

Note: Anyone wishing to speak at any Planning Commission meeting is encouraged to do so. If you wish to speak, please rise and, after you have been recognized by the Chair, give your name and complete address for the record. You will then be allowed to speak. Please note that the public testimony may be limited by the Chair and normally is not allowed after the Public Hearing is closed.

**ASHLAND PLANNING COMMISSION  
REGULAR MEETING  
MAY 11, 2010  
AGENDA**

- I. **CALL TO ORDER:** 7:00 PM, Civic Center Council Chambers, 1175 E. Main Street
- II. **ANNOUNCEMENTS**
- III. **CONSENT AGENDA**
- A. **Approval of Minutes**
1. April 13, 2010 Planning Commission Minutes
  2. April 27, 2010 Study Session Minutes
- IV. **PUBLIC FORUM**
- V. **TYPE II PUBLIC HEARINGS**
- A. **PLANNING ACTION: #2009-00726**  
**SUBJECT PROPERTIES: 720 Grandview Drive**  
**APPLICANT: McDonald, Lynn & Bill**  
**DESCRIPTION:** Appeal by Bonnie Brodersen of the Staff Advisor's decision to approve a Physical and Environmental Constraints Review Permit for the property located at 720 Grandview Drive. Planning Action #2006-01784 previously granted approval for development in the Wrights Creek Floodplain and Riparian Preservation Lands for the improvement of a portion of an existing driveway, re-grading the transition of the driveway to Grandview Drive, the installation a private storm drain and the extension of utilities to serve a new single-family residence. The current application again requests a Physical & Environmental Constraints Review Permit for development in the Wrights Creek Floodplain and Riparian Preservation Lands for the improvement of a portion of an existing driveway, re-grading the transition of the driveway to Grandview Drive, the installation a private storm drain and the extension of utilities to serve a new single-family residence. The current request differs from the previous approval in that it involves alterations to accommodate changes in vehicular access. A request for a Tree Removal Permit to remove two dead poplar trees is also included. **COMPREHENSIVE PLAN DESIGNATION:** Single Family Residential; **ZONING:** R-1-10; **ASSESSOR'S MAP #:** 39 1E 05 CD; **TAX LOT:** 500.
- B. **PLANNING ACTIONS: #2009-01244**  
**SUBJECT PROPERTY: 1644 Ashland Street**  
**APPLICANT: Goodman Networks, Inc. for AT&T Wireless, LLC**  
**DESCRIPTION:** A request for Site Review approval and a Conditional Use Permit to install rooftop wireless communications facilities on the existing Ashland Street Cinema building located at 1644 Ashland Street, and associated ground mounted equipment. The installation consists of 12 architecturally-integrated panel antennas. The application includes a request for an Administrative Variance from Site Design and Use Standards required landscape buffer. The subject property is located within the Detail Site Review Zone and the Ashland Boulevard Corridor, and the existing building is also subject to Additional Standards for Large Scale Projects. **COMPREHENSIVE PLAN DESIGNATION:** Commercial; **ZONING:** C-1; **ASSESSOR'S MAP #:** 39 1E 15 AB; **TAX LOT:** 6800.
- VI. **ADJOURNMENT**

**CITY OF  
ASHLAND**



In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development office at 541-488-5305 (TTY phone is 1-800-735-2900). Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting (28 CFR 35.102-35.104 ADA Title 1).

**CITY OF  
ASHLAND**  
ASHLAND PLANNING COMMISSION  
REGULAR MEETING  
MINUTES  
April 13, 2010

**CALL TO ORDER**

Chair Pam Marsh called the meeting to order at 7:00 p.m. in the Civic Center Council Chambers, 1175 East Main Street.

**Commissioners Present:**

Larry Blake  
Michael Dawkins  
Dave Dotterer  
Pam Marsh  
Melanie Mindlin  
Mike Morris  
John Rinaldi, Jr.

**Staff Present:**

Brandon Goldman, Senior Planner  
Derek Severson, Associate Planner  
Richard Appicello, City Attorney  
April Lucas, Administrative Assistant

**Absent Members:**

Debbie Miller

**Council Liaison:**

Eric Navickas, absent

**ANNOUNCEMENTS**

Senior Planner Brandon Goldman introduced the City's new Assistant Planner Michael Piña to the Planning Commission.

**CONSENT AGENDA**

**A. Approval of Minutes.**

1. March 9, 2010 Planning Commission Minutes.

Commissioners Dotterer/Dawkins m/s to approve the Consent Agenda. Voice Vote: all AYES. Motion passed 8-0.

**PUBLIC FORUM**

No one came forward to speak.

**TYPE II PUBLIC HEARINGS**

**A. PLANNING ACTION: #2009-00726**

**SUBJECT PROPERTIES:** 720 Grandview Drive

**APPLICANT:** McDonald, Lynn & Bill

**DESCRIPTION:** Appeal by Bonnie Brodersen of the Staff Advisor's decision to approve a Physical and Environmental Constraints Review Permit for the property located at 720 Grandview Drive. Planning Action #2006-01784 previously granted approval for development in the Wrights Creek Floodplain and Riparian Preservation Lands for the improvement of a portion of an existing driveway, re-grading the transition of the driveway to Grandview Drive, the installation a private storm drain and the extension of utilities to serve a new single-family residence. The current application again requests a Physical & Environmental Constraints Review Permit for development in the Wrights Creek Floodplain and Riparian Preservation Lands for the improvement of a portion of an existing driveway, re-grading the transition of the driveway to Grandview Drive, the installation a private storm drain and the extension of utilities to serve a new single-family residence. The current request differs from the previous approval in that it involves alterations to accommodate changes in vehicular access. A request for a Tree Removal Permit to remove two dead poplar trees is also included. **COMPREHENSIVE PLAN DESIGNATION:** Single Family Residential; **ZONING:** R-1-10; **ASSESSOR'S MAP #:** 39 1E 05 CD; **TAX LOT:** 500.

Commissioner Marsh read aloud the public hearing procedures for land use hearings.

### **Declaration of Ex Parte Contact**

Commissioners Dawkins, Blake, Mindlin, Dotterrer, Rinaldi and Marsh reported site visits. No ex parte contact was reported by any of the commissioners.

Commissioner Marsh read aloud the applicable criteria for this planning action; she also noted a letter was submitted by the Appellant, Bonnie Brodersen, requesting the record be kept open for 7 days.

### **Staff Report**

Associate Planner Derek Severson presented the staff report for this application. He reviewed the location of the subject property, the Applicant's prior approval, and their current proposal. He explained the Applicant had previously received approval to improve the driveway leading to their property which crosses the corner of tax lot 411. At the time, the owners of tax lot 411 verbally agreed to an access easement; however the Appellant, Bonnie Brodersen, is now the owner of that property and is not willing to grant the same easement. Due to this change in access, the Applicant's are proposing to construct a new driveway that would be located 13 ft. closer to the creek in order to avoid the corner of the Ms. Brodersen's property. Mr. Severson noted the previously approved improvement would have resulted in approximately 324 sq. ft. of disturbance within the riparian zone, and the current proposal will result in 743 sq. ft. disturbance.

Mr. Severson addressed the concerns raised by the Appellant. He clarified while staff does not believe the proposed driveway improvement will impede access to the Appellant's property, staff is recommending that the Applicant's landscape plan be revised to ensure future access to this property. He stated the Appellant has also raised objections with which ordinances apply. Mr. Severson clarified the bulk of the Applicant's property, including the area identified in the application, are entirely below 25% slope, and therefore the Severe Constraints ordinance does not apply. Additionally, the Water Resources ordinance does not apply because this application was submitted prior to that ordinance taking effect.

Mr. Severson clarified this application was previously granted an extension and has been extended again through the Recession Extension Ordinance. He explained the question before the Commission this evening is whether to approve the driveway improvement which results in 743 sq. ft. of disturbance. He clarified this application is substantially the same as the previous application and results in the same end product on the ground. He stated the Applicant's have exhausted all of their options to access their property from the only available right of way and stated staff is recommending the Commission's approval.

### **Applicant's Presentation**

**Mark Bartholomew/Applicant's Representative/Mr. Bartholomew** introduced Landscape Architect Kerry KenCairn, Engineer Mike Thornton, and noted the applicant Lynn McDonald is also present. Mr. Bartholomew stated the staff report does a good job of identifying the issues and presenting the history as clear as possible. He commented that they have been working on this for many years and provided some background on this project. He explained this action started as a simple building permit, but that administrative approval was appealed by the neighbor, Bonnie Brodersen. He stated the Applicants voluntary remanded the application and the City agreed to address Ms. Brodersen's assignments of error. The application was taken before the Planning Commission and approved, but that approval was then appealed by Ms. Brodersen. An appeal hearing was held in front of the City Council and the Council upheld the Planning Commission's decision. Ms. Brodersen then appealed the Council's decision to the Land Use Board of Appeals (LUBA), who also ultimately upheld the City's decision. Mr. Bartholomew explained that following the affirmative LUBA decision, the Ms. Brodersen purchased the adjacent property and will not grant the same easement identified in the original application. With that option exhausted, Mr. Bartholomew stated they are now forced to construct a separate driveway closer to the creek. He stated they have no other alternative and this is the only access to the property.

Mr. Bartholomew clarified the portion of land that would be disturbed is further away from the creek than the existing Grandview Drive, and stated the Land Use Code allows for this as long as the disturbance is kept to a minimum.

Mr. Bartholomew acknowledged the Appellant's request to leave the record open for 7 days and asked that they be granted an additional 7 days to submit final written argument.

### Public Testimony

**Joseph Bova/821 Grandview/Voiced** his support for the Commission's approval of this application and stated construction of a single family home in this location will be an improvement to the neighborhood. Mr. Bova commented on the Appellant's objections and stated the nearby intermittent creek is non-fish bearing and is not a significant riparian corridor. He thanked the Applicants for the measures they are taking to keep pollutants from entering the creek and stated the proposed driveway may actually reduce the amount of sediment. Mr. Bova commented that the Appellant in this action raised the same arguments in the mid-1990's when she appealed the building site for his home. He questioned the Appellant's motivations and stated if she truly cared about the environment she would grant the easement that would allow the driveway to be located further back from the riparian area. But since she is unwilling to do so, the Applicants are forced to move the driveway closer to the creek. Mr. Bova concluded his testimony by encouraging the Commission to support this Application.

### Rebuttal by the Applicant

**Kerry KenCairn/Project's Landscape Architect/Noted** a concern has been raised in regards to the Ponderosa Pine tree and noted the Arborist's letter included in the packet indicates there is no threat to this tree as part of this application. She added they are doing everything they can to stay as far away from the creek as possible. In regards to the proposed condition to modify their landscape plan, Ms. KenCairn stated she did not realize this was an access lot and stated it will not be a problem to modify the landscape plan.

**Mike Thornton/Project Engineer/Stated** they have done the minimal amount possible in terms of road construction in order to provide this access. He stated they understand the importance of protecting the riparian corridor and stated they believe their small impact will have no net negative impact on this riparian habitat.

*Commission Marsh closed the public hearing at 7:40 p.m.*

### Questions of Staff

Mr. Severson clarified staff is asking that the Applicant's landscape plan be adjusted so that their plantings do not impede future access to the adjacent tax lot.

In terms of the new driveway, Mr. Severson clarified the Applicant's will have to grade a transition from the gravel to a paved surface.

**Commissioners Dotterrer/Rinaldi m/s to leave the record open until April 21, 2010 at 4:30 p.m. (final written arguments will be due by April 28, 2010 at 4:30 p.m.) and to continue this item to the May 11, 2010 Planning Commission meeting. Voice Vote: all AYES. Motion passed 7-0.**

### OTHER BUSINESS

**A. Approval of Findings for 2010-2020 SOU Campus Master Plan (PA-2009-00817)**

**Commissioners Dawkins/Morris m/s to approve the Findings for Planning Action 2009-00817. Voice Vote: all AYES. Motion passed 7-0.**

### ADJOURNMENT

Meeting adjourned at 7:50 p.m.

*Respectfully submitted,  
April Lucas, Administrative Assistant*

**CITY OF  
ASHLAND**  
ASHLAND PLANNING COMMISSION  
STUDY SESSION  
MINUTES  
April 27, 2010

**CALL TO ORDER**

Chair Pam Marsh called the meeting to order at 7:00 p.m. in the Civic Center Council Chambers, 1175 East Main Street.

**Commissioners Present:**

Larry Blake  
Michael Dawkins  
Dave Dotterer  
Pam Marsh  
Melanie Mindlin  
Mike Morris  
John Rinaldi, Jr.

**Staff Present:**

Bill Molnar, Community Development Director  
Brandon Goldman, Senior Planner  
Derek Severson, Associate Planner  
Linda Reid, Housing Program Specialist  
April Lucas, Administrative Assistant

**Absent Members:**

Debbie Miller, absent

**Council Liaison:**

Eric Navickas

**ANNOUNCEMENTS**

Community Development Director Bill Molnar noted the Economic Development Strategy update will come before the Commission at their May Study Session. He also commented on the Croman Mill Plan and stated the Council held their first public hearing on April 6<sup>th</sup> and this item will be continued at the Council's May 4<sup>th</sup> meeting.

Commissioner Marsh stated at the May Study Session she would like the Commission to revisit the goals they set at their annual retreat and determine what still needs to be accomplished before the end of the year.

**PRESENTATIONS**

**A. 2010-2014 CDBG Consolidated Plan Update.**

Housing Program Specialist Linda Reid and Senior Planner Brandon Goldman provided a presentation on the 2010-2014 CDBG Consolidated Plan. Mr. Goldman explained the Consolidated Plan contains an assessment of needs for specific eligible activities to benefit low income populations and populations with special needs. It also contains a housing market analysis, an evaluation of resources that are available to serve the specific populations, an assessment of barriers to affordable housing, an analysis of impediments to fair housing, an evaluation of economic and community development needs, and an outline of the public participation process for how the CDBG funds will be allocated. He noted most of the demographic information comes from the 2000 Census but in order to have it be more up to date, Ms. Reid and the Housing Commission supplemented the 2006-2008 American Survey data.

Ms. Reid commented on the Consolidated Plan's public participation process, provided information on the City's housing types and vacancy rates, and provided information on the City's demographics. The following are some of the key figures listed by Ms. Reid:

- Ashland has 17 Census block groups and of those 8 are considered low to moderate income.
- Between 1990 and 2008 the total population of people 55 or older doubled; and all other age groups with the exception of children under age 5 were reduced.
- There is a higher percentage of individuals living below the poverty level in Ashland than in Jackson County, the State of Oregon, and the United States as a whole.
- Ashland has a lower median income than Medford, Jackson County, the State of Oregon, and the United States.

Staff noted the City Council approved the 2010-2010 Consolidated Plan on April 20, 2010 and asked if the Planning Commissioners had any questions.

Commissioner Dotterer asked what impact Southern Oregon University students have on this data. Ms. Reid stated it is not possible to separate this information out of the Census report; however the University is coming out with their own data which will be very helpful.

Commissioner Mindlin asked if CDBG funds could be used for transportation needs. Ms. Reid stated CDBG funds could be used for transportation improvements if those improvements primarily benefit low to moderate income families, and she provided some examples. Mr. Molnar noted the current Obama administration is moving in the direction of forming relationships between transportation and housing needs and indicated there may be future funding possibilities in this regard. Mindlin noted recent reports are indicating money spent on public transportation benefits lower income families to a greater extent per dollar than money spent on affordable housing projects.

Ms. Reid briefly reviewed the grant recipients for this year's award and stated the leftover funds will be used to complete ADA and public facility improvements in qualified low income areas.

#### **B. Regional Plan for the Greater Bear Creek Valley Update.**

Associate Planner Derek Severson and Community Development Director Bill Molnar provided an update on the Regional Plan for the Greater Bear Creek Valley. Mr. Severson explained this plan, which is also called Regional Problem Solving or RPS, is a coordinated planning process that addresses the doubling of the valley's population over the next 40-50 years. He stated the full Draft Plan is now available on the City's website and stated the City is currently scheduled to present their final comments on the Plan at a public hearing before the Jackson County Planning Commission on August 12, 2010.

Mr. Severson provided some history on this process. He stated in 2003 the City of Ashland agreed to participate in the RPS process, but decided to not identify any urban reserves, and instead would accommodate growth through infill and increased density. Mr. Severson reviewed the issues that were in a 2007 letter from the Mayor, and commented on a recent discrepancy in regards to the population allocation that is identified. He stated the City is in the process of working through this issue with the County and clarified Ashland never said our population would not grow, but rather that we would accommodate that growth within our current boundaries.

Mr. Severson provided information on the adoption process and listed the next steps. He clarified the Jackson County Board of Commissioners is the deciding body in this action and once they have made their decision it will be forwarded to the Oregon Department of Land Conservation and Development (DLCD). He stated the cities will then have to incorporate the adopted plan into their individual Comprehensive Plans, and noted this will be fairly simple for Ashland since we are not proposing any changes. Once this step is complete and the DLCD adopts the plan, there will be an opportunity for cities to appeal the Plan.

Mr. Molnar clarified the purpose of this meeting is to bring everyone up to date, and stated if the Commission would like to issue formal comments to the City Council in time for their public hearing, staff could allocate time at the Commission's May meeting.

Commissioner Marsh questioned if this process has considered how the current economic recession will affect this Plan. Mr. Severson stated this has not really be discussed and stated it is not about the timeframe and deals more with how to accommodate the doubling when it occurs.

Commissioner Mindlin commented that all of the issues outlined in the 2007 letter are still very important and noted she has concerns with the transportation planning. She stated transportation development in the County will have an effect on Ashland even if it is happening elsewhere.

Comment was made questioning if there will be an affirmation by the participants at the end of this process. Mr. Molnar shared some the concerns that were raised about cities backing out of the process in the end. He stated in lieu of an affirmation process, all of the cities who participated will have the opportunity to appeal the Plan.

