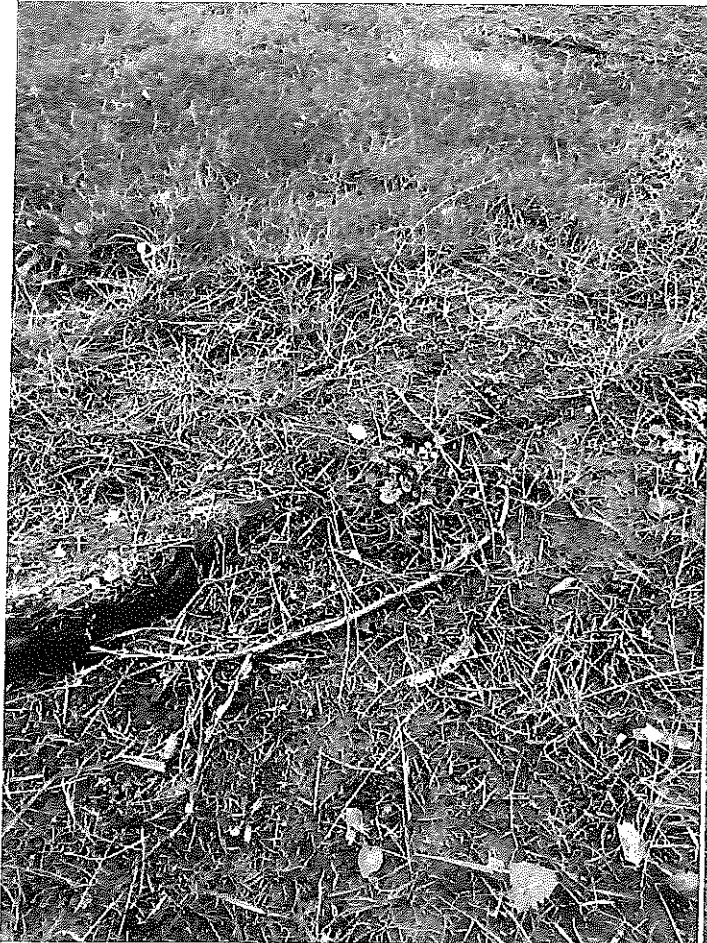
Re-mediation:

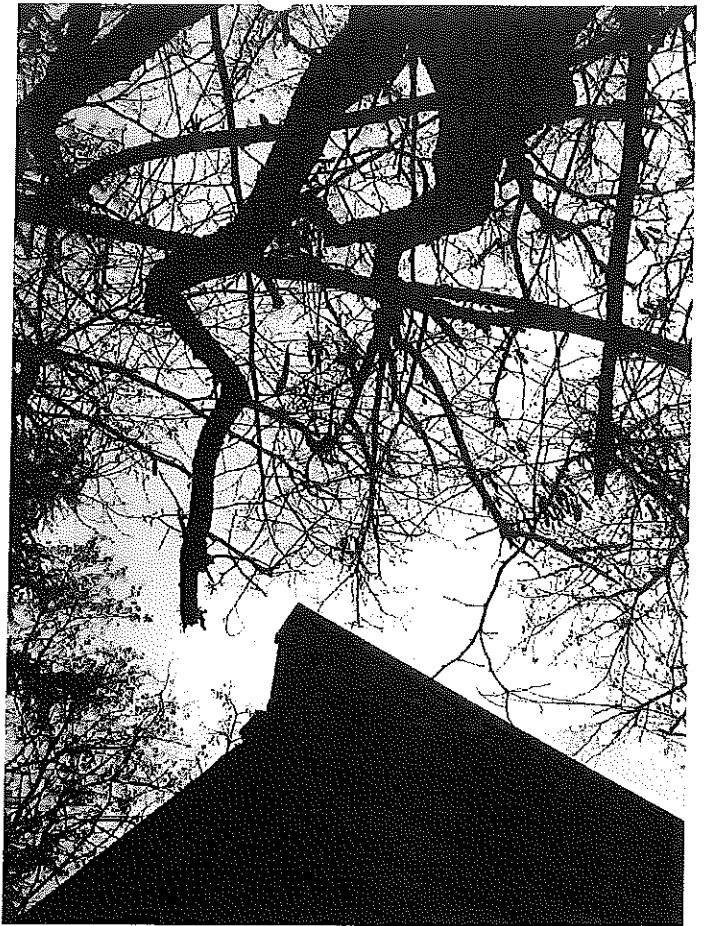
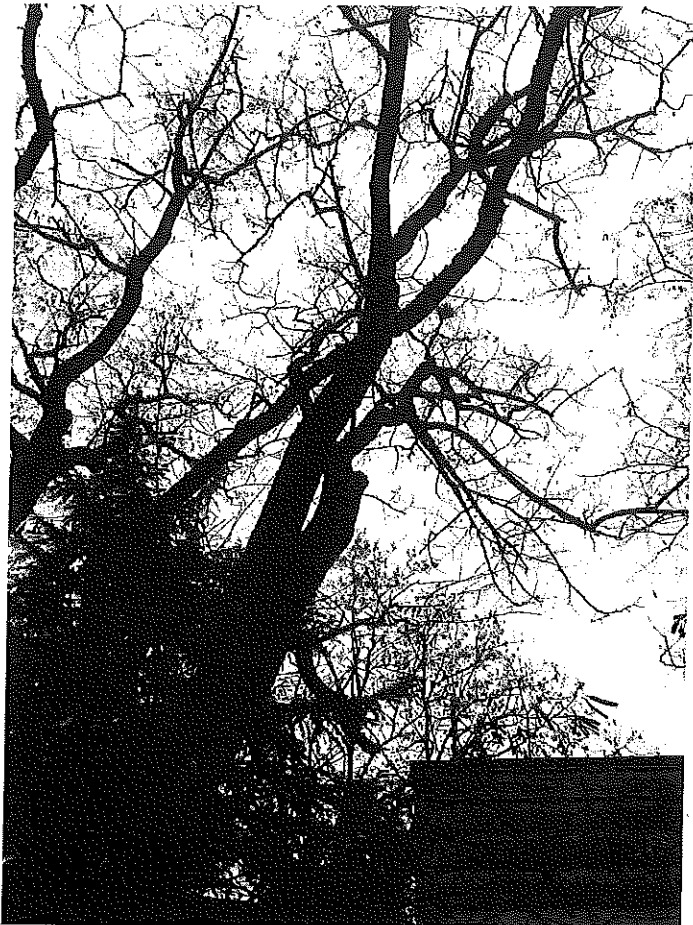
It is the homeowner's intention and desire to install a full landscape design after the trees are addressed/removed.

She is already in talks with landscapers around plans for an installation, which will include appropriate and thoughtfully choosing tree varieties.

Mark Frueh, 504-455-7125.







SEVENTH ST

A ST

PA #2015-00568
854 A STREET
SUBJECT PROPERTY

832

842

854

864

868.1

868.2



0 5 10 20 Feet

Property lines are for reference only, not scaleable



0 5 10 20 Feet

Property lines are for reference only, not scaleable



NOTICE OF APPLICATION

PLANNING ACTION: PA-2015-00603

SUBJECT PROPERTY: 95 North Main Street

OWNER/APPLICANT: Durant-Newton Trust/Randy Mason

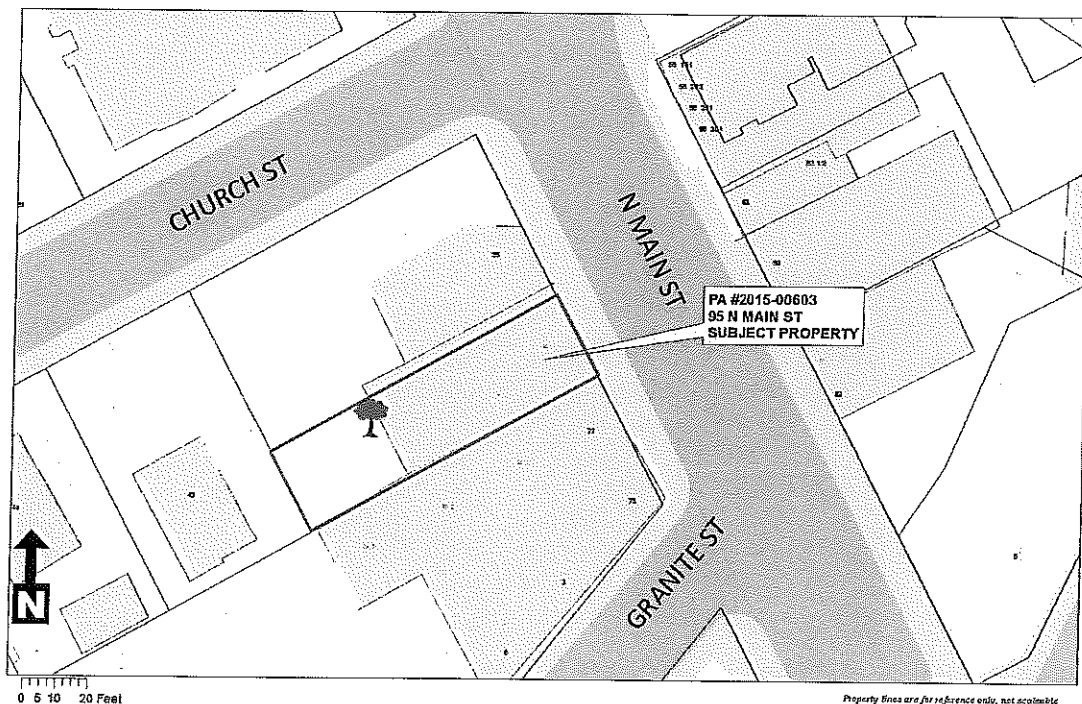
DESCRIPTION: A request for a Tree Removal Permit to remove a hazard tree - an approximately 14-inch diameter Almond - from the rear of Brother's Restaurant at 95 North Main Street. The project arborist notes that the tree is growing against the deck and roof and damaging the existing structure on the property.

COMPREHENSIVE PLAN DESIGNATION: Commercial; **ZONING:** C-1-D; **ASSESSOR'S MAP:** 39 1E 09BB; **TAX LOTS:** 5700.

NOTE: The Ashland Tree Commission will also review this Planning Action on **Thursday, April 9, 2015 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room) located at 51 Winburn Way.

NOTICE OF COMPLETE APPLICATION: April 3, 2015

DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS: April 17, 2015



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.108.040)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

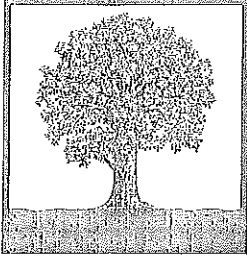
If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

TREE REMOVAL PERMIT

18.5.7.040.B Criteria for Issuance of Tree Removal Permit

B. Tree Removal Permit.

1. **Hazard Tree.** A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The applicant must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. See definition of hazard tree in part 18.6.
 - b. The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.
2. **Tree That is Not a Hazard.** A Tree Removal Permit for a tree that is not a hazard shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 1. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.10.
 2. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.
 3. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.
 4. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.
 5. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.



