

# CITY OF ASHLAND

## HISTORIC COMMISSION MEETING

### AGENDA

September 3, 2014 at 6:00 P.M.

- I. **REGULAR MEETING - CALL TO ORDER:** 6:00 p.m. – SISKIYOU ROOM in the Community Development/Engineering Services Building, located at 51 Winburn Way.
- II. **APPROVAL OF MINUTES:** Historic Commission regular meeting of August 6, 2014.
- III. **PUBLIC FORUM:** Business from the audience not included on the agenda. (Total time allowed for Public Forum is 15 minutes. Speakers are limited to 5 minutes or less, depending on the number of individuals wishing to speak.)
- IV. **COUNCIL LIAISON REPORT:** Mike Morris

#### **PLANNING ACTION REVIEW:**

**PLANNING ACTION:** PA-2014-01226  
**SUBJECT PROPERTY:** 345 Lithia Way  
**APPLICANT:** Double R Products  
**OWNER:** Hays Oil  
**DESCRIPTION:** A request for a Site Review approval to convert the Lithia Way Texaco located at 345 Lithia Way into a retail and restaurant establishment. **COMPREHENSIVE PLAN**  
**DESIGNATION:** Commercial; **ZONING:** C-1; **ASSESSOR'S MAP:** 39 1E 09BD; **TAX LOTS:** 1801

**PLANNING ACTION:** PA-2014-01388  
**SUBJECT PROPERTY:** 107 Fork Street  
**APPLICANT:** Elizabeth Schaefer  
**DESCRIPTION:** A request for Conditional Use Permit approval to expand an existing non-conforming structure located at 107 Fork Street. The proposed addition is extending the existing residence on the north side of the structure by ten feet. **COMPREHENSIVE PLAN**  
**DESIGNATION:** Single Family Residential; **ZONING:** R-1-7.5; **ASSESSOR'S MAP:** 39 1E 09BC; **TAX LOTS:** 4400

#### V. **OLD BUSINESS:**

#### VI. **NEW ITEMS:**

- A. Review Board Schedule
- B. Project Assignments for Planning Actions – Review update
- C. CLG Training
- D. 2014 Heritage Barn Workshop
- E. Review board attendance

#### VII. **DISCUSSION ITEMS:**

- A. Lithia Way & First Street, pre-application submittal.
  - Please see downtown Ashland design standard to assist formulating comments.

#### VIII. **COMMISSION ITEMS NOT ON AGENDA:**

#### IX. **ADJOURNMENT:**

## PROJECT ASSIGNMENTS FOR PLANNING ACTIONS

PA-2014-00725	121 Manzanita-Under construction	Whitford
PA-2014-00725	469 Allison-Under construction	Swink
PA-2014-00710/711	143/135 Nutley	Swink and Whitford
PA-2014-01283	172 Skidmore	Shostrom
BD-2013-00256	175 <i>Lithia Way</i> – <i>Under construction</i>	Giordano
BD-2013-00718	5 B Street – Under construction/ almost done	Not assigned
PA-2014-00251	30 S. First St. – No new permits issued	Whitford
PA-2014-00491	566 Fairview St. – Under construction/almost done	Shostrom
BD-2013-00813	374 Hargadine – Under construction/almost done	Swink
PA-2013-01388	14 Calle Guanajuato(Sandlers) Restaurant-Under construction/almost done	Renwick
PA-2013-01421	270 N. First St.(Nisha Jackson)- Building permit's issued	Renwick
PA-2013-01829	60 Alida St. (Lieberman) - Complete	Shostrom
PA-2013-01828	310 Oak St. (Thompson) – No new permits issued	Shostrom

## ASHLAND HISTORIC COMMISSION

### Meeting Minutes

August 6, 2014

#### Community Development/Engineering Services Building – 51 Winburn Way – Siskiyou Room

- I. **Regular meeting, call to order: 6:05p.m.** – SISKIYOU ROOM in the Community Development/Engineering Services Building, located at 51 Winburn Way  
**Historic Commissioners Present:** Mr. Skibby, Ms. Renwick, Mr. Whitford, Mr. Swink, Mr. Shostrom, Mr. Giordano  
**Commission Members Absent:** Ms. KenCairn(E), Ms. Law (U)  
**Council Liaison:** Mike Morris, absent  
**Staff Present:** Staff Liaison: Amy Gunter, Clerk: Regan Trapp
- II. **APPROVAL OF MINUTES:** Historic Commission regular meeting of July 2, 2014. Ms. Renwick approved the minutes from July 2, 2014, and Mr. Swink seconded. Motion passed unanimously.
- III. **PUBLIC FORUM:** There was no one wishing to speak.
- IV. **COUNCIL LIAISON REPORT:** No council liaison was present to give the report.
- V. **PLANNING ACTION REVIEW:** Mr. Skibby read aloud the requirements for public hearings.

**PLANNING ACTION:** 2014-00710

**SUBJECT PROPERTY:** 143 Nutley Street

**APPLICANT/OWNER:** Robert Baldwin

**DESCRIPTION:** A request for a Conditional Use Permit (CUP) approval to exceed maximum permitted floor area (MPFA) in the Skidmore Academy Historic District for the addition of 1,695 square feet on to the existing 896 square foot residence on the property at 143 Nutley Street. The request is to exceed the allowed MPFA of 2,591 square feet by 13.29 percent or 306 square feet.

**COMPREHENSIVE PLAN DESIGNATION:** Single Family Residential; **ZONING:** R-1-7.5;

**ASSESSOR'S MAP:** 39 1E 08AD **TAX LOTS:** 2300.

Mr. Skibby opened the public hearing for staff comments. Ms. Gunter gave the staff report. The conditions of approval for this addition include the Historic Commission's recommendations. Staff is recommending a tree protection and preservation plan as well as arborist recommendations for the relocation of the driveway and its potential impacts on the two trees on the adjacent lot. They are to continue the sidewalk at 5 feet, curbside to the property line.

Mr. Skibby opened the public hearing.

Gary Caperna, Architect, 2908 Hillcrest Road, Medford, OR 97504.

Mr Caperna showed the commission the plot lines from the county surveyors and said there is a discrepancy but that the lot is 60 X 110. He discussed the plans in depth and stated that they have maintained most of the historic standards in the new addition. They are replacing all the windows in the house with double hung windows with no divided lighting. Mr. Whitford asked if the 2<sup>nd</sup> floor was finished space and Mr. Caperna said that there are 2 attic style bedrooms but they are not a very usable space. He stated that they would be used as storage rooms. He said that they are not redoing the upstairs space but instead, making it attic space. There was some discussion on how much of the attic ceiling is actually 7 feet and it was determined that a separate condition of approval could be to leave the attic space as is. Mr. Caperna said that significant disruption would occur if they messed with the footings and the structure of the building. That is why they decided to make the addition in the back.

Mr. Skibby closed the public hearing. Mr. Skibby stated that this project has evolved quite a bit from where it started and likes that they saved the original house and the façade. Mr. Swink liked the detached garage hidden away from the front of the house and said it keeps the focus on

the house. Mr. Swink also stated that it is a nice continuation of a historic home. Mr. Giordano said that he likes the sharing of the driveway. Ms. Renwick motioned to approve PA-2014-00710 and Mr. Swink seconded. Motion passed unanimously.

**PLANNING ACTION:** 2014-00711

**SUBJECT PROPERTY:** 135 Nutley Street

**APPLICANT/OWNER:** Robert Baldwin

**DESCRIPTION:** A request for a Conditional Use Permit (CUP) approval to exceed maximum permitted floor area (MPFA) in the Skidmore Academy Historic District for the addition of 1,220 square feet on to the existing 856 square foot residence on the property at 135 Nutley Street. The request is to exceed the allowed MPFA of 1,821 square feet by 14.5 percent or 264 square feet.

**COMPREHENSIVE PLAN DESIGNATION:** Single Family Residential; **ZONING:** R-1-7.5;

**ASSESSOR'S MAP:** 39 1E 08AD **TAX LOTS:** 2300.

Ms. Gunter gave a report on the planning action. Mr. Skibby opened the public hearing.

Gary Caperna, Architect, 2908 Hillcrest Road, Medford, OR 97504.

Mr. Caperna stated that once again they are dealing with a small compact lot. They are utilizing the single driveway. He said they have changed the plans quite a bit from the original, to more of a bungalow style. He stated that part of the mass issue is the sloped property and that it does exaggerate the building mass on the downhill side. The plates have been dropped down, on one side of the house, to 7ft to try to carve out the building mass and use the hill. Mr. Caperna said they are keeping a dormer style gable to tie it all in but that they did get rid of some of the gables. Mr. Skibby stated that this is a big improvement from the original plans. Mr. Giordano said that the porch height should be lowered because it's physically small and small in regards to the front elevation. There was much discussion on the bulk and scale of the windows. Mr. Skibby closed the public hearing.

Mr. Skibby closed the public hearing. The Commission recommended reducing the porch height by approximately one foot to be even with the freeze board. Lowering the bedroom window bay on the right to be even with the gutter line and use the straight cut concrete shingles. Mr. Giordano motioned to approve PA-2014-00711. Mr. Shostrom seconded, no one opposed. Motion passed unanimously.

**PLANNING ACTION:** 2014-01283

**SUBJECT PROPERTY:** 172 Skidmore

**APPLICANT/OWNER:** Val Bachmayer

**DESCRIPTION:** A request for a Conditional Use Permit to operate a five-unit (four guest units and one owner's unit) Travelers Accommodation, and a Site Review Permit request for 343 square feet of additional space added to the main structure for the property located at 172 Skidmore. A 301 square foot first floor addition to the owner's residence is proposed as a common dining room, while a 42 square foot second floor addition would expand an existing dormer on the south elevation.

**COMPREHENSIVE PLAN DESIGNATION:** Low-Density Multi-family; **ZONING:** R-2; **ASSESSOR'S MAP:** 39 1E 05DD; **TAX LOT:** 1000;

Ms. Gunter gave her staff report. Mr. Skibby opened the public hearing

Val Bachmeyer, Owner of 172 Skidmore, Ashland, OR 97520. Ms. Bachmeyer stated that she wants to expand the living and dining area and have a gathering room for up to 18 people. One side of the expansion will be set up for a common area. Ms. Bachmeyer presented the commission with pictures of the property and explained what her expansion entails. Mr. Skibby closed the public hearing.

Mr. Skibby said that it will blend in nicely with the neighborhood and really liked the historical marker in the yard. Mr. Swink says the windows on the corners look contemporary and Ms. Bachmeyer stated that she wants to use the existing windows due to finances. It was suggested by the Commission that Ms. Bachmeyer, use the existing windows and move them 2 feet from the corner. Mr. Whitford motioned to approve with the above condition and Mr. Swink seconded. No one opposed. Motion passed unanimously.

VI. **OLD BUSINESS:**

None

VII. **NEW ITEMS:**

- A. Ms. Gunter explained the election rules for public office to the commission.
- B. Ms. Gunter stated that Sept 9, 2014 is the CLG training but no time has been finalized as of yet. The training will be held at the Carnegie Library in Medford. Ms. Gunter said that she suggested that in the training they address demolitions and bring proof of ones that have been legally challenged. Ms. Gunter said that she would like to address how we can tighten up our code on demolition permits that are not required and should we add a level of review to these.

VIII. **DISCUSSION ITEMS:**

Mr. Shostrom reported that the city dug up bricks at Pioneer hall and it's trenched with asphalt. Ms. Gunter said that she will ask about this work being done and report back to the Commission.

IX. **COMMISSION ITEMS NOT ON AGENDA**

Ms. Gunter said that The Historic Commission did not receive funding from Travel Oregon for the grant she applied for.

Ms. Gunter told the commission about the progress of the Downtown Design Committee and said that now is an appropriate transition time if another commissioner was interested. It was suggested that Mr. Whitford take over as the representative for these meetings

The Commission discussed the Restore Oregon email that was received. It is the 2014 Heritage Barn Workshop and will be Saturday September 27, 2014 from 9:30am – 4pm at Hanley Farm in Central Point, OR.

A. **Review Board Schedule**

Aug 7th	Keith, Allison, Victoria
Aug 14th	Tom, Sam, Kerry
Aug 21st	Terry, Victoria, Dale
Aug 28th	Terry, Sam, Allison
Sept 4 <sup>th</sup>	Keith, Allison

B. **Project Assignments for Planning Actions:**

PA-2014-00725	121 Manzanita-Under construction	Whitford
PA-2014-00725	469 Allison-Under construction	Swink
PA-2014-00710/711	143/135 Nutley	Swink and Whitford
PA-2014-01283	172 Skidmore	Shostrom
BD-2013-00256	175 Lithia Way – Under construction	Giordano
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PA-2013-01828	310 Oak St. (Thompson) – No new permits issued	Shostrom

**ANNOUNCEMENTS & INFORMATIONAL ITEMS:**

Next meeting is scheduled for September 3, 2014, 6:00 pm.

*There being no other items to discuss, the meeting adjourned at 8:09pm*

Respectfully submitted by Regan Trapp





**NOTICE OF APPLICATION**

**PLANNING ACTION:** 2014-01226

**SUBJECT PROPERTY:** 345 Lithia

**OWNER:** Hays Oil

**APPLICANT:** Double R Products

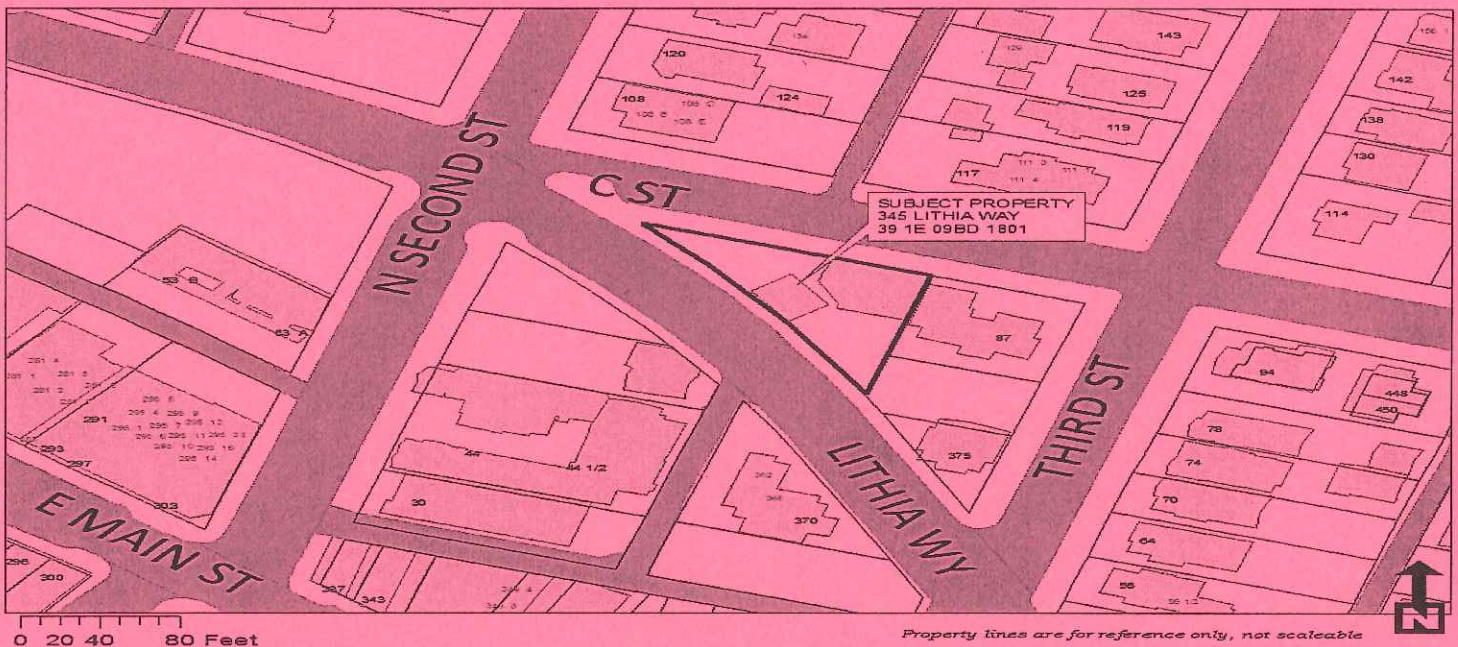
**DESCRIPTION:** A request for a Site Review approval to convert the Lithia Way Texaco located at 345 Lithia Way into a retail and restaurant establishment that sells growlers. **COMPREHENSIVE PLAN DESIGNATION:** Commercial; **ZONING:** C-1; **ASSESSOR'S MAP:** 39 1E 09BD; **TAX LOTS:** 1801.

**NOTE:** The Ashland Historic Commission will also review this Planning Action on **Wednesday, September 3, 2014 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

**NOTE:** The Ashland Tree Commission will also review this Planning Action on **Thursday, September 4, 2014 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room) located at 51 Winburn Way.

**NOTICE OF COMPLETE APPLICATION:** August 27, 2014

**DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS:** September 10, 2014



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.108.040)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

## **SITE DESIGN AND USE STANDARDS**

### 18.72.070 Criteria for Approval

The following criteria shall be used to approve or deny an application:

- A. All applicable City ordinances have been met or will be met by the proposed development.
- B. All requirements of the Site Review Chapter have been met or will be met.
- C. The development complies with the Site Design Standards adopted by the City Council for implementation of this Chapter.
- D. That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property. All improvements in the street right-of-way shall comply with the Street Standards in Chapter 18.88, Performance Standards Options.



Ashland Planning Commission

City of Ashland

**RE: Application to convert 345 Lithia Way Gas Station to a Restaurant/Retail Establishment**

This letter will address the issues brought up at the pre-application meeting on June 18<sup>th</sup> 2014. As well as explore proposed changes to the site and how it meets Ashland's Site Design and Use Standards.

**Basic Site Review Standards**

1. Orientation and Scale.
  - a. Building shall have their primary orientation towards the street rather than the parking area.
    - i. Proposed storefront is orientated towards the street and thus meets this standard.
  - b. Building entrances shall be located within 20' of the public right of way to which they are oriented.
    - i. This standard would not apply since we are using an existing building and not building a new one. However, we propose to relocate the storefront so it is a few feet closer to the street, compared to the existing storefront. (see elevation drawings)
2. Streetscape
  - a. One tree chosen from the street tree list shall be placed for each 30' of frontage for that portion of development fronting the street.
    - i. While the existing site did not have any street trees, we are proposing to plant 3 trees which brings the site closer to meeting this requirement.
3. Landscaping
  - a. The existing site does not have any landscaping. We are proposing to add approximately 250 sq ft of landscaping to accommodate the street trees mentioned above. An irrigation system will be installed with the new landscaping as well as water conservation procedures as required.
4. Parking.
  - a. The existing parking is located on the side of the building and is shaded by trees. This standard is met.
5. Designated Creek Protection
  - a. Not applicable as there is no creek on the property.
6. Noise and Glare
  - a. With the change of use, the site will produce less noise than the current use. Precautions will be taken to ensure glare is reduced by installing appropriate windows.
7. Expansion of Existing Sites and Building
  - a. While we are not expanding the site or building, we are bringing a larger % of the site into conformance.

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## Detail Site Review Standards

1. Orientation and Scale
  - a. Developments shall have a min FAR of .5.
    - i. Existing site does not meet a FAR of .5 due to parking requirements given the shape of the site. Our proposal adds 640 sqft of outdoor seating area which helps increase the FAR.
  - b. Buildings greater than 100' in length shall have jogs and offsets.
    - i. Not applicable, building is less than 100' in length.
  - c. Building shall incorporate lighting and changes in mass, surface or finish to give emphasis to entrances.
    - i. Entrances are in glass, which is a different surface/finish than the CMU on the rest of the building.
  - d. Infill or buildings, adjacent to public sidewalks, in existing parking lots is encouraged.
    - i. Not applicable as we are not changing the location of the building.
  - e. Buildings shall incorporate arcades, roofs, alcoves, porticoes, and awnings.
    - i. Awnings will be added to all entrances and windows.
2. Streetscape
  - a. Hardscape shall be utilized to designate people areas.
    - i. Outdoor seating area will be curbed and elevated. Floor finish will be pavers and grass to help differentiate it from the parking lot.
  - b. Building shall be setback no more than 5' from a public sidewalk.
    - i. The existing site does not meet this requirement; however our proposal of an outdoor seating area will allow the site to come into conformance with this standard.
3. Buffering and Screening
  - a. Landscape buffers and screening shall be incorporated between incompatible uses on an adjacent lot.
    - i. While there is no landscaping on the lot, there is sufficient landscaping on adjacent lots to meet this requirement. See site plan and satellite photo.
  - b. Parking lots shall be buffered from Main Street, cross streets and screen from residentially zoned land.
    - i. Existing landscaping on adjacent lots is sufficient to meet this requirement. We are adding 3 trees that will help provide additional screening from Main Street.
4. Building Materials
  - a. Buildings shall include changes in relief to meet 15% of the exterior wall area.
    - i. Our proposed addition of a cornice will bring the building in compliance to this standard.
  - b. Bright paint colors are prohibited. Buildings may not incorporate glass as a majority of the building skin.
    - i. The building will be painted in earth tone colors (see elevations) and will only have enough glass to meet the 20% display area requirement.

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### Parking lot landscaping and Screening Standards

1. Screening at required yards.
  - a. Not applicable as there is no front yard.
2. Screening abutting Property lines.
  - a. There is an existing screen on the other side of the property line. We believe there was a lot line adjustment after the parking lot and landscaping was put in, so while there is no landscaping on the property, there is sufficient screening in place just on the other side of the property line.
3. Landscape Standards
  - a. The existing site does not have any landscaping. We are proposing to add approximately 250 sq ft of landscaping to the site. While that is not enough to meet the 7% requirement, it does bring us closer to meeting the standard.
4. Residential Screening
  - a. Not applicable as there is residential dwellings adjacent to the parking lot.
5. Hedge Screening
  - a. Not applicable as no new shrubs will be planted.
6. Other screening
  - a. A new masonry trash enclosure is proposed to screen the refuse disposals from view. (see site plan)

### Street Tree Standards

1. Location for Street Trees
  - a. Proposed street trees are located behind the sidewalk. (see site plan)
2. Spacing Placement and Pruning of Street trees
  - a. The proposed street trees will be planted in a manner that satisfies the city. We will accept any recommendation or guidance from the city as to what trees should be planted and where to locate them.
3. Replacement of Street Trees
  - a. Not applicable as no trees will be removed.
4. Recommended Street Trees
  - a. See #2 above.

### Water Conserving Landscaping Guidelines and Policies

1. The recommendations provided will be taken into account in the design of the site landscaping. We would also gladly accept the city's input and would prefer it if the city could provide us with a landscape design for us to implement.

### Historic District Development Standards

1. Most of the standards in the historic district design standards do not apply as we are retaining the existing structure and not performing exterior renovations that will drastically change the shape or look of the existing structure. However as we would like to increase the curb appeal of the location, a cornice will be added to the front of the building. (See elevations) This is similar in design to the building across the street (342 N 2<sup>nd</sup> St) and will help increase the compatibility of the building with its neighbors.

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## Downtown Design Standards

1. -Most of the standards in the historic district design standards do not apply as we are retaining the existing structure and not performing exterior renovations that will drastically change the shape or look of the existing structure. However we are proposing several changes that would increase the existing structures conformance with the Downtown design standards including:
  - a. New storefront and glass that will be vertically oriented and increase the transparency of the building.
  - b. New awnings above every entrance and window to provide shelter for pedestrians.

## Additional issues from the Jun 18<sup>th</sup> pre-application meeting.

1. Walls within 30' of the street shall contain at least 20% of the wall are facing the street in display areas, windows and doorways.
  - a. Windows have been added to storefront wall to meet requirements. Garage doors will be replaced with windowed doors to increase transparency. See updated elevation drawings.
2. Awnings should extend a minimum of 4' from the face of the building.
  - a. Awnings have been updated to meet requirements. See updated elevation drawings.
3. Parking Requirements & Parking Management. (1 per 4 seats)
  - a. Parking for 4 cars is provided and the restaurant will have no more than 16 seats. The parking layout has also been modified to provide more back-up room.
4. Bike Parking
  - a. A bike parking spot will be located under the building awning on the west side of the building. See updated site plan.
5. Distinguish outdoor seating and vehicular Circulation.
  - a. Outdoor seating area will be curbed and elevated. Floor finish will be pavers and grass, and will look different than the asphalt on the drive lanes. Traffic direction arrows will be painted on the asphalt.
6. Tank Removal
  - a. The tank will be decommissioned in a manner consistent with state regulations. (Tank removal might not be feasible due to its close proximity to the building.)
7. Public Works and Utilities.
  - a. No changes will be made to the existing power, water and sewer. The existing water meter will be sufficient and the existing HVAC system will be re-used. A new walk in cooler will be added, however it will not draw enough power to require an upgrade to the existing power equipment. Existing storm drainage and catch basins will be re-used along with existing methods of drainage.