Commissioner Rinaldi commented that all of the issues raised in the 2007 letter are just as relevant today as they were then, and questioned how this Plan will affect air quality, wastewater capacity, etc.

Commissioner Marsh read into the record a statement emailed to the Commission from "sd96950@hotmail.com".

Commissioner Marsh noted the Commission could revisit this at their May meeting if they need to, but stated there seems to be general agreement with reinforcing the comments that are already on the table. Several commissioners voiced their agreement with this statement. Marsh stated she also agrees with the comments that have already made by the City, but stated she hopes the Council will not hold back when this goes before the County and hopes they will make a strong statement about our land use values being incorporated over time into the RPS process. Commissioner Dawkins commented that the City had the opportunity to stand with Jacksonville and not participate in this process which would have made a much stronger statement, but at this point there is not much room for disagreement.

### **C. FEMA Flood Map Rate Modernization Update.**

Senior Planner Brandon Goldman provided an update on the FEMA Flood Map modernization. He explained this is a nationwide project that modifies the 100 yr. and 500 yr. flood zones in the City. Mr. Goldman stated these maps do not change the Ashland Modified Flood Plain, but they may impact citizens' flood insurance need and rates, developable land area, and building code requirements. He stated the City is working to alert the community about these changes and their opportunity to lock in insurance rates if they are affected.

Mr. Molnar clarified the Ashland Modified Flood Zone was identified back in the 1980's based on discrepancies with the FEMA Flood Zone. He stated the Ashland zone was based on where water actually flowed during flooding events and stated staff does not anticipate moving that zone based on this newer information from FEMA. Mr. Goldman noted that both zones are regulated, so even if someone is in the FEMA Flood Zone but not the Ashland Modified Flood Zone, they will be regulated to the same extent.

Mr. Goldman provided further information on the grandfathering clause to lock in insurance rates and clarified citizens will need to purchase insurance before the map revisions go into effect. He noted all of the updated FEMA Flood maps are posted to the City's website and citizens are encouraged to contact the Planning Division with questions. He stated this item will come back to the Commission in June, where they will be asked to adopt the revised maps and approve ordinance amendments that are necessary for consistency.

Mr. Goldman noted the outreach that is being performed and staff was thanked for all their efforts to assist the community through this process.

### **ADJOURNMENT**

Meeting adjourned at 8:52 p.m.

*Respectfully submitted,  
April Lucas, Administrative Assistant*

# Memo

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**DATE:** May 11<sup>th</sup>, 2010  
**TO:** Ashland Planning Commission  
**FROM:** Derek Severson, *Associate Planner*  
**RE:** 720 Grandview Drive Appeal Hearing

At the April 13<sup>th</sup> Planning Commission meeting, the appellant Bonnie Brodersen requested that the record remain open for seven days. The applicants requested that they be allowed an additional seven days to submit written argument. The following materials were submitted subsequent to the distribution of the April 13, 2010 Planning Commission packets and can be viewed on the City's website at:

<http://www.ashland.or.us/GrandviewAppeal>

**Submitted on April 13<sup>th</sup>, before or during the public hearing**

62-page Memorandum by appellant Bonnie Brodersen includes 19-page memorandum and 43 pages of attachments.

Single-page e-mail from city staff Carolyn Schwendener "RE: Legal Notice" confirming legal notice for hearing.

Single-page "Public Hearing" notice for publication of legal notice for hearing.

Single-page e-mail from city staff April Lucas "Community Notice" and single-page attachment "Notice of Site Visit" requesting publication of "Notice of Site Visit"

Five-page submittal including "Notice of Ministerial Decision" for PL-2010-00435 granting ministerial approval of a requested "recession extension" of Planning Action #2006-01784. Includes single page "Notice of Ministerial Decision" letter, two-page permit form, single page zoning permit application, and single page request letter from applicants' attorney Mark S. Bartholomew.

Single-page "Agency Authorization" submitted by applicant Lynn McDonald

Single-page color map comparing current proposal to previous approved proposal submitted by applicants' landscape architect/planner Kerry Kencairn.

Single-page "Addendum to Memorandum: Please attach to Memo" by appellant Bonnie Brodersen

**Submitted during seven days when record remained open to new submittals (4/14-4/21)**

4/20/2010 274-page "Addendum to Memorandum Submitted 4/13/2010" by Bonnie Brodersen with a single-page large format attachment labeled "City of Ashland Physical & Environmental Constraints"

4/21/2010 Materials entered into the record by the City of Ashland 4/21/2010

- 1) 24-page Physical & Environmental Constraints Review Ordinance (AMC 18.62) in effect prior to adoption of Water Resources Ordinance.
- 2) 9-page signed Ordinance #2998 amending Physical & Environmental Constraints Review (18.62) & Procedures (18.108) Chapters for consistency with the Water Resources Ordinance



- 3) Single-page DLCD Notice of Adoption for Water Resources Ordinance
- 4) 9-page Notice of Final Decision for Water Resources Ordinance including affidavit of mailing and mailing list
- 5) Single-page DLCD Notice of Adoption for “Recession Extension” Ordinance
- 6) 4-pages of Speaker Request Forms for Council & PC Hearings on the Recession Extension Ordinance
- 7) 7-page Planning Action File #79-110

**During seven days allowed for the applicants to submit written arguments (4/21-4/28)**

4/27/2010 Two-page written submittal and a one-page map attachment labeled (S-1) Site Plan from applicants’ attorney Mark S. Bartholomew

After reviewing the materials submitted subsequent to the April 13<sup>th</sup> meeting, staff’s recommendation for approval with the conditions listed in the staff report remains unchanged.





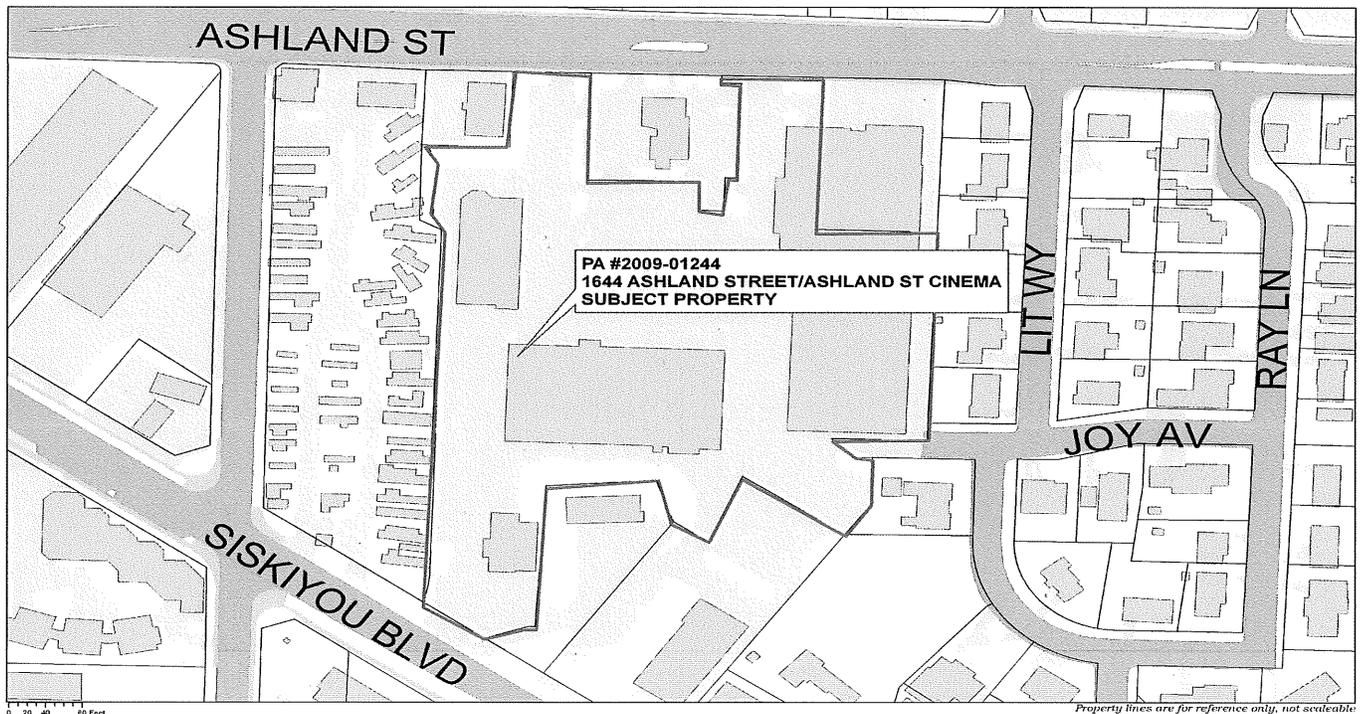
**PLANNING ACTIONS: 2009-01244**

**SUBJECT PROPERTY: 1644 Ashland Street**

**APPLICANT: Goodman Networks, Inc. for AT&T Wireless, LLC**

**DESCRIPTION: A request for Site Review approval and a Conditional Use Permit to install rooftop wireless communication facilities on the existing Ashland Street Cinema building located at 1644 Ashland Street, and associated ground mounted equipment. The installation consists of 12 architecturally-integrated panel antennas. The application includes a request for an Administrative Variance from Site Design and Use Standards required landscape buffer. The subject property is located within the Detail Site Review Zone and the Ashland Boulevard Corridor, and the existing building is also subject to Additional Standards for Large Scale Projects. COMPREHENSIVE PLAN DESIGNATION: Commercial; ZONING: C-1; ASSESSOR'S MAP #: 39 1E 15 AB; TAX LOT: 6800**

**ASHLAND PLANNING COMMISSION MEETING: May 11, 2010 at 7:00 PM, Ashland Civic Center**



Notice is hereby given that a PUBLIC HEARING on the following request with respect to the ASHLAND LAND USE ORDINANCE will be held before the ASHLAND PLANNING COMMISSION on meeting date shown above. The meeting will be at the ASHLAND CIVIC CENTER, 1175 East Main Street, Ashland, Oregon.

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, either in person or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Commission to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. A copy of the Staff Report will be available for inspection seven days prior to the hearing and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Department, Community Development and Engineering Services, 51 Winburn Way, Ashland, Oregon 97520.

During the Public Hearing, the Chair shall allow testimony from the applicant and those in attendance concerning this request. The Chair shall have the right to limit the length of testimony and require that comments be restricted to the applicable criteria. Unless there is a continuance, if a participant so requests before the conclusion of the hearing, the record shall remain open for at least seven days after the hearing.

In compliance with the American with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Administrator's office at 541-488-6002 (TTY phone number 1-800-735-2900). Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting. (28 CFR 35.102.-35.104 ADA Title I).

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division, 541-488-5305.

## **SITE DESIGN AND USE STANDARDS**

### **18.72.070 Criteria for Approval**

The following criteria shall be used to approve or deny an application:

- A. All applicable City ordinances have been met or will be met by the proposed development.
- B. All requirements of the Site Review Chapter have been met or will be met.
- C. The development complies with the Site Design Standards adopted by the City Council for implementation of this Chapter.
- D. That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property. All improvements in the street right-of-way shall comply with the Street Standards in Chapter 18.88, Performance Standards Options.

(ORD 2655, 1991; ORD 2836, 1999)

## **CONDITIONAL USE PERMITS**

### **18.104.050 Approval Criteria**

A conditional use permit shall be granted if the approval authority finds that the proposed use conforms, or can be made to conform through the imposition of conditions, with the following approval criteria.

- A. That the use would be in conformance with all standards within the zoning district in which the use is proposed to be located, and in conformance with relevant Comprehensive plan policies that are not implemented by any City, State, or Federal law or program.
- B. That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property.
- C. That the conditional use will have no greater adverse material effect on the livability of the impact area when compared to the development of the subject lot with the target use of the zone. When evaluating the effect of the proposed use on the impact area, the following factors of livability of the impact area shall be considered in relation to the target use of the zone:
  1. Similarity in scale, bulk, and coverage.
  2. Generation of traffic and effects on surrounding streets. Increases in pedestrian, bicycle, and mass transit use are considered beneficial regardless of capacity of facilities.
  3. Architectural compatibility with the impact area.
  4. Air quality, including the generation of dust, odors, or other environmental pollutants.
  5. Generation of noise, light, and glare.
  6. The development of adjacent properties as envisioned in the Comprehensive Plan.
  7. Other factors found to be relevant by the Hearing Authority for review of the proposed use.

## **ADMINISTRATIVE VARIANCE FROM SITE DESIGN AND USE STANDARDS**

### **18.72.090**

An administrative variance to the requirements of this chapter may be granted with respect to the requirements of the Site Design Standards adopted under section 18.72.080 if, on the basis of the application, investigation and evidence submitted, all of the following circumstances are found to exist:

- A. There is a demonstrable difficulty in meeting the specific requirements of the Site Design Standards due to a unique or unusual aspect of the proposed use of a site;
- B. Approval of the variance will not substantially negatively impact adjacent properties;
- C. Approval of the variance is consistent with the stated purpose of the Site Design and Use Chapter; and
- D. The variance requested is the minimum variance which would alleviate the difficulty.

**ASHLAND PLANNING DIVISION**  
**STAFF REPORT**  
**May 11, 2010**

**PLANNING ACTION:** PA-2009-01244

**APPLICANT:** Goodman Networks, Inc. for AT&T Wireless, LLC

**LOCATION:** 1644 Ashland Street

**COMPREHENSIVE PLAN DESIGNATION:** Commercial

**APPLICATION DEEMED COMPLETE:** April 18, 2010

**120-DAY TIME LIMIT:** August 16, 2010

**ORDINANCE REFERENCE:**

18.32	C-1 Commercial District
18.72	Site Design Review
18.72.090	Administrative Variance
18.72.180	Development Standards for W.C.F.
18.104	Conditional Use Permits

**REQUEST:** A request for Site Review approval and a Conditional Use Permit to install rooftop wireless communications facilities on the existing Ashland Street Cinema building located at 1644 Ashland Street, and an associated ground-mounted accessory equipment structure. The installation consists of 12 architecturally-integrated panel antennas. The application includes a request for an Administrative Variance from the Site Design and Use Standards' required landscape buffer. The subject property is located within the Detail Site Review Zone and the Ashland Boulevard Corridor, and the existing building is also subject to Additional Standards for Large Scale Projects.

**I. Relevant Facts**

**A. Background - History of Application**

In June of 1998, there was a boundary line adjustment under Planning Action #98-064.

In January of 1996, Planning Action #96-012 was granted Site Review approval to allow the conversion of a former supermarket (Ray's Sentry Market) into a movie theater, the Ashland Street Cinema, which remains in operation today.

In April of 1993, Planning Action #93-052 was granted approval for Site Review and Minor Land Partition to create a separate parcel and construct Wendy's Restaurant including a drive-up window.

In March of 1993, Planning Action #93-004 granted approval for a "blanket" Conditional Use Permit to allow for various temporary uses to occupy a portion of the parking lot

throughout the year, including non-profit uses, spa sales, outdoor barbecues and clothing sales.

There are no other planning actions of record for this site; based on Jackson County Tax Assessor's information it appears that the buildings on site date back at least to the early 1970's and would as such not be included in planning files.

## **B. Detailed Description of the Site and Proposal**

The subject property is located on the south side of Ashland Street, between Walker Avenue and Lit Way, and is commonly know as the Ashland Shopping Center. The property is irregularly shaped, with an area of approximately 5.91 acres, and fronts on both Ashland Street and Siskiyou Boulevard.

The property is zoned Commercial (C-1) and is developed as a retail center and contains four large buildings and the associated parking and paving for circulation, with a variety of established businesses including a movie theater, restaurants, personal/social services, and retail uses. Properties to the north, south and west fall within the C-1 commercial district as well; to the east is an R-1-7.5 single family residential zoning district. Immediately to the west of the subject property is the Pines Trailer Court, which despite its commercial zoning, has long been established as a residential use. The subject property is located within a Detail Site Review Zone and within the Ashland Boulevard Corridor, and the existing building is also subject to the Additional Standards for Large Scale Projects.

Because it is largely developed, the property is generally devoid of natural features with the exception of some parking lot landscaping and established trees at the perimeter of the site. The property slopes downward to the north with a slope of five to six percent, with an approximate elevation loss of 42 feet over the approximately 750 feet between Siskiyou Boulevard to Ashland Street.

The application proposal involves a request for Site Review and Conditional Use Permit approval to install rooftop wireless communications facilities on the existing Ashland Street Cinema building located at 1644 Ashland Street. This installation consists of 12 architecturally-integrated panel antennas and associated ground-mounted equipment, which will be architecturally integrated through the addition of a radio-frequency transparent penthouse element and a two-tiered parapet wall system. The application also includes a request for an Administrative Variance to the Site Design and Use Standards' requirement for a ten-foot landscape buffer around the ground-mounted accessory equipment building. The applicants propose to construct the equipment building as an addition on the back of the existing building, and have designed it to match similar attached accessory structures on the back of the building in placement, size, color and material.

## **II. Project Impact**

The application includes requests for Site Review and Conditional Use Permit approval for the installation of rooftop wireless communication facilities, and for an Administrative Variance to the Site Design and Use Standards. Within the Commercial (C-1) zoning

district, wireless communication facilities are not permitted outright and are subject to a Conditional Use Permit and to the requirements of AMC 18.72.180.

The purpose of this section is to establish standards that regulate the placement, appearance and impact of wireless communication facilities, while providing residents with the ability to access and adequately utilize the services that these facilities support. Because of the physical characteristics of wireless communication facilities, the impacts imposed by these facilities affect not only the neighboring residents, but the community as a whole, and the standards which have been adopted are intended to ensure that the visual and aesthetic impacts of wireless communication facilities are mitigated to the greatest extent possible, especially in or near residential areas. As such, Ashland's standards emphasize collocation of wireless communication facilities onto already established wireless facilities, or the placement of new facilities on pre-existing buildings as preferred options, and largely in response to these standards those facilities already in place have focused on architecturally-integrated installations on existing buildings as well as the collocation of facilities. A number of wireless providers have architecturally integrated equipment on the façade of the Ashland Springs Hotel, and the Holiday Inn Express on Clover Lane incorporates wireless facilities into one of its cupola.