Tom Myers Tree Consultation

2040 Ashland Mine Rd
Ashland, OR 97520
Phone: 541-601-2069

3/31/15

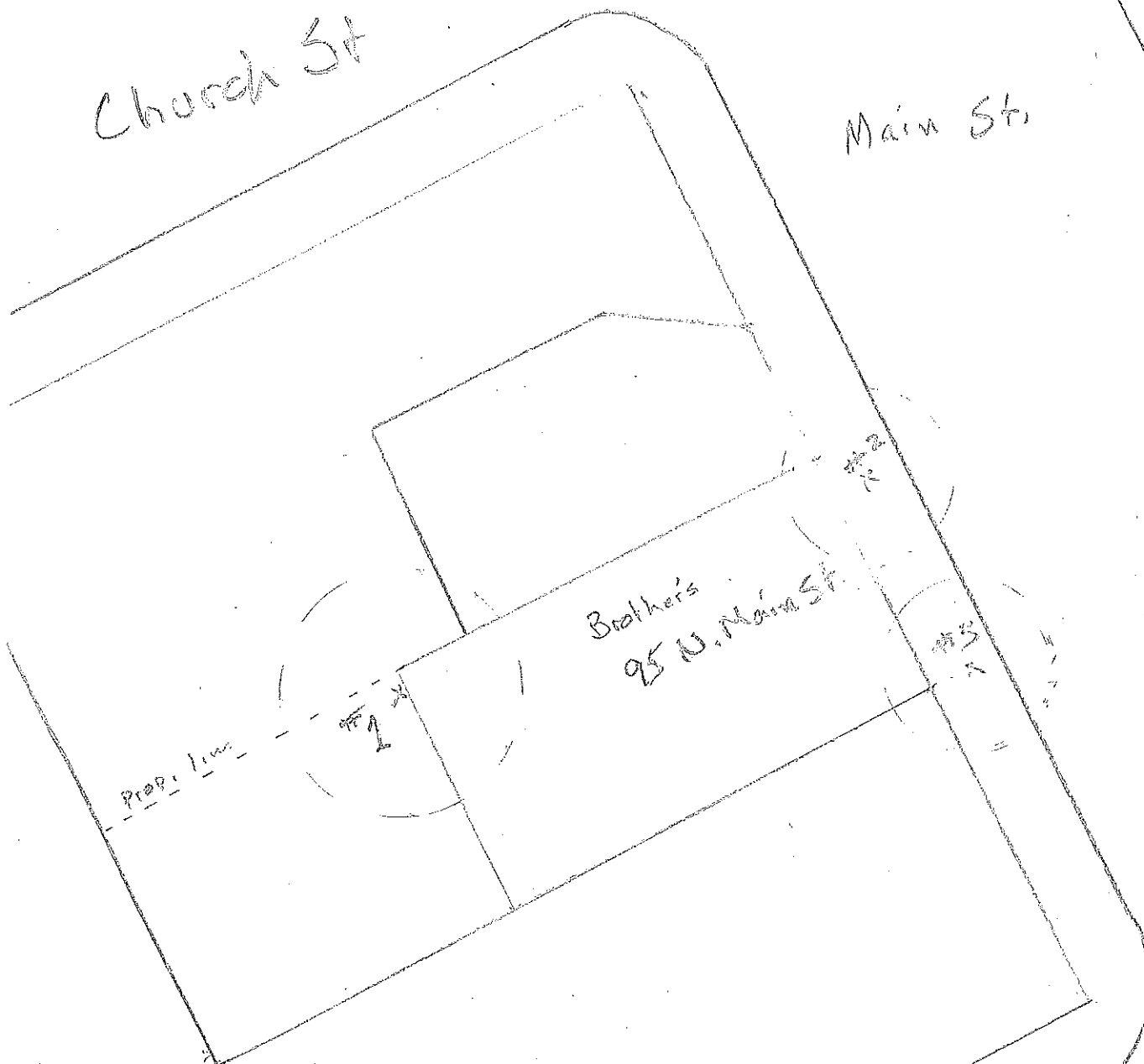
Tree Report for 95 Main St.

There are three trees at 95 ^{Almond} Ohio. The two trees in front within the parking strip are in good health. The 14 inch Almond tree in the rear of the building (tree #1 on the tree inventory) should be removed. It is currently causing property damage to the existing structure. The trunk of the tree is growing against the deck and roof and will continue to exert pressure against the building. If the tree is not removed, it will continue to cause damage to the structure.

Sincerely, Tom Myers, Certified Arborist

Church St

Main St



Granite St

- X Tree # 1 - 14" DBH 15' Canopy Almond
- X Tree # 2 Ornamental Pear 10' DBH 10' Canopy
- X Tree # 3 Ornamental Pear 10" DBH 10' Canopy

Scale 1" = 20'

18.5.7 – Tree Removal Permits

8. Any other information reasonably required by the City.

18.5.7.040 Approval Criteria

A. Emergency Tree Removal Permit. An Emergency Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.

1. If the condition of a tree presents an immediate danger of collapse, as defined in part 18.6, and represents a clear and present hazard to persons or property, an emergency tree removal permit may be issued and the payment of a fee may be waived. The Staff Advisor may require the applicant to hire an arborist to review the evidence to ascertain whether the tree presented an immediate danger of collapse.

B. Tree Removal Permit.

1. Hazard Tree. A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.

- a. The applicant must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. See definition of hazard tree in part 18.6. *14" DBH Almond 15' Canopy 28' high pushing on back porch + roof*
- b. The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

2. Tree That is Not a Hazard. A Tree Removal Permit for a tree that is not a hazard shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.

1. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.10.
2. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.
3. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.
4. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider

18.5.7 – Tree Removal Permits

alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.

5. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

C. Tree Topping Permit. Topping is an injurious pruning practice, which may lead to stress, disease, and decay in trees. It should be avoided whenever an alternative exists. A Tree Topping Permit may be issued if all of the following apply.

1. A utility, public agency, or other person who routinely tops trees in furtherance of public safety, may apply for a topping permit pursuant to this section based upon an arborist's report establishing a methodology for topping in compliance with this subsection.
2. Trees under utility wires may be topped only where other pruning techniques are impractical.
3. The City, in granting approval for tree removal in an open space or undeveloped area, may allow a tree to be topped to a designated height in order to maintain a snag for wildlife habitat.

18.5.7.050 Mitigation Required

One or more of the following shall satisfy the mitigation requirement.

- A. Replanting On-Site.** The applicant shall plant either a minimum 1 ½-inch caliper healthy and well-branched deciduous tree or a five to six-foot tall evergreen tree for each tree removed. The replanted tree shall be of a species that will eventually equal or exceed the removed tree in size if appropriate for the new location. Larger trees may be required where the mitigation is intended, in part, to replace a visual screen between land uses. Suitable species means the tree's growth habits and environmental requirements are conducive to the site, given existing topography, soils, other vegetation, exposure to wind and sun, nearby structures, overhead wires, etc. The tree shall be planted and maintained per the specifications of the Recommended Street Tree Guide.
- B. Replanting Off-Site.** If in the City's determination there is insufficient available space on the subject property, the replanting required in section 18.5.7.050.A, above, shall occur on other property in the applicant's ownership or control within the City, in an open space tract that is part of the same subdivision, or in a City owned or dedicated open space or park. Such mitigation planting is subject to the approval of the authorized property owners. If planting on City owned or dedicated property, the City may specify the species and size of the tree. Nothing in this section shall be construed as an obligation of the City to allow trees to be planted on City owned or dedicated property.
- C. Payment In-Lieu of Planting.** If in the City's determination no feasible alternative exists to plant the required mitigation, the applicant shall pay into the tree account an amount as established by resolution of the City Council.
- D. Mitigation Plan.** An approved mitigation plan shall be fully implemented within one year of a tree being removed unless otherwise set forth in a tree removal application and approved in the tree removal permits.

18.5.7 – Tree Removal Permits

18.5.7.060 Conditions of Approval for Tree Removal Permits

The City may impose conditions of approval on any Tree Removal Permit if the condition is reasonably related to preventing, eliminating, or mitigating a negative impact or potential negative impact on natural features or processes or on the built environment of the neighborhood which is as created or contributed to by the approved tree removal. Conditions of approval may include, but are not limited to the following.

- A. Requiring modifications in the location, design, or intensity of a development or activities on a site or to require or prohibit certain construction methods. Modifications may result in a decrease in size of residential or commercial structures, but modifications shall not reduce the density of residential development below the permitted density allowed by the zone.
- B. Requiring vegetation not requiring a tree removal permit to remain in place or be planted.
- C. Requiring the removal of injurious or noxious vegetation (such as English Ivy) from other trees on the property.

18.5.7.070 Expiration of Tree Removal Permits

Tree removal permits shall remain valid for a period of 18 months from the date of issuance or date of final decision by a hearing body, if applicable. A 30-day extension shall be automatically granted by the Staff Advisor if requested in writing before the expiration of the permit. Permits that have lapsed are void. Trees removed after a tree removal permit has expired shall be considered a violation of this chapter.

18.5.7.080 Evidence of Violation

- A. If a tree is removed without a Tree Removal Permit, a violation shall be determined by measuring the stump. A stump that is eight caliper inches or more in diameter shall be considered initial evidence of a violation of this chapter.
- B. Removal of the stump of a tree removed without a tree removal permit prior to the determination provided in 18.5.7.080.A, above, is a violation of this chapter.
- C. Proof of violation of this chapter shall be deemed prima facie evidence that such violation is that of the owner of the property upon which the violation was committed. Prosecution of or failure to prosecute the owner shall not be deemed to relieve any other responsible person.
- D. Tree removal or topping caused by natural weather conditions shall not be deemed a violation of this chapter and shall be exempt from all penalties set forth in section 18.5.7.090.

18.5.7.090 Enforcement and Penalties

In addition to taking enforcement action and assessing penalties for violations of this code, as authorized by chapter 18.1.6 Zoning Permit Expiration, Extension, and Enforcement, the City may take the following mitigation actions where there is a violation of this chapter:

- A. **Arborist Report and Required Treatment.** Upon request by the City, a person who violates any provision of this chapter shall submit a report prepared by an arborist to evaluate the damage to a

18.5.7 – Tree Removal Permits

8. Those activities associated with tree trimming for safety reasons, as mandated by the Oregon Public Utilities Commission, by the City's Electric and Telecommunication Utility. However, the Utility shall provide an annual plan to the Tree Commission outlining tree trimming activities and reporting on tree trimming activities that were carried out in the previous year. Tree trimming shall be done, at a minimum, by a Journeyman Tree Trimmer, as defined by the Utility, and will be done in conformance and to comply with OPUC regulations.
9. Removal of street trees within the public right-of-way subject to street tree removal permits in AMC 13.16.

D. Other Requirements.

1. Flood Plain, Hillside, and Wildfire. Tree removal in the Physical and Environmental Constraints Overlay (i.e., areas identified as Flood Plain Corridor Land, Hillside Lands, Wildfire Lands and Severe Constraint Lands) must also comply with the provisions of chapter 18.3.10 Physical and Environmental Constraints Overlay.
2. Water Resources. Tree removal in regulated riparian areas and wetlands must also comply with the provisions of chapter 18.3.11 Water Resources Protection Zones.

18.5.7.030 Application Submission Requirements

An application for a Tree Removal Permit shall be submitted by the owner of the subject property or authorized agent on a form prescribed by the City and accompanied by the required filing fee. The application shall include a plan or drawing meeting the requirements below.

A. General Submission Requirements. Information required for a Ministerial or Type I review, as applicable (see sections 18.5.1.040 and 18.5.1.050.), including but not limited to a written statement or letter explaining how the application satisfies each and all of the relevant criteria and standards.

B. Plan Submittal. An application for all Tree Removal Permits shall include the following.

1. Plans drawn to scale containing the number, size, species, and location of the trees proposed to be removed or topped on a site plan of the property.
2. The anticipated date of removal or topping.
3. A statement of the reason for removal or topping. If a prior planning approval requires that the subject tree(s) be preserved, a modification request, pursuant to chapter 18.5.6, may also be required.
4. Information concerning proposed landscaping or planting of new trees to replace the trees to be removed.
5. Evidence that the trees proposed for removal or topping have been clearly identified on the property for visual inspection.
6. A Tree Protection Plan that includes trees located on the subject site that are not proposed for removal, and any off-site trees where drip lines extend into proposed landscaped areas on the subject site. Such plans shall conform to the protection requirements under section 18.4.5.030.
7. The Staff Advisor may require an arborist's report to substantiate the criteria for a permit.