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8. Ashland Fire & Rescue

- a. 5" Address numbers will be installed above storefront entrance. The numbers will be made of white vinyl which contrasts against the clear window.
- b. The existing building did not have any sprinklers, and we do not anticipate the need for sprinklers. Ashland fire can advice on fire protection requirements once the floor plan is available.

Please consider our application to introduce a new small business to the Ashland Community while increasing the street appeal and business compatibility of one of the older, non-conforming structures of the city.

Please contact Butch or Jian at 541 476 1387 if you have any questions or concerns.

Thank You,

Jian Koid  
Double R Products  
541 476 1387  
jian@doublerproducts.com

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City of Ashland 5

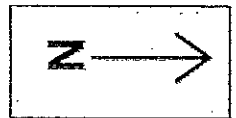
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City of Ashland

LITHIA WAY

C STREET



191.83' (lot line dimension)

115.17' (lot line dimension)

112' (lot line dimension)

CANOPY

BUILDING

MAP & TL: 391E09BD 1801  
OWNER: RANDOLPH HAYS  
EXISTING USE: GAS STATION / CAR WASH  
PROPOSED USE: FILLING STATION / RESTAURANT  
ZONE: HISTORIC DISTRICT  
EXISTING MATERIALS:  
CMU BUILDING WITH STEEL CANOPY (TO BE REMOVED)

EXISTING SITE PLAN

Scale: 1" = 30'-0"



901 NORTHWEST E  
GRANTS PASS, OR 97526  
Phone: 541-475-1647 Fax: 541-474-2221  
CDB #9022

NOT SCALE  
THESE ARE  
NOT TO BE  
CONSIDERED  
DRAWING

CLIENT:

PROJECT:  
SANDY GUYS  
GROWER  
SHELF  
ASBLAND

SITE  
PLAN

DWG NOVA

SHEET

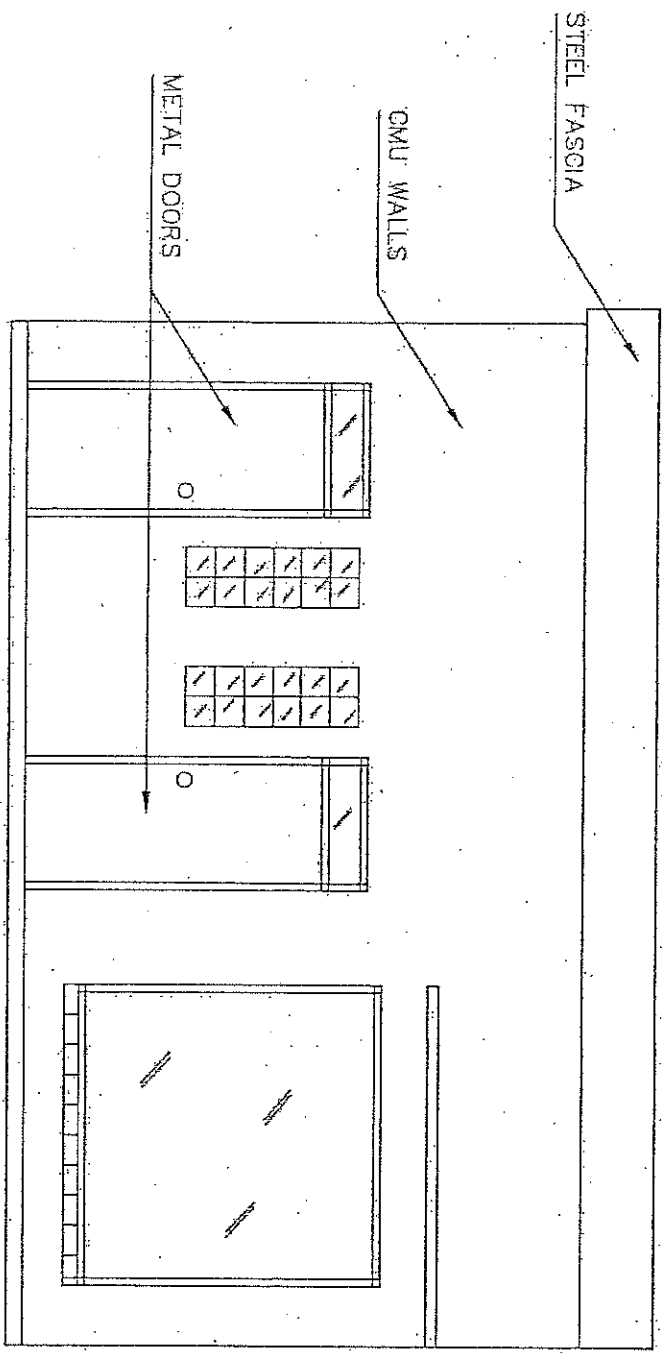
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DP 9

REVISION

# EXISTING SIDE ELEVATION

Scale: 1/4" = 1'-0"



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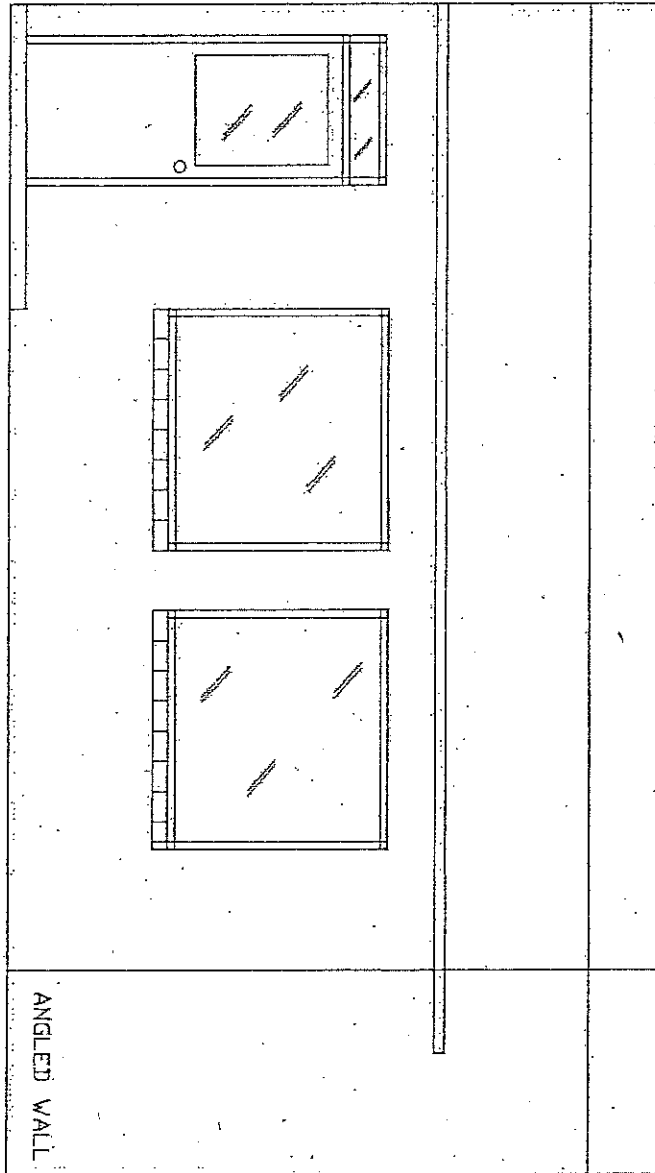
JUL 15 2014

City of Grants

PROJECT BOARD 115 S. MAIN ST. GRANTS, OR 97526 (503) 862-1111	501 NORTH-WEST E GRANTS PASS, OR 97526 Phone: 541-875-1287, Fax: 541-874-2226 CCS #14057		CLIENT:	PROJECT: <b>GRANTS BOARD</b> 345 LITTLE WAY ASTLAND, OR	EXISTING ELEVATIONS	DATE: 4/21/14 03/14	SHEET <b>A-2</b>	OF 9	REVISION:
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# EXISTING FRONT ELEVATION


Scale: 1/4" = 1'-0"



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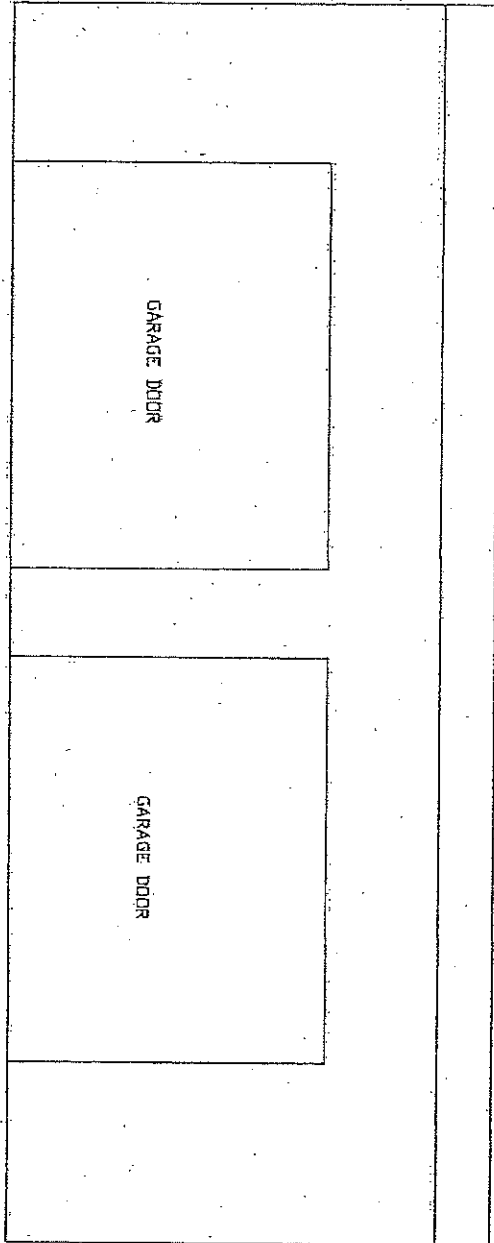
*City of Grants*

DRAWING NETWORK SHEET A-3 OF 8	DATE: 8/11/11 PROJECT: CROWLER GUYS 345 LITHA WAY ASHLAND, OR	CLIENT:		501 NORTHWEST E GRANTS PASS, OR 97226 Phone: 541-476-1282 Fax: 541-476-1283 CDB #4042	NEXT TO BE REMOVED AT THE OPTIONAL SIGNING
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# EXISTING CAR WASH ELEVATION

Scale:  $\frac{3}{8}" = 1'-0"$



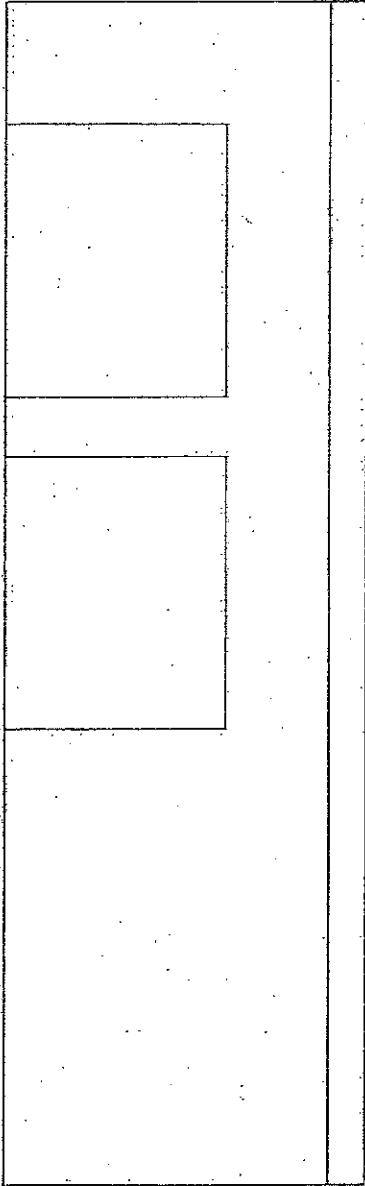
JUL 15 2014

City of Grants Pass

APPROVED CITY CLERK JUL 15 2014	 <p>801 NORTHWEST E GRANTS PASS, OR 97526 Phone: 541-476-1287 Fax: 541-476-2528 COB 21002</p>	CLIENT:  	PROJECT: GROWTH GUYS 345 LITIA WAY GRANTS PASS, OR	DRAWING: EXISTING ELEVATION	DATE: 2014 SHEET A-4 OF 4
---------------------------------------	---	-----------------	---	-----------------------------------	---------------------------------------

**EXISTING REAR ELEVATION**


Scale:  $\frac{1}{8}" = 1'-0"$

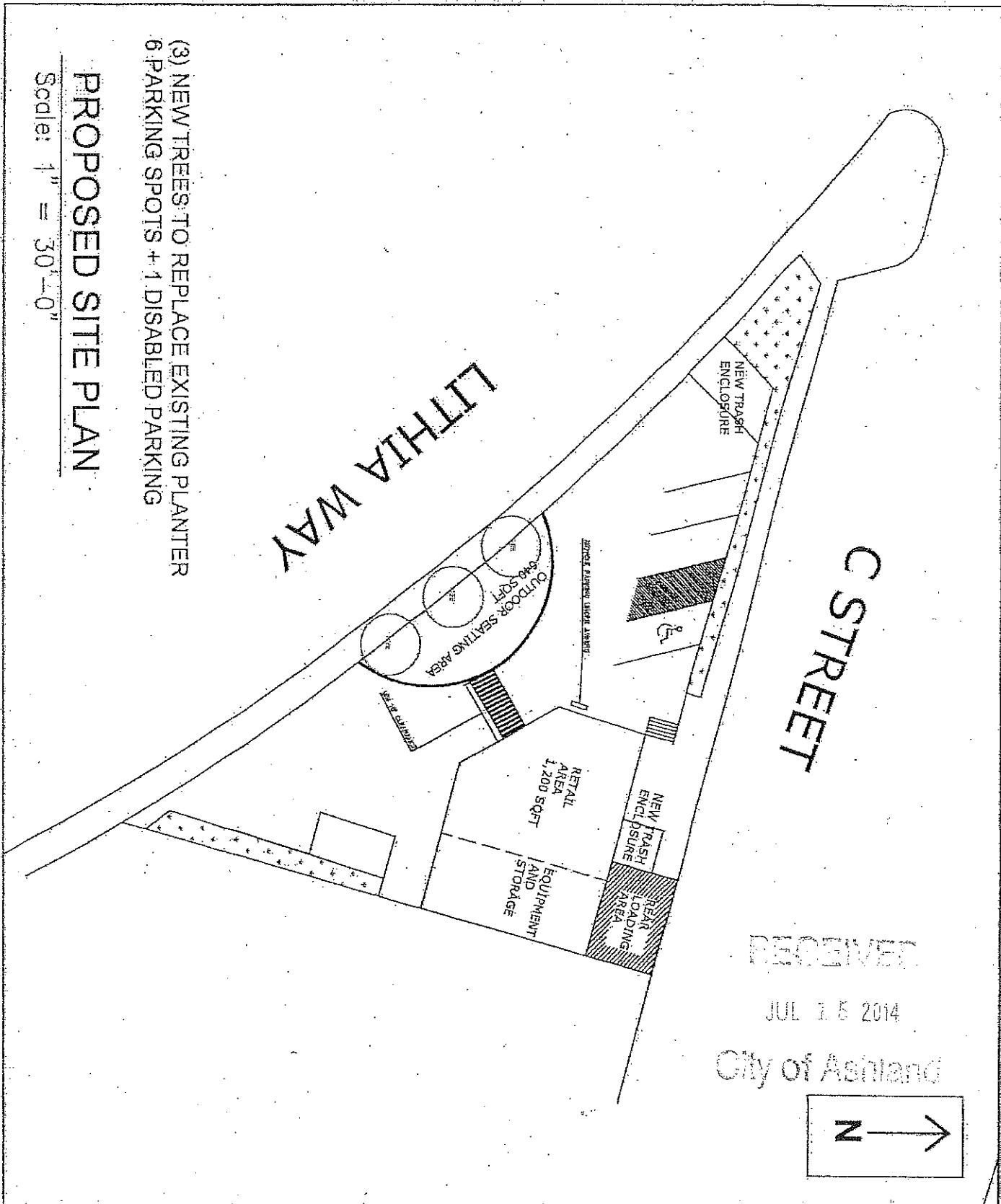


RECEIVED

JUL 15 2014

City of Ashland

DRAWING NUMBER A-5 SHEET OF 9	PROJECT: EXISTING REAR ELEVATION 945 LITHIA WAY ASHLAND, OR	CLIENT:	 <p>901 NORTHWEST E GRANT'S PASS, OR 97526 Phone: 541-476-1007 Fax: 541-474-2532 COR 25002</p>	SHEET SCALE THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE SIGNATURE OF THE ARCHITECT
--	--	---------	--	---

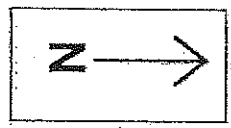


(3) NEW TREES TO REPLACE EXISTING PLANTER  
 6 PARKING SPOTS + 1 DISABLED PARKING

# PROPOSED SITE PLAN

Scale: 1" = 30'-0"

RECEIVED  
 JUL 15 2014  
 City of Ashland



<p>DATE: 07/15/14        DRAWN BY: [unintelligible]        CHECKED BY: [unintelligible]</p>	<p>PROJECT:  <b>CROWLER GUYS</b>        945 LITHIA WAY        ASHLAND, OR</p>	<p>CLIENT:</p>	<p>PROJECT NO.: [unintelligible]        SHEET  <b>A-6</b>        OF 4</p>
---	---	----------------	---



904 NORTHWEST E  
 GRANTS PASS, OR 97526  
 Phone: 541-678-1337 Fax: 541-644-2268  
 EOE M/F/D/V

NOT A SCALE  
 1/8" = 1'-0"  
 1/4" = 3'-0"  
 1/2" = 6'-0"  
 1" = 12'-0"

NEW DECORATIVE CORNICE

NEW STEEL FRAME FASCIA WITH STUCCO FINISH

EXISTING BLOCK WALL PAINTED

EXISTING CUBE WINDOWS UNCHANGED

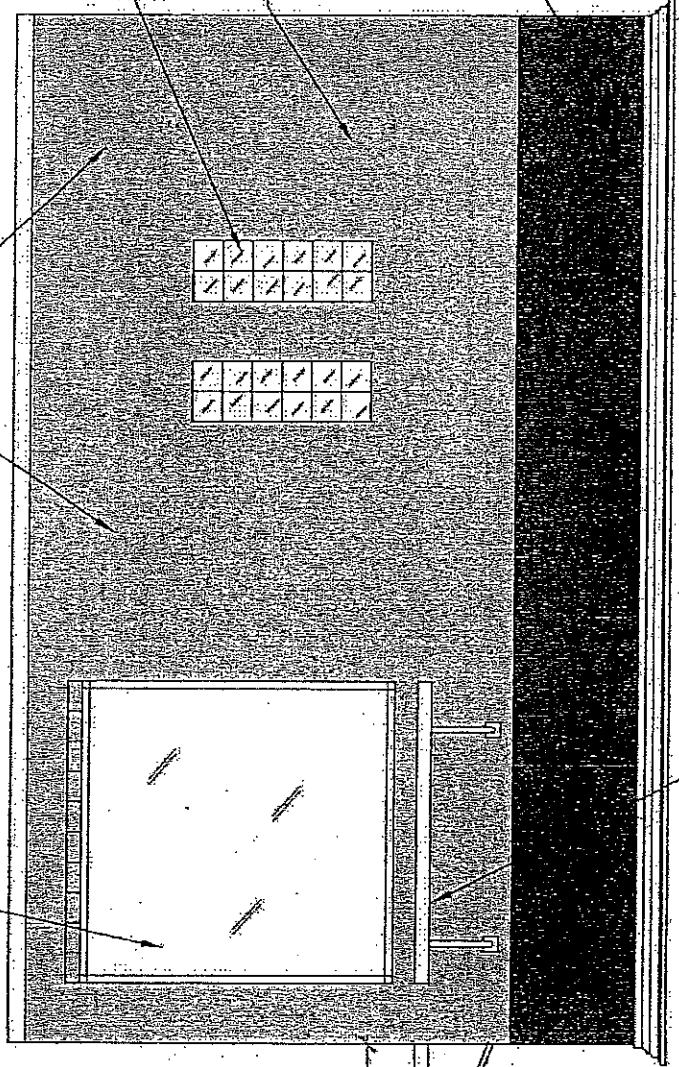
EXISTING AWNING REPLACED WITH NEW STEEL AWNING THAT SPAN THE LENGTH OF THE WINDOW

EXISTING DOORS FILLED IN

EXISTING WINDOWS UNCHANGED

# PROPOSED SIDE ELEVATION

Scale: 1/4" = 1'-0"



4'-0"

RECEIVED

JUL 15 2014

City of Grants Pass



501 NORTHWEST E.  
GRANTS PASS, OR 97526  
Phone: 541-776-1307 Fax: 541-776-2529  
DOB 01/02/2014

LIBERTY SOLES  
TERRY HOLT JR.  
OWNER/OPERATOR

CLIENT:

SANDY BROWN  
PROJECT: GROWER GUYS  
345 CLIFFWAY  
GRANTS PASS, OR

PROPOSED  
ELEVATIONS

DATE: 7/15/14

SHEET

A-7

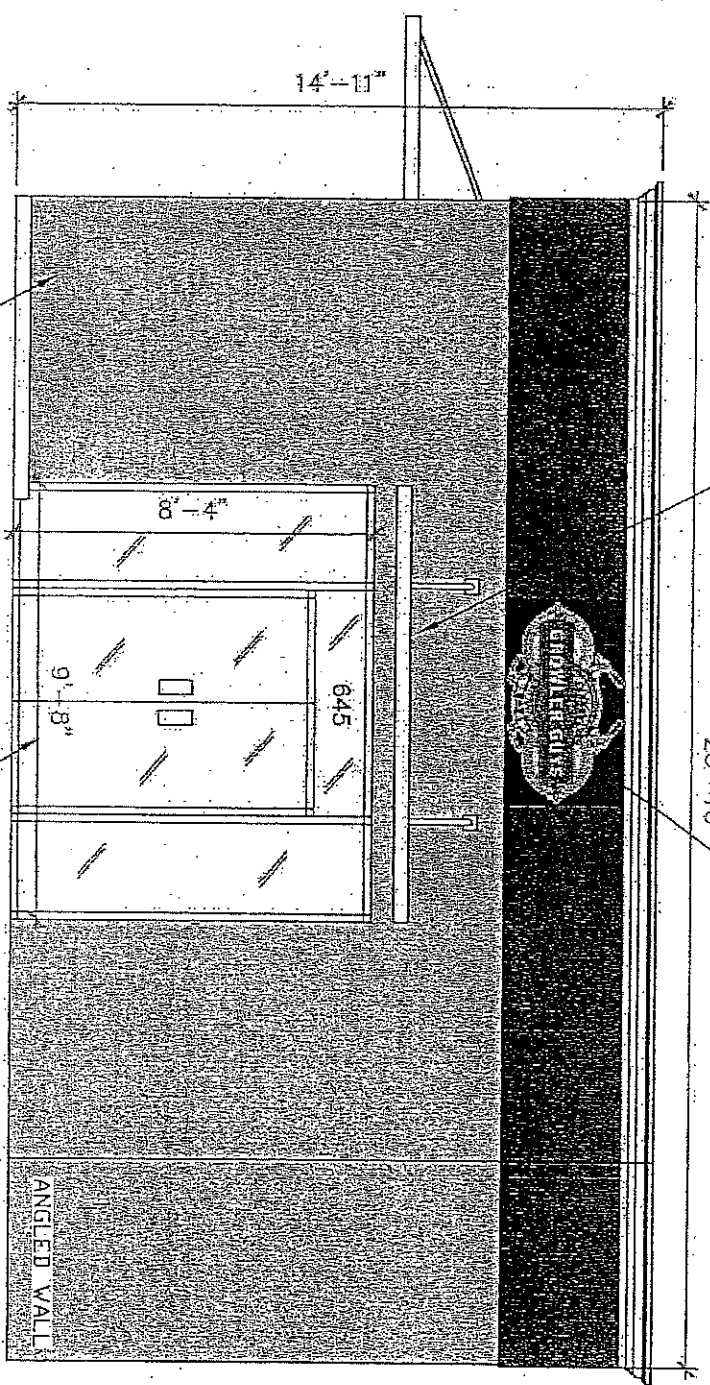
OF 8

7/15/14

EXISTING AWNING REPLACED WITH NEW STEEL AWNING THAT SPAN THE LENGTH OF THE STOREFRONT

25'-10"