Procedurally speaking, AMC 18.72.180.D requires that wireless communication facility installations on existing structures within the C-1 district be subject to Conditional Use Permit approval, and AMC 18.108.050 requires that those Conditional Use Permit applications not explicitly designated as Type I approvals be subject to a Type II public hearing.

#### **A. Site Review Approval**

The application proposal involves a request for Site Review and Conditional Use Permit approvals to install rooftop wireless communications facilities on the existing Ashland Street Cinema building within the Ashland Shopping Center, and associated ground-mounted equipment to be installed in a 12- by 26-foot accessory structure on the south side of the building adjacent to the driveway/service corridor. The WCF installation consists of 12 architecturally-integrated panel antennas. As part of the proposal, the applicants have proposed to construct a two-tiered parapet wall and a new radio-frequency transparent penthouse on the front façade of the Cinema that would conceal the proposed wireless communications facility on the existing building, raising the height of the penthouse element over the theater entrance to the maximum allowed 40-foot height with the zoning district. The application also includes a request for an Administrative Variance to the Site Design and Use Standards' requirement for a ten-foot landscape buffer around the ground-mounted equipment building. The applicants propose to construct the building as a 12- by 26-foot addition on the back of the existing building, and have designed it to match other similar attached accessory structures in placement on the back of the building, size, color and materials.

In addition to the basic Site Review standards, the subject property is located within the Detail Site Review Zone and the Ashland Boulevard Corridor, and the existing building is also subject to Additional Standards for Large Scale Projects, although the building itself was constructed prior to the current standards being put into place.

### **Site Design Standards**

In term of the Site Review approval request, the proposal involves the installation of wireless communications facilities on an existing building within an established shopping center. With the relocation of the accessory equipment structure to the south side of the building, no parking spaces are lost with the proposal and as such the primary issues, aside from applying the wireless communications facility design standards, have to do with ensuring that the proposed modification to the building including the two-tiered parapet wall and radio-frequency transparent penthouse comply with the applicable Site Design and Use Standards. In this instance, the existing buildings appear to predate current standards, however the proposed parapet walls and penthouse addition fall within the height limitations of the ordinance, and appear to have been designed to be architecturally compatible with the existing structure while providing some enhancement to its sense of entry and orientation to Ashland Street.

As part of the land use approval to construct the theater in 1996, the applicants had proposed to install a screened trash and recycling enclosure. In visiting the site on a number of occasions, it appears that this enclosure was not installed as there are trash receptacles in place unscreened in the parking area on the side of the building. As such, staff has recommended a condition of approval below to require that the required trash enclosure be installed and utilized as part of the current application.

### **WCF Design Standards**

Ashland's Land Use Ordinance recognizes that wireless communications facility installations by nature have an impact that affects not only neighboring properties but the community as a whole, and the standards are accordingly intended to see that the visual and aesthetic impacts are mitigated to the greatest extent possible. The WCF Design Standards found in AMC 18.72.180 delineates preferred designs, noting that the collocation of new facilities on existing facilities in the preferred option and when collocation is not feasible, that the WCF shall be attached and architecturally integrated into pre-existing structures when feasible. Alternative designs are the next preferred option, and within the C-1 zoning district, installations utilizing freestanding support structures are expressly prohibited. To date, all WCF installations within the City of Ashland have been collocated and/or architecturally integrated into existing buildings.

The application notes that the nearest AT&T wireless facility is in place on the Ashland Springs Hotel in downtown Ashland, roughly 2.2 miles from the subject property. The materials provided note that to serve the subject area, the antenna system would need to be less than a mile from the center of the applicants identified search ring, and the Cinema location is approximately one-half mile from the center of that ring. The applicants note as well that the Holiday Inn Express location was considered, and the applicants indicate that while collocation might be possible at this facility given its similar proximity to the center of their search ring, they believe that topography and the length of the needed coaxial cable runs at the Holiday Inn Express are such that the projected signal strength from the Cinema site would be stronger resulting in a larger service area and more coverage.

The applicants have provided a letter indicating that they are not opposed to collocation of other providers' facilities on the site; however a signed lease agreement has not been provided. As such, a condition of approval has been recommended below to require that prior to the issuance of a building permit for the installation of the facilities, the applicants provide a signed copy of a lease agreement demonstrating that the lease does not preclude collocation.

Having ruled out collocation because of topographical constraints and the length of the required coaxial cable run, the applicants propose to install the wireless communication facility onto the existing Ashland Cinema at Ashland Shopping Center. In terms of visual impacts, wireless facilities are explicitly exempted from the height regulations within the zoning district, however to the extent possible they are not to exceed the height of the pre-existing structure and are to be of the minimum height and mass needed to serve their purpose. With the current request, the applicants have proposed to create a new penthouse element and two-tiered parapet wall on the Cinema, raising the height of the roof peak at its highest point by approximately ten feet while complying with the height requirements of the district, and to architecturally integrate their installation into this new element of the building.

While there are no standardized setback or yard requirements in the C-1 zoning district, wireless communications facilities have to be setback from any residential zone a distance equal to twice their overall height. The district boundaries for residential zones are lot lines and the centerlines of street and railroad rights-of-way. Facilities must demonstrate compliance with these setback requirements in the application submittal. In this instance, the proposed 40-foot high wireless communication facility installation is located approximately 150-feet from the Pines Trailer Court, the nearest residential use despite its commercial zoning, and approximately 250-feet from the nearest residential zoning district. (*The previous proposal had the equipment structure at 67-feet nine-inches from the Pines; however with the relocation of this structure to the rear of the building this separation is greatly increased.*)

#### **B. Administrative Variance to the Site Design & Use Standards**

The applicants had initially proposed to place the accessory equipment structure to serve the proposed WCF on the west side of the existing building, removing existing parking spaces and placing the proposed equipment structure within the view of neighbors in the adjacent Pines Trailer Court. Staff emphasized the need to demonstrate that the removal of parking spaces would leave adequate parking for the uses in place within the shopping center, and to provide a required landscape buffer around the installation to mitigate visual impacts to shopping center users and the adjacent neighbors.

Subsequent to a parking analysis and meetings with surrounding property owners, the applicants modified the application, instead proposing to place the accessory equipment structure on the south side of the building off of a driveway that functions essentially as an alley or service corridor rather than as primary circulation route for shopping center users. There are similar structures already in place along this corridor, no parking spaces are lost with this placement, and the location is better situated to mitigate visual impacts to residents

of the Pines. However, this placement does not allow required landscape buffering for the proposed accessory equipment structure because the required landscaping would extend into the driveway corridor, impeding vehicular circulation, fire access and service corridor access for loading, unloading, etc. The applicants are thus requesting an Administrative Variance from the Site Design and Use Standards requirement for landscape buffering.

In making this request, the applicants assert that the proposed structure would mimic similar storage structures already in place on the south side of the building while maintaining the functionality of the driveway. They note that approval of the request would not substantially negatively impact adjacent properties due to the existing substantial landscaping in the form of large mature trees and shrubs located on the sloped area on the adjacent property to the south, which already effectively buffers the views of the backside of the cinema building. The applicants emphasize that this placement puts the accessory structure further away from both the residential area and the residential zoning district, preserves parking for the established shopping center use, and that the design, color and material of the structure and the established landscaping along the property line to the south effectively mitigate any visual impacts of the proposal.

In reviewing the request, staff noted that the landscaping standards apply to all WCF installations with any primary or accessory equipment located on the ground and visible from a residential use or the public right-of-way. In this instance, the view from the public right-of-way appears to be screened by the existing building and landscaping on the property to the south, and while the proposed accessory structure would potentially be visible from the residential units in the adjacent Pines Trailer Court, the added distance provided over what was initially proposed and the use of design; fencing in place between the properties; and color, materials and placement to match the existing storage structures all seem to work toward mitigating visual impacts, essentially amounting to architectural integration of the accessory equipment structure into the existing building in a manner in keeping with the purpose and intent of the standards, which is a preferred design alternative.

### **C. Conditional Use Permit Approval**

Within the Commercial (C-1) zoning district, wireless communication facilities to be installed on an existing structure are not permitted outright and are subject to a Conditional Use Permit and to the requirements of AMC 18.72.180. The Ashland Shopping Center, while constructed prior to current regulations, has been the subject of a number of land use approvals over the years including the 1996 conversion of a former supermarket into the existing cinema which continues in operation today.

As noted in the application materials, no water or sewer facilities are necessary to serve the proposed WCF installation, and the applicants note that the paved access and electrical services in place to serve the existing structure are adequate to serve the proposed WCF. A condition has been added below to require that the building permit submittals include an electric service plan approved by the City of Ashland's Electric Department.

In terms of the adverse material effects on the livability of the impact area, the proposed WCF is to be installed on an existing structure and is to be architecturally integrated into that

structure with the addition of a two-tiered parapet wall system and a penthouse element over the entry. In staff's view, the proposal is similar in bulk, scale and coverage, and is architecturally compatible with the existing building and others within the shopping center, which was constructed prior to current standards.

As staff was preparing this document, one letter had been received addressing concerns over the potential for exposure to electromagnetic radiation from the proposed WCF from a neighboring property owner at 556 Lit Way. The summary of the required neighborhood meeting conducted by the applicants and provided with the application submittal seems to indicate that this was a concern shared by a number of neighboring residents and business owners in those meetings as well. With regard to this concern, staff would note that federal law prohibits cities from using the associated dangers of electronic emissions as a criterion in the siting of towers, and as such Ashland's ordinance were specifically crafted to establish standards that regulate the placement, appearance and impact of wireless communication facilities, while providing residents with the ability to access and adequately utilize the services that these facilities support. Because of the physical characteristics of wireless communication facilities, the impacts imposed by these facilities affect not only the neighboring residents, but the community as a whole, and the standards which have been adopted are intended to ensure that the visual and aesthetic impacts of wireless communication facilities are mitigated to the greatest extent possible, especially in or near residential areas. Staff believes that the rooftop WCF installation proposed effectively mitigates the visual and aesthetic impacts of the installation through architectural integration into an existing structure, a preferred design, and provides significantly more separation between the WCF and the nearest residential district or residential use than required by ordinance.

### **III. Procedural - Required Burden of Proof**

**The criteria for site review approval are described in AMC 18.72.070 as follows:**

- A. *All applicable City ordinances have been met or will be met by the proposed development.*
- B. *All requirements of the Site Review Chapter have been met or will be met.*
- C. *The development complies with the Site Design Standards adopted by the City Council for implementation of this Chapter.*
- D. *That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property. All improvements in the street right-of-way shall comply with the Street Standards in Chapter 18.88, Performance Standards Options.*

**The design standards for Wireless Communications Facility installations are described in AMC 18.72.180.C as follows:**

1. General Provisions
  - a. *All facilities shall be installed and maintained in compliance with the requirements of the Building Code. At the time of building permit*

*application, written statements from the Federal Aviation Administration (FAA), the Aeronautics Section of the Oregon Department of Transportation, and the Federal Communication Commission that the proposed wireless communication facility complies with regulations administered by that agency, or that the facility is exempt from regulation.*

- b. All associated transmittal equipment must be housed in a building, above or below ground level, which must be designed and landscaped to achieve minimal visual impact with the surrounding environment.*
- c. Wireless communication facilities shall be exempted from height limitations imposed in each zoning district.*
- d. WCF shall be installed at the minimum height and mass necessary for its intended use. A submittal verifying the proposed height and mass shall be prepared by a licensed engineer.*
- e. Signage for wireless communication facilities shall consist of a maximum of two non-illuminated signs, with a maximum of two square feet each stating the name of the facility operator and a contact phone number.*
- f. Applicant is required to remove all equipment and structures from the site and return the site to its original condition, or condition as approved by the Staff Advisor, if the facility is abandoned for a period greater than six months. Removal and restoration must occur within 90 days of the end of the six month period.*

2. Preferred Designs

- a. Where possible, the use of existing WCF sites for new installations shall be encouraged. Collocation of new facilities on existing facilities shall be the preferred option.*
- b. If (a) above is not feasible, WCF shall be attached to pre-existing structures, when feasible.*
- c. If (a) or (b) above are not feasible, alternative structures shall be used with design features that conceal, camouflage or mitigate the visual impacts created by the proposed WCF.*
- d. If (a), (b), or (c) listed above are not feasible, a monopole design shall be used with the attached antennas positioned in a vertical manner to lessens the visual impact compared to the antennas in a platform design. Platform designs shall be used only if it is shown that the use of an alternate attached antenna design is not feasible.*
- e. Lattice towers are prohibited as freestanding wireless communication support structures.*

3. Landscaping. *The following standards apply to all WCF with any primary or accessory equipment located on the ground and visible from a residential use or the public right-of-way*

- a. Vegetation and materials shall be selected and sited to produce a drought resistant landscaped area.*
- b. The perimeter of the WCF shall be enclosed with a security fence or wall. Such barriers shall be landscaped in a manner that provides a natural sight obscuring screen around the barrier to a minimum height of six feet.*

- c. *The outer perimeter of the WCF shall have a 10 foot landscaped buffer zone.*
- d. *The landscaped area shall be irrigated and maintained to provide for proper growth and health of the vegetation.*
- e. *One tree shall be required per 20 feet of the landscape buffer zone to provide a continuous canopy around the perimeter of the WCF. Each tree shall have a caliper of 2 inches, measured at breast height, at the time of planting.*

4. Visual Impacts

- a. *Antennas, if attached to a pre-existing or alternative structure shall be integrated into the existing building architecturally and, to the greatest extent possible, shall not exceed the height of the pre-existing or alternative structure.*
- b. *Wireless communication facilities shall be located in the area of minimal visual impact within the site which will allow the facility to function consistent with its purpose.*
- c. *Antennas, if attached to a pre-existing or alternative structure shall have a non-reflective finish and color that blends with the color and design of the structure to which it is attached.*
- d. *WCF, in any zone, must be set back from any residential zone a distance equal to twice its overall height. The setback requirement may be reduced if, as determined by the Hearing Authority, it can be demonstrated through findings of fact that increased mitigation of visual impact can be achieved within of the setback area. Underground accessory equipment is not subject to the setback requirement.*
- e. *Exterior lighting for a WCF is permitted only when required by a federal or state authority.*
- f. *All wireless communication support structures must have a non-reflective finish and color that will mitigate visual impact, unless otherwise required by other government agencies.*
- g. *Should it be deemed necessary by the Hearing Authority for the mitigation of visual impact of the WCF, additional design measures may be required. These may include, but are not limited to: additional camouflage materials and designs, facades, specific colors and materials, masking, shielding techniques.*

5. Collocation standards

- a. *Each addition of an antenna to an existing WCF requires a building permit, unless the additional antenna increases the height of the facility more than ten feet.*
- b. *Addition of antennas to an existing WCF that increases the overall height of the facility more than ten feet is subject to a site review." (ORD 2802, S3 1997)*

**The criteria for an Administrative Variance from the Site Design and Use Standards are described in AMC 18.72.090 as follows:**

- A. *There is a demonstrable difficulty in meeting the specific requirements of the Site*

- Design Standards due to a unique or unusual aspect of the proposed use of a site;*
- B. Approval of the variance will not substantially negatively impact adjacent properties;*
- C. Approval of the variance is consistent with the stated purpose of the Site Design and Use Chapter; and*
- D. The variance requested is the minimum variance which would alleviate the difficulty.*

**The approval criteria for a Conditional Use Permit are described in AMC 18.104.050 as follows:**

- A. That the use would be in conformance with all standards within the zoning district in which the use is proposed to be located, and in conformance with relevant Comprehensive plan policies that are not implemented by any City, State, or Federal law or program.*
- B. That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property.*
- C. That the conditional use will have no greater adverse material effect on the livability of the impact area when compared to the development of the subject lot with the target use of the zone. When evaluating the effect of the proposed use on the impact area, the following factors of livability of the impact area shall be considered in relation to the target use of the zone:*
  - 1. Similarity in scale, bulk, and coverage.*
  - 2. Generation of traffic and effects on surrounding streets. Increases in pedestrian, bicycle, and mass transit use are considered beneficial regardless of capacity of facilities.*
  - 3. Architectural compatibility with the impact area.*
  - 4. Air quality, including the generation of dust, odors, or other environmental pollutants.*
  - 5. Generation of noise, light, and glare.*
  - 6. The development of adjacent properties as envisioned in the Comprehensive Plan.*
  - 7. Other factors found to be relevant by the Hearing Authority for review of the proposed use.*

#### **IV. Conclusions and Recommendations**

Staff believes that the proposed wireless communication facility installation effectively mitigates the visual and aesthetic impacts of the installation through architectural integration into an existing structure, a preferred design, and provides significantly more separation between the wireless facility and the nearest residential district or residential use than is required by ordinance. An Administrative Variance is requested to allow the construction of an accessory equipment structure on the south side of the cinema building without the required landscaped screening; while staff believe that the design, materials, color and placement could be found to effectively architecturally integrate this structure into the current building thereby minimizing any aesthetic or visual impacts to the adjacent right-of-way, neighboring properties, or other users of the subject property, it remains for the Commission to ultimately determine whether such an architectural integration is sufficient to outweigh the need for the requisite landscape buffering. Overall, staff believe that the application

with the attached conditions can be found to comply with all applicable City ordinances. Should the Commission concur, staff would recommend that the following conditions be attached to the approval:

- 1) That all proposals of the applicant be conditions of approval unless otherwise modified here.
- 2) That all requirements of the Building Division, including but not limited to: that final drawings prepared by an Oregon-licensed design professional shall be necessary to complete the submission for permits; that permit drawings shall address OSSC Chapter 16 wind, seismic and tributary loads, forms of attachment, and any special inspections required; and that all necessary building permits be obtained, and all permit fees and associated charges paid prior to installation.
- 3) Building permit submittals shall include written communications from the Federal Aviation Administration, the Aeronautics section of the Oregon Department of Transportation, and the Federal Communications Commission that the proposed wireless communication facility complies with the regulations of their respective agencies or is exempt from those regulations.
- 4) That prior to the issuance of a building permit, the applicants shall obtain a business license from the City of Ashland.
- 5) That prior to use of the proposed wireless communications facility (WCF), the applicants shall paint and texture the proposed two-tiered parapet wall, penthouse element and accessory equipment structure in a non-reflective finish and color to match the existing building.
- 6) That Building Permits be obtained for any future carrier that might consider use of the applicant's facilities as a matter of co-location.
- 7) That a Site Review and Conditional Use Permit be obtained for any future carrier that might consider a different mounting location.
- 8) That no signage beyond that allowed for wireless communications facilities in AMC 18.72.180.C ("*a maximum of two non-illuminated signs with a maximum of two square feet each stating the name of the facility operator and a contact phone number*") shall be permitted on the wireless communications facility. No additional signage for the theater or other shopping center uses shall be permitted on the rooftop wireless communications facility (WCF).
- 9) That prior to the issuance of a building permit, the applicants shall provide a copy of the signed lease evidencing that collocation is not precluded by the lease agreement.
- 10) That the requirements of the Ashland Fire Department, including that the required clear width for fire apparatus access be maintained for the driveway at the south side of the building with the installation of the accessory equipment structure, shall be satisfactorily addressed prior to the issuance of an occupancy permit or approval of the final inspection.
- 11) That the building permit submittals shall include an electric service plan approved by the City of Ashland's Electric Department.
- 12) That a screened trash and recycling enclosure shall be in place, in use and inspected by the staff advisor in accordance with the Site Design and Use Standards prior to the final inspection or use of the proposed wireless communication facility. An opportunity to recycle site of equal or greater size than the solid waste receptacle shall be included in the trash enclosure in accordance with 18.72.115.A.