0 5 10 20 Feet

Property lines are for reference only, not scaleable



PLANNING ACTION: 2014-02106

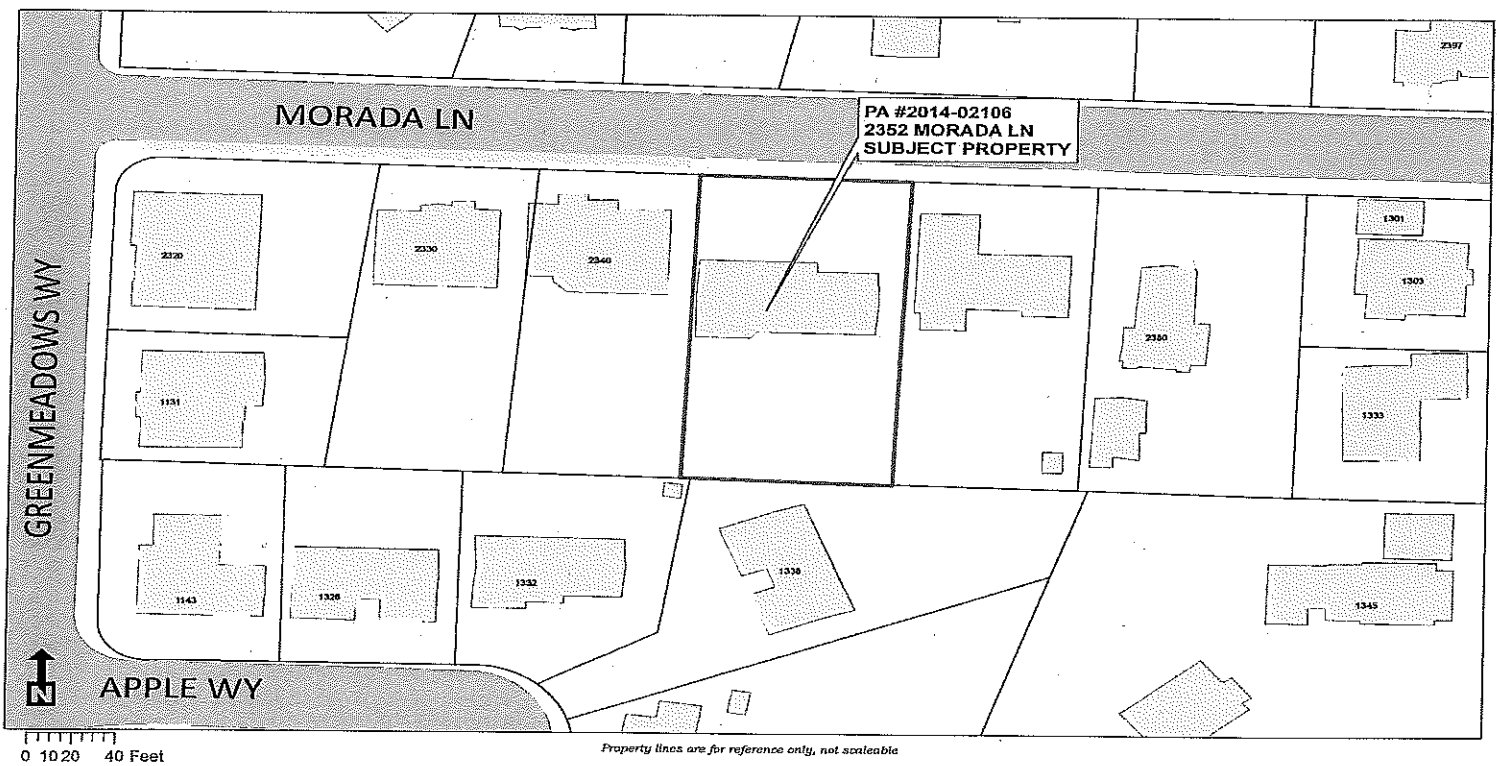
SUBJECT PROPERTY: 2352 Morada Lane

OWNER/APPLICANT: Ron & Lisa Albano

DESCRIPTION: The Planning Commission will review staff's approval of a request for Site Review and Conditional Use Permit approvals to construct a new approximately 1,000 square foot accessory residential unit behind the existing home at 2352 Morada Lane. The item is being considered by the Planning Commission to correct an error in the mailing of the notice of decision. **COMPREHENSIVE PLAN DESIGNATION:** Single Family Residential; **ZONING:** R-1-7.5; **ASSESSOR'S MAP :** 39 1E 14CD; **TAX LOT:** 4700

NOTE: The Ashland Tree Commission will also review this Planning Action on **Thursday, April 9, 2015 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room) located at 51 Winburn Way.

ASHLAND PLANNING COMMISSION MEETING: *April 14, 2015 at 7:00 PM, Ashland Civic Center*



Notice is hereby given that a PUBLIC HEARING on the following request with respect to the ASHLAND LAND USE ORDINANCE will be held before the ASHLAND PLANNING COMMISSION on meeting date shown above. The meeting will be at the ASHLAND CIVIC CENTER, 1175 East Main Street, Ashland, Oregon.

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, either in person or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Commission to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. A copy of the Staff Report will be available for inspection seven days prior to the hearing and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Department, Community Development and Engineering Services, 51 Winburn Way, Ashland, Oregon 97520.

During the Public Hearing, the Chair shall allow testimony from the applicant and those in attendance concerning this request. The Chair shall have the right to limit the length of testimony and require that comments be restricted to the applicable criteria. Unless there is a continuance, if a participant so requests before the conclusion of the hearing, the record shall remain open for at least seven days after the hearing.

In compliance with the American with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Administrator's office at 541-488-6002 (TTY phone number 1-800-735-2900). Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting. (28 CFR 35.102-.35.104 ADA Title I).

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division, 541-488-5305.

ACCESSORY RESIDENTIAL UNITS

18.20.030.H Approval Criteria

- H. Accessory residential units, subject to the Type I procedure and criteria, and the following additional criteria:
1. The proposal must conform with the overall maximum lot coverage and setback requirements of the underlying zone.
 2. The maximum number of dwelling units shall not exceed 2 per lot.
 3. The maximum gross habitable floor area (GHFA) of the accessory residential structure shall not exceed 50% of the GHFA of the primary residence on the lot, and shall not exceed 1000 sq. ft. GHFA.
 4. Additional parking shall be in conformance with the off-street Parking provisions for single-family dwellings of this Title.

SITE DESIGN AND USE STANDARDS

18.72.070 Criteria for Approval

The following criteria shall be used to approve or deny an application:

- A. All applicable City ordinances have been met or will be met by the proposed development.
- B. All requirements of the Site Review Chapter have been met or will be met.
- C. The development complies with the Site Design Standards adopted by the City Council for implementation of this Chapter.
- D. That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property. All improvements in the street right-of-way shall comply with the Street Standards in Chapter 18.88, Performance Standards Options.

CONDITIONAL USE PERMITS

18.104.050 Approval Criteria

A conditional use permit shall be granted if the approval authority finds that the proposed use conforms, or can be made to conform through the imposition of conditions, with the following approval criteria.

- A. That the use would be in conformance with all standards within the zoning district in which the use is proposed to be located, and in conformance with relevant Comprehensive plan policies that are not implemented by any City, State, or Federal law or program.
- B. That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property.
- C. That the conditional use will have no greater adverse material effect on the livability of the impact area when compared to the development of the subject lot with the target use of the zone. When evaluating the effect of the proposed use on the impact area, the following factors of livability of the impact area shall be considered in relation to the target use of the zone:
 1. Similarity in scale, bulk, and coverage.
 2. Generation of traffic and effects on surrounding streets. Increases in pedestrian, bicycle, and mass transit use are considered beneficial regardless of capacity of facilities.
 3. Architectural compatibility with the impact area.
 4. Air quality, including the generation of dust, odors, or other environmental pollutants.
 5. Generation of noise, light, and glare.
 6. The development of adjacent properties as envisioned in the Comprehensive Plan.
 7. Other factors found to be relevant by the Hearing Authority for review of the proposed use.

ASHLAND PLANNING DIVISION

FINDINGS & ORDERS

PLANNING ACTION: PA-2014-02106
SUBJECT PROPERTY: 2352 Morada Ln.
APPLICANT/OWNER: Ron & Lisa Albano
DESCRIPTION: A request for Site Review and Conditional Use Permit approvals to construct a new approximately 1,000 square foot accessory residential unit behind the existing home at 2352 Morada Lane.
COMPREHENSIVE PLAN DESIGNATION: Single Family Residential; **ZONING:** R-1-7.5;
ASSESSOR'S MAP: 39 1E 14CD; **TAX LOT:** 4700

SUBMITTAL DATE:	December 9, 2014
DEEMED COMPLETE DATE:	January 7, 2015
STAFF APPROVAL DATE:	February 23, 2015
APPEAL DEADLINE (4:30 P.M.):	March 9, 2015
FINAL DECISION DATE:	March 10, 2015
APPROVAL EXPIRATION DATE:	March 10, 2016

DECISION

The application involves a request for Site Review and Conditional Use Permit approvals to construct a new approximately 1,000 square foot accessory residential unit behind the existing home at 2352 Morada Lane.

The subject parcel is located on the south side of Morada Lane between Tolman Creek Road and Green Meadows Way. The property is rectangular, with an area of approximately 16,380 square feet and has an average slope of approximately four percent down to the north. The parcel and immediate surrounding uses are zoned R-1-7.5, Single-Family Residential. Morada Lane is identified as a Residential Neighborhood Street and is improved with curb, gutters and paving but lacks sidewalks along the south side along the subject property's frontage.

According to Jackson County tax records, the property currently has only a 2,076 square foot single-family home constructed in about 1990. The proposal is for a 1,000 square foot Accessory Residential Unit (ARU) located behind the home, in the rear yard. Ashland Municipal Code (AMC) 18.24.030 limits the size of ARUs to 50 percent of the Gross Habitable Floor Area (GHFA) of the primary residence, and no greater than 1,000 square feet, and the 1,000 square foot proposed unit complies. Following development there will be two dwelling units on-site. The applicants proposed to utilize the existing garage and circular driveway to provide the four required parking spaces to serve the existing home and proposed ARU.

Accessory Residential Unit (ARU) Approval Criteria

Within the city's single family zones, accessory residential units (ARU's) are subject to a Type I procedure which allows for administrative review, and must demonstrate:

1. The proposal must conform with the overall maximum lot coverage and setback requirements of the underlying zone.
2. The maximum number of dwelling units shall not exceed 2 per lot.
3. The maximum gross habitable floor area (GHFA) of the accessory residential structure shall not exceed 50 percent of the GHFA of the primary residence on the lot, and shall not exceed 1000 square feet of GHFA.
4. Additional parking shall be in conformance with the off-street parking provisions for single-family dwellings of this Title.

As proposed, the application will comply with the overall coverage and setback requirements of the zone, and with the ARU there will be only two units on the lot. The proposed GHFA is 1,000 square feet which is the maximum allowed for an ARU, but which meets the size limitations described above. And the additional two parking spaces can be accommodated on site and through available on-street parking credits along the property's street frontage.

Site Review Approval Criteria

The proposal involves the construction of a second residential unit on a residentially zoned parcel, and is accordingly required to demonstrate compliance with the criteria for Site Review approval. The first criterion for Site Review approval is that, "*All applicable City ordinances have been met or will be met by the proposed development.*" The application emphasizes that all city ordinances will be met by the proposal.

The second approval criterion for Site Review is that, "*All requirements of the Site Review Chapter have been met or will be met.*" The application notes that the proposed ARU will have its own trash and recycling bins which will be stored on the west side of the existing structure in a storage shed to keep the bins out of view of the neighbors.

The third approval criterion is that, "*The development complies with the Site Design Standards adopted by the City Council for implementation of this Chapter.*" The application notes that the proposed ARU will be behind the existing home and not highly visible from the street, however it will be accessible from the driveway via a paved pathway along the west side of the existing structure. The entrance to the ARU will be emphasized from the street with a gate/arbor which will be built on the west side of the existing structure, and which will provide the pedestrian entry to the pathway leading to the ARU. The application also notes that the existing two car garage and circular driveway will provide adequate parking for the four required automobile spaces for the existing home and proposed ARU without requiring the use of on-street parking credits. With the completion of the ARU, at least 65 percent of the property will remain in landscaping and eight percent of the property will be dedicated outdoor recreational space for tenants.

The applicant notes that they have contacted the Fire Marshall, and have agreed to mark the left side of the driveway "No Parking/Fire Lane" to ensure that required fire apparatus access is maintained. The applicant asserts that the driveway as it exists meets all fire apparatus access requirements and will be maintained as such, and that FireWise landscaping will be planted around the ARU.

The final approval criterion is, *“That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property. All improvements in the street right-of-way shall comply with the Street Standards in Chapter 18.88, Performance Standards Options.”* The application materials explain that the accessory unit will be connected to the services for the existing structure at 2352 Morada Lane, and go on to note that the property is currently served by an eight-inch sewer main, a ten-inch water main, and an eight inch storm drain line within Morada Lane. The applicant indicates that she has contacted the water, sewer and street departments and that they have indicated that they see no need for additional improvements to accommodate the proposed unit. The application goes on to explain that a separate electric service will be installed to serve the proposed unit, and that the Electric Department has been consulted in determining service requirements, meter placement and applicable connection fees. Morada Lane is paved, with curbs and gutters in place along the property’s full frontage, but lacks the sidewalks, park row planting strip and street trees required under City Street Standards. Conditions have been added to require that required street trees be planted on the property’s frontage and that the property owners sign in favor of full city standard street improvements of Morada Lane in the future.

Conditional Use Permit (CUP) Approval Criteria

Accessory units in single-family zones are subject to a higher degree of review due to their potential impacts to established neighborhoods, and accordingly require Conditional Use Permit (CUP) approval. The approval criteria for a CUP serve to insure that there is adequate capacity of public facilities available to serve the additional unit and to demonstrate that there will be no more adverse material impacts to the surrounding neighborhood than would result from development of the property according to its target, single family use.

The first criterion for CUP approval is, *“That the use would be in conformance with all standards within the zoning district in which the use is proposed to be located, and in conformance with relevant Comprehensive plan policies that are not implemented by any City, State, or Federal law or program.”* The applicant asserts that the proposal is in conformance with all applicable standards and notes that accessory residential units are (conditionally) allowed within the R-1-7.5 zoning district.

The second approval criterion is, *“That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property.”* As noted above, the application materials explain that the accessory unit will be connected to the existing structure at 2352 Morada Lane, and go on to note that the property is currently served by an eight-inch sewer main, a ten-inch water main, and an eight inch storm drain line within Morada Lane. The applicant indicates that she has contacted the water, sewer and street departments and that they have indicated that they see no need for additional improvements to accommodate the proposed unit. The application goes on to explain that a separate electric service will be installed to serve the proposed unit, and that the Electric Department has been consulted in determining service requirements, meter placement and applicable connection fees.