NEW INTERNALLY ILLUMINATED BUILDING SIGN



EXISTING DOORS AND WINDOWS FILLED IN

NEW STOREFRONT & AWNING

ANGLED WALL

# PROPOSED FRONT ELEVATION

Scale:  $\frac{1}{4}'' = 1'-0''$

RECEIVED

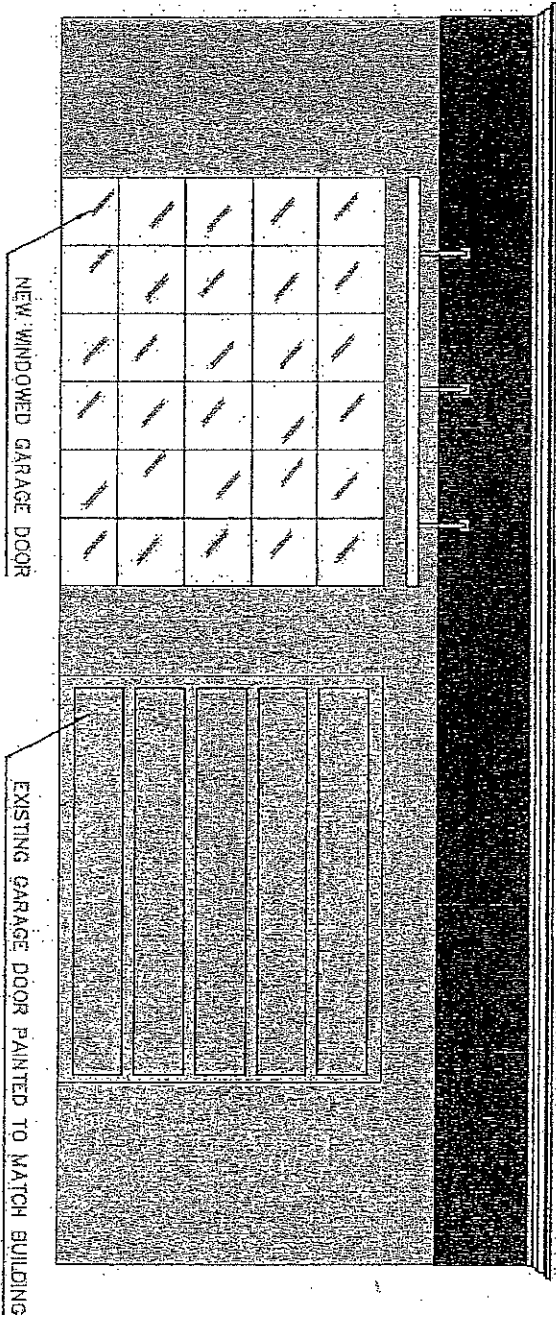
JUL 16 2014

City of Ashland


SHEET <b>A-8</b> OF 9	DATE: 06/11/14	PROJECT: <b>GROWLER GUYS</b> 645 LITRA WAY ASHLAND, OR	CLIENT:		801 NORTHWEST LIE GRANTS PASS, OR 97526 Phone: 541-476-1367, Fax: 541-474-2528 DDB #6657	SHEET SCALE: 1/4" = 1'-0" PROPOSED FRONT ELEVATION
	DRAWN BY:	PROJECT ELEVATION:	PROJECT:			

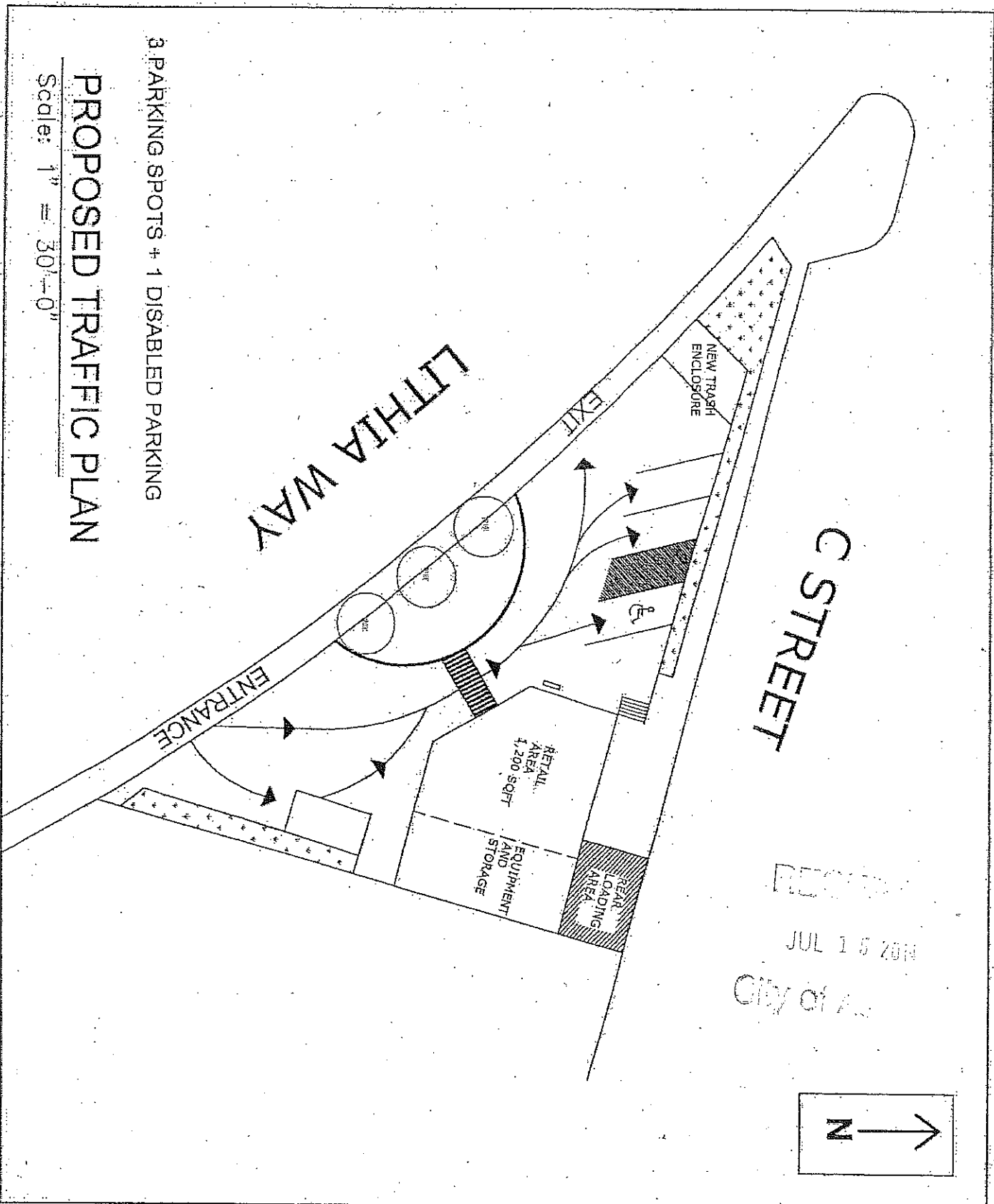
# PROPOSED CAR WASH ELEVATION

Scale:  $\frac{3}{8}" = 1'-0"$



RECEIVED  
 JUL 16 2014  
 City of Astoria

SHEET <b>A-9</b> OF 5 DRAWING	DATE: 07/14/14 PROJECT: <b>GROWLER GUYS</b> 36 LUNA WAY ASTORIA, OR	CLIENT:	 <p>901 NORTHWEST E          GRANTSPASS, OR 97526          Phone: 541-475-1237 Fax: 541-474-2228          CCB #0032</p>	VERIFY SCALE: THIS DRAWING IS AN ORIGINAL DRAWING
--	---	---------	---	---

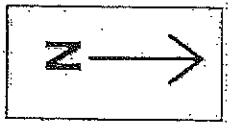


3 PARKING SPOTS + 1 DISABLED PARKING

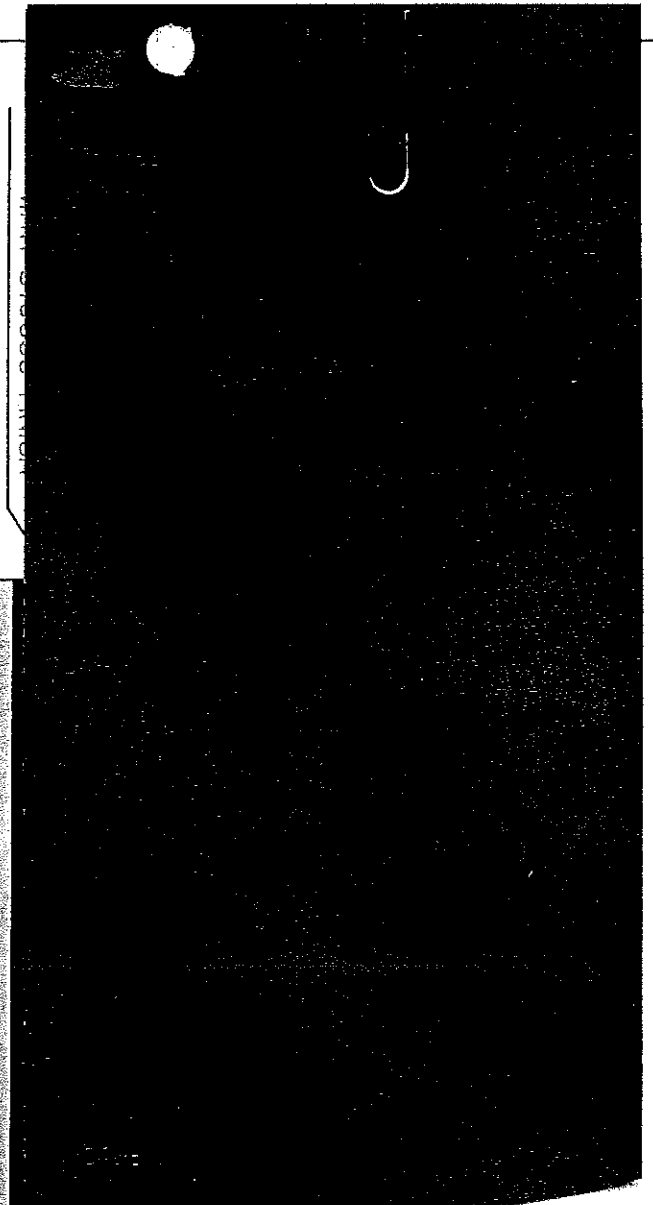
**PROPOSED TRAFFIC PLAN**

Scale: 1" = 30'-0"

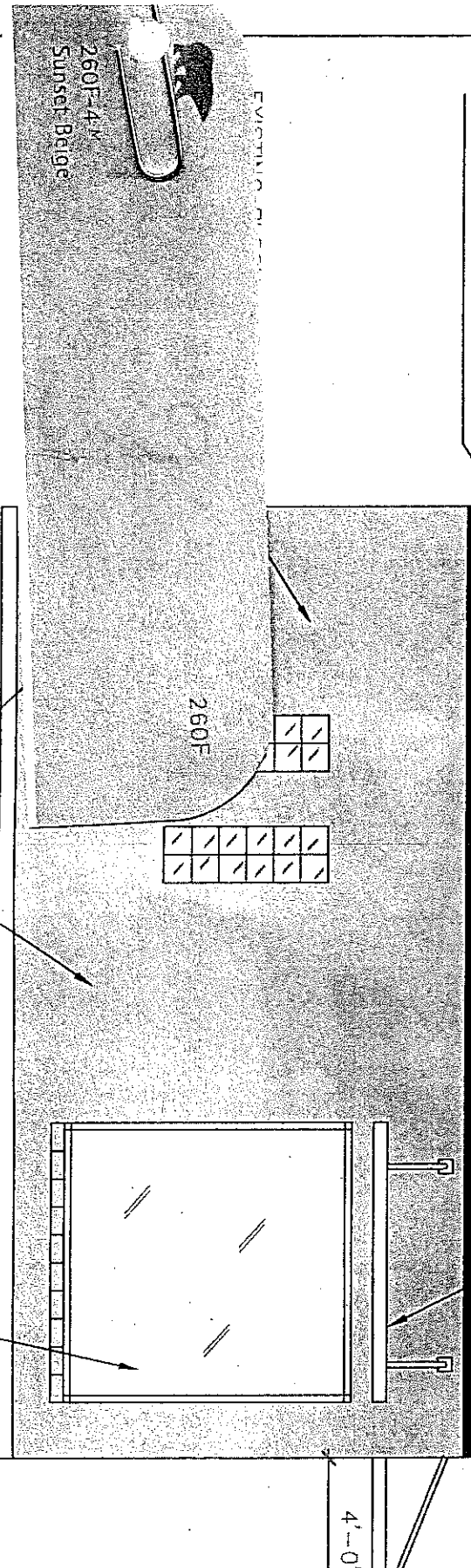
RECORDED  
 JUL 15 2014  
 City of Astoria



SHEET <b>A-10</b> OF 9 DRAWN BY DATE 7/14/14	PROJECT: <b>CROWLER GUYS</b> 245 LITHIA WAY ASTORIA, OR	CLIENT:  		801 NORTHWEST E GRANTS PASS, OR 97326 Phone 541-478-1337 Fax 541-674-0228 CDB 24502	NORTH SCALE 1" = 30'-0" SEE PLAN FOR ALL DIMENSIONS AND NOTES
	DATE 7/14/14 DRAWN BY CHECKED BY	PROJECT NO. SHEET NO.			



STEEL WINDOW



EXISTING DOORS FILLED IN

EXISTING WALLS UNCHANGED

AUG 22 2014

# PROPOSED SIDE ELEVATION

Scale: 1/4" = 1'-0"

NOTE: SCALE: THIS DRAWING IS FOR ORIGINAL DRAWING ONLY



901 NORTHWEST E GRANTS PASS, OR 97526  
Phone: 541-476-1387 Fax: 541-474-2828  
CCB #10432

CLIENT:

PROJECT: **GROWLER GUYS**  
345 LUTHER WAY  
ASHLAND, OR

PROPOSED ELEVATIONS

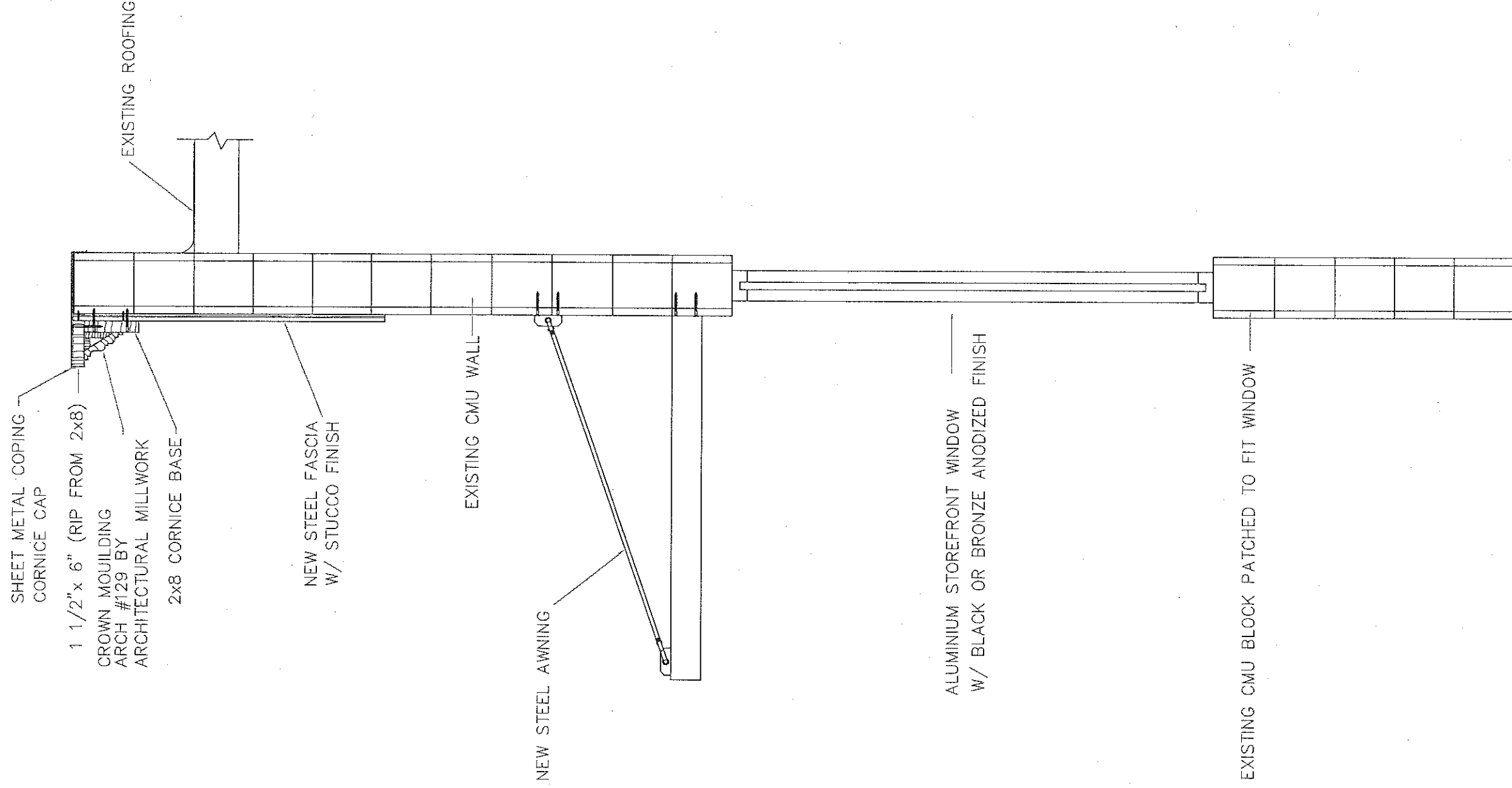
DATE: 8/21/14

JOB:

SHEET **A-7**  
OF 9

REVISIONS





1 WALL SECTION @ 3/4" = 1'-0"  
 CROSS SECTION  
 A11

RECEIVED  
 AUG 22 2014  
 Wynn & Sullivan

REVISION:

SHEET  
**A-11**  
 OF 11

DATE: 8/21/14

WALL  
 SECTION

PROJECT:  
**GROWLERS**  
 345 LITHIA WAY  
 ASHLAND OR

CLIENT:



901 NORTHWEST E  
 GRANTS PASS, OR 97526  
 Phone: 541-476-1387 Fax: 541-474-2528  
 CCB #10432

VERIFY SCALE  
 THIS BAR  
 IS TO BE USED  
 ONLY ON  
 ORIGINAL DRAWING  
 0 1 2'





**NOTICE OF APPLICATION**

**PLANNING ACTION:** 2014-01388

**SUBJECT PROPERTY:** 107 Fork Street

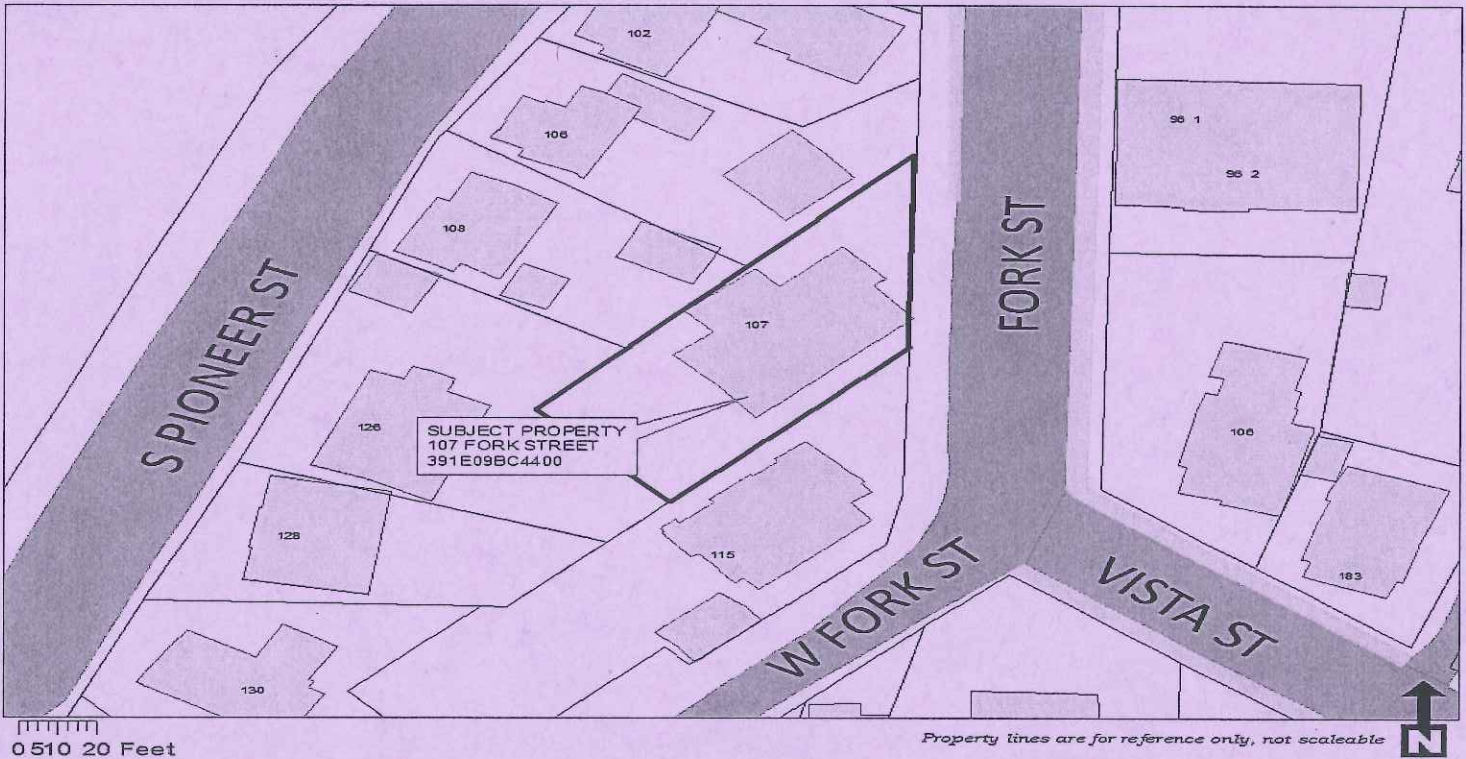
**OWNER/APPLICANT:** Elizabeth Schaefer

**DESCRIPTION:** A request for Conditional Use Permit approval to expand an existing non-conforming structure located at 107 Fork Street. The proposed addition is extending the existing residence on the north side of the structure by ten feet.  
**COMPREHENSIVE PLAN DESIGNATION:** Single Family Residential; **ZONING:** R-1-7.5; **ASSESSOR'S MAP:** 39 1E 09BC; **TAX LOTS:** 4400.

**NOTE:** The Ashland Historic Commission will also review this Planning Action on **Wednesday, September 3, 2014 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

**NOTICE OF COMPLETE APPLICATION:** August 27, 2014

**DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS:** September 10, 2014



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.108.040)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

## CONDITIONAL USE PERMITS

### 18.104.050 Approval Criteria

A conditional use permit shall be granted if the approval authority finds that the proposed use conforms, or can be made to conform through the imposition of conditions, with the following approval criteria.

- A. That the use would be in conformance with all standards within the zoning district in which the use is proposed to be located, and in conformance with relevant Comprehensive plan policies that are not implemented by any City, State, or Federal law or program.
- B. That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property.
- C. That the conditional use will have no greater adverse material effect on the livability of the impact area when compared to the development of the subject lot with the target use of the zone. When evaluating the effect of the proposed use on the impact area, the following factors of livability of the impact area shall be considered in relation to the target use of the zone:
  1. Similarity in scale, bulk, and coverage.
  2. Generation of traffic and effects on surrounding streets. Increases in pedestrian, bicycle, and mass transit use are considered beneficial regardless of capacity of facilities.
  3. Architectural compatibility with the impact area.
  4. Air quality, including the generation of dust, odors, or other environmental pollutants.
  5. Generation of noise, light, and glare.
  6. The development of adjacent properties as envisioned in the Comprehensive Plan.
  7. Other factors found to be relevant by the Hearing Authority for review of the proposed use.