**Derek Severson - Comment on 2009-01244**

**From:** comm-dev  
**To:** Amy Gunter; Derek Severson  
**Date:** 5/3/10 12:22 AM  
**Subject:** Comment on 2009-01244

RECEIVED

MAY 03 2010

To: Ashland Planning Commission  
 5-2-10

City of Ashland  
 Field \_\_\_ Office \_\_\_ County \_\_\_

Dear Commissioners:

Re: Planning action 2009-01244 1644 Ashland St.

As a property owner within the immediate neighborhood I'm a stakeholder in the outcome of this proposal. Not being able to attend the May 11 hearing personally, I'd like to request that the following be read into the record on my behalf and made part of your considerations.

The approval criteria for a conditional use requires "no greater adverse material affect on the livability of the impact area when compared to the development of the subject lot with the target use of the zone."

"...(factors to be considered) ....

4....environmental pollutants.

7. Other (relevant) factors..." - 18-104-050 C Approval Criteria

Livability of the impact area *would* be more adversely affected than the zone by virtue of the inverse square of the distance from the point source of the Electromagnetic Radiation (EMR) in the radio frequency (RF) this proposed facility would emit. The inverse square law is basic to all wave propagation physics and states that the strength of the radiation will diminish by a factor proportionate to the square of the distance from the source...e.g. 3X as far away receives 1/9th the impact.

Studies have shown that even at low levels of this radiation, there is evidence of damage to cell tissue and DNA, and it has been linked to brain tumors, cancer, suppressed immune function, depression, miscarriage, Alzheimer's disease, and numerous other serious illnesses. [1]

EMR is electronic environmental pollution. Not visible like a smokestack but

pollution, nevertheless.

Children are at the greatest risk, due to their thinner skulls, and rapid rate of growth. Also at greater risk are the elderly, the frail, and pregnant women. Doctors from the United Kingdom have issued warnings urging children under 16 not to use cell phones, to reduce their exposure to radio frequency (RF) radiation. [2]

So, the livability of my nearby property (556 Lit Way) will be affected more than another property further away. And it's sadly ironic that the livability of those most at risk - children (see above) (arguably a large portion of those at "ground zero" immediately under the point source of the EMR) will be exposed while watching movies to a much greater extent than others in the rest of the "zone".

I contend that the target use of the zone does not/should not include the allowance of the peak EMR of the proposed facility throughout the zone. Ergo, since the impact is concentrated at the source (transmitter antenna) this proposed conditional use *would* result in greater adverse material affect on the livability of the impact area when compared to the development of the subject lot with the target use of the zone.

Stated differently, I'd challenge any of you to the test of experiencing the "livability" of the immediate proximity of that transmitter for as little as a week, and then ask you, is that concentrated high EMR level what you'd allow for the entire zone?

For these reasons I ask for a decision of "NO" by the Commission on this permit application.

Thank you.

John Hurd, D.C.  
556 Lit Way  
Ashland OR  
360-341-2904

RECEIVED

MAY 03 2010

City of Ashland  
Field \_\_\_ Office \_\_\_ County \_\_\_

1 Microwave and Radio Frequency Radiation Exposure, San Francisco Medicine , Vol. 74, No 3, March 2001

2 Mobiles Risk to children, Daily Mail (U.K.), May 11, 2000

**RECEIVED**

MAY 03 2010

City of Ashland

Field \_\_\_ Office \_\_\_ County \_\_\_

556 LIT WAY IN RED

- Front Counter Legend**
-  Highlighted Feature
  -  Tax Lot Outlines
  - Tax Lot Numbers
  - Countywide Color Aerial Photos 2005



**JACKSON COUNTY**  
Oregon

This map is based on a digital database compiled by Jackson County from a variety of sources. Jackson County cannot accept responsibility for errors, omissions, or positional accuracy. There are no warranties, expressed or implied.

**Pike-Salas, Breah**

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**From:** Pike-Salas, Breah  
**Sent:** Wednesday, March 17, 2010 8:29 AM  
**To:** 'derek@ashland.or.us'  
**Cc:** 'Gary Spanovich'  
**Subject:** PA #2009-001213 1644 Ashland Street Incompleteness Determination  
**Attachments:** 20100317081537407.pdf

Hi Derek, I've attached the incompleteness items per your letter dated October 13, 2009.

Attached to this email you should find:

1. Letter dated October 13th, 2009 from you.
2. Applicant's statement of completeness.
3. Completeness letter with Admin. Variance from Site Design and Use Standards incorporated.
4. Drawings. As we discussed previously, we are still making modifications to these. I will submit these to you no later than by week ending 3/26.
5. Parking Study.
6. Antennae specs.
7. Shelter specs.
8. Community meeting notes.
9. Collocation letter from AT&T discussing precluding additional collocations.
10. Collocation study and Lease Agreement.
11. Map showing sites w/in a 5 mile radius.

Gary Spanovich will be the Case Planner for this site. He is cc'd on this email. If you need any more information, please do not hesitate to contact myself or Gary.

I will also be fed-exing these documents to you. If you would please confirm receipt of this email and the attachments, I would greatly appreciate it.

Thanks-

Breah Pike-Salas  
Site Acq. Manager- PNW NSB  
Goodman Networks, Inc.  
7360 SW Hunziker Street, Ste. 206  
Portland, Oregon 97223  
Desk: 503.207.1724  
Cell: 972.523.5137  
[bpikesalas@goodmannetworks.com](mailto:bpikesalas@goodmannetworks.com)

**RECEIVED**

MAR 19 2010

City of Ashland  
Field \_\_\_ Office \_\_\_ County \_\_\_

# CITY OF ASHLAND

October 13, 2009

Goodman Networks, Inc.  
Attn: Breah Pike-Salas, Sr. Planner  
7360 SW Hunziker, Ste. #206  
Portland, OR 97223

Re: PA #2009-001213, for the property located at 1644 Ashland Street  
Incompleteness Determination

Dear Breah Pike-Salas,

I have reviewed the September 22, 2009 submittals for your application for a Conditional Use Permit and Site Review for a Wireless Communication Facility installation at the Ashland Street Cinema at 1644 Ashland Street. After examining the materials presented, I have determined that the application is incomplete because the information listed below was not provided. Incomplete applications are subject to delay in accordance with ORS 227.178. The application cannot be further processed and deemed complete until the missing information is submitted or the applicant indicates that the missing information will not be provided.

- ✓ **Scaleable Drawings:** The Site Review submittal requirements call for submittals to be drawn to scale. While the drawings provided identify a scale, the drawings do not appear to be drawn to the scale specified. Scale drawings are needed to review the submittals.
- ✓ **Elevation Drawings:** Elevations drawings should include all four perspectives of the proposed installation, and the CMU-block enclosure for the associated ground mounted equipment should also be clearly depicted in the elevations to demonstrate that it is compatible with the existing structure and the applicable standards and that visual impacts to neighbors are being minimized.

**Parking & Circulation:** The submittal materials indicate that the parking spaces to be utilized are "overflow parking." Ashland's land use regulations specifically limit providing overflow parking so it is not typically encountered; the application materials will need to demonstrate that the three parking spaces to be removed are not required for other approved uses in place by providing parking calculations which demonstrate that the parking requirements for approved uses in the vicinity (i.e. within the shopping center) are satisfied by the parking available.



- ✓ **Accessory Building Buffering/Landscape Plan:** Ashland's Municipal Code requires a drought-resistant ten-foot wide landscape buffer than includes one canopy tree at least every 20-feet. Landscaping is to provide a sight-obscuring screen to a height of six feet, and trees are to provide continuous canopy coverage. The buffer shown appears to be only eight feet in width, including curbs and no landscape plan has been provided to verify appropriate drought-resistant landscape planting selections. (See AMC 18.72.180.C.3.) Buffer widths are measured between curbs (i.e. curbs are not included as part of the buffer area).

**Manufacturer's Specifications:** The submittal requirements call for a set of manufacturer's specifications of the support structure, antennas, and accessory buildings with a listing of materials being proposed including colors of the exterior materials to be provided.

- ✓ **Summary of Community Meeting Issues:** The materials relating to the community meeting do not include the required summary of issues raised at this meeting.

**Collocation Study & Lease Agreement:** Collocation is the preferred option under Ashland's ordinances, and our application requirements include identification of other WCF sites operated by the applicants within a five-mile radius, a collocation feasibility study, and evidence that the lease agreement for the site under consideration does not preclude collocation. This information has not been provided.

To continue the Planning Department's review of your application, you must select and complete one of the following three options:

1. Submit all of the missing information;
2. Submit some of the requested information and give the City of Ashland Planning Division written notice that no other information will be provided; or
3. Submit written notice to the City of Ashland Planning Division indicating that no other information will be provided.

Please note that failure to complete one of the three options within 180 days of the application submittal date (September 22, 2009) will result in your application being deemed void. The application will be deemed void if the additional information is not submitted by March 21, 2010.

I have enclosed a form, entitled the "*Applicant's Statement of Completeness*". Please review the enclosed form and return it to me with any additional material you will be submitting. Your application will not be further processed until the Applicant's Statement of Completeness form is completed and received by the City of Ashland Planning Division.



If you have questions or if I can provide any further information, assistance or clarification, please contact me at 552-2040 or [seversod@ashland.or.us](mailto:seversod@ashland.or.us).

Sincerely,

Derek Severson  
*Associate Planner*

Encl: Applicant's Statement of Completeness

Cc: File; AT&T Wireless LLC; Owner



Date Received

(to be completed by staff)

### Applicant's Statement of Completeness

(To be completed by the Applicant and returned to the City of Ashland Planning Division)

Re: **PA #2009-01213, 1644 Ashland Street**

Date Application Expires: **March 21, 2010**

Pursuant to an Incompleteness Determination, I, the undersigned applicant or agent for the applicant, elect one of the three options below by initiating:



(Initial if elected)

#### 1. Submit All of the Missing Information

I am submitting all of the information requested in the Incompleteness Determination letter.

Unless checked below, I am requesting that the City of Ashland Planning Division review this additional information within 30 days of submission to determine whether the application is complete. I understand that this 30-day review for completeness period for the new information preserves my opportunity to submit additional materials, should it be determined that the application is still incomplete after the second review. (Note: the 120-day period for the City of Ashland's final determination of compliance with applicable criteria does not commence until the additional review for completeness period is completed.)

(Check if desired)

I waive further review of the information submitted for completeness and direct review of the information submitted for compliance with the Community Development Code criteria, regardless of whether the application is, in fact, later determined by the staff to be incomplete.

I understand that by checking the above statement the application will be evaluated based upon the material submitted and no notice of any missing information will be given. If material information is missing from the application, the application will fail to meet the burden of showing that all criteria are met and the application will be denied.

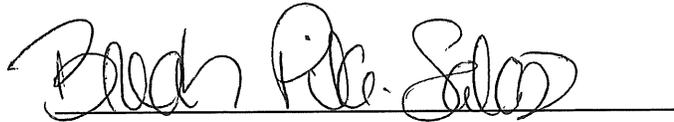


(        )            **2. Submit Some of the Requested Information: Decline to Provide Other Information**  
(Initial if elected)

I am submitting some of the information requested and declining to submit other information requested in the Incompleteness Determination letter. I understand that by declining to submit all information the City of Ashland believes necessary, the Ashland Planning Division may conclude that the applicable criteria are not met and a Denial will be issued or recommended.

(        )            **3. Decline to Provide any of the Requested Information**  
(Initial if elected)

I decline to provide any of the information requested. I understand that the Community Development Department may conclude that the applicable criteria are not met and a Denial will be issued or recommended.



**Signed and Acknowledged**  
(Applicant or Applicant's Agent)

3/17/10

**Date**

**Return to:**

Planning Division  
Department of Community Development  
Attn: Derek Severson, *Associate Planner*  
City of Ashland  
20 E. Main St.  
Ashland, OR 97520





# Goodman Networks

Network Knowledge... Delivered.

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March 17, 2010

Derek Severson  
City of Ashland, Oregon  
Planning Division  
20 E. Main Street  
Ashland, Oregon 97520

Re: PA2009-001213 Conditional Use and Site Review Incompleteness

Dear Derek:

The following information is submitted for your review as requested per the incomplete letter dated October 13, 2009:

## **I. Information Necessary to Complete application**

1. *Scaleable drawings and elevation drawings.* Please see the attached drawings to scale and inclusive of elevation drawings from four perspectives.
2. *Parking and circulation.* After completing a parking analysis of the Ashland Shopping Center, based upon information gathered from the City of Ashland Planning Division and the property owner, the number of parking spaces is found to be out of compliance with the number of parking spaces required. Based upon current tenants in the shopping center the number of parking spaces required is 440 spaces. The number of parking spaces available is 341 spaces. It is because of this incompatibility the associated equipment for AT&T's proposal is being relocated to the southern side of the cinemas where no parking spaces will need to be utilized. Therefore, the parking and circulation study as requested is not applicable for our review, but is included for your information.
3. *Accessory Building Buffering/Landscape Plan:* With the new location for the equipment on the southern side of the cinema a variance is requested to allow AT&T to not landscape in this area as required in AMC 18.72.180.C.3 based upon the following reasons:

### ***18.72.090 Administrative Variance from Site Design and Use Standards***

*An administrative variance to the requirements of this chapter may be granted with respect to the requirements of the Site Design Standards adopted under section 18.72.080 if, on the basis of the application, investigation and evidence submitted, all of the following circumstances are found to exist:*



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*A. There is a demonstrable difficulty in meeting the specific requirements of the Site Design Standards due to a unique or unusual aspect of the proposed use of a site;*

**AT&T is placing equipment on the southern side of the cinema. This southern side currently houses a shelter for storage without immediate adjacent landscaping surrounding it. AT&T is designing it's equipment shelter to mimic current development. The southern side of the cinema is typical of an alley. Because of the alley design, its width is limited and its use is more for loading purposes. By placing required landscaping in this area, the alley would lose the ability for loading purposes and driving would be encumbered.**

*B. Approval of the variance will not substantially negatively impact adjacent properties;*

**Approval of this variance request will not substantially negatively impact adjacent properties due to existing substantial landscaping consisting of mature trees and shrubbery found on the subject property just south of the proposed equipment shelter. This existing landscaping buffers adjacent properties from the view of the southern side of the cinema.**

*C. Approval of the variance is consistent with the stated purpose of the Site Design and Use Chapter;*

*AMC 18.72.180. A. Purpose and Intent - The purpose of this section is to establish standards that regulate the placement, appearance and impact of wireless communication facilities, while providing residents with the ability to access and adequately utilize the services that these facilities support.*

*Because of the physical characteristics of wireless communication facilities, the impact imposed by these facilities affect not only the neighboring residents, but the community as a whole.*

*The standards are intended to ensure that the visual and aesthetic impacts of wireless communication facilities are mitigated to the greatest extent possible, especially in or near residential areas.*

**The associated ground mounted equipment is being relocated to the southern side of the building, away from the adjacent residential area located on the west side of the cinema. A 12' x 26' shelter ( painted to match the cinema) will house the equipment. This new location is buffered from the adjacent property to the south by existing mature landscaping consisting of trees and shrubbery. Approval of this variance is consistent with the stated purpose in that the visual and aesthetic impacts of the facility are mitigated to the greatest extent possible.**



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*D. The variance requested is the minimum variance which would alleviate the difficulty*

**This variance request is for required landscaping as stated in AMC 18.72.180.C.3. It is the only variance needed as the wireless facility has made every effort to meet the site design standards found in AMC18.72.180.C.2.c Preferred Design, and AMC 18.72.180.C.4. Visual Impacts, by locating antennae on the rooftop of the cinema within an expanded penthouse in an effort to conceal them.**

**4. *Manufacturer's Specification:* Please see the attached cut sheets describing the shelter and antennae. Please see the elevation drawings for details of the shelter.**

**5. *Summary of Community Meeting issues:* Please see the attached summary from the Community Meetings held July 9<sup>th</sup>, 2009 and September 22<sup>nd</sup>, 2009.**

**6. *Collocation study and Lease Agreement:* Please see the attached collocation study and letter from AT&T stating it does not preclude collocation.**

If you have any questions, or need further information- please do not hesitate to contact me at 503.207.1724.