The final approval criterion is, "That the conditional use will have no greater adverse material effect on the livability of the impact area when compared to the development of the subject lot with the target use of the zone. When evaluating the effect of the proposed use on the impact area, the following factors of livability of the impact area shall be considered in relation to the target use of the zone: similarity in scale, bulk, and coverage; generation of traffic and effects on surrounding streets. Increases in pedestrian, bicycle, and mass transit use are considered beneficial regardless of capacity of facilities; architectural compatibility with the impact area; air quality, including the generation of dust, odors, or other environmental pollutants; generation of noise, light, and glare; the development of adjacent properties as envisioned in the Comprehensive Plan; and other factors found to be relevant by the Hearing Authority for review of the proposed use." In this case the target use is for the zone is residential development at 3.6 dwelling units an acre, and the impact area is the surrounding neighborhood. The property is an oversized parcel being 16,380 square feet in a district where the minimum lot size is 7,500 square feet. The application explains that the proposed accessory is relatively small and it will accordingly have minimal impact on the surrounding neighborhood. The application emphasizes that the proposed structure's footprint is limited to less than 1,000 square feet and will cover only approximately six percent of the lot and will generate little additional traffic. The applicants assert that the architectural design is compatible with surrounding structures, and should have no impact in terms of air quality and will generate only minimal noise, light or glare. In Staff's view, the proposed accessory residential unit will have no greater adverse affect on the livability of the neighborhood than the target use of the property. Therefore, with the added conditions below, staff finds that the proposed unit would be in conformance with the standards of the R-1-7.5 zone, the minimum requirements of the Conditional Use and Site Review chapter of the Ashland Municipal Code.

The Tree Commission reviewed the application at its regular meeting on January 8, 2015 and recommended approval of the request subject to the following conditions:

- 1) That the applicants provide a formal Tree Inventory and Tree Preservation/Protection Plan for the review and approval of the Staff Advisor prior to the issuance of a building permit. This plan shall include identification of all trees on adjacent properties but within 15 feet of the property line and measures necessary to protect them, including the Sequoia on the neighboring property.
- 2) That the placement of required street trees be planned to accommodate future curbside sidewalk installation.

No written comments were received with regard to the proposal, but subsequent to the required Notice of Complete Application, staff was contacted by phone by one neighbor who expressed concern that the height and placement of the proposed new building would impact the views from their property on Apple Way. In assessing the proposed building, staff noted that the proposed building is a single story design with a relatively flat roof, with a small sleeping loft area above the living space, with the placement largely dictated by the existing trees on the property and providing an adequate separation between the home and ARU. At its highest point,

the roof over the 250 square foot loft area will be approximately 16 to 19 feet above grade, while much of the roof is at only 12 ½ feet. This is well below the 35-foot height limits of the zoning district.

The Talent Irrigation District (TID) has also provided comments noting that the district's Bellview line runs within an easement very near the proposed structure and advising that the applicants be aware of the line and easement location, and identify them on all building permit plan submittals. TID has also noted that the property currently has 0.30 acres of water rights, and that water rights must be removed from any new impervious surfaces through the proper process with the Bureau of Reclamation and the Water Resources Department. Conditions have been included below to require the identification of easements on the plan submittals, and the applicants have been advised to contact TID to address necessary water right issues.

These conditions have been incorporated into the conditions which are attached below.

The criteria for Site Review approval are described in AMC Chapter 18.72.070 as follows:

- A. *All applicable City ordinances have been met or will be met by the proposed development.*
- B. *All requirements of the Site Review Chapter have been met or will be met.*
- C. *The development complies with the Site Design Standards adopted by the City Council for implementation of this Chapter.*
- D. *That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property. All improvements in the street right-of-way shall comply with the Street Standards in Chapter 18.88, Performance Standards Options.*

The criteria for Conditional Use Permit approval are described in AMC Chapter 18.104.050 as follows:

- A. *That the use would be in conformance with all standards within the zoning district in which the use is proposed to be located, and in conformance with relevant Comprehensive plan policies that are not implemented by any City, State, or Federal law or program.*
- B. *That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property.*
- C. *That the conditional use will have no greater adverse material effect on the livability of the impact area when compared to the development of the subject lot with the target use of the zone. When evaluating the effect of the proposed use on the impact area, the following factors of livability of the impact area shall be considered in relation to the target use of the zone:*
 - 1. *Similarity in scale, bulk, and coverage.*
 - 2. *Generation of traffic and effects on surrounding streets. Increases in pedestrian, bicycle, and mass transit use are considered beneficial regardless of capacity of facilities.*

3. Architectural compatibility with the impact area.
4. Air quality, including the generation of dust, odors, or other environmental pollutants.
5. Generation of noise, light, and glare.
6. The development of adjacent properties as envisioned in the Comprehensive Plan.
7. Other factors found to be relevant by the Hearing Authority for review of the proposed use.

The criteria for an Accessory Residential Unit are described in AMC Chapter 18.20.030.H, as follows:

- H. Accessory residential units, subject to the Type I procedure and criteria, and the following additional criteria:
1. The proposal must conform with the overall maximum lot coverage and setback requirements of the underlying zone.
 2. The maximum number of dwelling units shall not exceed 2 per lot.
 3. The maximum gross habitable floor area (GHFA) of the accessory residential structure shall not exceed 50% of the GHFA of the primary residence on the lot, and shall not exceed 1000 sq. ft. GHFA.
 4. Additional parking shall be in conformance with the off-street Parking provisions for single-family dwellings of this Title.

The application with the attached conditions complies with all applicable City ordinances.

Planning Action #2014-02106 is approved with the following conditions. Further, if any one or more of the following conditions are found to be invalid for any reason whatsoever, then Planning Action #2014-02106 is denied. The following are the conditions and they are attached to the approval:

- 1) That all proposals of the applicant shall be conditions of approval unless otherwise modified herein.
- 2) That the plans submitted for the building permit shall be in conformance with those approved as part of this application. If the plans submitted for the building permit are not in substantial conformance with those approved as part of this application, an application to modify this Site Review and Conditional Use Permit approval shall be submitted and approved prior to issuance of a building permit.
- 3) That any construction within the public right of way shall require a separate Public Works permit approval before any work in the right of way begins. Any work in the right-of-way must be inspected and approved by the Public Works Department.
- 4) That the property owner shall sign in favor of Local Improvement District (LID) for the future street improvements, including but not limited to paving, curb gutter, storm drainage, sidewalks and undergrounding of utilities for Morada Lane prior to signature of the final survey plat. Nothing in this condition is intended to prohibit an owner/developer, their successors or assigns from exercising their rights to freedom of speech and expression by orally objecting or participating in the LID hearing or to take advantage of any protection afforded any party by City ordinances and resolutions.

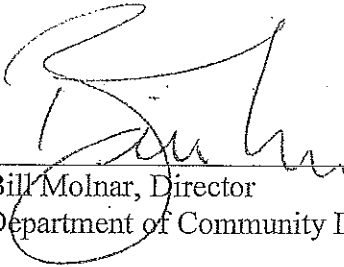
- 5) That the recommendations of the Tree Commission from their January 2015 meeting shall be conditions of approval, where consistent with applicable standards and with final approval by the Staff Advisor. These include:
- a. That the applicants provide a formal Tree Inventory and Tree Preservation and Protection Plan for the review and approval of the Staff Advisor prior to the issuance of a building permit. This plan shall include identification of all trees on adjacent properties but within 15 feet of the property line and measures necessary to protect them, including the Sequoia on the neighboring property. The amount of fill and grading within the drip lines shall be minimized. Cuts within the drip lines shall be noted on the tree protection plan, and shall be executed by handsaw and kept to a minimum. No fill shall be placed around the trunk/crown root. No construction shall occur within the tree protection zone including dumping or storage of materials such as building supplies, soil, waste, equipment, or parked vehicles. Six-foot chain link tree protection fencing shall be installed according to the approved plan, inspected and approved by the Staff Advisor prior to any site work, storage of materials or issuance of the building permit.
 - b. That the placement of required street trees be planned to accommodate future curbside sidewalk installation.
- 6) That all necessary building permits, including permits for the new electrical service to the accessory residential unit, and system development charges for water, sewer, storm water, parks, and transportation shall be paid prior to the issuance of a building permit. The building permit submittals shall include:
- a) Demonstration that Fire Code requirements including fire hydrant distance, fire flow and fire apparatus access are to be satisfactorily addressed in the building permit plan submittals for review and approval of the Building Official.
 - b) Exterior lighting details demonstrating that all exterior light fixtures are selected, placed, and appropriately shrouded to avoid direct illumination of adjacent properties.
 - c) Details of the proposed screening of trash and recycling facilities to comply with the Site Design and Use Standards. Screening shall be in place, inspected and approved by the Staff Advisor prior to approval of the Certificate of Occupancy.
 - d) The location and dimensions and proposed covering for the required bicycle parking spaced shall be shown on the building permit submittals. The bicycle parking shall comply with the standards from AMC 18.92.
 - e) Details of any proposed storm drainage improvements shall be submitted for review and approval to the City of Ashland Building, Planning and Engineering Departments.
 - f) Exterior building materials and paint colors shall be compatible with the surrounding area, and sample exterior building colors shall be provided with the building permit submittals for review and approval of the Staff Advisor. Very

bright or neon paint colors shall not be used in accordance with II-B-6a) of the Multi-Family Site Design and Use Standards.

- g) That a landscaping and irrigation plan to include irrigation details satisfying the requirements of the Site Design and Use Standards Water Conserving Landscaping Guidelines and Policies and showing parkrow improvements shall be provided. This plan shall include identification of proposed FireWise landscaping and shall identify the required eight percent of the site to be provided for the recreational use of tenants.
 - h) The building permit plan submittals shall be drawn to a standard scale and shall include the identification of: 1) required six-foot side yard and ten-foot per story rear yard setbacks; 2) the proposed no parking area to provide for fire apparatus access, and appropriate signage and pavement markings; 3) four required off-street parking spaces which meet the applicable standards; 4) two bicycle parking spaces for the proposed ARU which meet the applicable parking standards; 5) any existing or proposed easements including those necessary for Talent Irrigation District (*if applicable*) or for fire apparatus access.
- 5) That prior to the issuance of a certificate of occupancy:
- a) That a separate electric service and meter for the accessory residential unit shall be installed in accordance with Ashland Electric Department requirements prior to issuance of the certificate of occupancy.
 - b) That required automobile and bicycle parking shall be in place, inspected and approved by the Staff Advisor, including the proposed "No Parking – Fire Lane" signage within the driveway.
 - c) That the proposed pathway from the driveway to the entrance of the proposed ARU shall be installed according to the approved plan, inspected and approved.
 - d) That a separate address for the accessory residential unit shall be applied for approved by the City of Ashland Engineering Division. Addressing shall meet the requirements of the Ashland Fire Department and be visible from the Public Right-of-Way.
 - e) That the trash and recycling facilities for the home and accessory residential unit shall be screened in a manner consistent with the Site Design and Use Standards, inspected and approved by the Advisor. An opportunity to recycle site of equal or greater size than the solid waste receptacle shall be included in the trash enclosure in accordance with 18.72.115.B.
 - f) That street trees, one per 30 feet of street frontage, shall be installed on the Morada Lane frontage prior to the issuance of a certificate of occupancy for the ARU. All street trees shall be chosen from the adopted Street Tree List and shall be installed in accordance with the specifications noted in Section E of the Site

Design and Use Standards. The street trees shall be placed to accommodate future curbside sidewalk installation, and shall be irrigated.

- g) That all landscaping, hardscaping and irrigation shall be installed according to the approved plan and FireWise requirements, inspected and approved by the Staff Advisor.



Bill Molnar, Director
Department of Community Development

2/23/2015

Date

ASHLAND TREE COMMISSION
PLANNING APPLICATION REVIEW COMMENT SHEET
December 8, 2014

PLANNING ACTION: PA-2014-02106
SUBJECT PROPERTY: 2352 Morada Ln.
APPLICANT/OWNER: Ron & Lisa Albano
DESCRIPTION: A request for Site Review and Conditional Use Permit approvals to construct a new approximately 1,000 square foot accessory residential unit behind the existing home at 2352 Morada Lane.
COMPREHENSIVE PLAN DESIGNATION: Single Family Residential; **ZONING:** R-1-7.5;
ASSESSOR'S MAP : 39 1E 14CD; **TAX LOT:** 4700

The Tree Commission recommends approving the application with the specific recommendations below:

- 1) That the applicants provide a formal Tree Inventory and Tree Preservation/Protection Plan for the review and approval of the Staff Advisor prior to the issuance of a building permit. This plan shall include identification of all trees on adjacent properties but within 15 feet of the property line and measures necessary to protect them, including the Sequoia on the neighboring property.
- 2) That the placement of the required street tree be planned to accommodate future sidewalk installation.