From: Elizabeth Schaefer lizabeeschaefer@gmail.com  
Subject: A conditional use permit application  
Date: August 7, 2014 at 10:15 PM  
To: The City of Ashland

TO WHOM IT MAY CONCERN

It is our intention to apply for a conditional use permit for a side yard set back to remodel and expand (by 10') part of an existing structure at 107 Fork St., Ashland, Oregon. It is our purpose to comply with the rules and regulations of the City of Ashland building and planning department.

The benefit of this remodeled addition is an improved elevation more in keeping with the historical district in which it presides. We are not purposely willfully creating this nonconforming setback since it already exists. We request a variance for the side yard setback due to the unique circumstance of the existing structure being remodeled with the setback.

- 1) We would like to completely rebuild the existing office/closed in porch and rebuild it as follows:
  - a.) a pitched roof more compatible with the rest of the house
  - b.) the new pitched roof will meet all solar angle requirements
  - c.) the replacement finish and exterior walls shall be compatible with the existing finish of the existing home
  - d.) the wooden double hung windows that exist now will be replaced with fewer numbered windows and will be compatible in proportion, size, shape, type, and as well as energy efficient
  
- 2.) We would like to extend the remodel of the office/closed in porch by 10' out towards Fork St.
  - a.) the pitch of the new roof of the newly extended office/closed in porch would be compatible with the rest of the Fork St. house
  - b.) the pitch of the new roof will meet all solar angle requirements
  - c.) the replacement finish and exterior walls shall be compatible with the existing finish of the existing home
  - d.) the new wooden double hung windows will be compatible in proportion, shape, size, and will be energy efficient

Thank you for your diligent review. We hope for a successful outcome.

Sincerely,

Elizabeth Schaefer  
Tom Dee  
107 Fork St.  
Ashland, Oregon 97520  
(541) 944 8304 cell  
(314) 809 2737 cell

August 8, 2014

AUG 8 2014

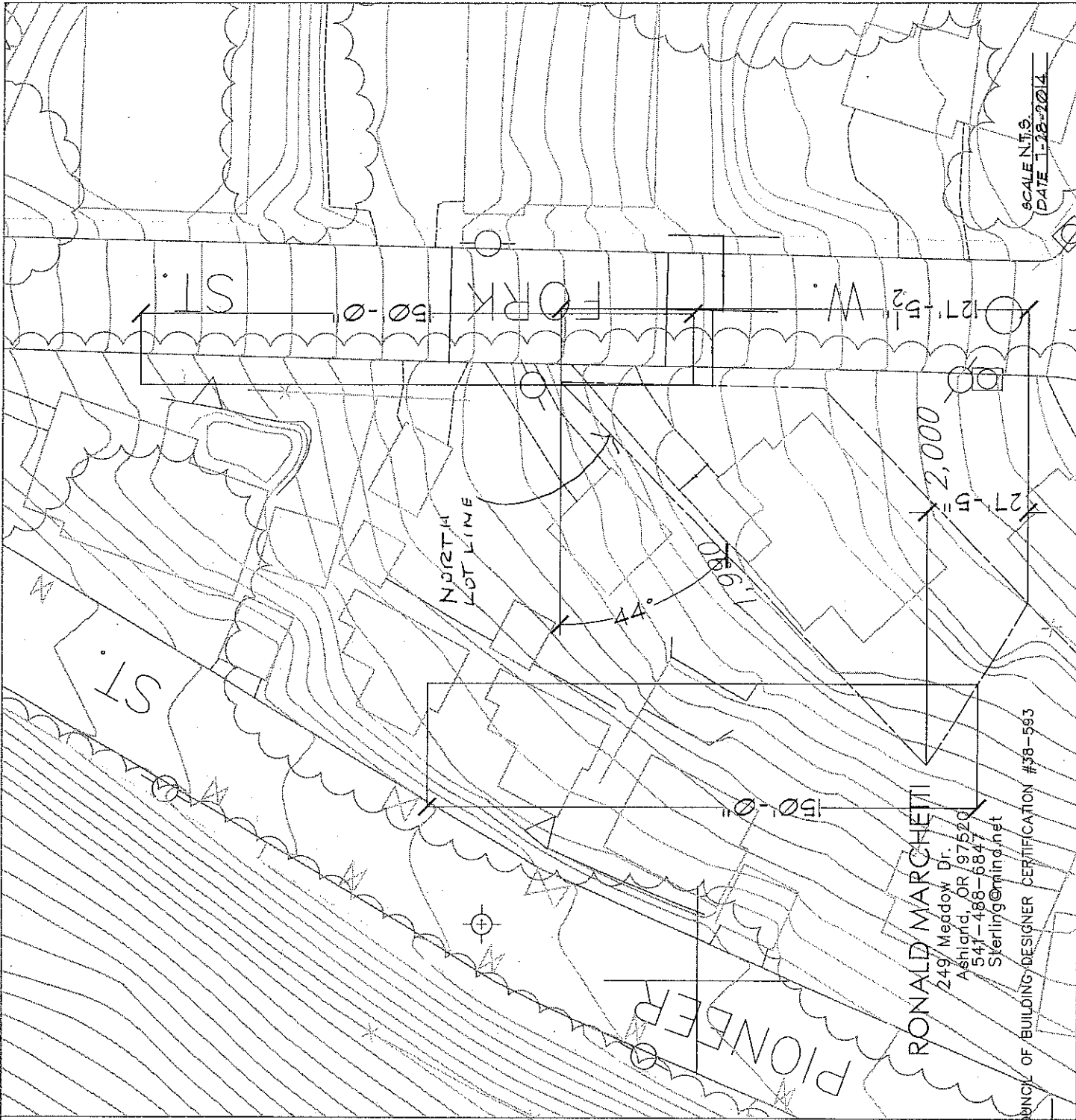
Historic District Design Standards (continued)

- IV-B4 The remodel will match the existing style of the front of the structure.
- IV-B5 The colors will match the existing exterior of the original structure.
- IV-B6 The original structure features supporting the gable end overhang is being duplicated on this remodel.
- IV-B7 Asphalt shingles to match existing roof. A portion of the new roof (not seen from the street) necessitates the use of sheet roofing due to low slope to exit water. The same materials are being used on the existing building.
- IV-B8 The bottom portion of the original structure has vertical siding. The remodel will only have horizontal siding to match the existing structure.
- IV-B9 No artificial material will be used.
- IV-B10 There are no detached structures.
- IV-11 The style of the remodel will match the existing structural style.

AUG 5 2 2016

RONALD MARCHETTI  
249 Meadow Dr.  
Ashland, OR 97520  
541-488-6847  
Sterling@mind.net

SCALE N.T.S.  
DATE 1-28-2014







**PROJECT:** Remodel / Addition for Thomas Dee and Elizabeth Schaefer Residence

**LEGAL:** 39 1E 09BC TL 4400

**ZONING:** R-1-7.5

**ADDRESS:** 107 Fork St.  
JACKSONVILLE, OR 97530

**LOT AREA:** 5,645 S.F.  
**LOT COVERAGE = 33.6%**

**ENERGY CODE:** PATH 1

**OWNERS:** Thomas Dee and Elizabeth Schaefer  
107 Fork St.  
Ashland, OR. 97520

**SQUARE FOOTAGE**  
2,012 Square Feet Existing House  
100 Added Square Feet

**DESIGN CRITERIA**

**ELEVATION** Below 2,000 feet  
**SNOW LOAD** 25 PSF

**WIND SPEED** 95 mph  
**WIND PRESSURE** 18psf  
**SEISMIC DESIGN CATEGORY** D1  
**EXPOSURE CATEGORY** B  
**BUILDING SHAPE** Regular  
Daylight Basement is not a story. Upper floor is first floor.

**SOILS:**

JACKSON COUNTY SOILS INTERPRETATIONS RECORD  
164D-Shefflein loam  
Top layer is dark brown loam 4" thick.  
Next layer is reddish brown 6" thick.  
Lower 16" is reddish brown sandy clay loam.  
Weathered bedrock is at a depth of about 56".

**INDEX**

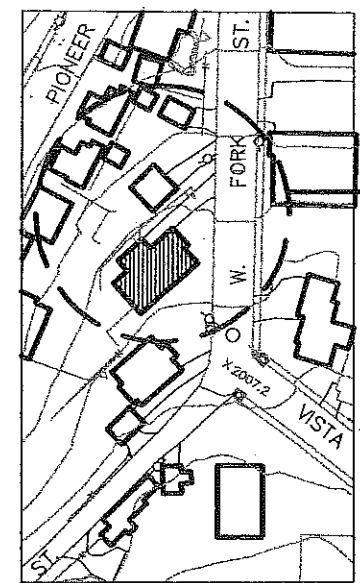
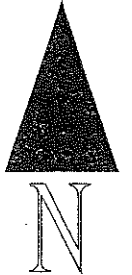
- 1. SITE PLAN
- 2. FLOOR PLAN
- 3. CROSS SECTION
- 4. ELEVATIONS
- S1-FLOOR FRAMING & DETAILS
- S2-ROOF FRAMING & DETAILS

**DESCRIPTION:**

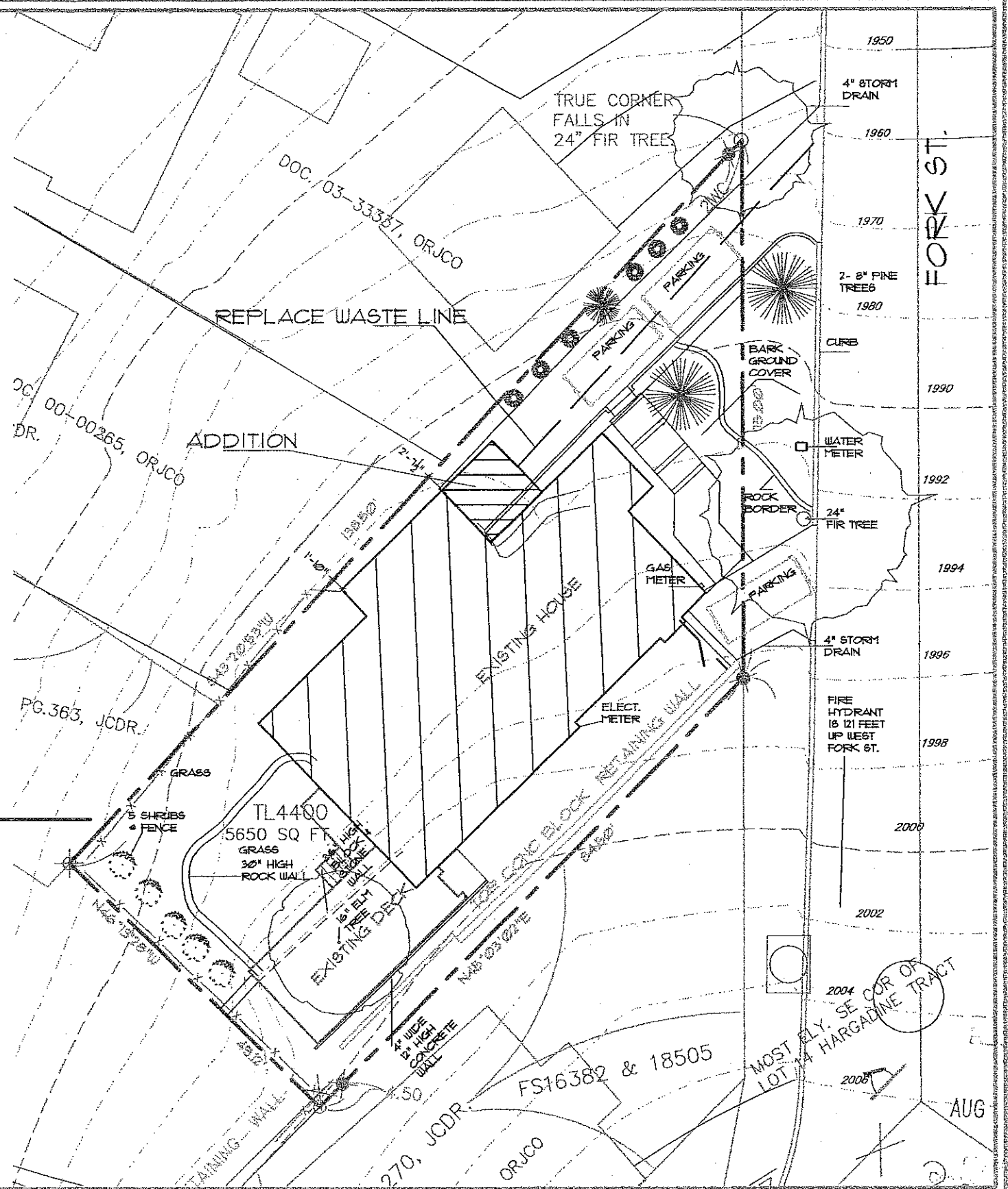
- 1. EXTEND EXISTING OFFICE 10 FEET TOWARD STREET
- 2. REMOVE DRIVEWAY, REGRADE AND REPLACE DRIVEWAY
- 3. REPLACE WASTE LINE
- 4. REPLACE OFFICE ROOF WITH GABLE ROOF.

**CONTRACTOR:**

BRAD YOUNG  
2000 WOODLAWN DR  
MEDFORD, OR 97501  
541-713-4481



VICINITY MAP



**SITE PLAN**

FOR

THOMAS DEE & ELIZABETH SCHAEFER RESIDENCE  
REHABILITATION / ADDITION  
107 FORK ST.  
ASHLAND, OR 97520

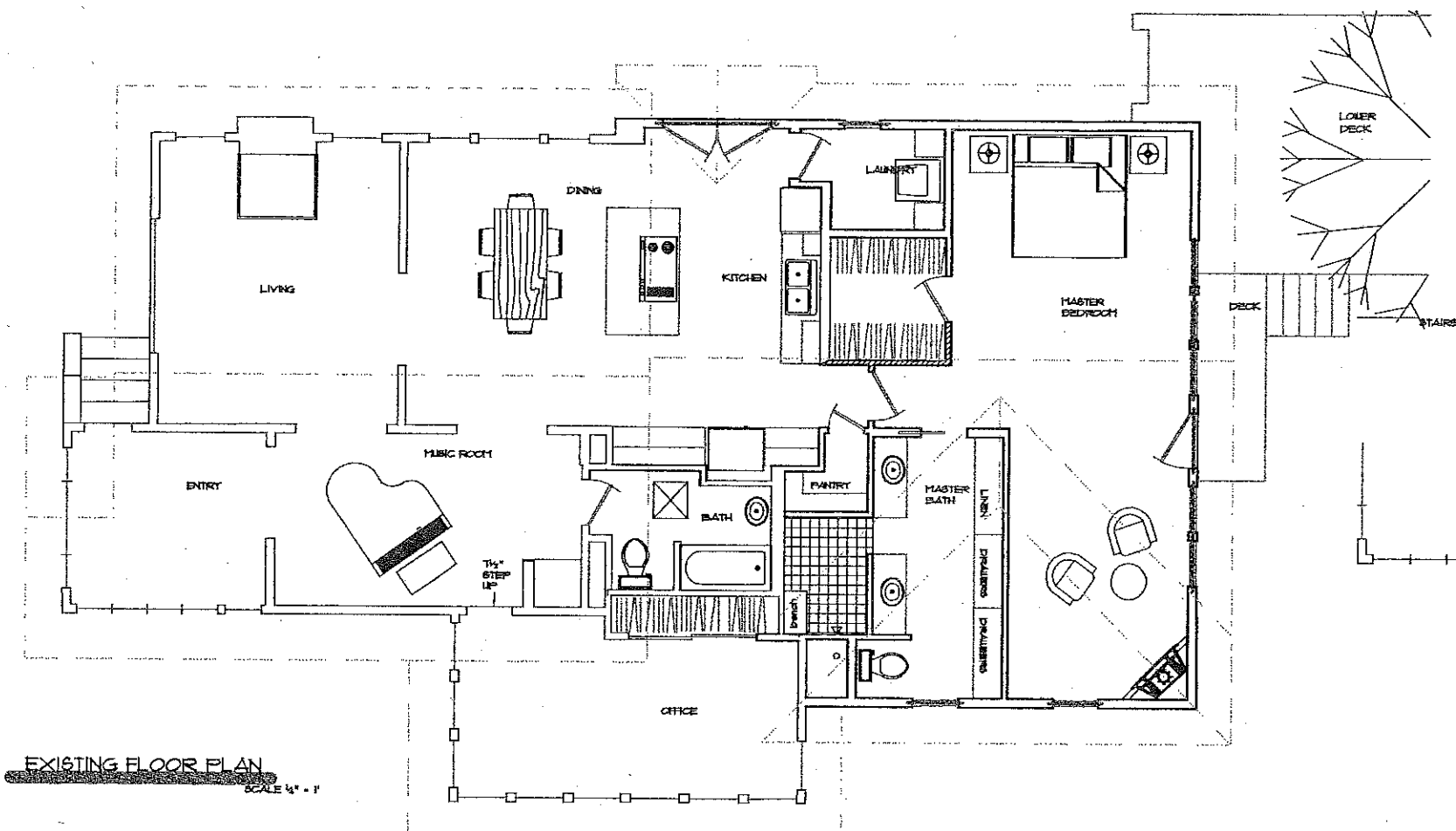


**RONALD MARCHETTI**  
248 Monroe Dr., Seaside, OR 97138  
Ashland, OR 97520  
541-408-0847

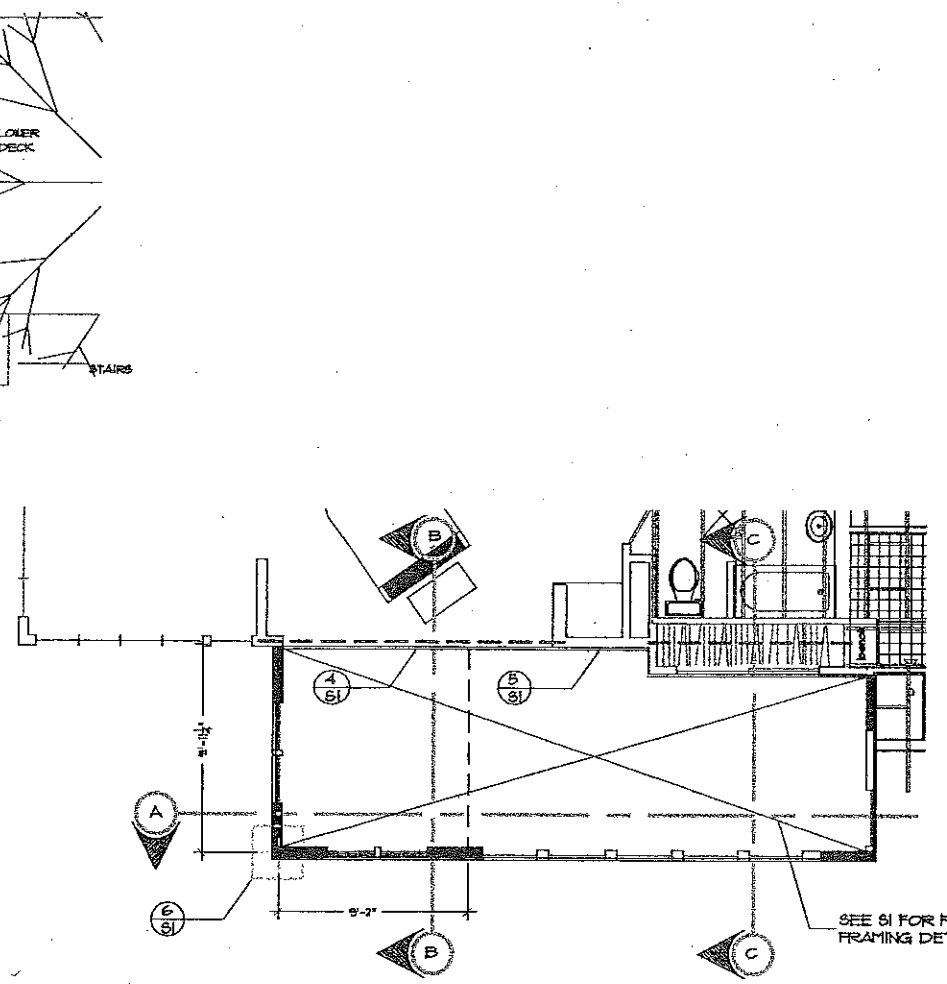
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SCALE	1/4" = 1'
DATE	12-28-2014
REVISION	

AUG 8 2014



EXISTING FLOOR PLAN  
SCALE 1/4" = 1'



FOUNDATION FLOOR JOIST PLAN  
SCALE 1/4" = 1'

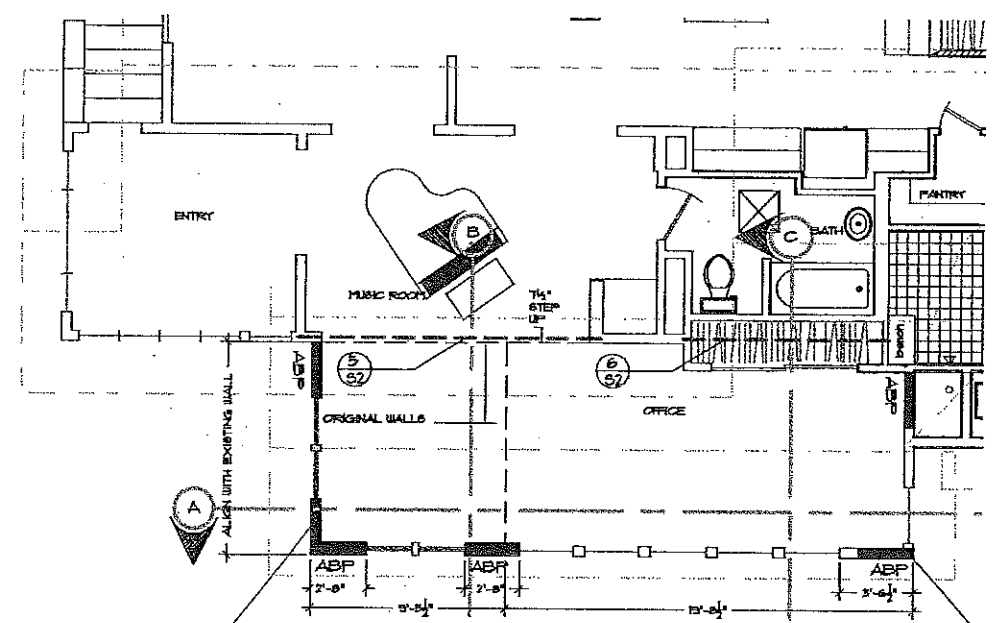
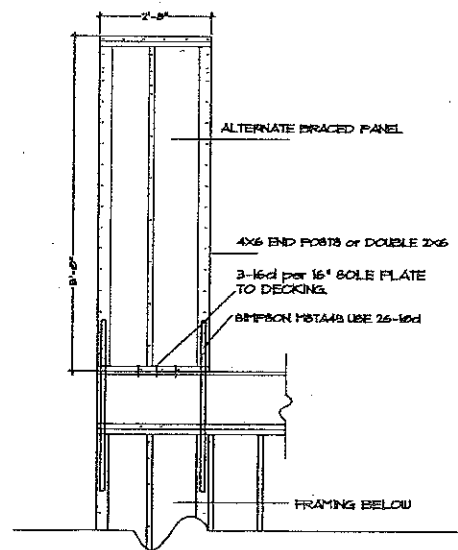


FIGURE R60210.4.4(1)

REMODELED FLOOR PLAN  
SCALE 1/4" = 1'

FIGURE R60210.4.4(3)



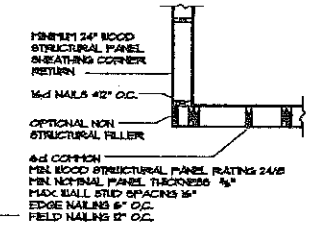
ABP = ALTERNATE BRACED PANEL

BRACED PANEL CONSTRUCTION  
SCALE 1/4" = 1'

NOTES:  
1. PLYWOOD SHEATHING 1/2" OR LESS SHALL BE APPLIED WITH LONG DIMENSION ACROSS STUDS.  
2. THREE-PLY FLYWOOD PANELS SHALL BE APPLIED WITH LONG DIMENSION ACROSS STUDS.