Sincerely,

Breah Pike-Salas  
Goodman Networks

Ashland Shopping Center  
 Existing and Proposed Off-Street Parking  
 Project: Stealth Antenna Installation, AT&T MD01 Ashland South  
 1644 Ashland Street, Ashland, OR 97520

Existing Uses in Shopping Center		Area (SF)	Seating	Standard for 1 car	Required Parking	Parking Provided
<b>Building "A"</b>						
Picture This		1319		350	3.77	
Tan Ashland		1144		350	3.27	
Print Fast		3575		350	10.21	
DJ's Video		17196		350	49.13	
Dollar Tree		9133		350	26.09	
Quilts Making		4807		350	13.73	
Ashland Pets		5962		350	17.03	
People's Choice		4452		350	12.72	
Fun Again Games		1413		350	4.04	
Family Services		4587		450	10.19	
<b>Building "B"</b>						
Bear Creek Lock and Key		1250		350	3.57	
Vacant Retail		1250		350	3.57	
Book Wagon		750		350	2.14	
Laundramat		1500		350	4.29	
Coming Attractions Theatre		16437	572	4	143.00	
Double Deuce Deli		963		100	9.63	
Ashland Nails		2340		350	6.69	
Little Shop of Bagels		803		100	8.03	
Déjà vu		1002		350	2.86	
Flat Top Barber Shop		360		350	1.03	
Hair It Is		360		350	1.03	
<b>Building "C"</b>						
Ashland Bicycle		1195		350	3.41	
Senior Sams		2832		100	28.32	
Radio Shack		1950		350	5.57	
Indian Cuisine		987		100	9.87	
Gold & Gems		1400		350	4.00	
<b>Building "D"</b>						
Northwest Pizza		3762	100	4	25.00	
<b>Building "E"</b>						
Wendy's		3550	112	4	28.00	
<b>Total Spaces Required / Provided</b>					<b>440</b>	<b>341</b>
<b>Proposed Parking Space Removal</b>						<b>-3</b>
<b>Proposed Net Number of Spaces</b>					<b>440</b>	<b>338</b>

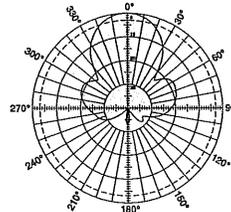
Kathrein's X-polarized adjustable electrical downtilt antennas offer the wireless carrier the ability to tailor polarization diversity sites for optimum performance. Using variable downtilt, only a few models need be procured to accommodate the needs of widely varying conditions. Remotely controlled downtilt is available as a retrofitable option.

- 0-8° downtilt range.
- UV resistant pultruded fiberglass radome.
- DC Grounded metallic parts for impulse suppression.
- No moving electrical connections.
- Wideband vector dipole technology.
- Optional remote downtilt control.
- Will accommodate future 3G / UMTS applications.

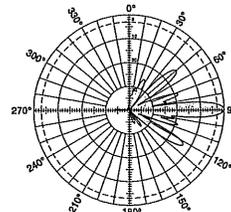
**General specifications:**

Frequency range	1710-2170 MHz
VSWR	<1.5:1
Impedance	50 ohms
Intermodulation (2x20w)	IM3: <-150 dBc
Polarization	+45° and -45°
Front-to-back ratio	>30 dB (co-polar)
Connector	2 x 7-16 DIN female
Isolation	>30 dB
Maximum input power	300 watts (at 50°C) per input
Weight	29.8 lb (13.5 kg)
Dimensions	51.3 x 11.8 x 2.7 inches (1304 x 299 x 69 mm)
Equivalent flat plate area	5.48 ft <sup>2</sup> (0.509 m <sup>2</sup> )
Wind survival rating*	120 mph (200 kph)
Shipping dimensions	62.6 x 12.7 x 4.3 inches (1589 x 322 x 108 mm)
Shipping weight	32 lb (14.5 kg)
Mounting	Fixed and tilt mount options are available for 2 to 4.6 inch (50 to 115 mm) OD masts.

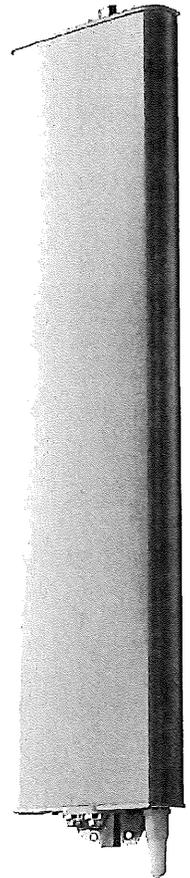
See reverse for order information.



Horizontal pattern  
±45°- polarization



Vertical pattern  
±45°- polarization

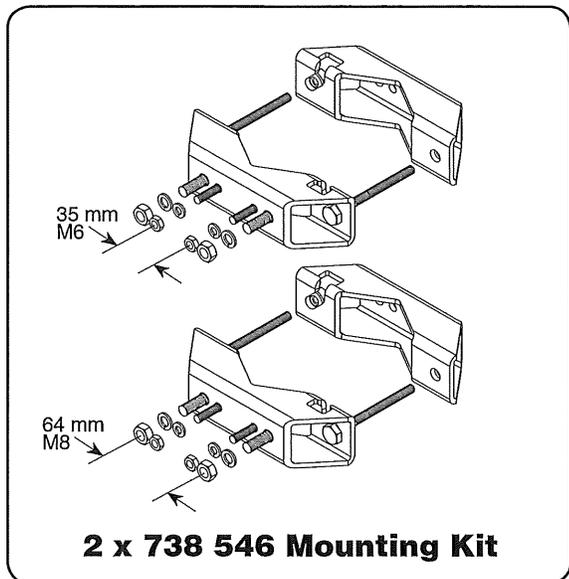


Specifications:	1710-1880 MHz	1850-1990 MHz	1920-2170 MHz
Gain	20.2 dBi	20.5 dBi	20.7 dBi
Horizontal beamwidth	36° (half-power)	35° (half-power)	33° (half-power)
Horizontal sidelobe suppression	>14 dB	>14 dB	>14 dB
Vertical beamwidth	7.4° (half-power)	7° (half-power)	6.7° (half-power)
Electrical downtilt continuously adjustable	0°-8° (manual or optional remote control)	0°-8°	0°-8°
Sidelobe suppression for: First sidelobe above main beam	0° 4° 8° T 18 17 16 dB	0° 4° 8° T 18 18 17 dB	0° 4° 8° T 18 17 16 dB
Cross polar ratio			
Main direction	0°	20 dB (typical)	20 dB (typical)
Sector	±30°	>10 dB	>10 dB

\* Mechanical design is based on environmental conditions as stipulated in EIA-222-F (June 1996) and/or ETS 300 019-1-4 which include the static mechanical load imposed on an antenna by wind at maximum velocity. See the Engineering Section of the catalog for further details.

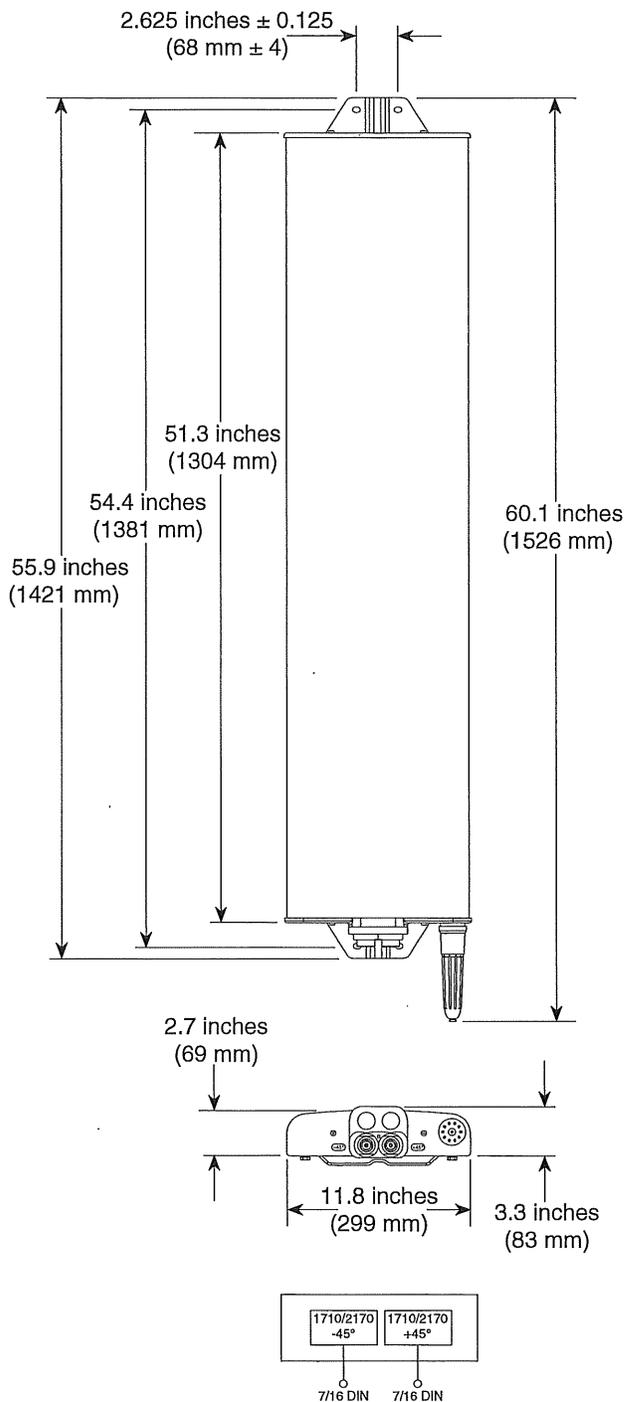


10708-F  
936.2209/h



**Mounting Options:**

Model	Description
2 x 736 546	Mounting Kit for 2 to 4.6 inch (50 to 115 mm) OD mast.
850 10013	Tilt Mount Kit 0-16 degrees downtilt angle.



**Order Information:**

Model	Description
742 351	Antenna with 7-16 DIN connectors 0°-8° adjustable electrical downtilt

All specifications are subject to change without notice. The latest specifications are available at [www.kathrein-scala.com](http://www.kathrein-scala.com).

Kathrein Inc., Scala Division Post Office Box 4580 Medford, OR 97501 (USA) Phone: (541) 779-6500 Fax: (541) 779-3991  
Email: [communications@kathrein.com](mailto:communications@kathrein.com) Internet: [www.kathrein-scala.com](http://www.kathrein-scala.com)

1994	UNIFORM BUILDING CODE
1995	INTERNATIONAL BUILDING CODE
1997	INTERNATIONAL BUILDING CODE
2000	INTERNATIONAL BUILDING CODE
2003	INTERNATIONAL BUILDING CODE
2006	INTERNATIONAL BUILDING CODE
1994	UNIFORM MECHANICAL CODE
1995	INTERNATIONAL MECHANICAL CODE
1997	INTERNATIONAL MECHANICAL CODE
2000	INTERNATIONAL MECHANICAL CODE
2003	INTERNATIONAL MECHANICAL CODE
2006	INTERNATIONAL MECHANICAL CODE
2002	BUILDING CODE OF NEW YORK STATE
2002	MECHANICAL CODE OF NEW YORK STATE
2005	NORTH CAROLINA BUILDING CODE
2005	NORTH CAROLINA ELECTRICAL CODE
2006	NORTH CAROLINA MECHANICAL CODE
2006	NORTH DAKOTA ELECTRICAL WIRING STANDARDS
2006	MICHIGAN BUILDING CODE
2006	MICHIGAN MECHANICAL CODE
2007	MINNESOTA STATE MECHANICAL CODE
2007	MINNESOTA STATE BUILDING CODE
2006	NEW MEXICO COMMERCIAL BUILDING CODE
2006	NEW MEXICO ELECTRICAL CODE
2006	CHICAGO BUILDING CODE
2004	FLORIDA BUILDING CODE WITH 2005, 2006 & 2007 SUPPLEMENT
2004	MASSACHUSETTS ELECTRICAL CODE
2006	MASSACHUSETTS MECHANICAL CODE
2007	OHIO BUILDING CODE
2007	OHIO MECHANICAL CODE
2007	CALIFORNIA TILE 25
2007	OREGON MECHANICAL SPECIALTY CODE
2007	KENTUCKY BUILDING CODE
1996	NATIONAL ELECTRICAL CODE
1999	NATIONAL ELECTRICAL CODE
2002	NATIONAL ELECTRICAL CODE
2002	NATIONAL ELECTRICAL CODE
1989	NATIONAL ELECTRICAL CODE
1989	ASHRAE 90.1
2000	INTERNATIONAL ENERGY CONSERVATION CODE
2002	INTERNATIONAL MECHANICAL SAFETY CODE
2002	ARKANSAS FIRE PREVENTION CODE

**INDEX OF SHEETS**

0-1	ITEM LIST
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0-3	OPTION LIST/ SHOP DETAILS
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2-0	REFLECTED CEILING PLAN - ELECTRICAL
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6-1	GROUNDING DETAILS
6-2	GROUNDING DETAILS

\* - DENOTES SHEETS WHICH MAY CONTAIN FIELDWORK

**REFERENCE DRAWINGS**

108-001	6" SLAB FOUNDATION PLAN (FLAT TIE DOWN)
108-007	ABBREVIATIONS AND SYMBOLS
108-008	CONCRETE ELECTRICAL PANEL CONNECTION DETAILS
108-016	GENERAL CASTING SPECIFICATIONS
108-035	CONCRETE SHELTER INTERIOR INSULATION/PANEL INSTALL DETAILS

**STRUCTURAL DRAWINGS (MANUFACTURE ONLY)**

SD-0	STRUCTURAL SPECIFICATIONS
S1-0	STRUCTURAL LAYOUT - WALL 'A'
S1-1	STRUCTURAL LAYOUT - WALL 'C'
S1-2	STRUCTURAL LAYOUT - WALLS 'B & D'
S1-3	STRUCTURAL LAYOUT - PARTITION WALL
S2-0	STRUCTURAL LAYOUT - ROOF

- LISTED. INCLUDE LATEST STATE ADOPTED AMENDMENTS.
- THIS SHELTER IS NOT TO BE USED FOR FABRICATION.
- APPROVED WORK SHALL BE UNDER IMAGE.
- OCCUPANT LOAD = 0, OHIO = 2
- SPECIAL CONDITIONS AND PERMISSIBLE TYPES OF GASES: N/A
- SHELTER HAS NO COUNTY PLACEMENT RESTRICTION IN THE STATE OF MARYLAND.
- STATE INSULATION LABELING PROGRAM IS LOCATED UNDER THE 2006 IBC.
- ENERGY CODE EVALUATION BASED ON COMCHECK-EZ AND ENERGY GAUGE FLACOM SOFTWARE.
- NOT SUBJECT TO FLORIDA FIRE SAFETY CODE, COMPLIANCE IS THE RESPONSIBILITY OF THE LOCAL JURISDICTION CODE OFFICIAL.
- ACCESS TO SHELTER SHALL COMPLY WITH MARYLAND ACCESSIBILITY CODE COMAR 05.02.02.07/ADAG SECTION 4.1.2.
- ALL WELDS SHALL BE VERIFIED BY THE MANUFACTURER.
- APPLICABLE INTERNAL PRESSURE COEFFICIENT (NOT APPLICABLE) - THESE SHELTERS CONFORM TO THE REQUIREMENTS OF SECTION 1509.1.1 WHICH ALLOWS CHAPTER 6 OF ASCE 7; USE SEC 6.4; METHOD 1 SIMPLIFIED PROCEDURE.
- WIND IMPORTANCE FACTOR - I<sub>w</sub> = 1.00
- THIS SHELTER IS AN ENCLOSED STRUCTURE.
- HEALTH AND SAFETY CODE SECTION 1802B, 1991 IBC, 1993 NEC, ANSI A17.1-1986.
- THE 2005 NEC IS MORE STRINGENT THAN THE 2002 NEC.
- HVAC UNITS ARE SIZED PER CUSTOMER REQUIREMENTS.
- EXTERNAL GROUNDING BY OTHERS.
- FLORIDA SHELTERS WITH LOUVERS HAVE THEM PROTECTED WITH A VENT HOOD & COMPLY WITH THE HVHZ REQUIREMENTS.
- THIS BUILDING DOES NOT CONTAIN PLUMBING FACILITIES.