Conditional Use Permit Narrative
2352 Morada Lane

Chapter 18.104.050

A. The use of the proposed ARU will be in conformance with all standards within the surrounding district's zone, which is Single Family Residential (R-1-7.5). Accessory residential units are allowed in R-1-7.5 Single Family Residential districts.

B. Sewer, water, and storm drainage facilities for the ARU will be connected to the existing structure at 2352 Morada Ln. The property is currently served by an 8-in sanitary sewer main. The City of Ashland Watershed Department was contacted and it was confirmed that no additional improvements will be required at this time. The property is currently served by an 10-in water main in Morada Ln. The City of Ashland Water Department has confirmed that no additional improvements will be required at this time. The property is currently served by an 8-in storm sewer main in Morada Ln. The City of Ashland Wastewater and Street Departments verified that no additional improvements will be required.

The ARU will be accessible from the driveway via a paved pathway along the west side of existing structure. This paved entrance will be accessible by foot and/or small vehicle. The entrance to the ARU will be visible from the street by the presence of a gate/arbore which will be built on the west side of the existing structure. The gate will be the entrance to the pedestrian paved pathway that will lead to the ARU. The address of the ARU will be clearly displayed on the gate and be visible from the street. The new unit will have its own address.

A separate electrical service meter will be installed for the ARU. Dave Tygerson of the City of Ashland Electric Department was contacted to verify service requirements, including meter placement, and applicable fees.

C. The conditional use will have no greater adverse effect on the livability of the impacted area in relation to the target use of the zone. Since the ARU will be small, its effects on the surrounding area will be minimal:

1. The ARU has a small footprint (less than 1,000 sq. ft.). It only covers 6% of the lot.
2. Designed to house only a single family, it will have little effect on the traffic in surrounding streets.
3. The architecture of the unit will be compatible with surrounding structures.
4. The dwelling unit should have no impact on air quality.
5. Generation of noise, light, and glare will be minimal.

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Chapter 18.20.030.H

City of Ashland

- I. **Impervious Surfaces:** With the proposed accessory unit, impervious surfaces will not exceed 35% if the property.
Percentage of lot covered by:
 - a) **Structures:** 13% (currently), 19% (with ARU)
 - b) **Parking Areas/Driveway:** 16%
 - c) **Landscaping:** 71% (currently), 65% (with ARU)
 - d) **Number of parking spaces:** 2,695 sq. ft. circular driveway will provide off street parking
 - e) **Total sq. footage of landscaped areas:** 11,569 sq.ft. (currently), 10,569 sq. ft. (with ARU)

Setbacks: The new structure will be set back from the back property line 10ft. and from the side property line 6 ft.

2. Only one dwelling unit will be built on this lot.
3. **ARU Sq. Footage:** The maximum gross habitable floor area will not exceed 50% of the GHFA of the primary residence and shall not exceed 1,000 sq. ft. The existing house is 2,076 sq. ft. The proposed new structure will not exceed 1,000 sq. ft. and will be one story. A loft will be above the master bedroom, not exceeding 7 ft. in headroom, thus not considered additional square footage.
4. **Parking:** Since the ARU will be larger than 500 sq. ft it will require two parking spaces. The existing structure has a two car garage and a 2,695 sq. ft. circular driveway. This large driveway will accommodate all parking for the second unit off the street. This is a benefit to the neighbors because the additional unit will not impact parking on the street.

Chapter 18.72

A. All applicable City ordinances will be met by the proposed development.

B. All requirements of the Site Review Chapter will be met.

C. The development complies with the Site Design Standards adopted by the City Council:

Site Design & Use Standards: The ARU will have its own trash and recycling bins which will be stored on the west side of the existing structure in a storage shed. This will keep trash and recycling bins out of view from neighbors.

Orientation and Pedestrian Access: The ARU will be accessible from the driveway via a paved pathway along the west side of existing structure. The entrance to the ARU will be visible from the street by the presence of a gate/arbor which will be built on the west side of the existing structure. The gate will be the entrance to the pedestrian paved pathway that will lead to the ARU. The address of the ARU will be clearly displayed on the gate.

Parking: Since the ARU will be larger than 500 sq. ft it will require two parking spaces. The existing structure has a two car garage and a 2,695 sq. ft. circular driveway. This large driveway will accommodate all parking for the second unit off the street. This is a benefit to the neighbors because the additional unit will not impact parking on the street.

Landscaping and Open Spaces: With the proposed ARU, impervious surfaces will not exceed 35% of the property. 65% of the property will be landscaped. At least 8% of the ARU lot will be allocated to create a private open outdoor space for tenants. Fire wise landscaping will be planted around the ARU.

Fire Department Issues: Fire marshal Margueritte Hickman was contacted and it was agreed that the west side of the circular driveway would be designated as a "No Parking-Fire Lane" for fire apparatus access. The west side of the driveway meets all requirements for fire apparatus access. It is more than 15 ft. clear with and will be constructed of an all weather driving surface. It will support 44,000 lbs.

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City Of Ashland

pounds, have a maximum slope of 15%, and a vertical clearance of 13'6".

TID: TID was contacted and water rights will not change. Water rights will not be sold. Easements will remain clear. The structure will not be built within the easement limits. The facilities will not be relocated or modified. The property does not have private easements. No urban storm water or point source flows will be built.

New Electric Service: A separate electrical service meter will be installed for the ARU. Dave Tygerson of the City of Ashland Electric Department was contacted to verify service requirements, including meter placement, and applicable fees. The new unit will have its own address.

System Development Charges (SDC's): The system development charges (Water, Sewer, Storm Water, Parks, and Transportation) will be paid at the time of issuance of the building permit.

Tree Preservation/Protection: A tree preservation plan will be designed in accordance with AMC 18.61 to ensure that trees are protected during all site disturbance. This plan will address all trees on the property over six-inches in diameter and all trees that are located on adjacent properties within 15 ft. of the property line. There is a Beech tree located about 15 ft. from the proposed accessory unit. Its protection is a priority, as it will be a key element in the design of the new unit. We have been in contact with an arborist through Southern Oregon Tree Care and he has come to the property to consult on a tree protection plan. This plan will ensure that the tree remains viable throughout construction. Protection measures will be taken during construction. A large sequoia tree on the south adjacent property (1338 Apple Way) is within 15 feet of the proposed construction, but is planned to be removed within the next year, due to its invasive roots and damage to the existing structure on that lot. Contact Rebecca Brunot for more information at (541) 821-4156.

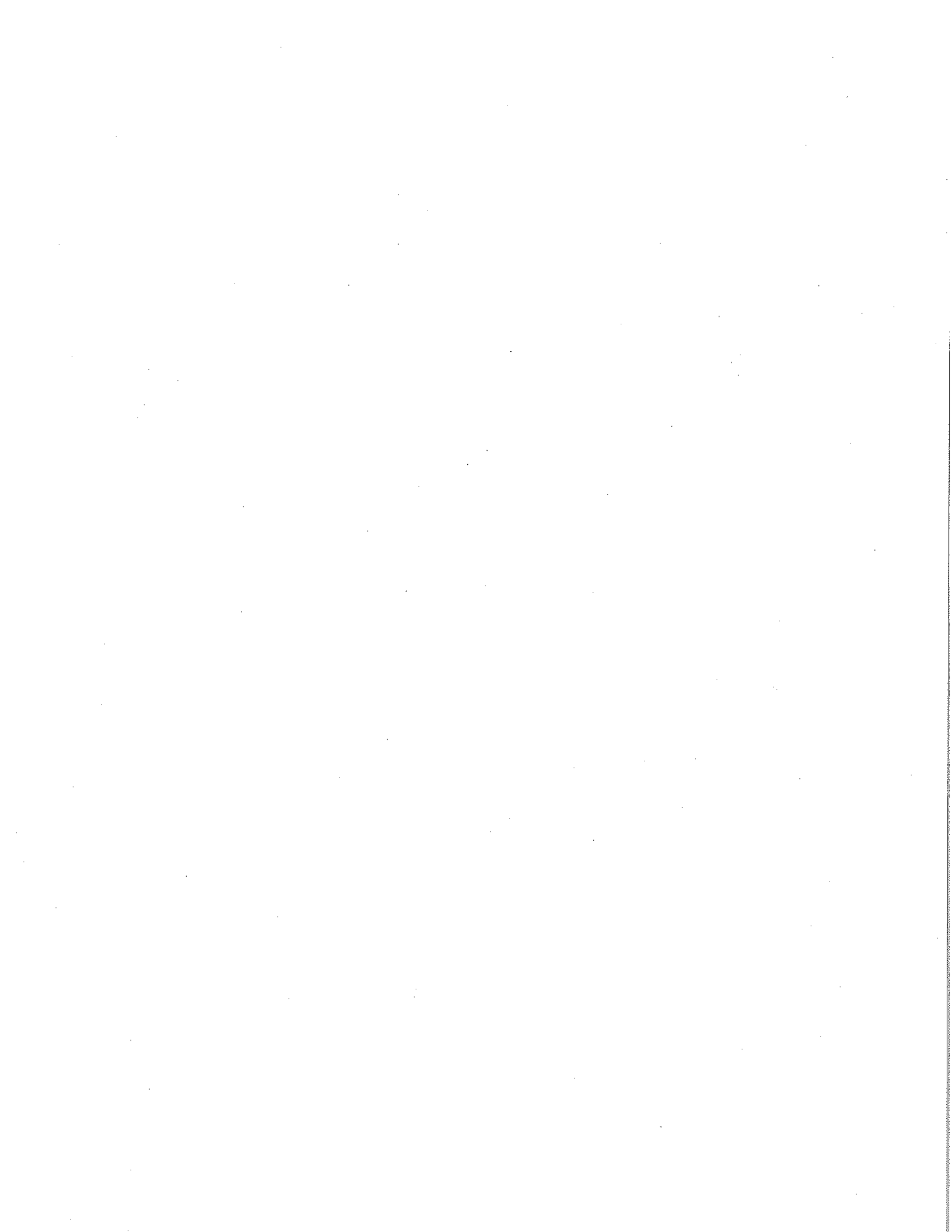
Street Trees: Street trees will be planted as required by the City of Ashland, one per 30 ft. of street frontage.

Neighborhood Outreach: Neighbors who are in a 200 foot radius will be notified of the proposed construction. They will be notified early on in the process in order to address any concerns.

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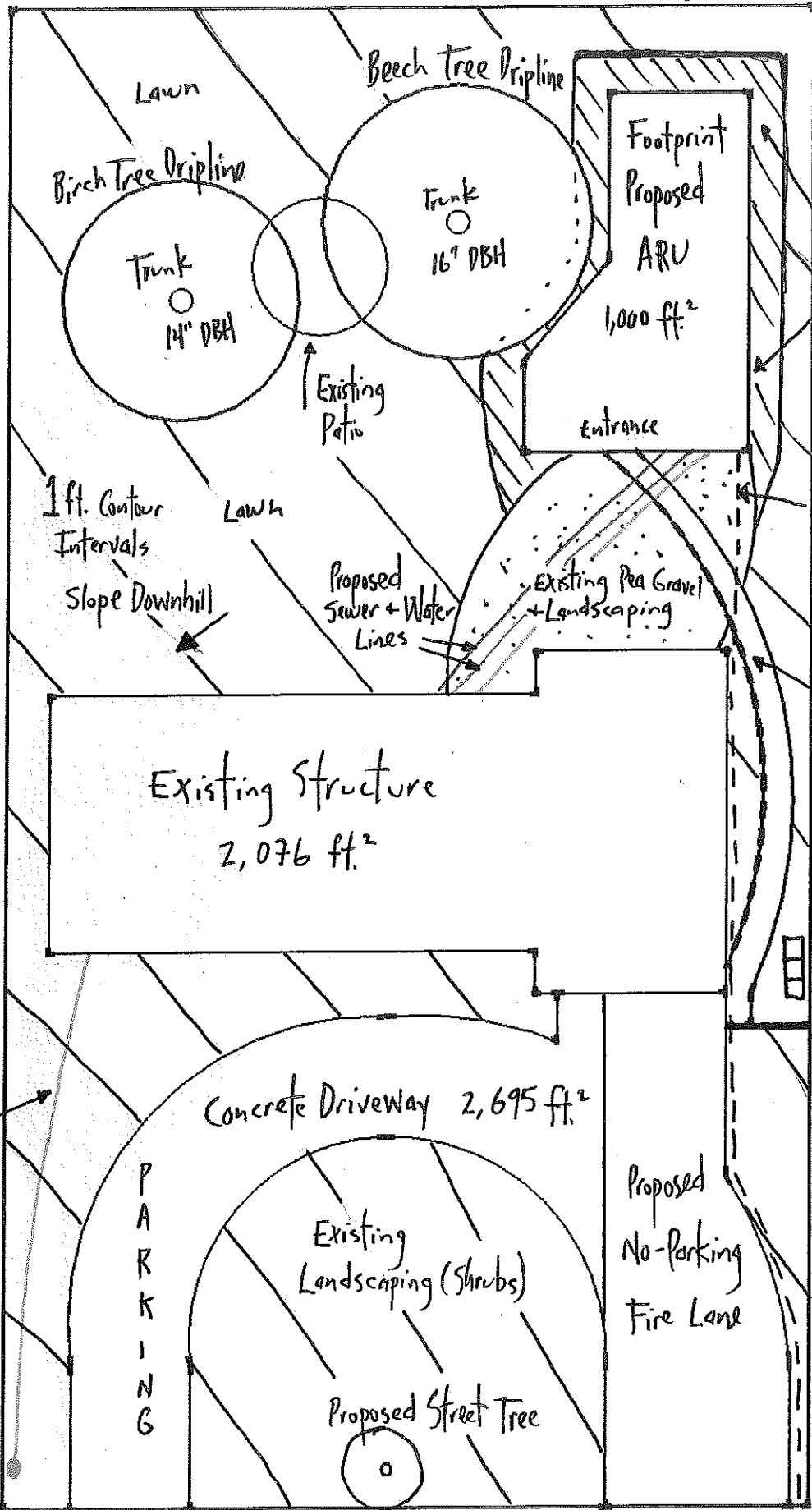
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CITY OF ASHLAND



95 ft.