IN THE TOP STORY OF A TWO-STORY BUILDING, each panel shall have a minimum width of 82" and a maximum height of 10 feet. Each panel shall be sheathed on one face with 1/2" minimum thickness wood structural panel sheathing nailed with 2d common or galvanized box nails 8" o.c. edges and 12" o.c. field. All edges to be blocked. Each panel and stud shall be connected to an equivalent cross section of stud in the wall below with a tie-down device capable of withstanding an 1800' uplift.

WALL BRACKS 20R CRIC  
TABLE R60210.4.2 METHOD C2-UBP  
TABLE R60210.4.2  
R60210.4.2 LENGTH OF BRACED WALL PANEL WITH CONTINUOUS SHEATHING  
7 FEET REQUIRED 8'-10" ACTUAL  
R60210.4.4 FIGURE R60210.4.4(3)



BRACED PANEL CONSTRUCTION  
SCALE 1/4" = 1'

RECEIVED

AUG 8 2014

City of Ashland  
Community Development

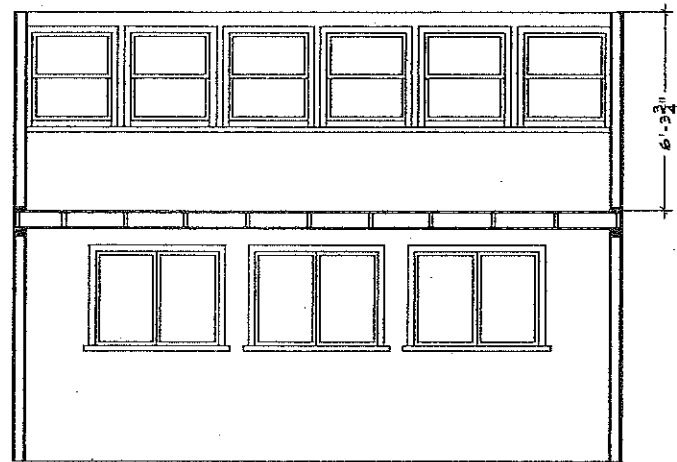
# FLOOR PLAN / FOUNDATION PLAN



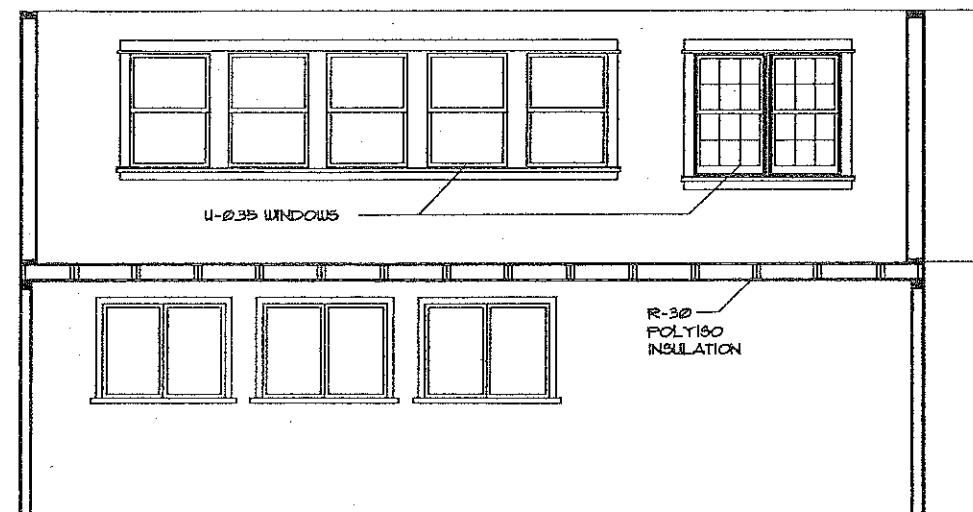
RONALD MARCHETTI  
249 Meadow Dr.  
Ashland, OR 97520  
541-488-6847

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SCALE NOTED  
DATE 1-28-2014  
REVISIONS

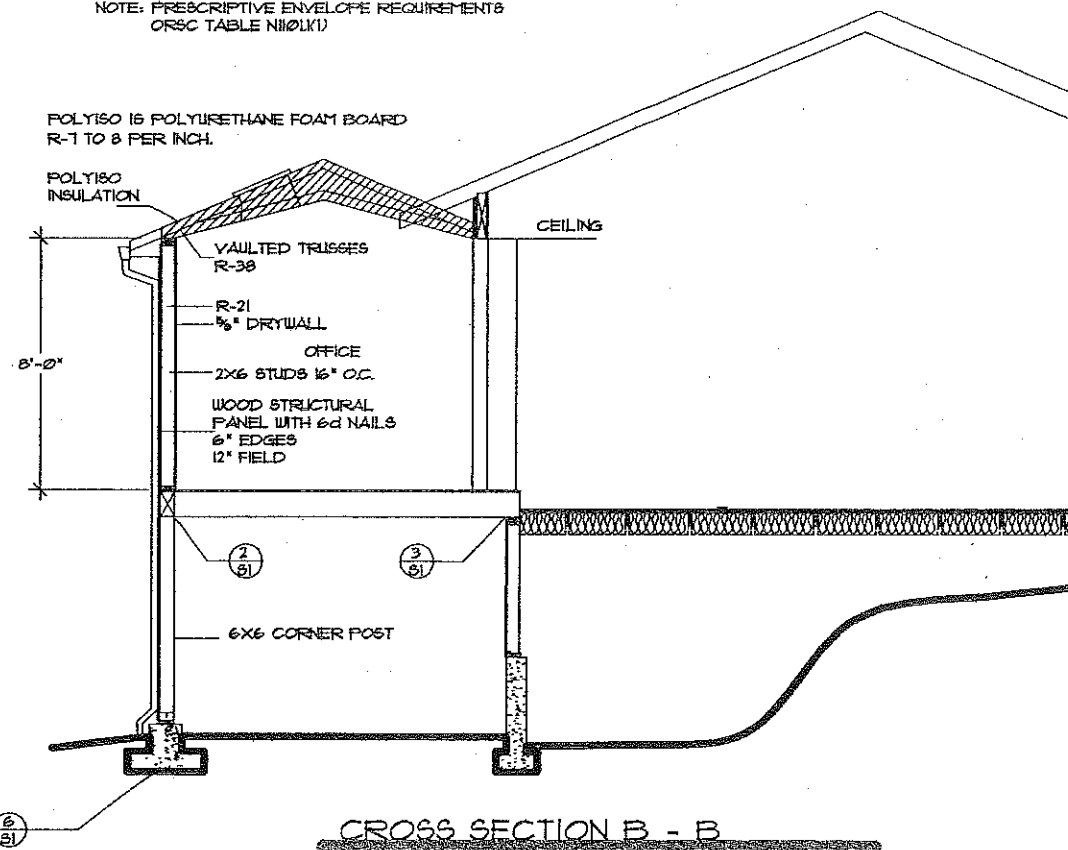


EXISTING CROSS SECTION A - A

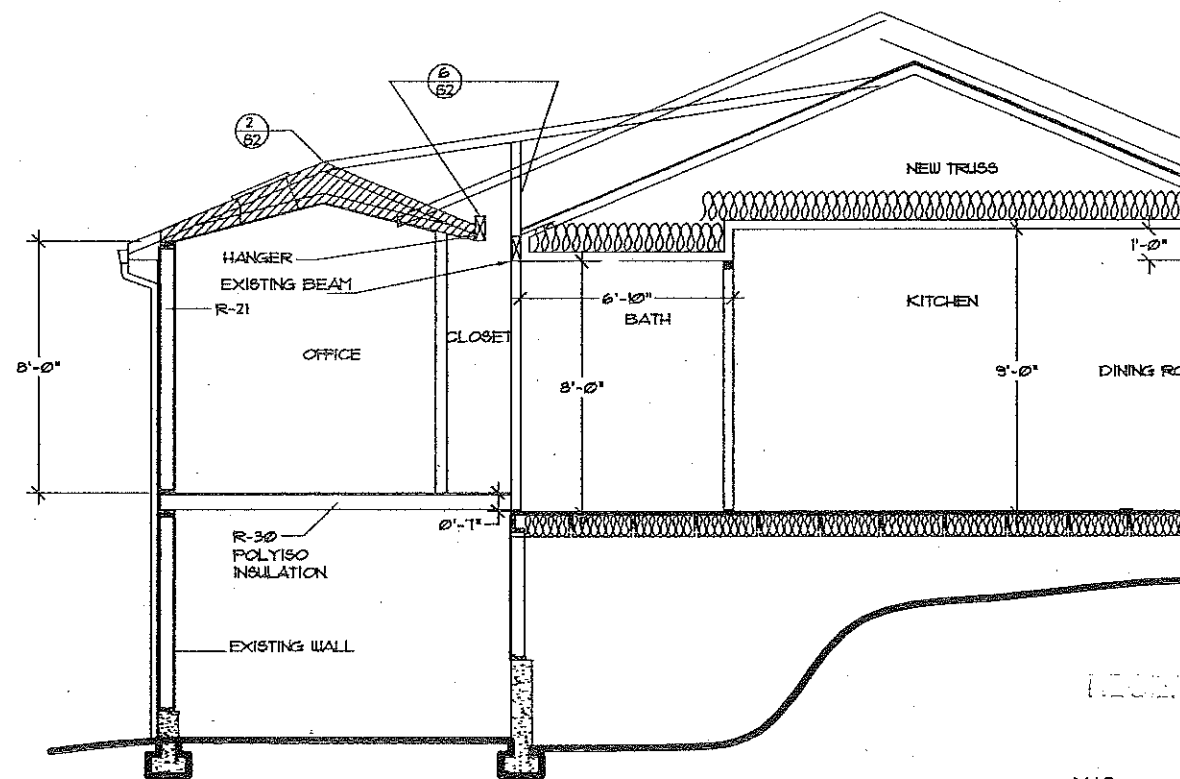


REMODELED CROSS SECTION A - A

NOTE: PRESCRIPTIVE ENVELOPE REQUIREMENTS  
ORSC TABLE N10(LK1)



CROSS SECTION B - B



CROSS SECTION C - C

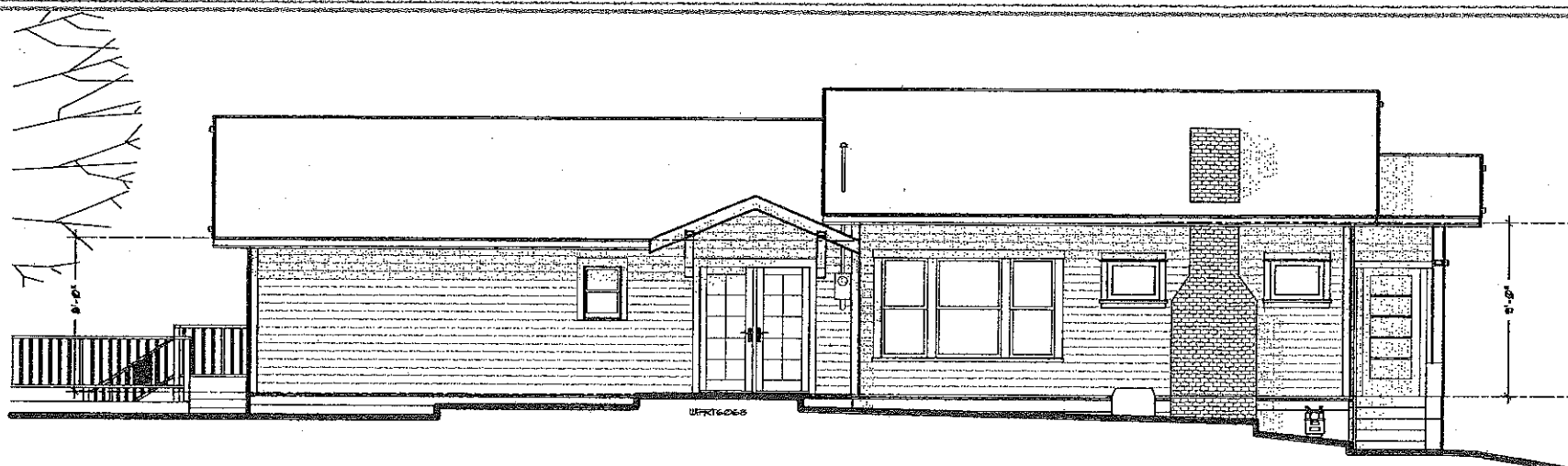
REVISION  
AUG 8 2014

# CROSS SECTIONS

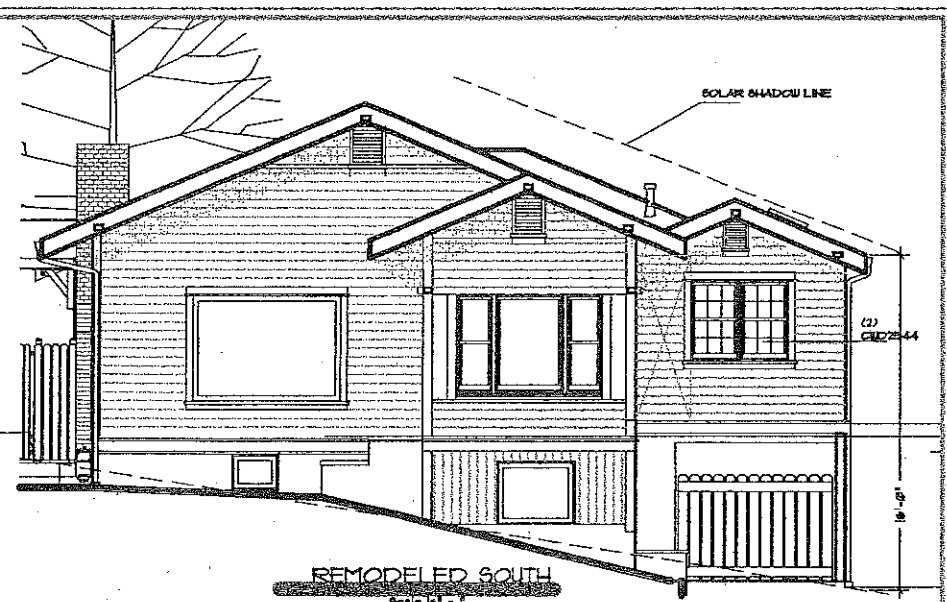
Ashland  
Sterling  
State  
Design  
RONALD MARCHETTI  
249 Meadow Dr.  
Ashland, OR 97520  
541-488-6847  
NATIONAL BOARD OF BUILDING DESIGNER CERTIFICATION #08-003

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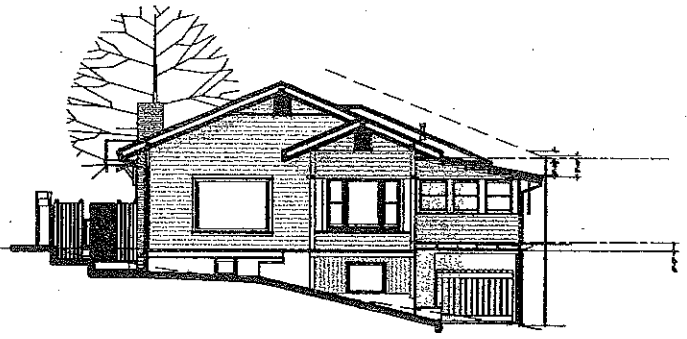
SCALE 3/8" = 1"  
DATE 1-28-2014  
REVISION



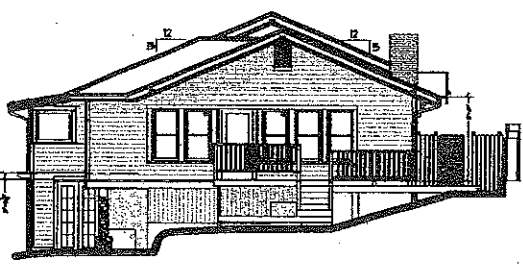
EXISTING WEST  
Scale 1/4" = 1'



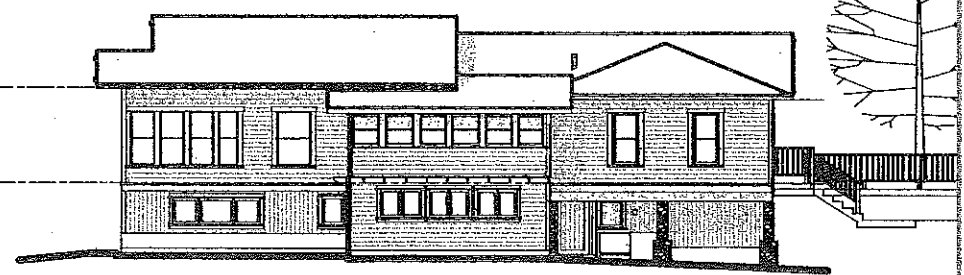
REMODELED SOUTH  
Scale 1/4" = 1'



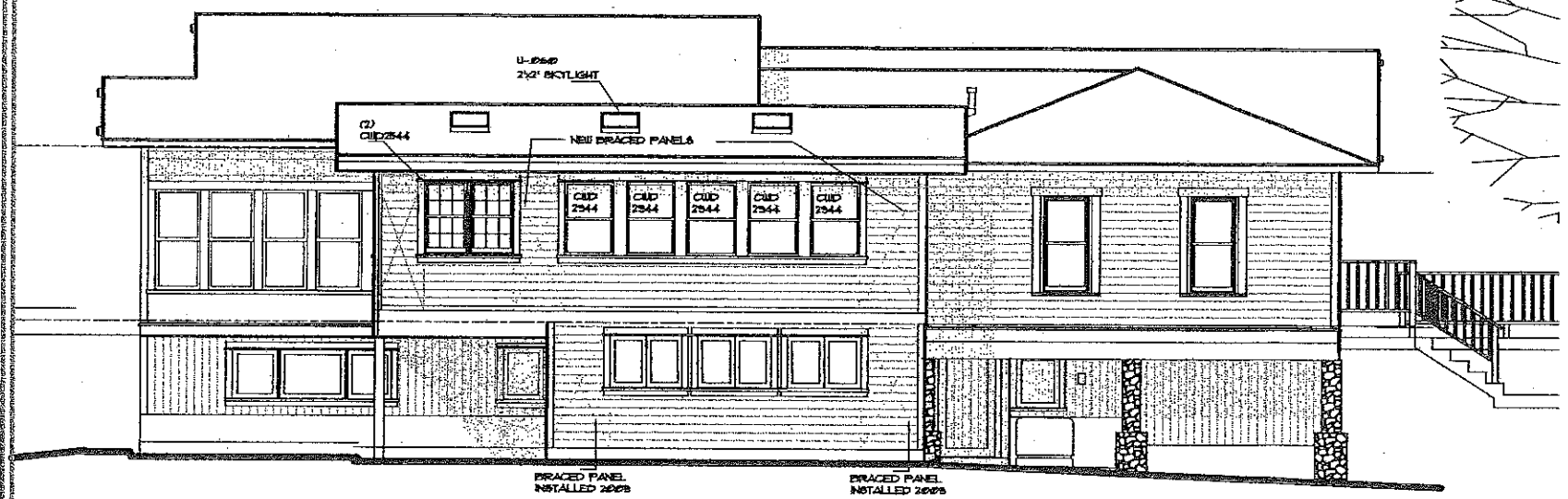
EXISTING SOUTH  
Scale 1/4" = 1'



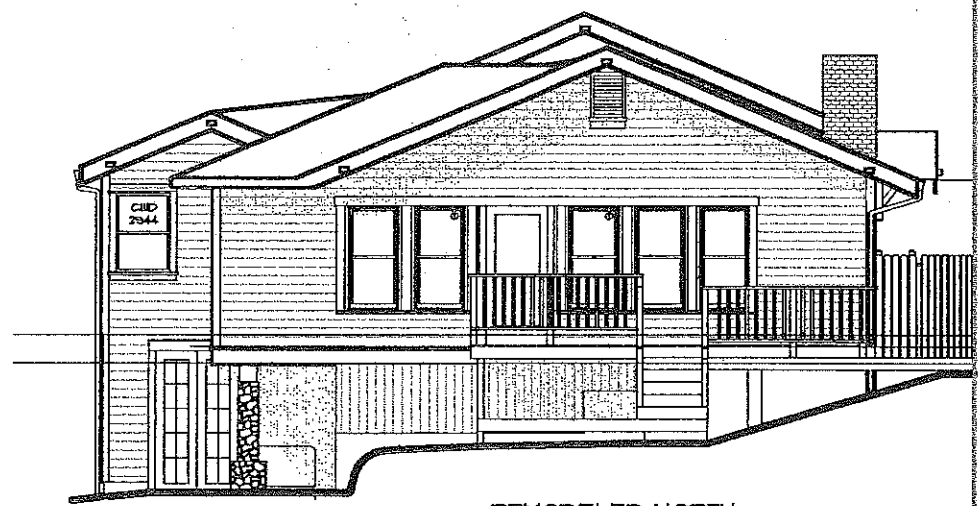
EXISTING NORTH  
Scale 1/4" = 1'



EXISTING EAST  
Scale 1/4" = 1'



REMODELED EAST  
Scale 1/4" = 1'



REMODELED NORTH  
Scale 1/4" = 1'

ELEVATIONS

AUG 8 2014

Ashland  
Sterling  
State  
Design NATIONAL COUNCIL OF BUILDING DESIGNER CERTIFICATION (NCBDC)

RONALD MARCHETTI  
248 Meadow Dr.  
Ashland, OR 97520  
541-488-6847

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SCALE NOTED  
DATE 1-28-2014  
REVISIONS

# SECTION VI

## Downtown Ashland

Adopted by the Ashland City Council August 7, 1998  
Ordinance #2825

### Introduction

Ashland's downtown is without doubt the most important fifty-five acres in the city. For over 100 years it has been the community's economic center. The downtown boasts one of the most beautiful parks in the country, and the Oregon Shakespeare Festival annually draws thousands of theatergoers. Ashland's charm, cultural offerings and lovely location have not been lost on those who visit, and during the last two decades the City's population has risen from 11,000 to 16,000. However, downtown economic growth has significantly exceeded population growth. The downtown retail spaces have increased, office spaces have doubled and tourist traffic has grown over 600 percent. Downtown automobile traffic has nearly doubled and pedestrian traffic counts have risen over 200 percent to 900 percent.

Such growth demands changes in planning and development, but Ashland's citizens insist that these changes allow the downtown to maintain its integrity and its unique character. Community participation has always been integral to Ashland's development. Citizens' affection for the city and desire to increase the culture, physical grace, and the economy have encouraged residents to support Southern Oregon State College, Lithia Park, the Shakespeare Festival and numerous other community enterprises and improvements.

Historically the city center, the downtown, began at the Plaza area and extended southeast along East Main Street. Only about one-half mile long, the area now extends from the intersection of Helman and North Main Streets on the northwest, to the Ashland Library on the southeast. It is approximately one-quarter mile wide and extends from Hargadine Street to "B" Street. Main areas are the Plaza, including the entrance to Lithia Park and Guanajuato Way, the Oregon Shakespeare Festival theaters, the East Main Street business district, the business area around the Ashland Library, Lithia Way/"C" Street, the property surrounding the old armory, and the Newbry property – the large vacant parcel of land bounded by the viaduct and by Helman Commercial, and Water Streets, known as the Water Street Annex.

This downtown area is the employment center of the community, and in 1988 employed 25 percent of all city employees. Sixty-three percent of these were employed by restaurants, the Oregon Shakespeare Festival and retail businesses which cater primarily to tourists in the summer months.

With 197 businesses, the downtown is also a thriving business center. The businesses are diverse ranging from light manufacturing and auto repair to tourist gift shops and law offices. Retail businesses comprise most of the square footage and are concentrated along Main Street. Many of these retail businesses are specialty stores which attract consumers throughout southern Oregon and northern California. Catering to the local tourist and regional markets has preserved the downtown's economic vitality and health.

In addition to being the employment and business center, the downtown is also the community's social and arts and entertainment center. Increased pedestrian amenities and bike paths have encouraged residents and tourists alike to enjoy the downtown by foot or bicycle or simply by



sitting on the many benches and planters which have been furnished. The Oregon Shakespeare Festival, several smaller theatres, nightclubs and restaurants provide tourist and residents with numerous opportunities for a pleasurable night out.

The combination of these factors – economic health, cultural and artistic offerings, attractiveness, location a pleasant pedestrian and bicycling environment – have endowed Ashland with the attractive qualities of a tourist town and the advantages of being a real center for a rural town.

There are, of course, some problems which exist as a result of growth and change. The major problems which have been identified are:

**Economic:** The need to be less dependent on the tourist industry, particularly a single facet of that sector – the Oregon Shakespeare Festival – and to promote growth in the retail and services sectors, especially those that service the local, tourist, and regional markets.