**DESIGN PARAMETERS**

USE GROUP: B (BOCA, MASEC)  
 U (BOC)  
 CONSTRUCTION TYPE: SB (BOCA, MASEC)  
 IV-NIP (SEC, IBC)  
 V-N (IBC)

ROOF LIVE LOAD: 83 PSF  
 FLOOR LIVE LOAD: 208 PSF  
 GROUND SNOW LOAD: 102 PSF (N/A FOR FBC20004)  
 WIND SPEED: 130 MPH/EXPOSURE C (SEC, IBC, FBC)

SEISMIC DESIGN CATEGORY FOR IBC: 4 (IBC)  
 USE GROUP-III (IBC)  
 SITE CLASS-D (IBC)

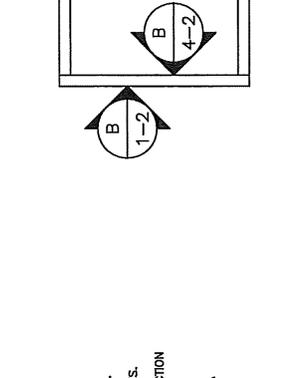
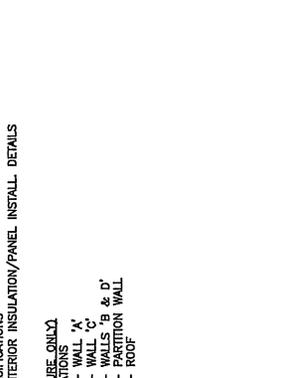
CONCRETE f'<sub>c</sub>=5000 PSI AT 28 DAYS  
 USE GROUP-III (IBC)  
 FRESH CONCRETE CURING PERIOD: 7 DAYS  
 FIRE RATING: 2 HOUR WALL AND ROOF (LIMITATIONS MAY APPLY DUE TO OPENINGS AND PROXIMITY ON SITE)

**PHYSICAL PROPERTIES**

SHIPPING DIMENSIONS: 11'-5" x 26'-0" x 10'-0" 1/2"  
 SHELLER WEIGHT: 61,000 # (SHELTER ONLY)

THIS DRAWING IS THE CONFIDENTIAL PROPERTY AND CONTAINS TRADE SECRETS OF CELLIXION, LLC. ANY USE, REPRODUCTION, COPIING, OR DISSEMINATION OF THIS DRAWING FOR ANY REASON OTHER THAN AS EXPRESSLY AUTHORIZED BY CELLIXION, LLC IS STRICTLY PROHIBITED. THIS DRAWING IS BEING DISTRIBUTED WITH THE UNDERSTANDING THAT ANYONE RECEIVING OR OTHERWISE OBTAINING POSSESSION OF THIS DRAWING WILL BE EXHIBITING IT AS THE PROPERTY OF CELLIXION, LLC. CONFIDENTIAL NATURE.

5031 Hazel Jones Road  
 Bossier City, Louisiana 71111  
 Voice: (318) 213-2900  
 Fax: (318) 213-2919  
 www.cellixon.com



ZONE	EXTERIOR COMPONENTS AND CLADDING POSITIVE AND NEGATIVE PRESSURES IN TERMS OF PSF	
	2000 IBC, 120 MPH WIND SPEED	2000, 2003, 2006 IBC, 2004 FBC, 130 MPH WIND SPEED
ROOF ZONE 1 (100 SF EFFECTIVE WIND AREA)	+12.1/-28.7	+12.1/-33.9
ROOF ZONE 2 (20 SF EFFECTIVE WIND AREA)	+12.1/-46.9	+14.5/-55.7
ROOF ZONE 3 (10 SF EFFECTIVE WIND AREA)	+12.7/-79.1	+20.0/-125.7
WALL ZONE 4 (200 SF EFFECTIVE WIND AREA)	+25.9/-28.4	+30.7/-33.9
WALL ZONE 5 (30 SF EFFECTIVE WIND AREA)	+29.3/-38.0	+34.9/-38.2

*Sheet spec*

ITEM PARTS LIST

ITEM	QTY	U/M	P/N	DESCRIPTION	ITEM	QTY	U/M	P/N	DESCRIPTION
1	16,000	EA	420033	LABEL, SELF TRANSFER, PANDUIT TSL2	76	1,000	EA	460109	THERMOSTAT, BASEBOARD
2	2,000	EA	350025	TELE BOARD, 4" X 8" OSB, WITH 3/8" TRP	77	6,000	EA	470047	LIGHT FIXTURE, COMBO, EXIT/EMERGENCY, LED WITH BATTERY BACKUP
3	2,000	EA	410181	NIPPLE, RIGID, 2" X 8 1/2"	78	2,000	EA	470056	LIGHT BULB, F32, I-B, MED BIPIN, WITH MOTION DETECTOR, 6550OR
4	2,000	EA	188283	BUSHING, PLASTIC, 1/2", SNAP-IN, HECO	79	12,000	EA	470058	LIGHT FIXTURE, EXTERIOR, REAR, BASE
5	2,000	EA	170116	PIPE, GALVANIZED, SCH 40, 1", CAP	80	1,000	EA	470083	LIGHT FIXTURE, EXTERIOR, REAR, BASE
6	2,000	EA	170118	PIPE CAP/PLUS, PLASTIC, NPT, NAGARA #207	81	3,000	EA	470085	LIGHT FIXTURE, EXTERIOR, REAR, BASE
7	1,000	EA	170118	PIPE CAP/PLUS, PLASTIC, NPT, NAGARA #342	82	3,000	EA	470089	LIGHT FIXTURE, EXTERIOR, REAR, BASE
8	1,000	EA	170123	PIPE CAP/PLUS, PLASTIC, NPT, NAGARA #188	83	1,000	EA	470095	LIGHT FIXTURE, EXTERIOR, REAR, BASE
9	1,000	EA	410029	PIPE CAP/PLUS, PLASTIC, NPT, NAGARA #2048	84	2,000	EA	460000	ALARM, MAGNETIC DOOR CONTACT
10	2,000	EA	410029	CONDULET, BODY COVER, 2" ALUMINUM	85	1,000	EA	460005	DETECTOR SMOKE, 24VDC, PHOTOELECTRIC, SENTROL
11	2,000	EA	410029	CONDULET, BODY COVER, 2" ALUMINUM	86	1,000	EA	460049	DETECTOR, HUMIDITY, HA-1, WINLAND
12	2,000	EA	410043	CONDULET, GASKET, 2", GASCOSEN	87	1,000	EA	460054	DETECTOR, HYDROGEN, 24V, HD-11, MACURC
13	1,000	EA	410067	NIPPLE, EMT, 1/2", CHASE	88	1,000	EA	170031	PIPE, BLK, SCH 40, 2", 90° ELL
14	1,000	EA	410075	NIPPLE, EMT, 1/2", CHASE	89	3,000	EA	400001	LUG, 2H, #6, BUL, 3/8", BOLT, 1/2", G/LEW
15	1,000	EA	410075	NIPPLE, EMT, 1/2", CHASE	90	3,000	EA	400020	LUG, 1H, #6, BUL, 1/4", BOLT, LEW
16	1,000	EA	410080	BUSHING, EMT, 1", LESTO	91	14,000	EA	400021	C-TAP, BROWN, 54720 (COMPRESSION TYPE)
17	6,000	EA	410150	BUSHING, EMT, 3/4", PLASTIC	92	27,000	EA	400030	WIRE, #6 THIN, STRANDED, GRN
18	5,000	EA	410160	BUSHING, EMT, 3/4", PLASTIC	93	105,000	EA	400030	WIRE, #2 THIN, STRANDED, GRN
19	5,000	EA	410184	NIPPLE, RIGID, 3/4" X 8 1/2"	94	105,000	EA	400051	WIRE, #2 SOLID COPPER, BARE, TINNED
20	3,000	EA	410184	NIPPLE, RIGID, 1/2" X 7 1/2"	95	120,000	EA	400059	WIRE, #2 SOLID COPPER, BARE, TINNED
21	3,000	EA	410217	NIPPLE, RIGID, 1" X 8"	96	2,000	EA	400108	LUG, 2H, #4, GR, 1/4" BOLT, 3/4" G/LEW
22	4,000	EA	430003	BOX, #4 OCTAGON, 1 1/2" DEEP, 1/2" X 3/4" KO	97	2,000	EA	400174	LUG, 2H, #2, BRN, 3/8" BOLT, 1/2" G/LEW
23	31,000	EA	430005	BOX, JUNCT, #4, #2-1/8", 1/2"-3/4" KO	98	5,000	EA	400259	LUG, 2H, #6, BUL, 1/4" BOLT, 1/2" G/LEW
24	4,000	EA	430008	BOX, #6X4, SCREW COVER, NEMA 1,0-KO	99	13,000	EA	400357	LUG, 2H, #6, BUL, 1/4" BOLT, 1/2" G/LEW
25	1,000	EA	430029	BOX, JUNCTION, 4 1/16" X 2 1/8"	100	1,000	EA	400371	LUG, 2H, #6, BUL, 1/4" BOLT, 1/2" G/LEW
26	3,000	EA	430049	WIREWAY, GALV, 4X4, CLOSURE PLATE, NO	101	5,000	EA	400380	LUG, 2H, #6, BUL, 1/4" BOLT, 1/2" G/LEW
27	2,000	EA	430054	WIREWAY, GALVANIZED, 4" X 4", U-CONNECTOR	102	6,000	EA	400387	LUG, 2H, #6, BUL, 1/4" BOLT, 1/2" G/LEW
28	2,000	EA	430059	WIREWAY, GALVANIZED, 4" X 4", 90 DEGREE ELBOW	103	1,000	EA	400390	LUG, 2H, #6, BUL, 1/4" BOLT, 1/2" G/LEW
29	2,000	EA	430061	WIREWAY, GALVANIZED, 4" X 4", 18" WITHOUT KNOCKOUTS	104	1,000	EA	400390	LUG, 2H, #6, BUL, 1/4" BOLT, 1/2" G/LEW
30	2,000	EA	430252	WIREWAY, GALVANIZED, 4" X 4", 18" WITHOUT KNOCKOUTS	105	8,000	EA	400390	LUG, 2H, #6, BUL, 1/4" BOLT, 1/2" G/LEW
31	3,000	EA	430268	WIREWAY, GALVANIZED, 4" X 4", 48" WITHOUT KNOCKOUTS	106	1,000	EA	400390	LUG, 2H, #6, BUL, 1/4" BOLT, 1/2" G/LEW
32	1,000	EA	430274	BOX, ENCLOSURE, 12" X 12" X 6", NEMA 3R, PVC	107	1,000	EA	400390	LUG, 2H, #6, BUL, 1/4" BOLT, 1/2" G/LEW
33	1,000	EA	430274	PANEL, COMBINED, INTERSECT, 200 AMP, 42, SPAGE, A1S, TVSS, A11220061	108	1,000	EA	400390	LUG, 2H, #6, BUL, 1/4" BOLT, 1/2" G/LEW
34	3,000	EA	440005	LINE PROTECTOR, AG DATA, #1010101	109	1,000	EA	400390	LUG, 2H, #6, BUL, 1/4" BOLT, 1/2" G/LEW
35	1,000	EA	460101	THERMOSTAT, HIGH/LOW TEMPERATURE	110	1,000	EA	470252-00001	SHUTTER MOTOR, 208V, 30
36	1,000	EA	460101	THERMOSTAT, HIGH/LOW TEMPERATURE	111	5,000	EA	480005	SIGN, CELIXION BRASS GREEN SERIAL NUMBER PLATE
37	6,000	EA	470104	HEATER, BASEBOARD, 240V, 240V, 94" HYDRONIC	112	2,000	EA	510016	CABLE LADDER, HAT BRACKET, 2" X 1 1/2", CHBT
38	1,000	EA	470104	HEATER, BASEBOARD, 240V, 240V, 94" HYDRONIC	113	6,000	EA	510052	CABLE LADDER, RED INSULATOR 1/4"-20
39	1,000	EA	470104	HEATER, BASEBOARD, 240V, 240V, 94" HYDRONIC	114	3,000	EA	510053	CABLE LADDER, 24" CLOSING BRACKET, YZ
40	1,000	EA	470204	LOUVER, 30" EXHAUST FRAME, DAYTON, 35309	115	4,000	EA	510142	CABLE LADDER, RED INSULATOR 3/8"-11
41	5,000	EA	400272	BREAKER, 30A, 1P, 20A, BOLT ON, Q08120	116	4,000	EA	510151	CABLE LADDER, TRAY HANGER, 11"
42	9,000	EA	400284	BREAKER, 30A, 2P, 40A, BOLT ON, Q08240	117	2,000	EA	521102	HVAC, GRILL, SUPPLY, 10" X 30"
43	2,000	EA	400285	BREAKER, 30A, 2P, 15A, BOLT ON, Q08215	118	2,000	EA	522001-00006	HVAC, SLEEVE, 16" X 30" X 6"
44	3,000	EA	400350	FUSE, HOLDER IN-LINE, HL2	119	16,000	EA	530005	CAP, WAVEGUIDE ENTRY, 4", EPDM4
45	1,000	EA	400353	FUSE, 1 AMP, SMALL, DIN, BUSS, GLF1	120	1,000	EA	530010	WAVEGUIDE ENTRY, 16" ORT, 4" X 4"
46	1,000	EA	400537	RELAY, COIL-B-PIN, Z40VAC, DPDT, 10 AMP	121	1,000	EA	540176-03	ROUND BAR, KIT, COPPER, 4" X 30" X 1/4"
47	2,000	EA	400537	RELAY, BASE-B-PIN, COIL, 10A, SINGLE THER	122	1,000	EA	540176-01	ROUND BAR, KIT, COPPER, 4" X 30" X 1/4"
48	1,000	EA	400585	RELAY, COIL-B-PIN, Z40VAC, DPDT, SZB93	123	2,000	EA	540218-01	ROUND STRAP ASSY, #6 THIN, 14 1/2"
49	18,000	EA	410111	CONDUIT, LFMC, 3/4", SEALTITE	124	2,000	EA	540225	ROUND STRAP ASSY, #6 THIN, 14 1/2"
50	30,000	EA	410128	CONDUIT, LFMC, 1", SEALTITE	125	2,000	EA	500001	DOOR, 3070, CURRIES, LH/RH, 18 GA, GALVANIZED
51	4,000	EA	410128	CONDUIT, LFMC, 3/4", 45 DEGREE	126	1,000	EA	500004	DOOR, 4068, CURRIES, LH/RH, 18 GA
52	2,000	EA	420006	LABEL, BLK, ELEC, GFCI	127	1,000	EA	504000	DOOR, HINGES, STAINLESS STEEL, 32D
53	2,000	EA	420007	LABEL, BLK, ELEC, ALJARM, BLOCK*	128	2,000	EA	504100	DOOR, CLOSER, SARGENT 104, ALUM
54	2,000	EA	420008	LABEL, BLK, ELEC, "NO FLAME" LIGHT*	129	2,000	EA	504103	DOOR, BUMPER, SS RUBBER STOP, BLACK
55	1,000	EA	420015	LABEL, BLK, ELEC, "NO FLAME" LIGHT*	130	2,000	EA	504113	DOOR, HOLD OPEN, T-LATCH, 6" SS
56	1,000	EA	420016	LABEL, BLK, ELEC, "HIGH TEMP" LIGHT*	131	2,000	EA	504300	DOOR, LOCKGUARD, 10" 32D
57	1,000	EA	420016	LABEL, BLK, ELEC, "HIGH TEMP" LIGHT*	132	2,000	EA	504400	DOOR, DRIP CAP, NGF16A-48"
58	1,000	EA	420016	LABEL, BLK, ELEC, "HIGH TEMP" LIGHT*	133	2,000	EA	504409	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
59	1,000	EA	420016	LABEL, BLK, ELEC, "HIGH TEMP" LIGHT*	134	1,000	EA	504411	DOOR, DRIP CAP, NGF16A-42"
60	1,000	EA	420016	LABEL, BLK, ELEC, "HIGH TEMP" LIGHT*	135	1,000	EA	504437	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
61	1,000	EA	420023	LABEL, BLK, ELEC, "TRANSFER SWITCH"	136	2,000	EA	504585	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
62	1,000	EA	420024	LABEL, BLK, ELEC, "POWER FAIL RELAY"	137	2,000	EA	504585	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
63	1,000	EA	420037	LABEL, BLK, ELEC, "TNS"	138	2,000	EA	504585	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
64	1,000	EA	420041	LABEL, BLK, ELEC, "ARC FLASH AND SHOCK WARNING"	139	2,000	EA	504585	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
65	19,000	EA	430012	COVER, BLANK PLATE, 4X4	140	2,000	EA	504585	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
66	1,000	EA	430013	COVER, PLASTER RING, 4X4, 1/4" RISE	141	1,000	EA	504585	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
67	1,000	EA	430014	COVER, BLANK PLATE, 4 1/16" X 4 1/16"	142	1,000	EA	504585	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
68	7,000	EA	430025	COVER, RECEPT PLATE, 4X4, 2R	143	2,000	EA	504585	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
69	2,000	EA	430033	RECEPTACLE, GFCI, 120V, 20A, NORY	144	2,000	EA	504585	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
70	7,000	EA	430034	RECEPTACLE, DUPLEX, 125V, 20A, NORY	145	2,000	EA	504585	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
71	2,000	EA	430072	SWITCH, SWITCH PLATE, 4X4, 2 SWITCH	146	2,000	EA	504585	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
72	4,000	EA	430084	SWITCH, SWITCH PLATE, 4X4, 2 SWITCH	147	2,000	EA	504585	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
73	1,000	EA	430393	ALARM BLOCK, SIBERG, 168A-60AH49	148	2,000	EA	504585	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
74	2,000	EA	430394	ALARM, SENS, SIBERG, 168A-60AH49	149	2,000	EA	504585	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM
75	1,000	EA	430437	SWITCH, SWITCH PLATE, 4X4, 2 SWITCH	150	2,000	EA	504585	DOOR, THRESHOLD, 42" X 74.5", 990 ALUM

DESCRIPTION

ITEM

QTY

U/M

P/N



**OPTIONAL COMPONENTS**

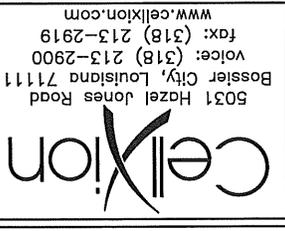
OPT.	OPT. NO.	TAG NO.	QTY	U/M	PART NO.	DESCRIPTION	CUT	PCS
A	A1	1	EA	-	-	NOT REQUIRED		
		1	EA	460101	LOW TEMP ALARM, DAYTON, 2E206			
		2	EA	420011	LABEL BLK, ELECT "LOW TEMP"			
		2	EA	520154	HVAC WALL AT SKYWAY/IR, BE/ECON			
B	B1	1	EA	400934	BREAKER, SQD, 3P, 45A, BOLT ON, Q0B245			
		2	EA	520124	HVAC WALL ST SKYWAY/IR, BE/ECON			
		2	EA	400263	BREAKER, SQD, 2P, 60A, BOLT ON, Q0B260			
		2	EA	400263	BREAKER, SQD, 2P, 60A, BOLT ON, Q0B260			
C1	C1	1	EA	400930	WIRE, #2, THIN, STRANDED, GREEN	321.00	1	
		2	EA	400930	WIRE, #2, THIN, STRANDED, GREEN	219.00	1	
		3	EA	410343	WIRE STANDOFF, 1 3/4"			
		5	EA	186230	SCREW/DECK, #BX1 1/4", PH, ZINC			
C2	C2	1	EA	400003	CABLE TIE/WRAP 15" BLACK			
		2	EA	400050	WIRE, #2, THIN, STRANDED, GREEN	516.00	1	
		3	EA	410343	WIRE STANDOFF, 1 3/4"	339.00	1	
		4	EA	186230	SCREW/DECK, #BX1 1/4", PH, ZINC			
C3	C3	1	EA	400003	CABLE TIE/WRAP 15" BLACK	420.00	1	
		2	EA	400050	WIRE, #2, THIN, STRANDED, GREEN	531.00	1	
		3	EA	410343	WIRE STANDOFF, 1 3/4"			
		4	EA	186230	SCREW/DECK, #BX1 1/4", PH, ZINC			
C4	C4	1	EA	400003	CABLE TIE/WRAP 15" BLACK	276.00	1	
		2	EA	400050	WIRE, #2, THIN, STRANDED, GREEN	364.00	1	
		3	EA	410343	WIRE STANDOFF, 1 3/4"			
		4	EA	186230	SCREW/DECK, #BX1 1/4", PH, ZINC			

SHELTER REQUIRES ONE OPTION NUMBER FROM EACH OPTION LISTED.  
NOTE THAT SOME OPTION NUMBERS ARE A KIT W/ MULTIPLE PARTS.