175 ft.



- Proposed Landscape:
- Pea Gravel
 - Small shrubs & grass
 - Rock Formations

Proposed Rain Gutter Drain Lin

Proposed Concrete Walkway w/ Lighting

Recycle & Trash, Bikes

Proposed Arbor/Gate w/ Address



5 ft.

MORADA LANE

Proposed Electric Utility Line

1 ft. Contour Intervals
Slope Downhill

Proposed Sewer + Water Lines

Existing Pea Gravel + Landscaping

Existing Landscaping (Shrubs)

Proposed Street Tree

P
A
R
K
I
N
G

Proposed No-Parking Fire Lane

Footprint Proposed ARU 1,000 ff.²
entrance

Trunk 14" DBH

Trunk 16" DBH

Birch Tree Dripline

Beech tree Dripline

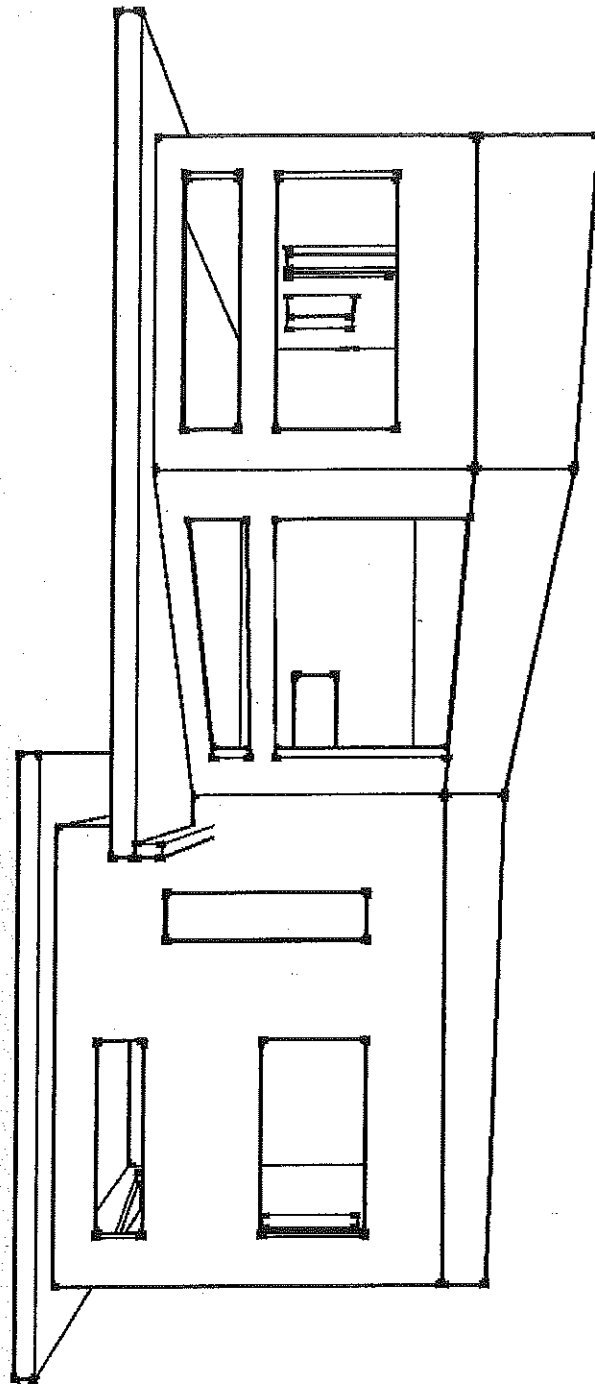
Lawn

Lawn

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EAST ELEVATION

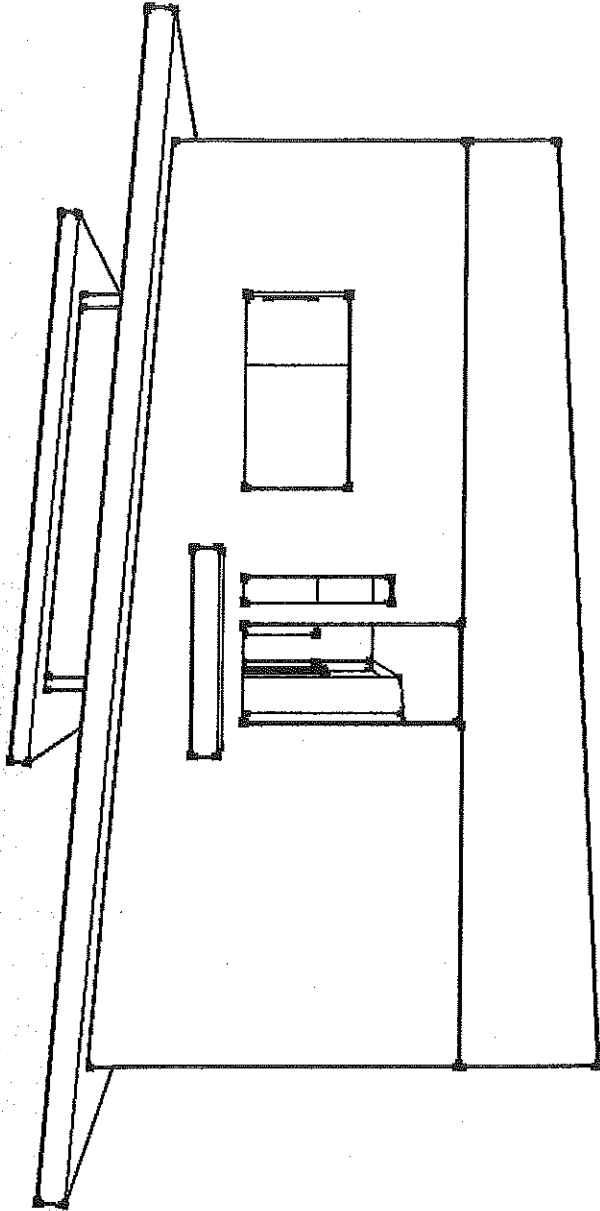
43 ff.

19 ff.

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City Of Ashland



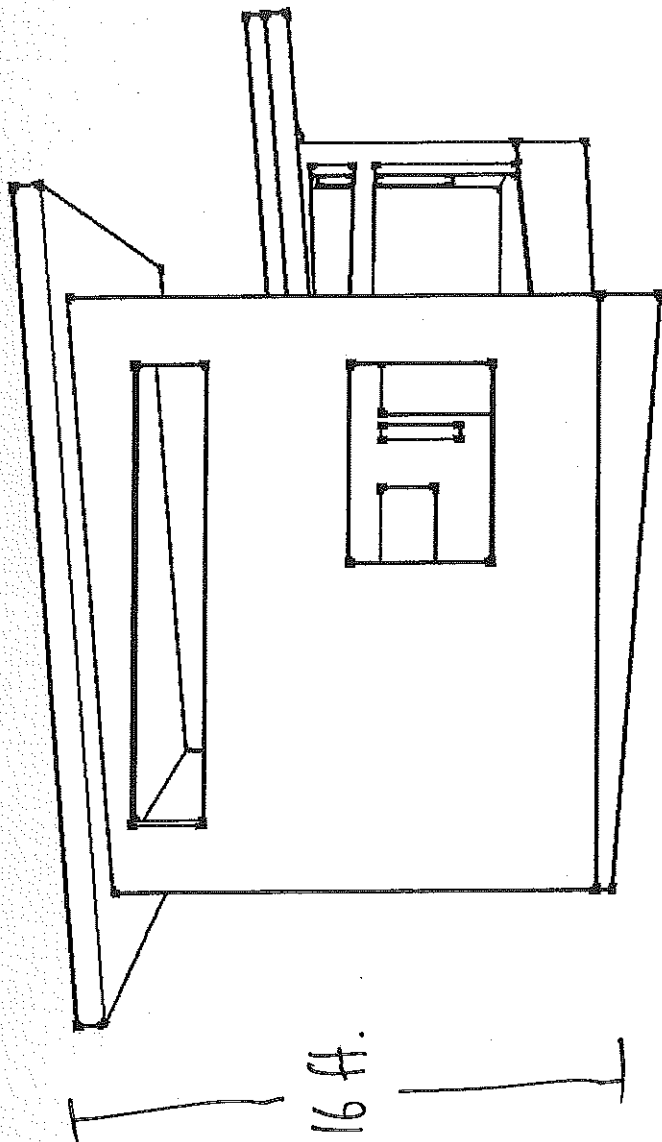
NORTH ELEVATION

28 ft.

16 ft.

16 ft.

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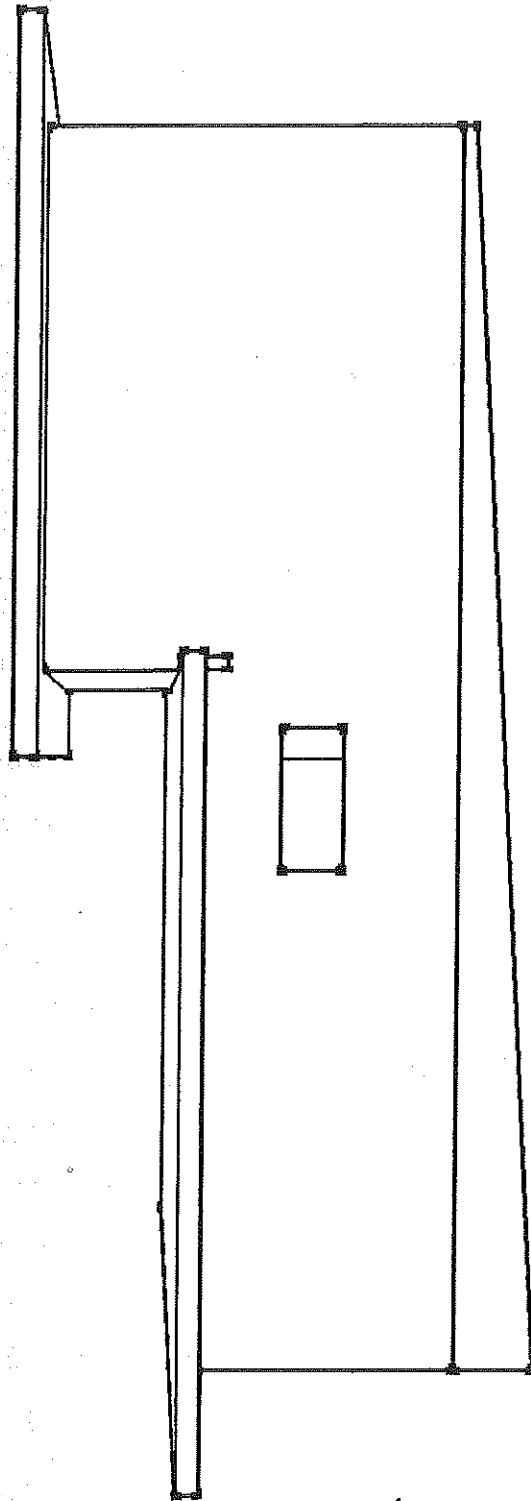
SOUTH ELEVATION

18 ft.

PROVIDED

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City Of Ashland



WEST ELEVATION



12.5 ft.



43 ft.