**Automobile and Traffic:** Parking is a problem throughout the year, but particularly during the peak tourist summer months. Although facts indicate that parking demand is not entirely met by existing facilities, it may not be financially or environmentally wise to accommodate the highest peak days. As traffic congestion continues to increase, the city and residents will have to adapt to different traffic patterns and use alternative forms of transport in order to alleviate the problem.

**Pedestrian Traffic:** The substantial increase in pedestrian traffic has spurred improvements in pedestrian amenities such as benches, planters and fountains to encourage pedestrian flow through the length of the downtown. Ongoing renovation will be needed to help accommodate the ever-growing number of people.

## Ashland Downtown Plan

The City of Ashland Downtown Plan is the guiding document for all downtown site design. It provides a comprehensive review of downtown Ashland's historical development and current trends and needs. In addition, it outlines specific actions intended for implementation within five years. These actions are divided into four major sections: Physical Development, Downtown Management, Regulation, and Economic Development. Although most of these actions will be taken by the municipal government, it will include the city's partners in downtown improvements – the Parks and Recreation Commission, the Chamber of Commerce, the Ashland Downtown Association, the Oregon Shakespeare Festival and others. It is imperative that builders and developers are familiar with the actions and follow current guidelines.

### Redevelopment in the Downtown

Three large historic buildings will probably see more intense uses in the next twenty years – the Masonic Lodge, the Elks Lodge, and the Mark Anthony Hotel. Other buildings will undoubtedly redevelop, and conformance with both the city's historic guidelines and the downtown development criteria should insure that the developments are positive.

### Downtown Design Standards (Amended August 4, 1998: Ordinance #2825)

The purpose of the Downtown Design Standards is to respect the area's unique heritage and to enhance the appearance and livability of the area as it develops and changes. Based upon common features found in the downtown, the standards provide a foundation for prospective applicants, citizens, and community decision makers to direct change in a positive and tangible



way. It is not the intent of the Design Standards to freeze time and halt progress or restrict an individual property owner's creativity, but rather to guide new and remodeled proposals to be in context with their historic surroundings. Personal choice should be and can be expressed within the framework of the standards.

While many communities across America are attempting to "create" or "re-create" an urban downtown of their own, the Downtown Design Standards are attempt to preserve what Ashland already has; a "main street" historical district with diverse individual buildings that collectively create an organized, coordinated and ageless rhythm of buildings. As a collective group, the downtown can retain its "sense of place", its economic base, its history and its citizen's vision.

Under the procedures of the City's Site Design and Review Process, the applicant must demonstrate the proposal meets all of the design standards in order for the decision making body to approve the proposal. As such, the standards should help increase objectivity and reduce subjectivity.

For projects subject to both Section IV "Historic District Development" and Section VI "Downtown Ashland", Section VI shall prevail, with Section IV supplementing where possible to improve overall project design and compatibility. For projects located at the boundary between zoning districts or overlays, appropriate adjustments to building form, massing, height, scale, placement or architectural and material treatment may be considered to address compatibility within the transitional area while not losing sight of the underlying standards and requirements applicable to the subject property.

***The following criteria are adopted with this plan and shall be used as part of the land use approval process:***

#### **VI-A Height**

1. Building height shall vary from adjacent buildings, using either "stepped" parapets or slightly dissimilar overall height to maintain the traditional "staggered" streetscape appearance. An exception to this standard would be buildings that have a distinctive vertical division/façade treatment that "visually" separates it from adjacent buildings, or for restoration of historic façades. (Illustration: Recommend 1, 5 & 10; Avoid 3)
2. Multi-story development is encouraged in the downtown. (Illustration: Recommend 1, 5, 6 & 10).



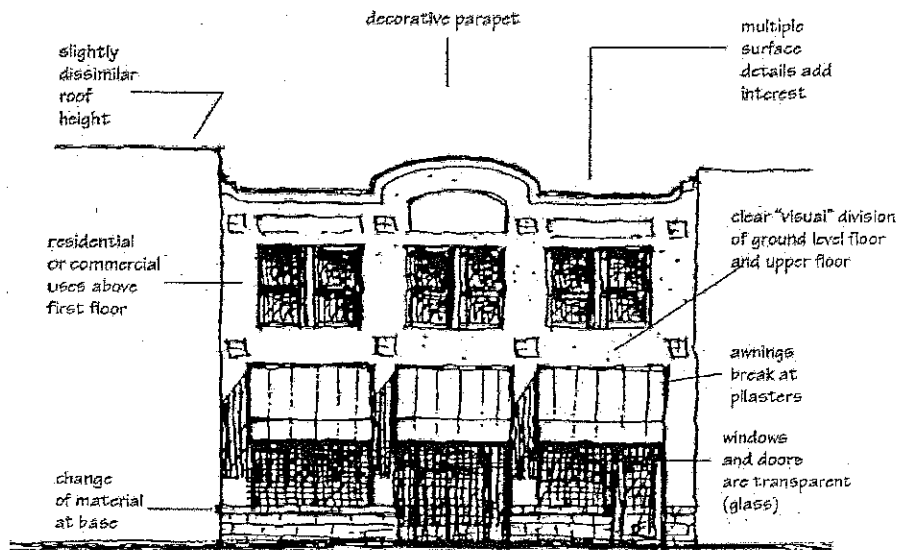


ILLUSTRATION 1

RECOMMENDED

### VI-B Setback

1. Except for arcades, alcoves and other recessed features, building shall maintain a zero setback from the sidewalk or property line (Illustration: Recommend 2, 5, 6 & 10). Areas having public utility easements or similar restricting conditions shall be exempt from this standard.
2. Ground level entries are encouraged to be recessed from the public right-of-way to create a "sense of entry" through design or use of materials (Illustration: Recommend 2, 5, 6 & 10; Avoid 3).
3. Recessed or projecting balconies, verandas or other useable space above the ground level on existing and new buildings shall not be incorporated in a street facing elevation (Illustration: Avoid 4 & 7).

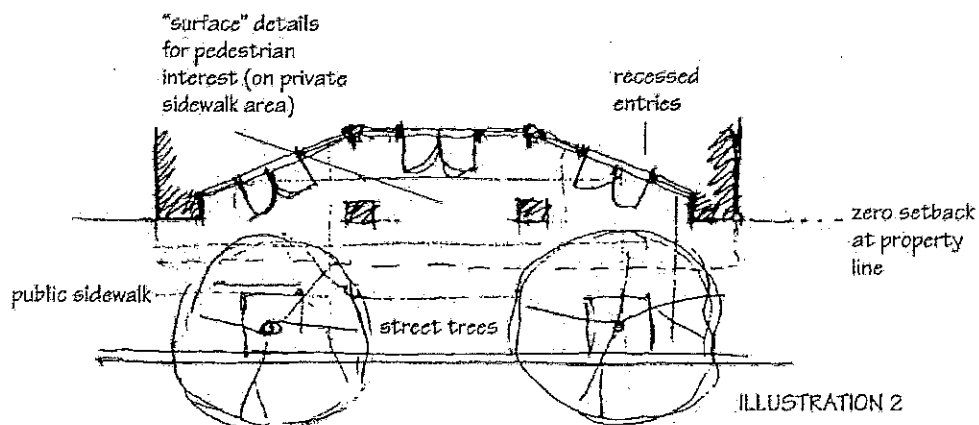
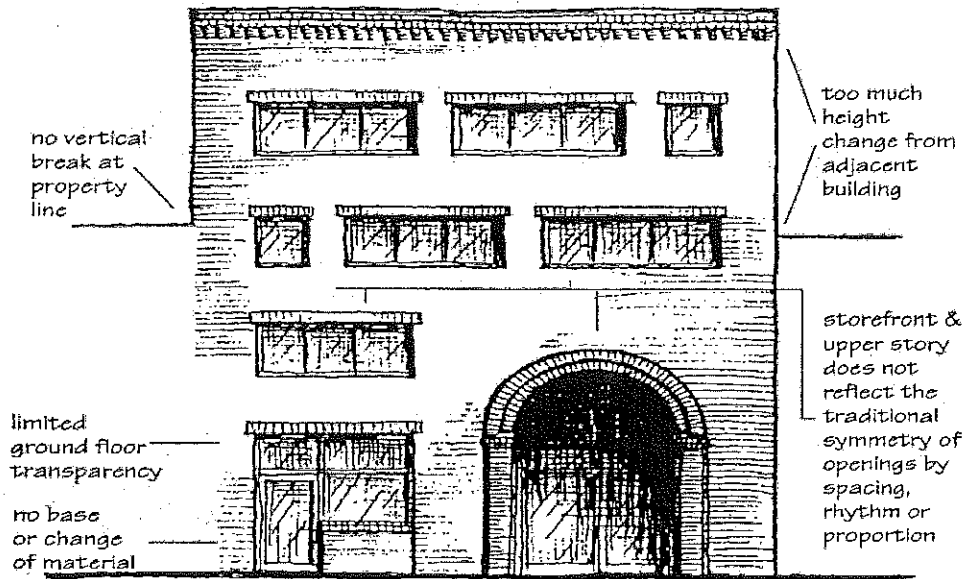


ILLUSTRATION 2

RECOMMENDED







AVOID

ILLUSTRATION 3

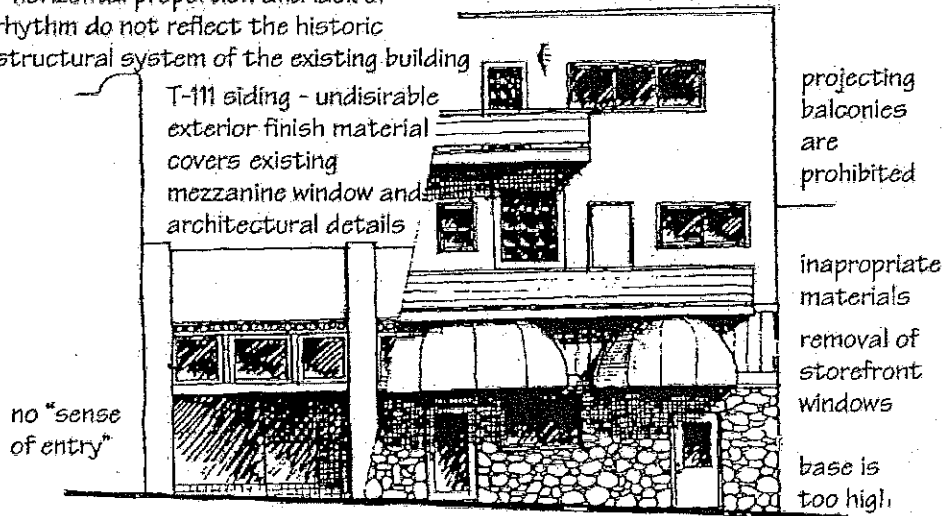
### VI-C Width

1. The width of a building shall be extended from side lot line to side lot line (Illustration: Recommend 5). An exception to this standard would be an area specifically designed as plaza space, courtyard space, dining space or rear access for pedestrian walkways.
2. Lots greater than 80' in width shall respect the traditional width of buildings in the downtown area by incorporating a rhythmic division of the façade in the building's design (Illustration: Recommend 5 & 10; Avoid 3).

### VI-D Openings

1. Ground level elevations facing a street shall maintain a consistent proportion of transparency (i.e., windows) compatible with the pattern found in the downtown area (Illustration: Recommend 1, 5, 6 & 10).
2. Scale and proportion of altered or added building elements, such as the size and relationship of new windows, doors, entrances, column and other building features shall be visually compatible with the original architectural character of the building (Illustration: Recommend 5 & 6; Avoid 4 & 9).

\* horizontal proportion and lack of rhythm do not reflect the historic structural system of the existing building



T-111 siding - undesirable exterior finish material covers existing mezzanine window and architectural details

projecting balconies are prohibited

inappropriate materials removal of storefront windows

base is too high

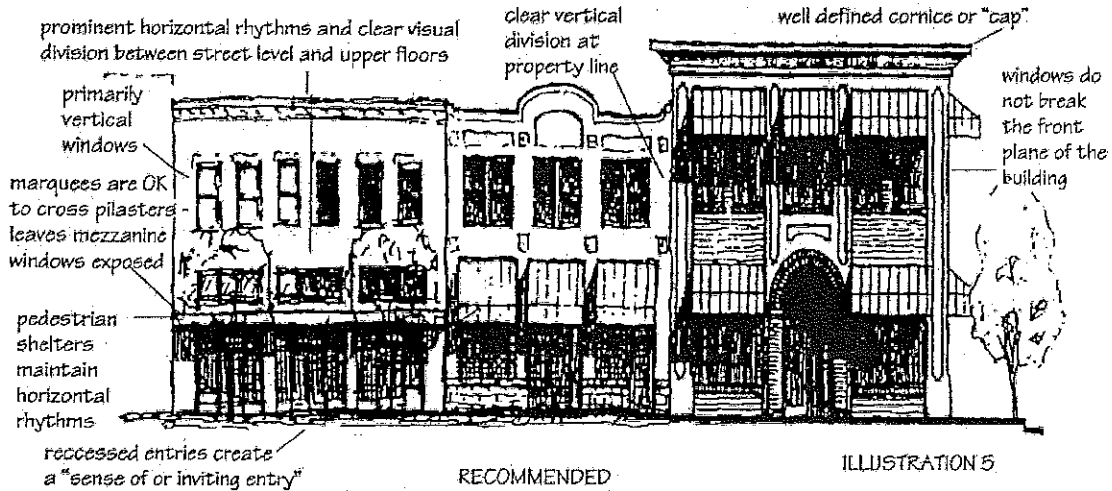
no "sense of entry"

before

after

AVOID

ILLUSTRATION 4



prominent horizontal rhythms and clear visual division between street level and upper floors

clear vertical division at property line

well defined cornice or "cap"

primarily vertical windows

windows do not break the front plane of the building

marquees are OK to cross pilasters leaves mezzanine windows exposed

pedestrian shelters maintain horizontal rhythms

recessed entries create a "sense of or inviting entry"

RECOMMENDED

ILLUSTRATION 5

3. Upper floor windows orientation shall primarily be vertical (height greater than width). (Illustration: Recommend 1, 5 & 6; Avoid 8).
4. Except for transom windows, windows shall not break the front plane of the building (Illustration: Recommend 5).
5. Ground level entry doors shall be primarily transparent (Illustration: Recommend 10; Avoid 4).
6. Windows and other features of interest to pedestrians such as decorative columns or decorative corbelling shall be provided adjacent to the sidewalk (Illustration:

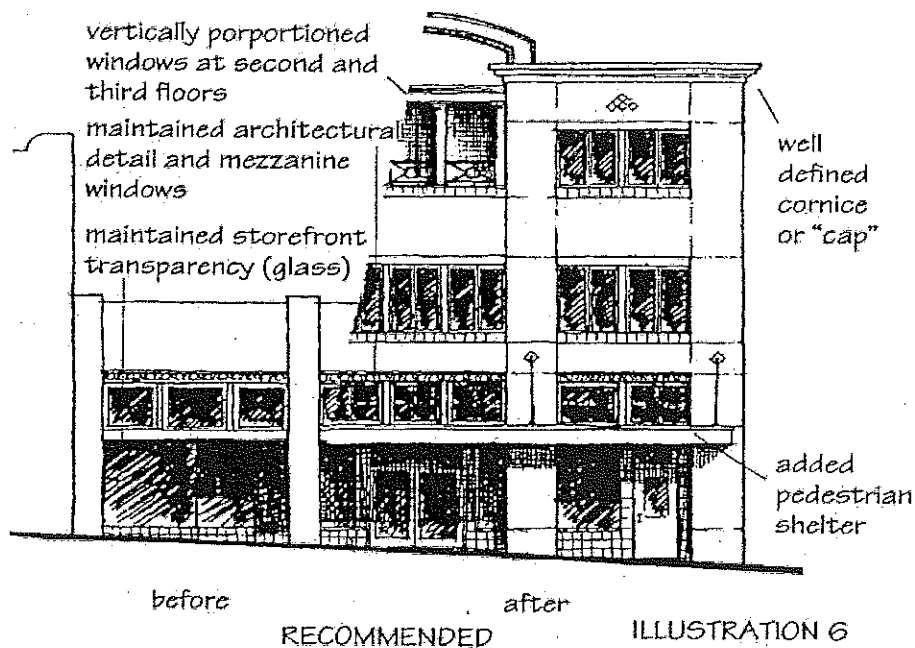
Recommend 1 & 5; Avoid 4 & 7). Blank walls adjacent to a public sidewalk are prohibited.

### VI-E Horizontal Rhythms

1. Prominent horizontal lines at similar levels along the street's street front shall be maintained (Illustration: Recommend 1, 5, 6 & 10; Avoid 4 & 8).
2. A clear visual division shall be maintained between ground level floor and upper floors (Illustration: Recommend 1, 5, 6 & 10).
3. Buildings shall provide a foundation or base, typically from ground to the bottom of the lower window sills, with changes in volume or material, in order to give the building a "sense of strength" (Illustration: Recommend 1, 5 & 10; Avoid 4 & 8).

### VI-F Vertical Rhythms

1. New construction or storefront remodels shall reflect a vertical orientation, either through actual volumes or the use of surface details to divide large walls, so as to reflect the underlying historic property lines (Illustration: Recommend 5 & 6; Avoid 3).



2. Storefront remodeling or upper story additions shall reflect the traditional structural system of the volume by matching the spacing and rhythm of historic openings and surface detailing (Illustration: Recommend 6; Avoid 4 & 9).

## VI-G Roof Forms

1. Sloped or residential style roof forms are discouraged in the downtown area unless visually screened from the right-of-way by either a parapet or a false front. The false front shall incorporate a well defined cornice line or "cap" along all primary elevations (Illustration: Recommend 1, 5 & 10; Avoid 7).

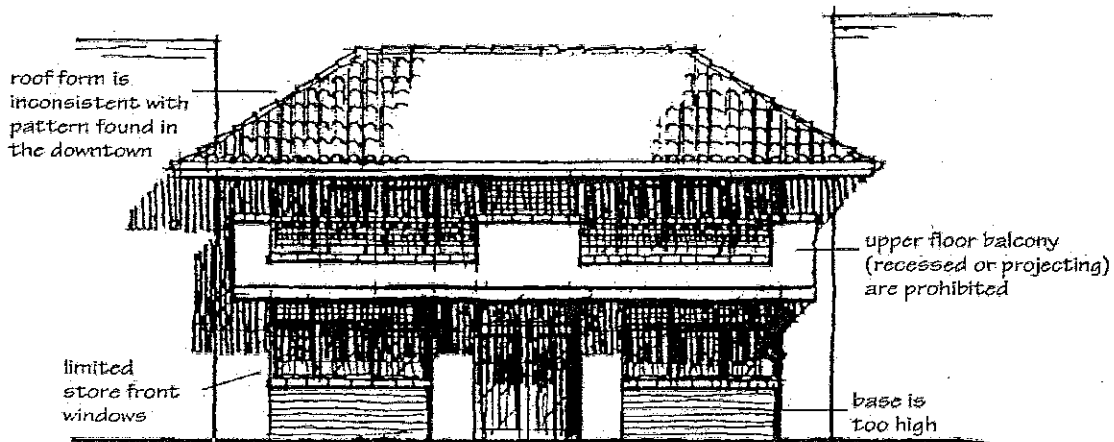


ILLUSTRATION 7

AVOID

## VI-H Materials

1. Exterior building materials shall consist of traditional building materials found in the downtown area including block, brick, painted wood, smooth stucco, or natural stone (Illustration: Avoid 4 & 9).
2. In order to add visual interest, buildings are encouraged to incorporate complex "paneled" exteriors with columns, framed bays, transoms and windows to create multiple surface levels (Illustration: Recommend 1, 5 & 10; Avoid 7, 8 & 9).

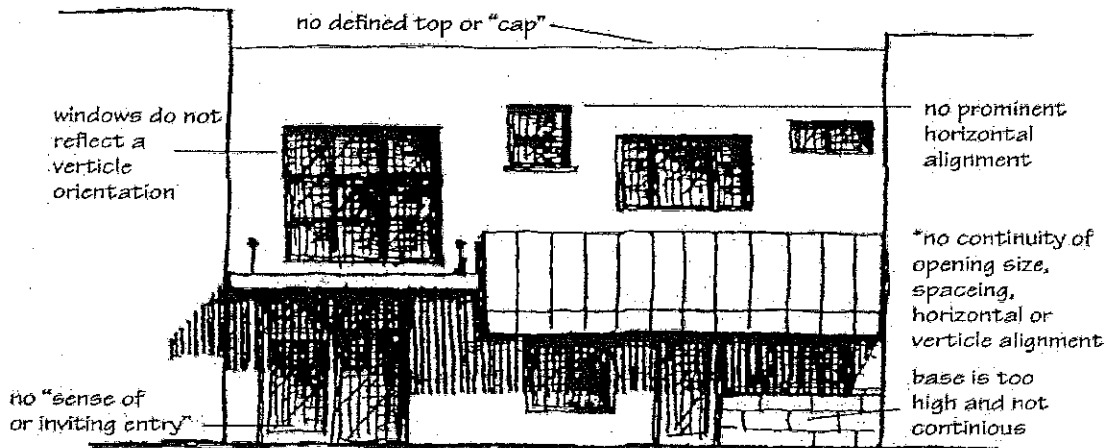


ILLUSTRATION 8

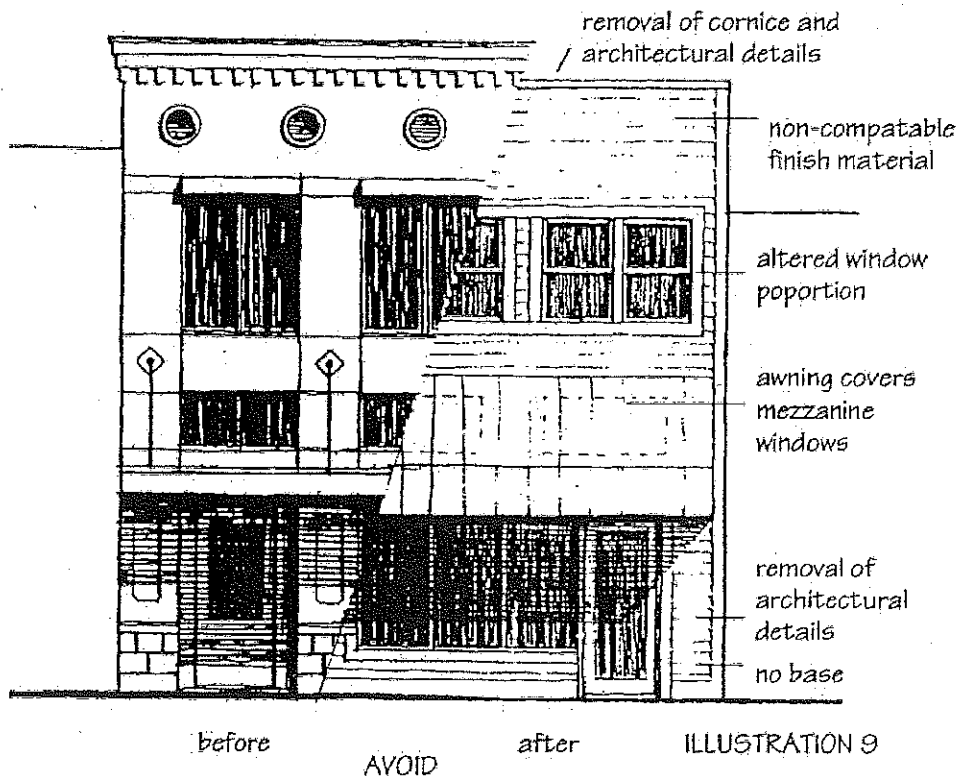
AVOID

### VI-I Awnings, Marquees or Similar Pedestrian Shelters

1. Awnings, marquee or similar pedestrian shelters shall be proportionate to the building and shall not obscure the building's architectural details. If mezzanine or transom windows exist, awning placement shall be placed below the mezzanine or transom windows where feasible (Illustration: Recommend 1, 5, 6 & 10; Avoid 4 & 9).
2. Except for marquees – similar pedestrian shelters such as awnings shall be placed between pilasters (Illustration: Recommend 1 & 5; Avoid 9).
3. Storefronts with prominent horizontal lines at similar levels along the street's storefront shall be maintained by their respective sidewalk coverings (Illustration: Recommend 5; Avoid 8).