**SHOP DETAILS**

DWG NO.	DESCRIPTION
30-002	BOX TO BOX PENETRATION DETAIL
30-004	BOX TO GFCI PENETRATION DETAIL
30-009	CONDUIT TO WIREWAY CONNECTION
30-011	PLASTIC CAPS INSTALLATION
30-012	RIGID, CLOSE, CHASE NIPPLE APPLICATION
30-013	PANEL TO WIREWAY CONNECTION
40-004	UNISTRUT INSTALLATION
50-001	GROUND BAR MOUNTING INSTALLATION
50-002	CABLE LADDER TO DISTRIBUTION PANEL/BOXES OVER 6"X6"
50-006	HALO GROUND TO DOOR FRAME GROUNDING DETAILS
50-013	HALO GROUND TO PERPENDICULAR CONDUIT (2 SIDES)
50-026	HALO GROUND TO DROP #6 GREEN C-TAP
50-028	MEDH. LUG DETAIL W/ #2 SOLID COIL
50-034	HALO GROUND TO HVAC GRILLE GROUNDING DETAIL (Y W/ NO-OX) BOLTS
50-035	THRU WALL PENETRATION PVC PIPE @ 45 DEGREES
50-038	HALO GROUND TO WIREWAY
50-042	WIRE STANDOFF INSTALLATION
51-003	THRESHOLD INSTALL (CONCRETE SHELTER) 2PC THRESHOLD
51-005	DOOR WEATHERSTRIP INSTALL (MAGNETIC)
51-006	DOOR DRIP CAP INSTALL
51-010	DOOR CLOSER INSTALL (NON-HOLD OPEN)
51-013	SHELTER ID SIGN LOCATION
51-017	GROUND STRAP TO DOOR FRAME
51-029	MAGNETIC DOOR ALARM INSTALLATION
52-003	CABLE LADDER STRAIGHT CLAMP INSTALL
52-004	CABLE LADDER CORNER CLAMP INSTALL
52-016	CABLE LADDER (FOOT) BRACKET INSTALLATION
52-018	CABLE LADDER TO HANGER BAR CONNECTION
52-021	CABLE LADDER HANGER BRACKET INSTALL (1) LAYER INT. CONCRETE SHELTER
52-022	UNISTRUT INSTALL (1) LAYER INT. CONCRETE SHELTER
53-001	WAVEGUIDE ENTRY INSTALLATION
55-006	HVAC INSTALLATION AND CONNECTION DETAILS
55-010	DRIP CAP INSTALLATION
80-001	1/2" PVC PIPE STAND OFF

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CUSTOMER:  
**AT&T WIRELESS SERVICES**

PROJECT:  
**11'-5" x 26'-0" CONCRETE SHELTER OPTION LIST SHOP DETAILS**

FILENAME:	8177-SA11748
SCHEDULE:	N.I.T.S.
TOLERANCE:	
DRAWN BY:	J. REEVES
DATE:	2/6/09
CHK. BY:	D. BROYLES
DATE:	2/6/09
ENG. BY:	
DATE:	
APP. BY:	J. ENGI
DATE:	2/6/09
SHEET NO.	0-3
DRAWING NO.:	SA11748

SUB-PARTS LIST	
ITEM	DESCRIPTION
P/N	CUT
400099	WIRE, #2 SOLID COPPER, BARE, TINNED
96	

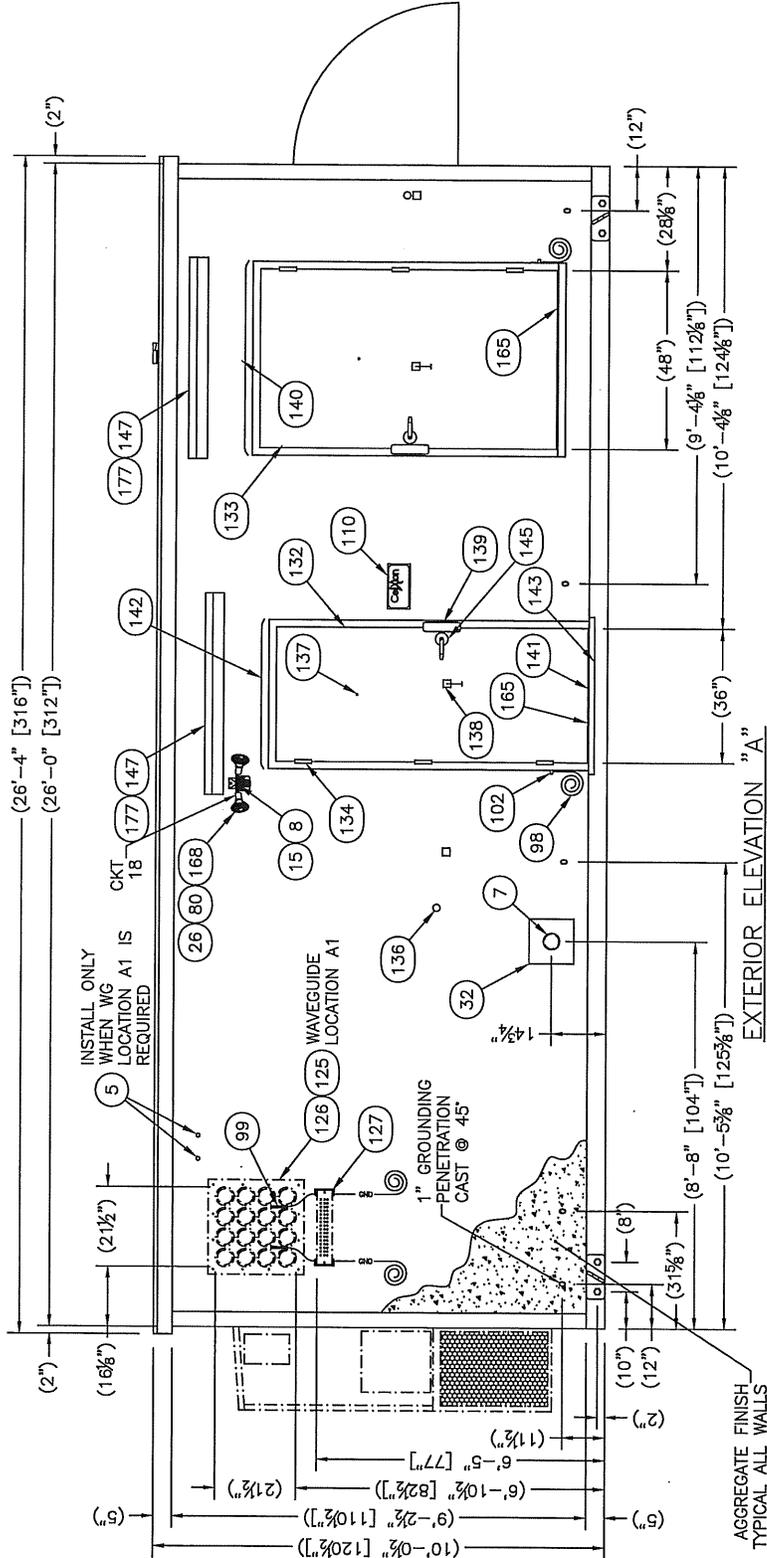
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 5031 Hazel Jones Road  
 Bossier City, Louisiana 71111  
 Voice: (318) 213-2900  
 Fax: (318) 213-2919  
 www.celixion.com

CUSTOMER:  
**AT&T WIRELESS SERVICES**

PROJECT:  
**11'-5" X 26'-0" CONCRETE SHELTER EXTERIOR ELEVATION "A"**

FILENAME:	ATT/SMT748
SCALE:	TOLERANCE
DRWN. BY:	J. REEVES
CHK. BY:	D. BROYLES
ENG. BY:	J. ENGI
DATE:	2/6/09
DATE:	2/6/09
DATE:	2/6/09
SHEET NO.:	1-0
DRAWING NO.:	SA17748



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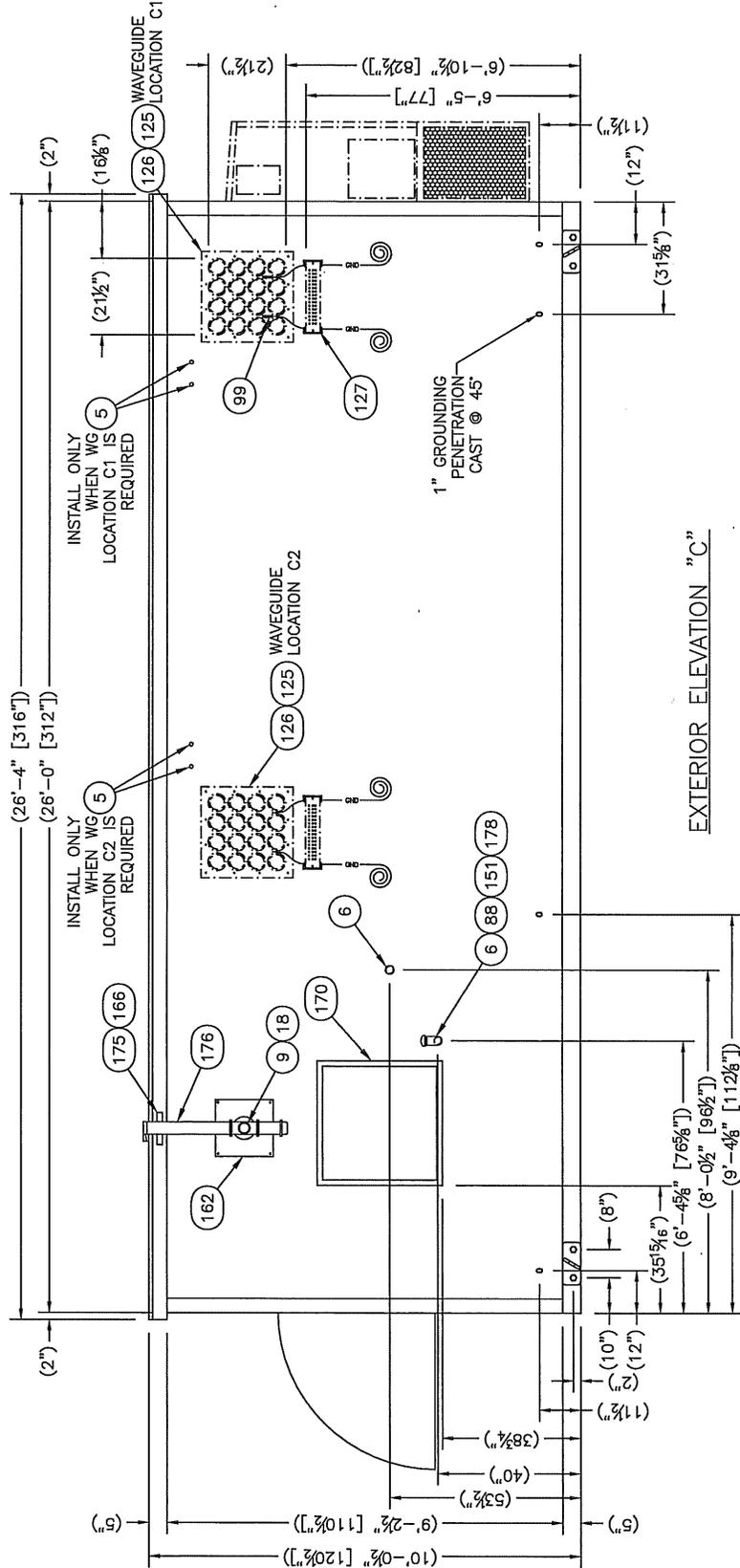
**Cellixion**  
 5031 Hazel Jones Road  
 Bossier City, Louisiana 71111  
 www.cellixion.com  
 Voice: (318) 213-2900  
 Fax: (318) 213-2919

CUSTOMER:  
**AT&T WIRELESS SERVICES**

PROJECT:  
**11'-5" X 26'-0" CONCRETE SHELTER EXTERIOR ELEVATION "C"**

FILENAME: ATT/SAIT748	TOLERANCE:
SCALE: 3/8"=1'-0"	DATE:
DRWN. BY: J. REEVES	DATE: 2/6/09
CHK. BY: D. BROYLES	DATE: 2/6/09
ENG. BY:	DATE:
APP. BY: J. ENGI	DATE: 2/6/09
SHEET NO. 7 - 1	

DRAWING NO.:  
**SAIT748**



ITEM	P/N	DESCRIPTION	CUT
98	400099	WIRE, #2 SOLID COPPER, BARE, TINNED	96"

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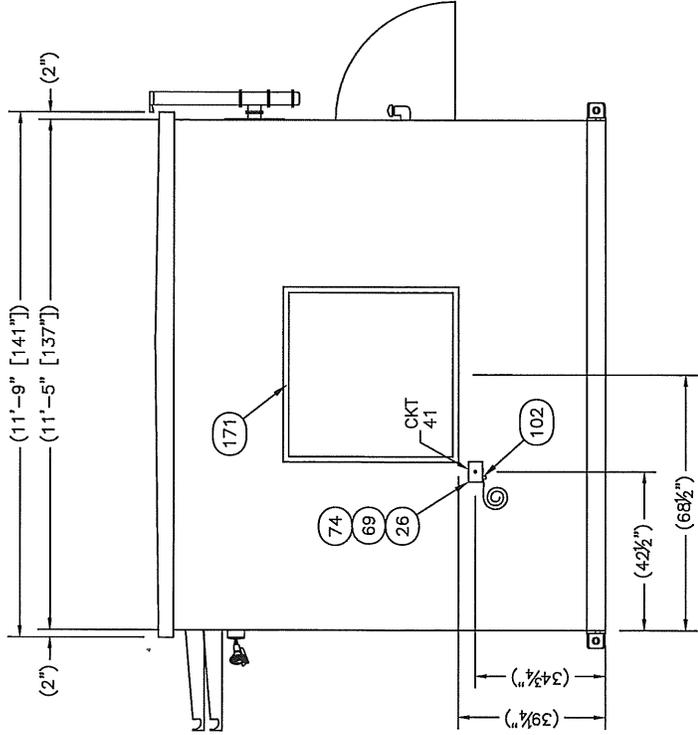
5031 Hazel Jones Road  
Bossier City, Louisiana 71111  
Voice: (318) 213-2900  
Fax: (318) 213-2919  
www.celixon.com

**Celixon**

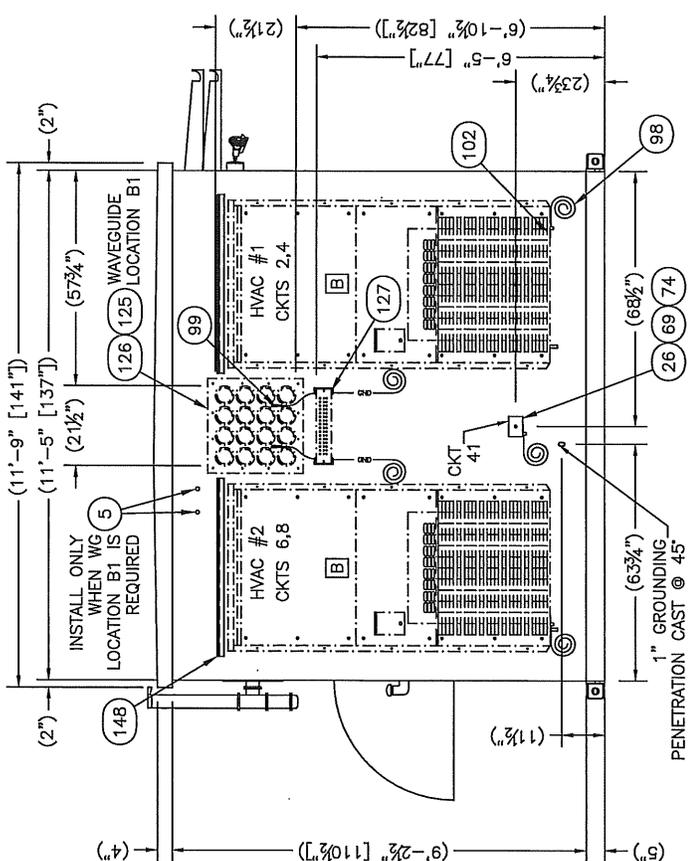
CUSTOMER:  
AT&T WIRELESS SERVICES

PROJECT:  
11'-0" CONCRETE SHELTER EXTERIOR ELEVATIONS B & D

FILENAME: ATT/SMT748	TOLERANCE: 3/8"-1'-0"
SCALE: 3/8"-1'-0"	DATE: 2/16/09
DRWN. BY: J. REZES	DATE: 2/16/09
CHK. BY: D. BROYLES	DATE: 2/16/09
ENG. BY:	DATE:
APP. BY: J. ENGI	DATE: 2/16/09
SHEET NO. 1-2	DRAWING NO.: SAIT748