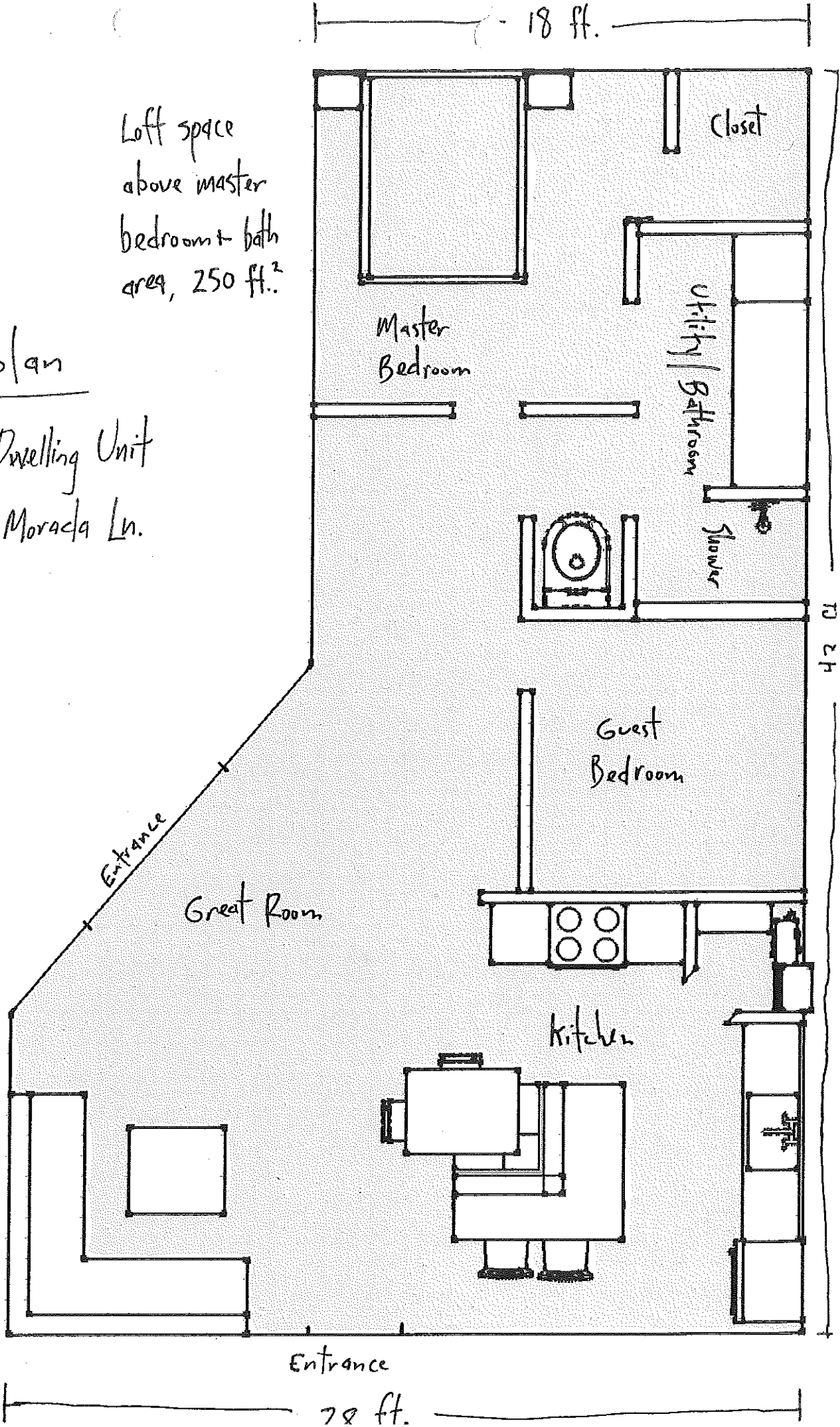
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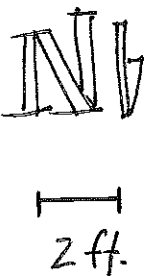
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Floorplan
Additional Dwelling Unit
2352 Moraga Ln.

Loft space
above master
bedroom + bath
area, 250 ft.²



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DEC 09 2014
City of Ashland



Memo

DATE: 4/09/2015

TO: Tree Commission

FROM: Brandon Goldman, Senior Planner

RE: Development Standards for Wildfire Lands Ordinance Amendments

SUMMARY

General discussion regarding modification of the adopted Wildfire Lands boundary map, and potential amendments to the Development Standards for Wildfire Lands (Chapter 18.3.10.100)

BACKGROUND

Ashland Fire and Rescue originally presented a proposal to the City Council on April 15th, 2014 requesting staff prepare a modification of the Physical and Environmental Constraints Map to expand the boundary of Ashland's designated Wildfire Lands to incorporate the entire City (*attached map*). Such a map amendment is a legislative Land Use action requiring the approval of an ordinance, with public hearings before the Planning Commission and City Council.

The Planning Commission initially discussed the expansion of the Wildfire Lands boundary at a Study Session on June 24, 2014 and a second discussion on February 24, 2015. At these meetings Ashland Fire and Rescue presented the commission with an evaluation of Wildfire Hazards Zones (WHZ) prepared in February 2014. This report (attached) assessed various factors to determine which lands meet the hazard zones criteria set forth in Chapter 629 of the Oregon Administrative Rules. After final compilation of the hazard values, all areas within the city were found to be at or above the threshold for a WHZ designation. It is the recommendation of Ashland Fire & Rescue that all areas within the city limits be declared a WHZ, amending the current Wildfire Lands boundary as set forth in 1992.

The expansion of the Wildfire Lands boundary would have development implications for all properties within the City Limits that due to their inclusion they would become regulated under AMC Chapter 18.3.10.100 [Development Standards for Wildfire Lands].

- A Fire Prevention and Control Plan would be required with applications to partition or subdivide properties.
- A Fuel Break would be required of all properties obtaining building permits for new construction, either new dwellings or additions to existing dwellings.



- New or re-roofed structures could not use wooden shingles or other combustible roofing material.

Currently such requirements apply only to properties within the existing Wildfire Lands area.

In review of the existing development standards for Wildfire Lands, Ashland Fire and Rescue has additionally identified a number of potential changes to the existing code to be considered as part of the legislative amendment process underway. Proposed code revisions would serve to both clarify the submittal requirements for a Fuel Prevention and Control Plan, as well as establish new requirements for the implementation of required fuel breaks. The additional amendments to the development standards being considered include the following:

- Clarifying the applicability of Primary and Secondary Fuel Breaks within an urban environment.
 - To illustrate the areas that would be regulated as primary or secondary fuel breaks under the existing standards the attached fuel break map illustrates both 30ft and 130ft buffers around each structure in the City.
- Establishing size thresholds for when an expansion of an existing building triggers implementation of the general fuel break requirements.
- Establishing a Fuel Break Prohibited Plant list to exclude highly flammable plants from being planted within 30 feet of a structure.
 - Attached is a list of plants identified as highly flammable (*flammable plant list attached*), which could provide a basis for the development of such a prohibited plant list.
- Establishing a minimum clear distance between evergreen tree canopies and structures.
- Establishing a canopy spacing standard for the minimum separation between existing and future evergreen tree canopies at maturity.
- Limiting the storage of flammable materials, or the use of combustible landscaping materials such as bark mulch in immediate proximity to a structure.
- Establishing a standard requiring a minimum vertical separation between understory vegetation and the lowest tree limbs within a tree's drip-line.
- Establishing requirements for the removal of dead or dying vegetation
- Modification of the Flag Drive and parking lot screening standards to stipulate site-obscuring hedges along driveways are fire-resistant.
- Establishing a ministerial process to allow modifications to an approved Fire Control and Prevention and Control Plan, and general fuel break requirements.

Given the nature of fuels reduction, and the potential impact on landscaping and the urban tree canopy, the Tree Commission's comments at this initial stage will be useful as Staff drafts a proposed ordinance for consideration by the City Council.

ATTACHMENTS

- Physical and Environmental Constraints Wildfire Lands Map
- Wildfire Hazard Zone Evaluation dated 2/17/2014
- Primary and Secondary Fuel Break buffer map
- Flammable Plant List



Flammable Plant List

LANDSCAPING CAN BE ATTRACTIVE & *FIREWISE*

When living in a Wildfire Hazard Zone, it is recommended that these plants NOT be used adjacent to any structures, fenced outbuildings or decks. This list is NOT inclusive as other plants with similar characteristic, such as: low moisture, dry limbs and needles and abundant oils. Plant smart, use fire-resistant vegetation to create defensible space around the 30ft -100ft perimeter of your structure.

HIGHLY FLAMMABLE PLANTS

PLANTS THAT WILL IGNITE QUICKLY AND BURN READILY

TREES

Acacia

Arborvitae

Cedar

Cypress

Douglas Fir

Fir

Juniper

Spruce

Yew

SHRUBS

Blackberry

Bitterbrush

Sagebrush

Rosemary

Scotch broom

Scrub Oak

Manzanita

Laurel sumac

Juniper

GRASSES AND GROUND COVER

Dry annual grasses

Pampas grass

Large bark mulch





Remember, there are NO fire proof plants, but some are more fire resistant than others. Using fire-resistant plants have the following characteristics:

- *Are less flammable and likely to ignite in a wildfire*
- *Burn less insensibly when ignited, and spread the fire slower*
- *Are lower growing or a small species*
- *Have stems or leaves that are not resinous, oily or waxy*
- *Have a high moisture content; succulent plants*
- *Easy to maintain and prune*
- *Have less accumulated debris and fewer dead branches*
- *Have an open, loose branching pattern*
- *Are drought resistant, requiring less irrigation*



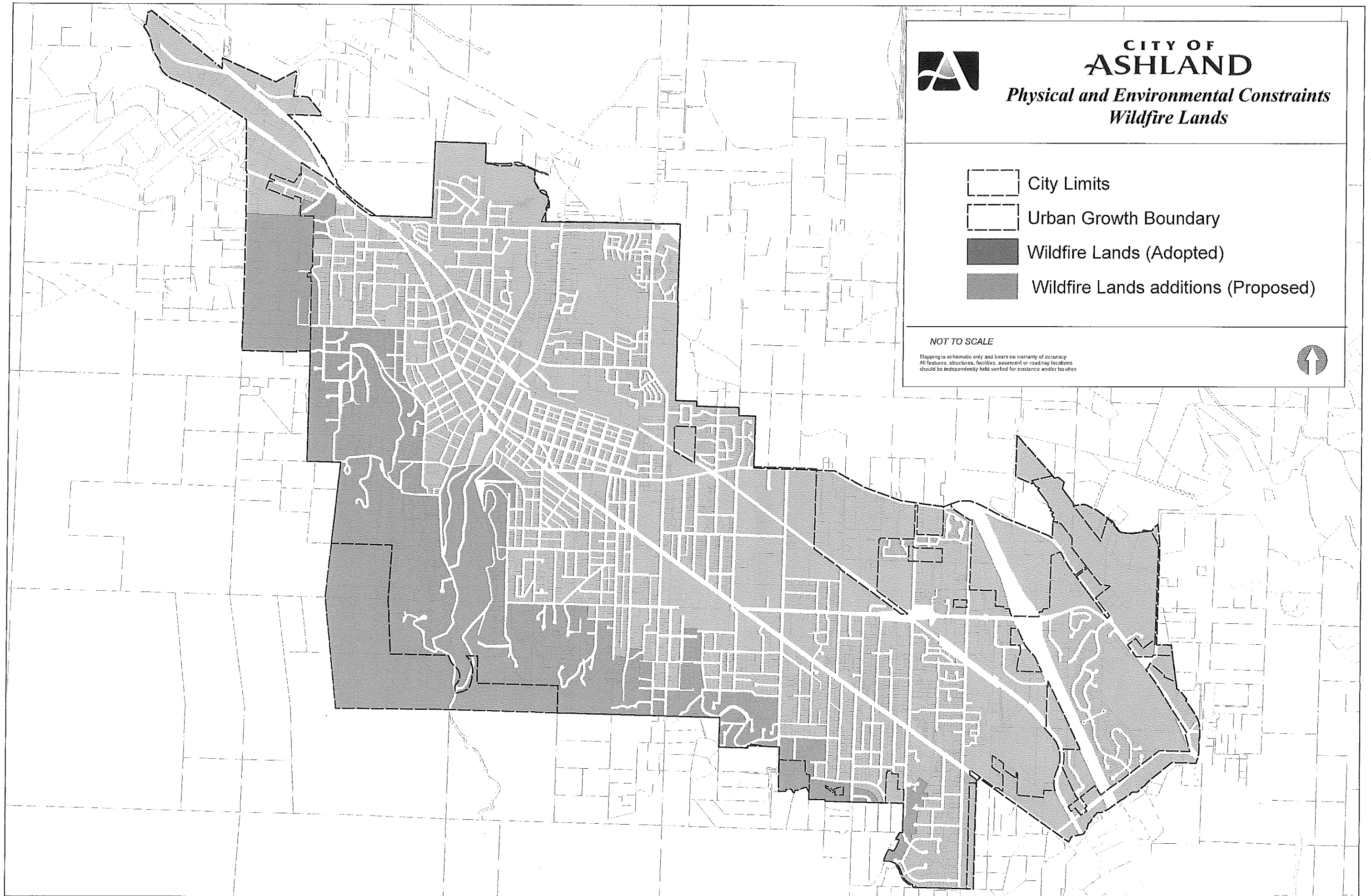
CITY OF ASHLAND

Physical and Environmental Constraints Wildfire Lands

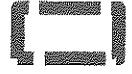




-  City Limits
-  Urban Growth Boundary
-  Wildfire Lands (Adopted)
-  Wildfire Lands additions (Proposed)