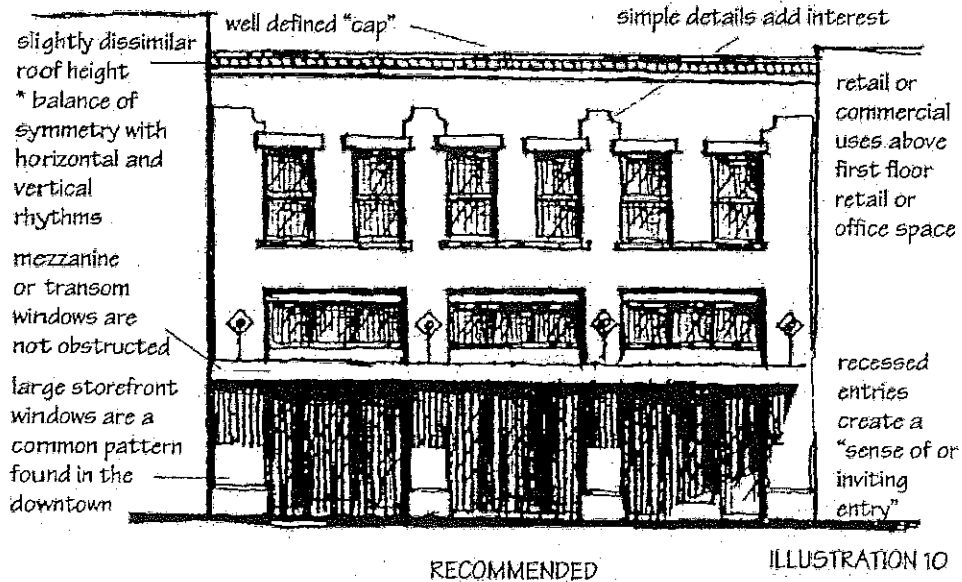
### VI-J Other

1. Non-street or alley facing elevations are less significant than street facing elevations. Rear and sidewalls of buildings should therefore be fairly simple, e.g., wood, block, brick, stucco, cast stone, masonry clad, with or without windows.
2. Visual integrity of the original building shall be maintained when altering or adding building elements. This shall include such features as the vertical lines of columns, piers, the horizontal definition of spandrels and cornices, and other primary structural and decorative elements (Illustration: Recommend 6; Avoid 4 & 9).



3. Restoration, rehabilitation or remodeling projects shall incorporate, whenever possible, original design elements that were previously removed, remodeled or covered over (Illustration: Recommend 6; Avoid 4 & 9).

4. Parking lots adjacent to the pedestrian path are prohibited (Refer to Site Design and Use Standards, Section II-D, for Parking Lot Landscaping and Screening Standards). An exception to this standard would be paths required for handicapped accessibility.

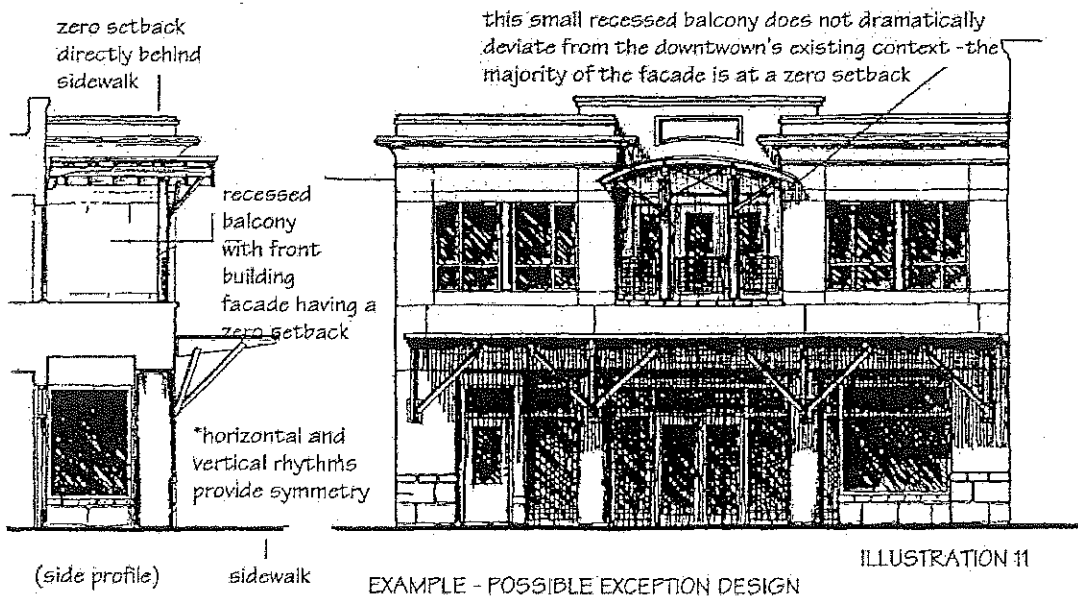


5. Pedestrian amenities such as broad sidewalks, surface details on sidewalks, arcades, alcoves, colonnades, porticoes, awnings, and sidewalk seating shall be provided where possible and feasible.
6. Uses which are exclusively automotive such as service stations, drive-up windows, auto sales, and tire stores are discouraged in the downtown. The City shall use its discretionary powers, such as Conditional Use Permits, to deny new uses, although improvements to existing facilities may be permitted.

#### **VI-K Exception to Standards**

An exception to the Downtown Design Standards is not subject to the Variance requirements of Section 18.100 of the Ashland Municipal Code and may be granted with respect to the Downtown Design Standards if all of the following circumstances are found to exist:

1. There is demonstrable difficulty in meeting the specific requirements of this chapter due to a unique or unusual aspect of the site, an existing structure or proposed use of the site;
2. There is demonstrable evidence that the alternative design accomplishes the purpose of the Downtown Design Standards and Downtown Plan in a manner that is equal or superior to a project designed pursuant to this standard or historical precedent (Illustration; Recommend 11).
3. The exception requested is the minimum necessary to alleviate the difficulty of meeting the Downtown Design Standards.





# URBAN DEVELOPMENT SERVICES, LLC

LAND USE PLANNING AND DEVELOPMENT SERVICES

August 26<sup>th</sup>, 2014

City of Ashland  
Community Development Department  
59 Winburn Way  
Ashland, OR 97520

**RE: Pre-application Narrative; Lithia Way & First Street;  
Tax Lots 391E 09BA, Tax Lots 10102 and 10103**

The applicants are requesting pre-application review and direction from City staff regarding the pre-application narrative and attached plans for Lots #2 & #3 within the First Place Subdivision located along Lithia Way and First Street. The applicants desire to consolidate the property line between the two subject lots and construct a 32,191 square foot three-story mixed-use building. The proposed building will be designed to exteriorly appear as two distinct buildings, but will include some internal connections including a single under-structure basement accommodating enclosed parking and storage.





Site: The subject properties are located along the north side of Lithia Way, between the intersection of First Street and the new building located at 175 Lithia Way, First Place Plaza West (currently under construction). The properties were created through an amalgamation and re-division of various properties in order to form a more contextually appropriate subdivision for the site's urban setting (PA-2012-01122). The end result included three parcels along Lithia Way and two parcels along First Street.

Proposal: The applicants propose to consolidate Lots #2 & #3 and obtain a Site Review Permit to construct a three-story 32,191 square foot building with underground parking. The proposed building will include 6,866 sq. ft. of office/retail space for 65% of the ground floor area with the remaining 3,725 sq. ft. of floor area (35%) dedicated to four ground floor residential units, two of which are to be affordable under the City of Ashland's Affordable Housing Standards in accordance with Resolution #2006-13. The second and third floors generally mirror each other and include six residential condominiums on each floor. The units range in size from 512 sq. ft. to 1,952 sq. ft. and average 1,293 sq. ft. overall.

The applicants will be requesting an Administrative Variance to the Site Design and Use Standards (SD&US), specifically, Section VI-B-3 of the Downtown Design Standards, to allow recessed balconies on the Lithia Way elevation of the proposed building. A second Administrative Variance is also proposed to allow windows for the central section of the building (Plaza Central) to be primarily horizontal rather than vertical as required under the SD&US, Section VI-D-3. The two Administrative Variances are intended to provide visual interest and diversity to the Lithia Way streetscape which is a primary intention of the Downtown Design Standards.

Density: A total of 43 dwelling units have been allocated to the entire First Place Subdivision. Of the 43 dwelling units, there are likely only 30 dwelling units possible due to a combination of market demands, parking constraints and "use" flexibility as explained below. At the present time, 10 of the 43 units are to be located within Plaza West (Lot #1, Building #1 – under construction), 16 within Plaza Central/East (Lots #2 and #3, Building #2 – currently proposed) and eventually four within Plaza North (Lots #4 and #5, Building #3 – pre-application pending). Overall, the proposal is to accommodate 70% of the C-1 zones possible residential base density.

*Note:* As further discussed below, a pre-application will be submitted to the City of Ashland's Community Development Department within the near future and will include preliminary details on a Site Review Permit and Lot Consolidation to construct a single mixed-use building with commercial on the ground floor and four residences on the second and third floors.

Affordable Housing: As noted, two of the 16 units within Plaza Central and Plaza East (Lots #2 and #3) are proposed to be designated affordable as outlined in Resolution #2006-13. Along with the single planned affordable unit in Plaza West (Building #1) and the four "tentatively planned" market rate residential units intended to be constructed in Plaza North (Lots #4 and #5), the total number of affordable units would be three as the required number of affordable units would be 10% of the total number of market rate units. As such, the applicants will be constructing a total of 27 market rate units and three affordable units for the entire First Place subdivision as noted below.

*Affordable Housing Table*

Building Name	Building#	Lot(s) #	Market Rate Units	Affordable Units
Plaza West	Building #1	Lot #1	9	1
Plaza Central & East	Building #2	Lot #2 & 3	14	2
Plaza North	Building #3	Lot #4 & 5	4	0

Parking: The previous application (PA-2012-01122) proposed a total of 56 “open” parking spaces, with 54 on-site and two parking spaces along First Street as on-street parking credits. The current proposal also proposes 56 open parking spaces, but in a slightly altered arrangement to better accommodate additional garage parking as well as more open space. Specifically, there were two parking spaces just south of the northerly open space that have been converted to a trash/recycling enclosure and vehicular back-up area. Also, the first parking space adjacent to the First Street entrance was removed to reduce its slightly difficult turning radius, but which is now proposed to be landscaping. The three replaced parking spaces have now been relocated where the previous plan identified an ingress/egress ramp which is now no longer necessary based on the current plan.

As such, 56 spaces are proposed to be “open” and an additional 33 are to be located within the footprint with Building #1 having 12 enclosed parking spaces, Building #2 having 19 enclosed parking spaces and Building #3 two enclosed parking spaces for a total of 87 on-site parking spaces and two on-street parking credits (89 total parking spaces).

It is the applicant’s intentions to not only provide for the required number of parking spaces based on the provisions of Chapter 18.92, but to also provide for some flexibility for certain uses in the unforeseen future that may require a greater parking space demand (i.e., business retail to restaurant). In this vein, the Parking Allocation Table below identifies the requirements for general retail demand (1 parking space per 350 sq. ft.), residential parking demand (based on number of rooms) and a “surplus” parking column to accommodate possible increases in parking demand.

Note: The table illustrates how the Plaza West (Building #1) is to be allocated an additional surplus parking space as the most current plan for this building is to utilize the ground floor as partial business professional space and partial café space. For this reason, the surplus parking allocation column provides for needed flexibility under those circumstances.

*Parking Allocation Table*

Building Name	Commercial Parking Demand (1:350)	Residential Parking Demand (AMC 18.92.030 A.)	Total Parking Demand	Surplus Parking Allocation
Plaza West	3,800 sq. ft. (11)	10 units (15)	26	1
Plaza Central & East	6,866 sq. ft. (20)	16 units (25)	45	TBD
Plaza North	2,440 sq. ft. (7)	4 units (6.5)	13.5	TBD
Total (89 spaces)			84.5	3.5

Process: Due to the building’s square footage, the applicants are aware the application will be processed as a Type II Planning Action with public hearings before the Tree Commission,

Historic Commission and Planning Commission. Overall, the applicants contend the proposal is well thought, is adaptable to market changes and will be an asset to the Lithia Way and First Street streetscapes and the City of Ashland.

Other Notes:

A) Infrastructure: Other than final sidewalk improvements and final utility connections, the subdivision's entire infrastructure system was installed previously. However, there are a few street trees, tree grates and street lights still pending along either Lithia and/or First Street, but all are projected to be installed and completed in the very near future per a previously submitted agreement. The applicants will complete the remaining portions of the sidewalk fronting the subject two lots during Building #2's completion and will protect the soon to be installed trees and lights with tree protection fencing.

B) Conditions, Covenants and Restrictions (CC&Rs): A copy of the building's CC&Rs will be provided with the building plans to address common and privately owned assets for maintenance requirements, use restrictions and parking assignments. Such documentation will be completed by a local attorney familiar with Oregon Condominium Law and Planned Communities Act.

C) Lots #4 and #5: It is expected in the near future, possibly by the time this particular pre-application is under review, a second pre-application will be submitted for a building on Lots #4 and #5. At this preliminary juncture, the two lots will also be consolidated and one building (Building #3) will be proposed. Building #3 will also be mixed-use with commercial on the ground floor and residential on the second and third floors.

If for any reason staff has a question pertaining to this proposal or there is a need to meet on-site, please do not hesitate to contact me at 541-821-3752. Again, thank you for your time spent reviewing the application.

Sincerely,

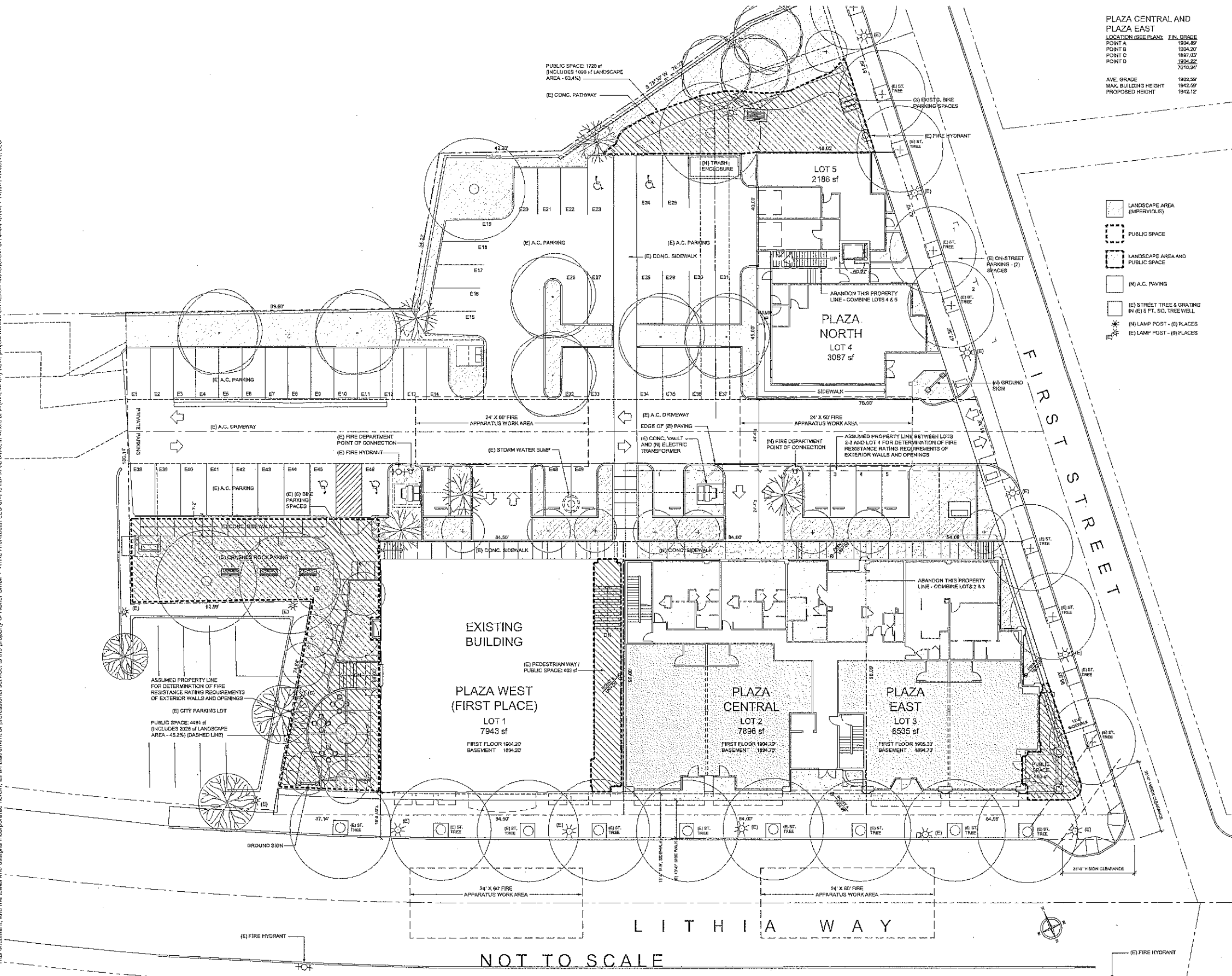
Mark Knox, Project Planner

FIRST PLACE: PLAZA CENTRAL EAST and PLAZA NORTH

8/26/2014

AREAS	LOT 1	LOT 2-3	LOT 4-5	COMMON	TOTALS	COMMENTS
<b>LOT AREA</b>	7,943	14,431	5,273	35,411	63,058	
BASEMENT	6,508	11,198	0	0	17,706	
1ST FLOOR	5,794	10,591	3,512	0	19,897	
2ND FLOOR	6,478	10,800	3,807	0	21,085	
3RD FLOOR	6,260	10,800	2,389	0	19,458	
<b>TOTAL</b>	<b>25,040</b>	<b>43,389</b>	<b>9,718</b>	<b>0</b>	<b>78,147</b>	
<b>AREA w/o BASEMENT</b>	<b>18,532</b>	<b>32,191</b>	<b>9,718</b>	<b>0</b>	<b>60,441</b>	
<b>FLOOR AREA RATIO</b>						
PROPOSED	39.7%	68.8%	15.4%	n.a.	123.9%	Total building area / total lot area for all lots
PROPOSED	315.2%	300.7%	184.3%	n.a.	123.9%	Total building area / lot area
REQUIRED	n.a.	n.a.	n.a.	n.a.	n.a.	No restrictions within Historic Districts
<b>PUBLIC SPACE AREAS</b>						
REQUIRED	1,853	3,219	972	0	6,044	Area w/o basement x 10% for area > 10,000 sf
PROPOSED ON LOT	604	463	0	0	1,067	
PROPOSED ON COMMON LOT	1,249	2,756	972	2,301	7,278	
<b>TOTAL FOR LOT</b>	<b>1,853</b>	<b>3,219</b>	<b>972</b>	<b>0</b>	<b>6,044</b>	
DIFFERENCE	0	0	0	0	2,301	Surplus Public Space
<b>RESIDENTIAL DENSITY (max)</b>						
LOT ACREAGE	0.182 ac	0.331 ac	0.121 ac	0.813 ac	1.448 ac	30 D.U. / acre in C1 District
DWELLING UNITS (D.U.)	10	16	4	0	30	Proposed Dwelling Units
ALLOWED (D.U.)					43	Allowed D.U.'s based on total area of all lots
DIFFERENCE					-13	
<b>GROUND FLOOR USE AREAS</b>						
COMMERCIAL AREA	3800	8890	2440	n.a.	13,130	
% GROUND FLOOR	65.8%	65.1%	69.5%	n.a.	66.0%	65% minimum
RESIDENTIAL AREA	1894	3701	1072	n.a.	6,767	
% GROUND FLOOR	34.4%	34.9%	30.5%	n.a.	34.0%	35% maximum
<b>TOTAL</b>	<b>5,794</b>	<b>10,591</b>	<b>3,512</b>	<b>0</b>	<b>19,897</b>	
<b>AUTO PARKING ALLOCATIONS</b>						
<b>PROPOSED PARKING:</b>						
ON-SITE	15 sp	26 sp	13 sp	0 sp	54 sp	Allotments may vary for Lots 2-5
ON STREET				2 sp	2 sp	
BASEMENT / GARAGES	12 sp	19 sp	2 sp	0 sp	33 sp	Proposed basement parking
<b>TOTAL ALLOCATED</b>	<b>27 sp</b>	<b>45 sp</b>	<b>15 sp</b>	<b>2 sp</b>	<b>89 sp</b>	
<b>REQUIRED PARKING:</b>						
COMMERCIAL - GEN. OFFICE	0.0	0.0	0.0	n.a.	0 sp	
COMMERCIAL - RETAIL	5.0	19.7	7.0	n.a.	32 sp	
COMMERCIAL - CAFÉ	7.0	0.0	0.0	n.a.	7 sp	
STUDIO > 500 s.f. (1.5/unit)	1.0	3.0	0.0	n.a.	4 sp	
1 BEDROOM < 500 s.f. (1/unit)	0.0	0.0	0.0	n.a.	0 sp	
1 BEDROOM > 500 s.f. (1.5/unit)	10.5	15.0	3.0	n.a.	29 sp	
2 BEDROOM (1.75/unit)	3.5	7.0	3.5	n.a.	14 sp	
3 BEDROOM (2.0/unit)	0.0	0.0	0.0	n.a.	0 sp	
<b>TOTAL REQUIRED</b>	<b>27 sp</b>	<b>45 sp</b>	<b>13 sp</b>	<b>0 sp</b>	<b>85 sp</b>	
DIFFERENCE	0 sp	0 sp	2 sp	2 sp	4 sp	Surplus Parking
<b>BIKE PARKING</b>						
<b>PROPOSED PARKING:</b>						
ON-SITE	0 sp	0 sp	0 sp	9 sp	9 sp	
BASEMENT / GARAGE	10 sp	18 sp	4 sp	0 sp	32 sp	
<b>TOTAL ALLOTTED</b>	<b>10 sp</b>	<b>18 sp</b>	<b>4 sp</b>	<b>9 sp</b>	<b>41 sp</b>	
<b>REQUIRED PARKING:</b>						
COMMERCIAL	0 sp	0 sp	0 sp	0 sp	0 sp	
STUDIO / 1-BEDROOM	8 sp	12 sp	2 sp	0 sp	22 sp	1 space / Unit
2-BEDROOM UNITS	3 sp	6 sp	3 sp	0 sp	12 sp	1.5 space / Unit
3-BEDROOM UNITS	0 sp	0 sp	0 sp	0 sp	0 sp	2.0 space / Unit
<b>TOTAL ALLOTTED</b>	<b>11 sp</b>	<b>18 sp</b>	<b>5 sp</b>	<b>0 sp</b>	<b>34 sp</b>	

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PLAZA CENTRAL AND PLAZA EAST

LOCATION (SEE PLAN)	FIN. GRADE
POINT A	1904.89
POINT B	1904.20
POINT C	1893.23
POINT D	1904.22
	7810.34
AVE. GRADE	1902.59
MAX. BUILDING HEIGHT	1942.59
PROPOSED HEIGHT	1942.12

- LANDSCAPE AREA (IMPERVIOUS)
- PUBLIC SPACE
- LANDSCAPE AREA AND PUBLIC SPACE
- (N) A.C. PAVING
- (E) STREET TREE & GRATING IN (E) 5 FT. SQ. TREE WELL
- (N) LAMP POST - (E) PLACES
- (E) LAMP POST - (E) PLACES



(541) 488 8200  
552 A Street Suite 1  
Ashland, OR 97122

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PRELIMINARY  
8-14-14  
REVISIONS

PLAZA CENTRAL AND PLAZA EAST  
COMMERCIAL AND RESIDENTIAL CONDOMINIUMS  
LITHIA FIRST SUBDIVISION - LOTS 2 & 3  
OWNER: FIRST PLACE PARTNERS, LLC  
PROJECT ADDRESS: 175 LITHIA WAY, ASHLAND, OREGON