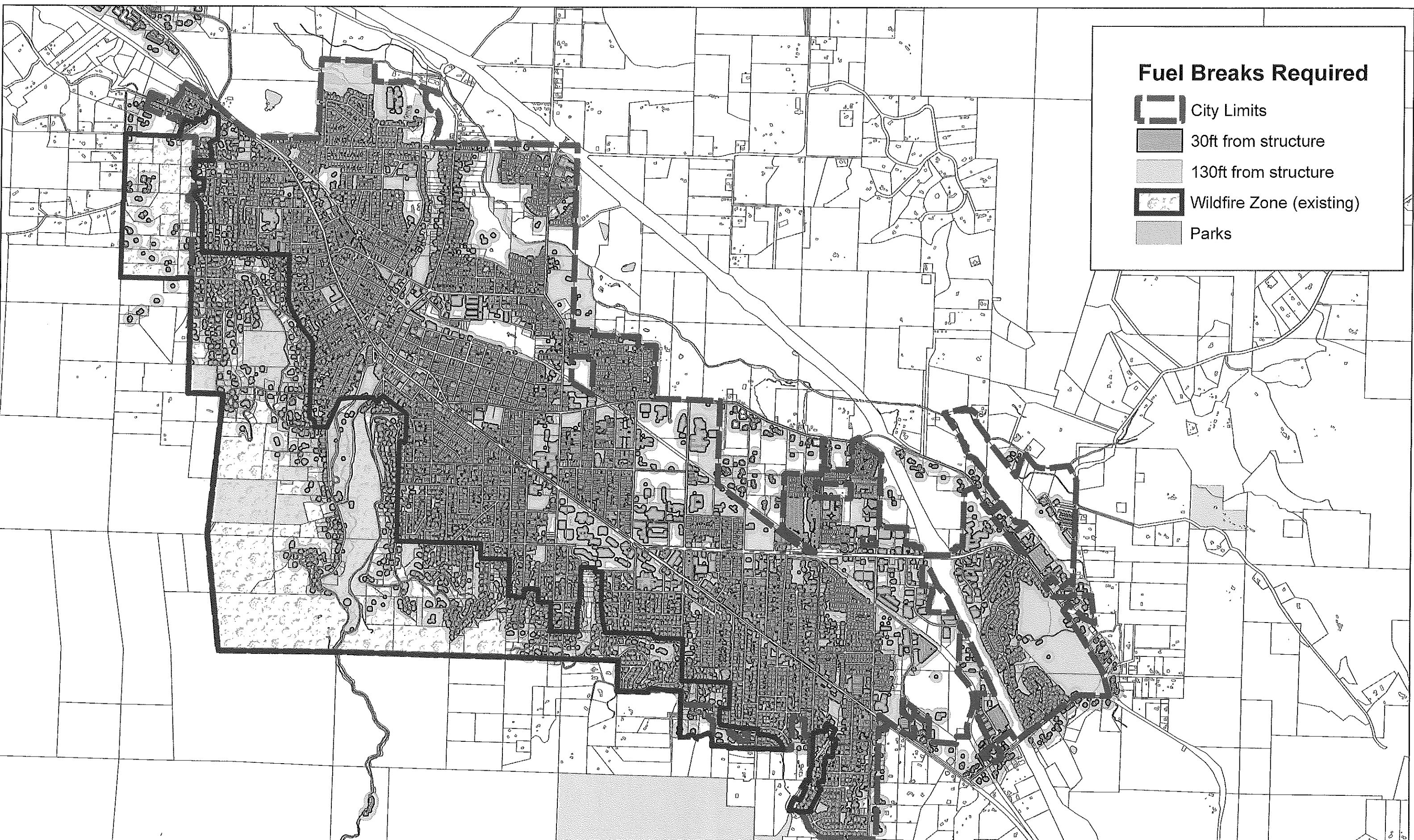
NOT TO SCALE

Mapping is schematic only and bears no warranty of accuracy.
All features, structures, facilities, easement or roadway locations
should be independently field verified for existence and/or location



Fuel Breaks Required

-  City Limits
-  30ft from structure
-  130ft from structure
-  Wildfire Zone (existing)
-  Parks



0 2,000 4,000 8,000 Feet



Property lines are for reference only, not scaleable

COVER STORY

SOUTHERN OREGON UNIVERSITY

Lots to celebrate at SOU Arbor Day rites

Campus to be named a Tree Campus USA, the nation's first Bee Campus USA and get a Tree of the Year award

By John Darling
For the Tidings

Southern Oregon University's big Arbor Day on April 8 will feature its anointing as a Tree Campus USA and the nation's first Bee Campus USA, its Tree of the Year award from the city, the planting of many trees donated by Plant Oregon and a presentation by famed mycologist-author Paul Stamets.

The work of Stamets is lighting the way of the often mysterious workings of mycelia — the underground filaments of fungi — and how they do the critical work of breaking down dead trees and regenerating forest soils, says event organizer Mike Oxendine, SOU's landscape supervisor.

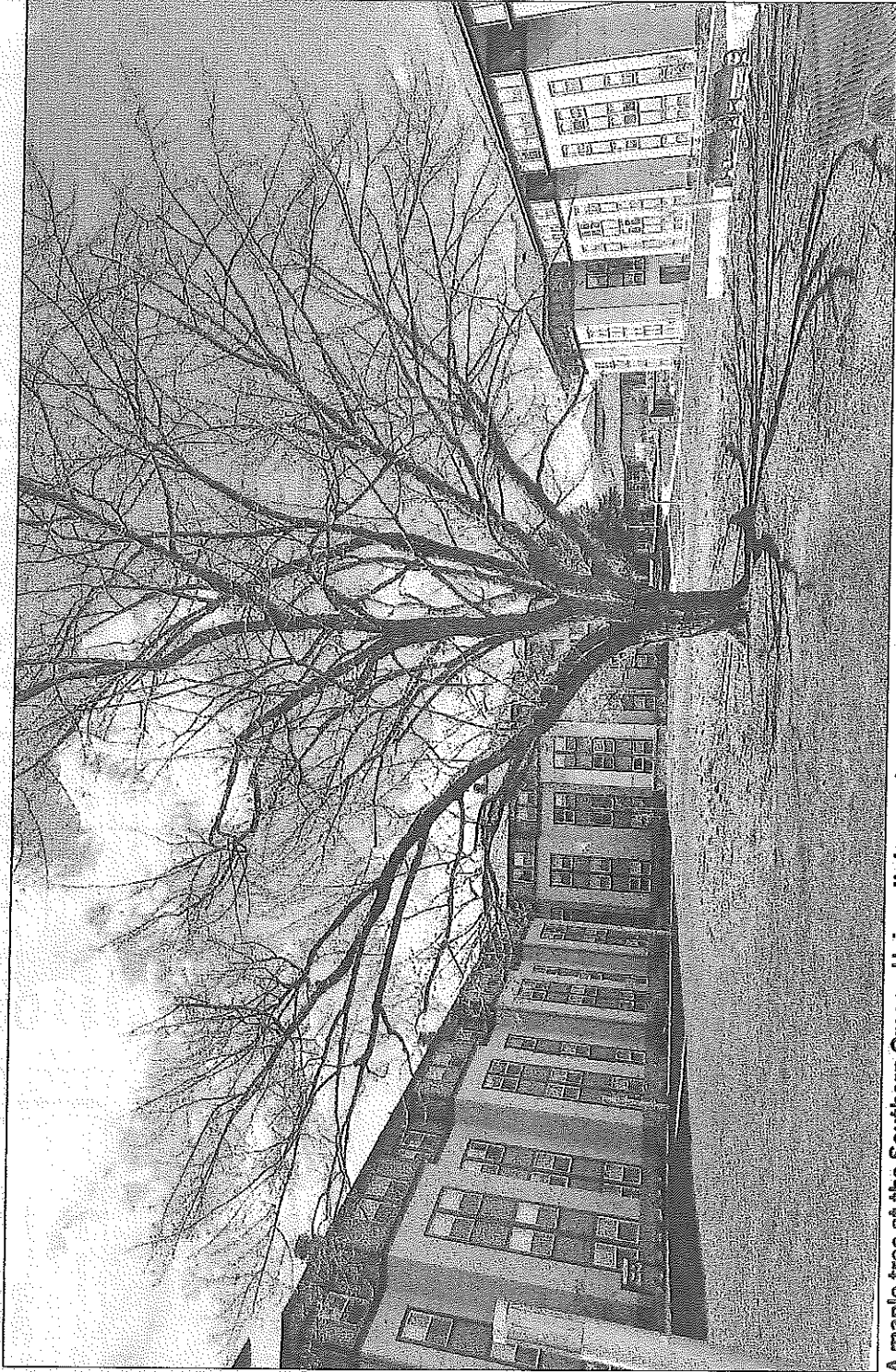
The author of six books on mushrooms and allied subjects, Stamets is much in demand worldwide as a speaker, so it was an unexpected honor to land him — and for gratis, says Oxendine.

"We're ecstatic about it," he says.

The 1,500-seat MacNeal Pavilion has been reserved for his talk at 9:30 a.m. A campus tree walk starts from MacNeal at 10:30, after the Stamets talk. The rest of the Arbor Day talks, classes and events be at Stevenson Union. Oregon State University urban forestry and arboriculture instructor Paul Ries will speak at 10:45, followed at 11:30 by local arborist August Schilling, who will talk on the health of local urban forests and strategies for dealing with local pests.

All events are free and open to the public and the entire campus will be thrown open for free parking. It's the biggest campus event all year, he says, with over 500 attending last year.

SOU President Roy Saigo at noon will accept the Tree Campus USA honor from the Arbor Day Foundation. The school is also being honored for Tree of the Year for its silver maple in the courtyard between



A maple tree at the Southern Oregon University's new dorms will receive the Tree of the Year award during Arbor Day events next week Wednesday, April 8. DAILY TIDINGS / JAMIE LUSCH

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the two new dorms, named Mt. Shasta and Mt. McLoughlin.

The event will also honor SOU's selection as the first Bee Campus USA, an honor recently achieved by the cities of Ashland and Talent, as they became among the first five to be designated a Bee City USA. The honor comes with a commitment to eliminate pesticides, plant pollinator-friendly plants and other steps.

"It's a pretty big deal," Oxendine said of the bee honor, "and it recognizes SOU's incredible efforts to be pollinator friendly." Pollinators include bees, butterflies, hummingbirds and

green lacewings.

Among the Arbor Day presenters are the Thousand Friends of Oregon, a land use research, advocacy and education organization; and Lomakatsi Restoration Project, a local nonprofit that operates watershed restoration projects in Oregon and California.

The main activity of the "super exciting" day, says Oxendine, will be the planting of 30 large conifer and deciduous trees, along with 1,000 smaller ones, valued at thousands of dollars and all donated by Plant Oregon. Students, staff and faculty of SOU and the general public are invited to take up shovels and help dig the holes. Plant Oregon will actually put the trees in.

Continuing education credit is offered for arborists and landscape contractors for attending all four hours of

talks. Environmental science professors are sending students and classes from area schools and flock to the events.

Stamets is noted for his research into the once-puzzling bee Colony Collapse Disorder and is noted for his production of mushroom-based supplements with anti-microbial products.

"Mycelia are the building blocks of life and break down everything, so it can be brought back to life," says Oxendine. "Stamets showed how it could break down oil, even nuclear waste, back to its organic structure, building soil and getting rid of waste, providing everything for new life."

The Tree Campus USA award requires schools to have a Tree Advisory Committee, a Campus Tree Care Plan, a budget, an Arbor Day and service learning.

Saigo, in a statement, said,

"We are very proud to be the first certified Bee Campus USA in the nation. After careful review, our campus leadership agreed that fulfilling the commitments of the program aligned perfectly with and expanded on initiatives to sustain pollinators that were already underway. This program will help us, our students, and our community to be better environmental stewards."

Oxendine, in a statement, said, "We are committed to developing a Campus Pollinator Habitat Plan that will include a native plant list and suppliers of those plants, along with a least toxic Integrated Pest Management Plan to be shared on the web as a tool for the community at large."

—John Darling is an Ashland freelance writer. Reach him at jdarding@jeffnet.org.