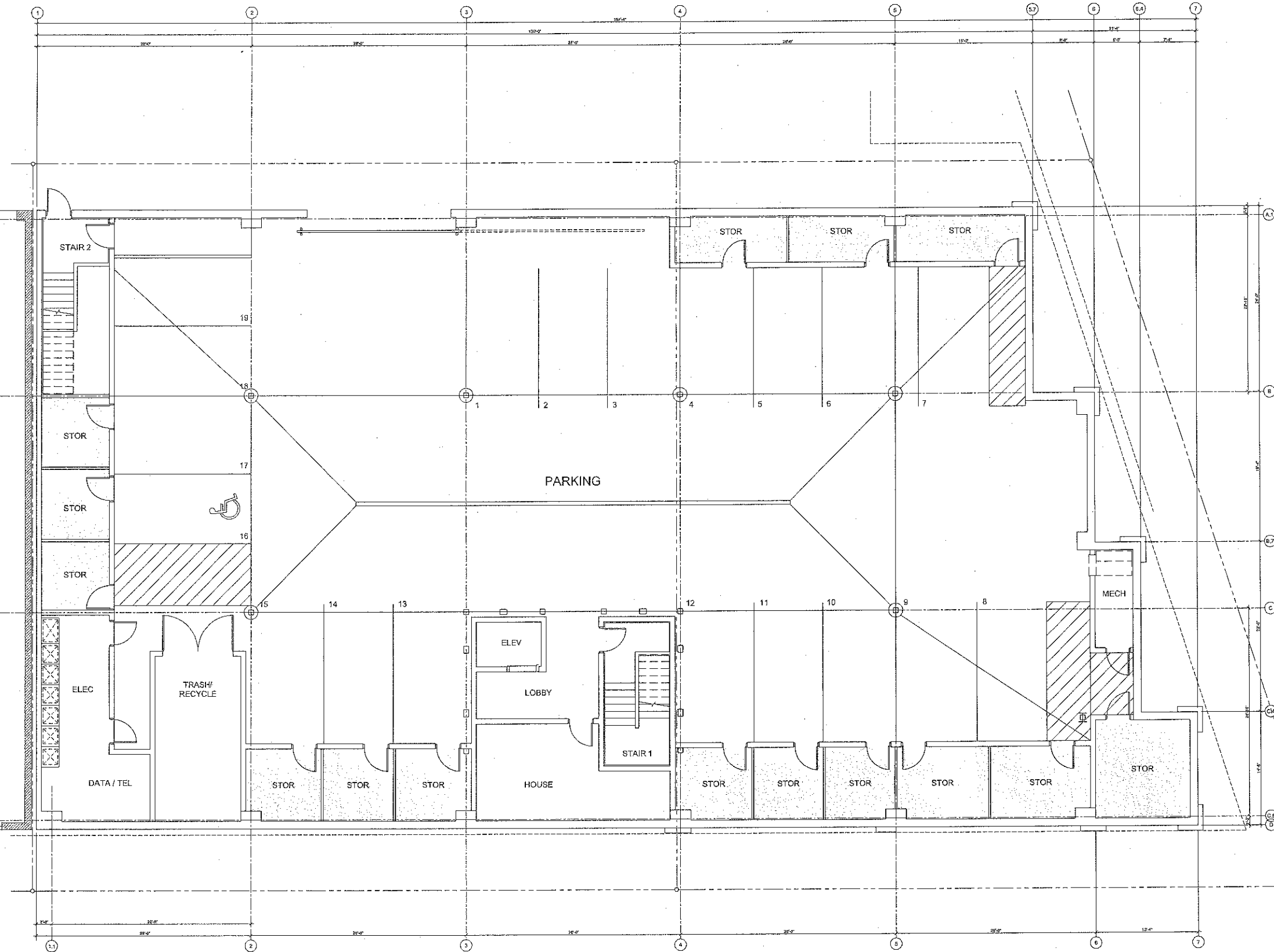
ARCHITECTURAL SITE PLAN

JOB NO.	14-009
DATE	8-14-14
SCALE	
DRAWN	JW

SHEET: **A1**

NOT TO SCALE

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- COMMERCIAL / RETAIL
- RESIDENTIAL
- COMMON AREAS

NOT TO SCALE

11,198 ± sf (gross)

BASEMENT FLOOR PLAN 1



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Ashland, OR 97520

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REVISIONS

PLAZA CENTRAL AND PLAZA EAST  
COMMERCIAL AND RESIDENTIAL CONDOMINIUMS  
LITHIA FIRST SUBDIVISION - LOTS 2 & 3  
OWNER: FIRST PLACE PARTNERS, LLC  
PROJECT ADDRESS: 175 LITHIA WAY, ASHLAND, OREGON

BASEMENT FLOOR PLAN

JOB NO. 14-008
DATE: 8-14-14
SCALE:
DRAWN:

SHEET: **A2**

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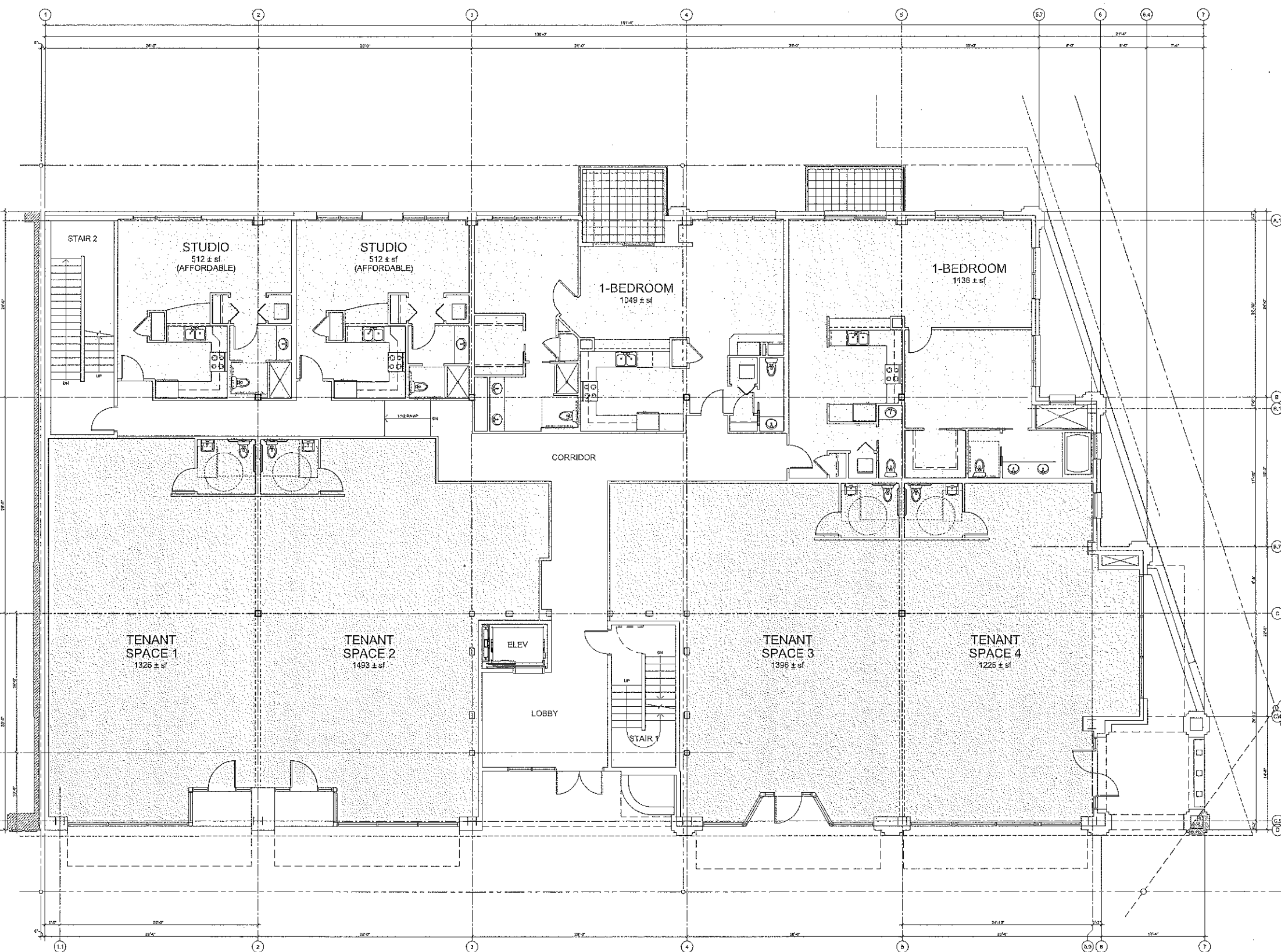
**PLAZA CENTRAL AND PLAZA EAST**  
COMMERCIAL AND RESIDENTIAL CONDOMINIUMS  
LITHIA FIRST SUBDIVISION - LOTS 2 & 3  
OWNER: FIRST PLACE PARTNERS, LLC  
PROJECT ADDRESS: 175 LITHIA WAY ASHLAND, OREGON

FIRST FLOOR PLAN

JOB NO.	14-000
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CHECKED BY	

**A3**

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- COMMERCIAL / RETAIL
- RESIDENTIAL
- COMMON AREAS

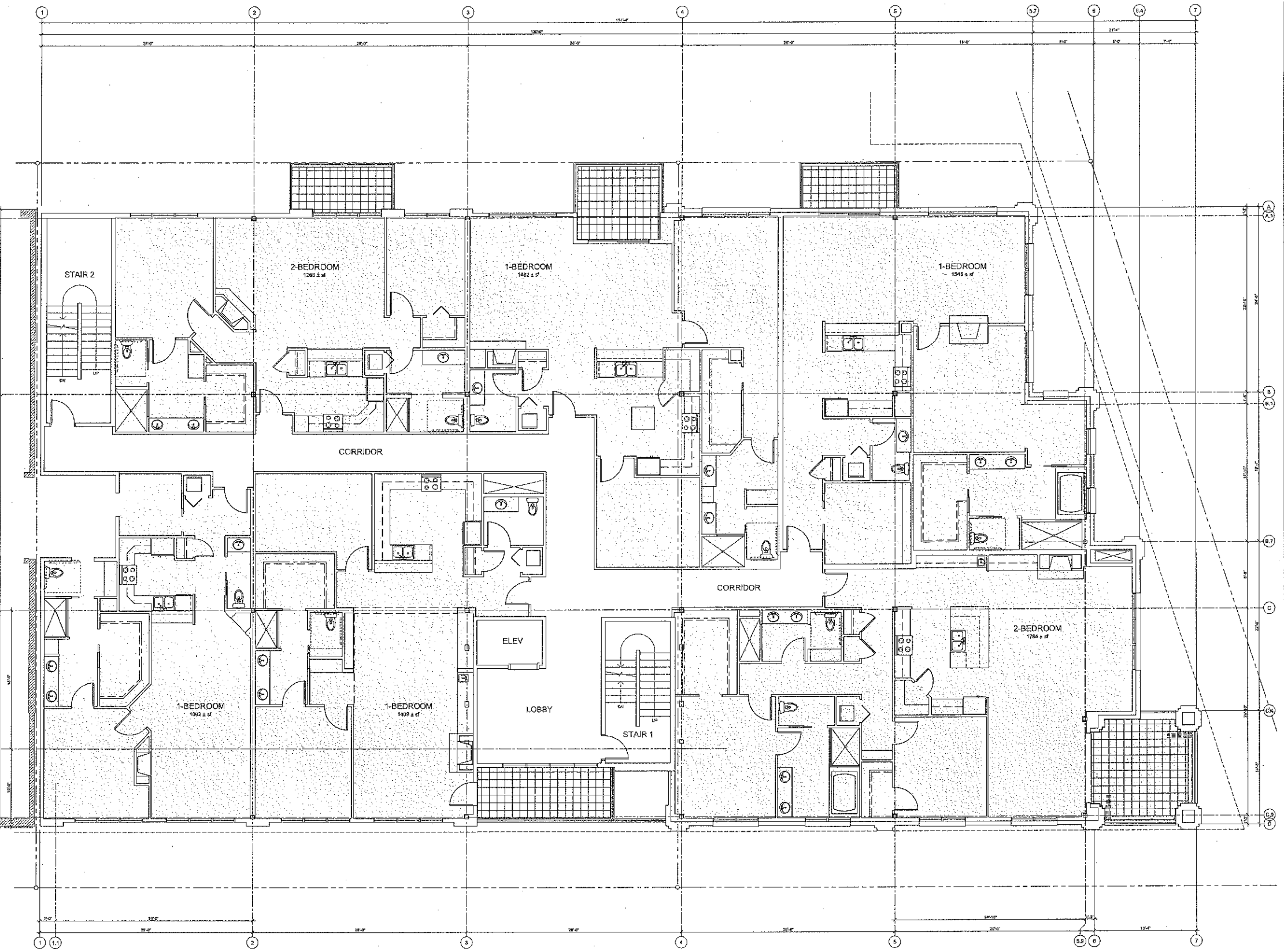
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

10,591 ± sf (gross)

FIRST FLOOR PLAN  
1/8" = 1'-0" 1

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-  COMMERCIAL / RETAIL
-  RESIDENTIAL
-  COMMON AREAS

NOT TO SCALE

10,800 ± sf (gross)

SECOND FLOOR PLAN  
1/4" = 1'-0" 1

PLAZA CENTRAL AND PLAZA EAST  
COMMERCIAL AND RESIDENTIAL CONDOMINIUMS  
LITHIA FIRST SUBDIVISION - LOTS 2 & 3  
OWNER: FIRST PLACE PARTNERS, LLC  
PROJECT ADDRESS: 175 LITHIA WAY, ASHLAND, OREGON

SECOND FLOOR PLAN

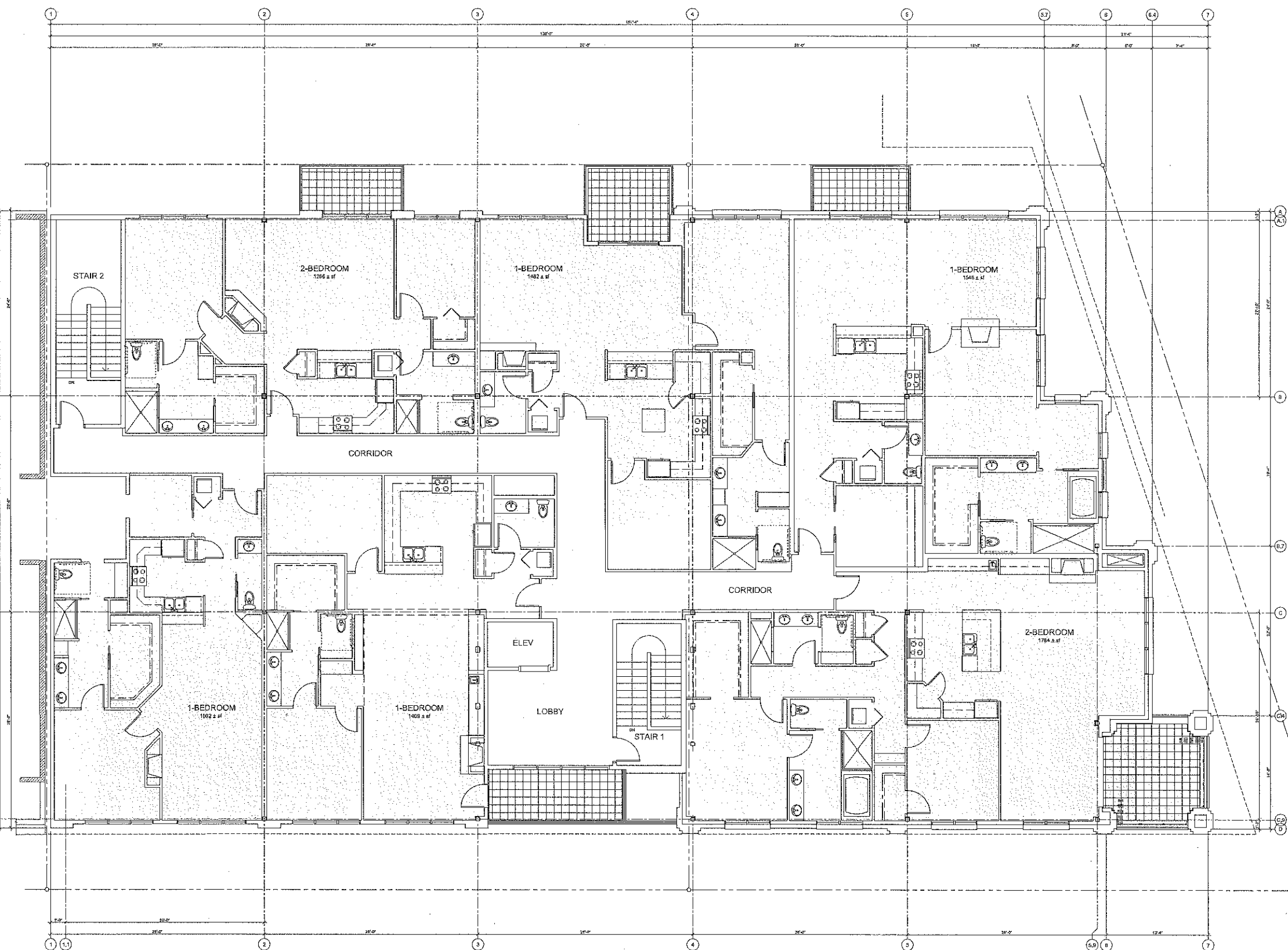
JOB NO.:	14-209
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SCALE:	
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A4



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6-14-14  
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COMMERCIAL / RETAIL  
 RESIDENTIAL  
 COMMON AREAS

NOT TO SCALE

10,800 ± sf (gross)

THIRD FLOOR PLAN  
1/4" = 1'-0"

**PLAZA CENTRAL AND PLAZA EAST**  
COMMERCIAL AND RESIDENTIAL CONDOMINIUMS  
LITHIA FIRST SUBDIVISION - LOTS 2 & 3  
OWNER: FIRST PLACE PARTNERS, LLC  
PROJECT ADDRESS: 175 LITHIA WAY ASHLAND, OREGON

FIRST FLOOR PLAN  
JOB NO.: 14-001  
DATE: 6-14-14  
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**A5**

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PREAPPLICATION SUBMITTAL 8-21-14  
REVISIONS



First Street Elevation



Lithia Way Elevation

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PLAZA CENTRAL AND PLAZA EAST  
COMMERCIAL AND RESIDENTIAL CONDOMINIUMS  
LITHIA FIRST SUBDIVISION - LOTS 2 & 3  
OWNER: FIRST PLACE PARTNERS, LLC  
PROJECT ADDRESS: 175 LITHIA WAY ASHLAND, OREGON

SOUTH & EAST ELEVATIONS

JOB NO. 114-009  
DATE: 10-21-14  
SCALE: 1/8"=1'-0"  
DRAWN: [ ]

SHEET: A6

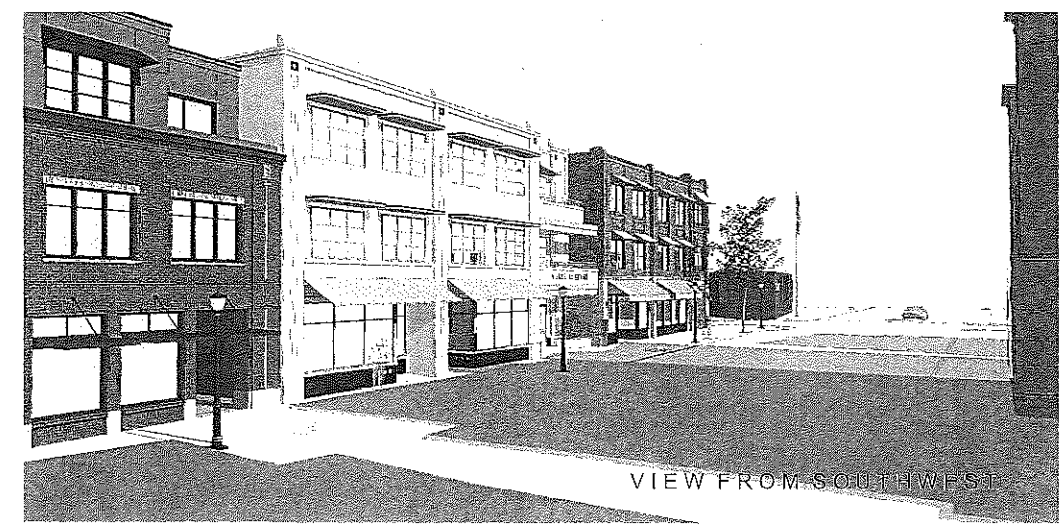
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LITHIA WAY APPROACH



VIEW FROM SOUTHEAST



VIEW FROM SOUTHWEST

NOT TO SCALE

kistler +  
small  
+white

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 PREAPPLICATION  
 SUBMITTAL  
 8-21-14  
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PLAZA CENTRAL AND PLAZA EAST  
 COMMERCIAL AND RESIDENTIAL CONDOMINIUMS  
 LITHIA FIRST SUBDIVISION - LOTS 2 & 3  
 OWNER: FIRST PLACE PARTNERS, LLC  
 PROJECT ADDRESS: 175 LITHIA WAY ASHLAND, OREGON

PERSPECTIVE  
 VIEWS

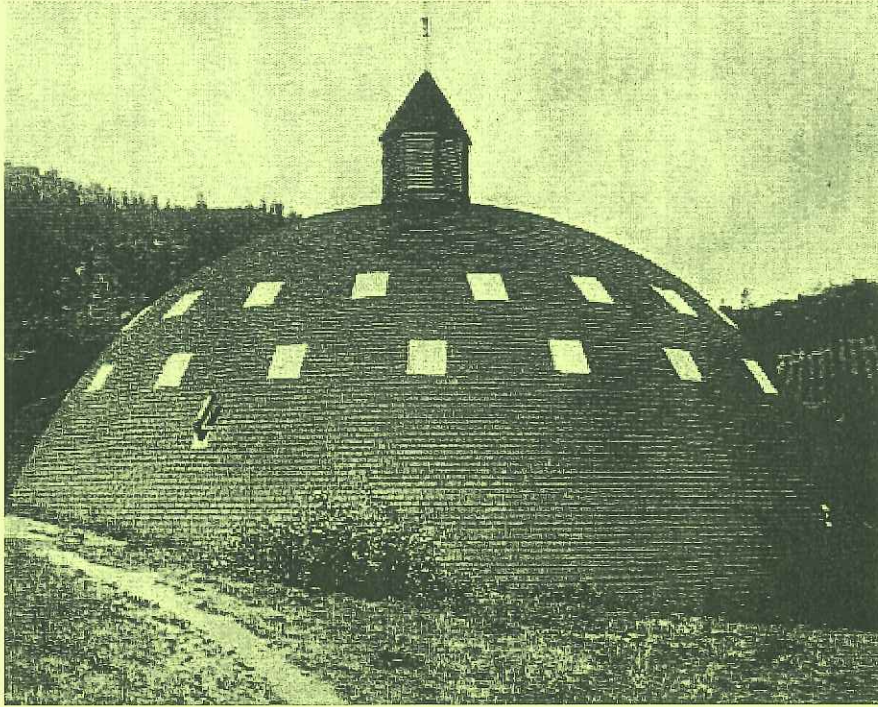
JOB NO.: 14-009  
 DATE: 8-21-14  
 SCALE:  
 DRAWN:

SHEET:

A0



**September 2014**



**Ashland Historic Review Board Schedule  
Meet at 3:00pm, Lithia Room\***

**Sept 4<sup>th</sup> Keith, Allison**

**Sept 11<sup>th</sup>**

**Sept 18<sup>th</sup>**

**Sept 25<sup>th</sup>**

**Oct 4<sup>th</sup>**

\*Call 541-488-5305 to verify there are items on the agenda to review

# CITY OF ASHLAND

## ASHLAND HISTORIC COMMISSION Membership List

Commissioner's Name	Term Expiration	Mailing Address	Home Phone	Work Phone	E-Mail Address
Allison Renwick	4-30-2015	157 Sixth Street	482-6788		allison@mind.net
Dale Shostrom	4-30-2015	309 N Pioneer Street	482-8737	482-9761 Fax 488-2767	shobro@jeffnet.org (Cell - 621-9761)
Keith Swink	4-30-2016	524 Granite St.	482-8802	821-4375	kswink@mind.net
Kerry Kencairn	4-30-2016	545 A Street		488-3194	kerry@kencairnlandscape.com
Sam Whitford	4-30-2015	355 Scenic Drive	482-3450	821-0474	skwhippet@mind.net
Terry Skibby Chairman	4-30-2016	611 Beach Street	482-2805		terryskibby321@msn.com
Tom Giordano	4-30-2014	105 Lincoln St #A		482-9193 (Call to fax)	tomarch@charter.net
Victoria Law	4-30-2014	406 Iowa Street	261-6605		astreetarts@hotmail.com
Council Liaison Mike Morris					mike@council.ashland.or.us
Amy Gunter Assistant Planner		City of Ashland Planning Dept.		552-2044	guntera@ashland.or.us
Regan Trapp Admin. Staff		City of Ashland Planning Dept.		552-2233	regan.trapp@ashland.or.us