EXTERIOR ELEVATION "D"



EXTERIOR ELEVATION "B"

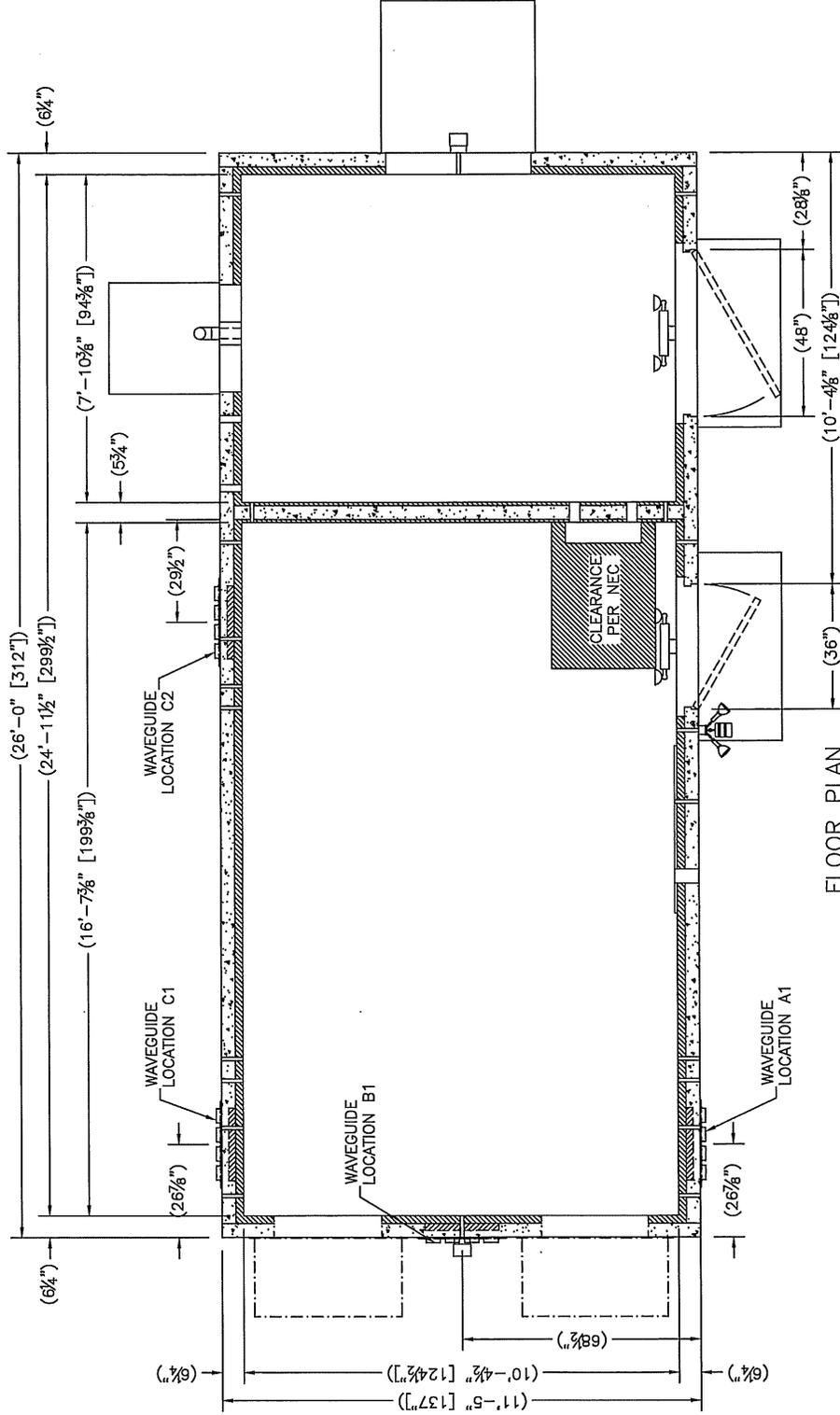
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CUSTOMER:  
**AT&T WIRELESS SERVICES**

PROJECT:  
**11'-6" CONCRETE SHELTER FLOOR PLAN**

FILENAME:	AT77541748
SCALE:	3/8" = 1'-0"
TOLERANCE:	
DRAWN BY:	D. BROYLES
DATE:	2/16/09
CHK. BY:	D. BROYLES
DATE:	2/16/09
ENG. BY:	
DATE:	
APP. BY:	J. ENGI
DATE:	2/16/09
SHEET NO.:	2-0
DRAWING NO.:	SA17748



**FLOOR PLAN**

EXTERIOR AREA:  
 299.00 SQ. FT.  
 EQUIPMENT ROOM AREA:  
 173.76 SQ. FT.  
 GENERATOR ROOM AREA:  
 82.25 SQ. FT.

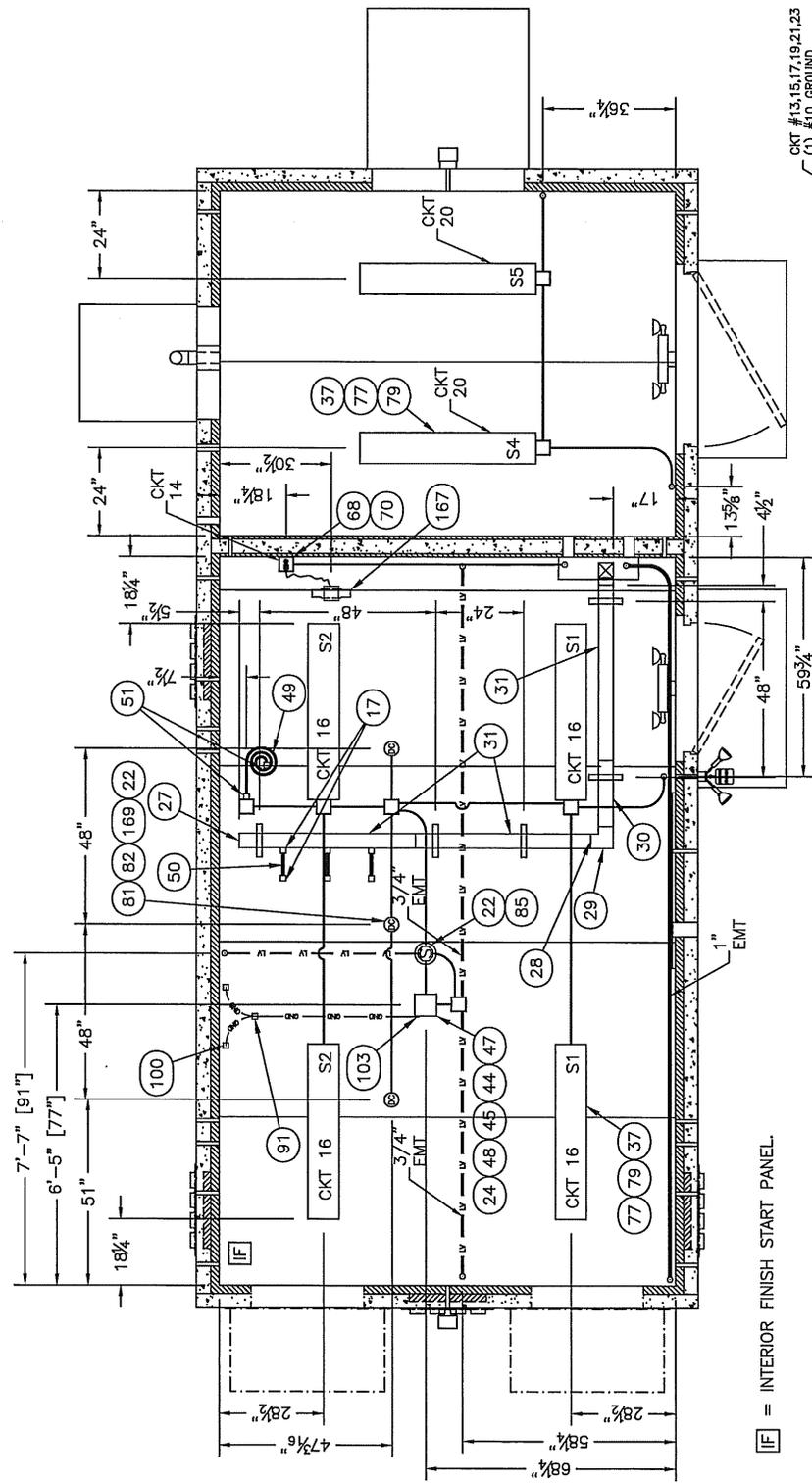
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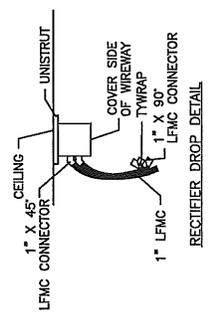
PROJECT:  
**11'-5" X 26'-0" CONCRETE SHELTER REFLECTED CEILING PLAN - ELECTRICAL**

FILENAME:	AT7/SAT748
SCALE:	3/8"=1'-0"
TOLERANCE:	
DRWN. BY:	J. REEVES
DATE:	2/6/09
CHK. BY:	D. BROYLES
DATE:	2/6/09
ENG. BY:	
DATE:	
APP. BY:	J. ENGI
DATE:	2/6/09
SHEET NO.	3-0
DRAWING NO.:	SAT748



**REFLECTED CEILING ELECTRICAL**

[IF] = INTERIOR FINISH START PANEL



REC'TIFIER DROP DETAIL

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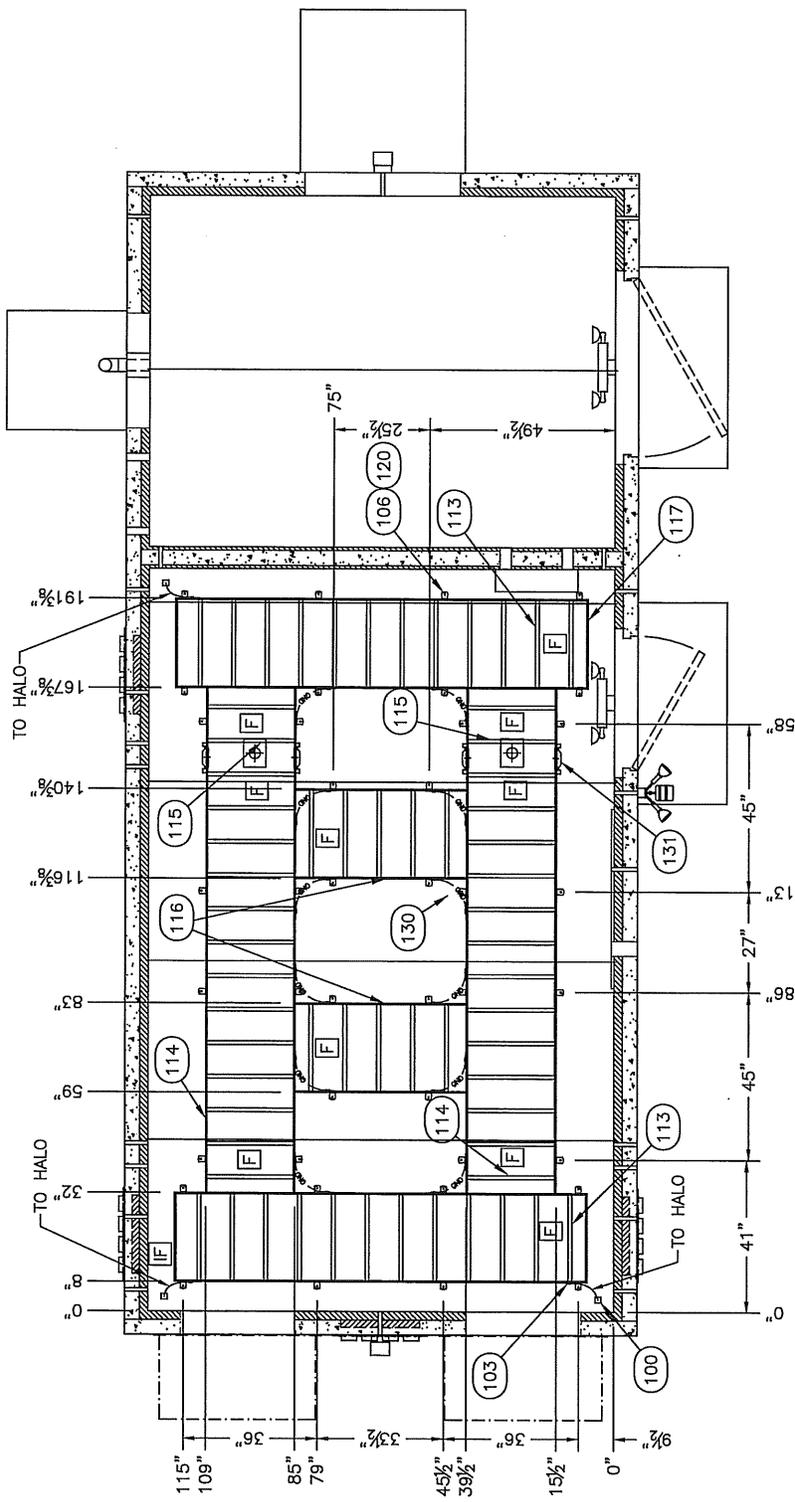
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CUSTOMER:  
**AT&T WIRELESS SERVICES**

PROJECT:  
**11'-5" X 26'-0" CONCRETE SHELTER REFLECTED CEILING PLAN - MECHANICAL**

FILENAME:	AT7/SATT48
SCALE:	3/8"=1'-0"
TOLERANCE:	
DRWN. BY:	J. REEVES
DATE:	2/6/09
CHK. BY:	D. BROYLES
DATE:	2/6/09
ENG. BY:	
DATE:	
APP. BY:	J. ENGI
DATE:	2/9/09
SHEET NO.:	3-1

DRAWING NO.:  
**SATT48**



**REFLECTED CEILING PLAN  
 MECHANICAL**

- [F] = FACTORY END OF CABLE TRAY.
- [Φ] = CABLE TRAY SPLICE.
- [IF] = INTERIOR FINISH START PANEL.

SUB-PARTS LIST		
ITEM	P/N	CUT
95	400050	18"
97	400099	144"

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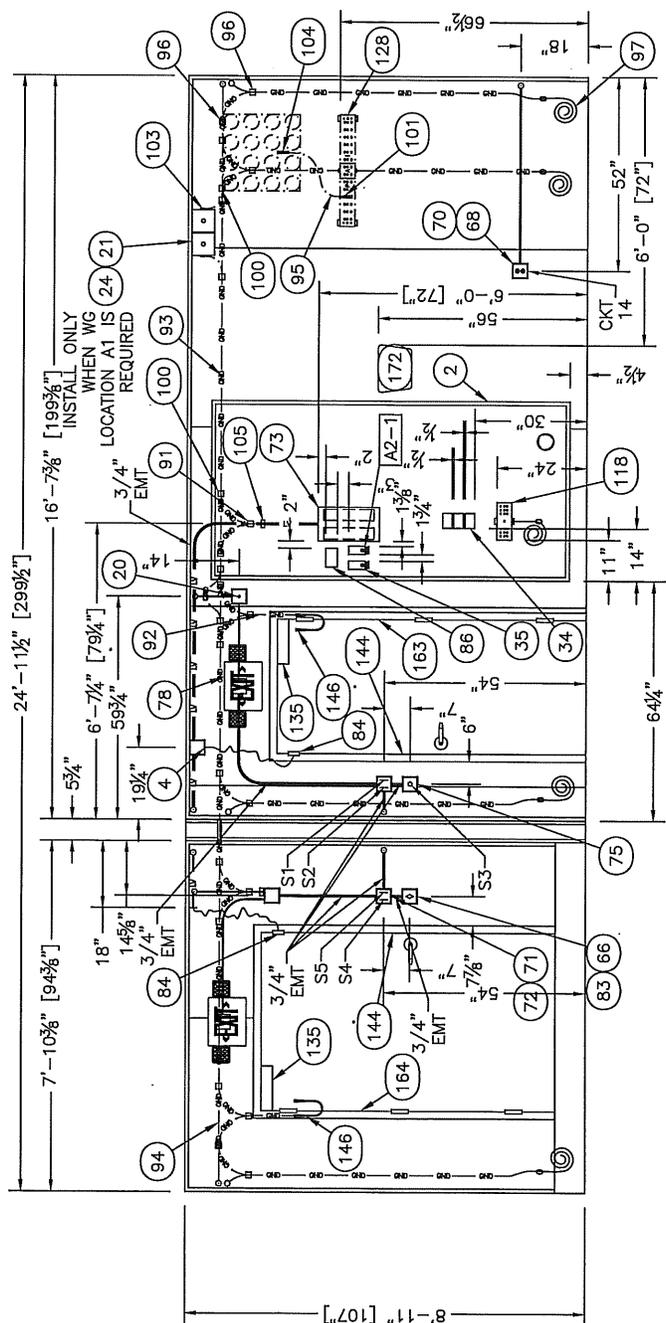
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CUSTOMER:  
**AT&T WIRELESS SERVICES**

PROJECT:  
**11'-5" X 26'-0" CONCRETE SHELTER INTERIOR ELEVATION "A"**

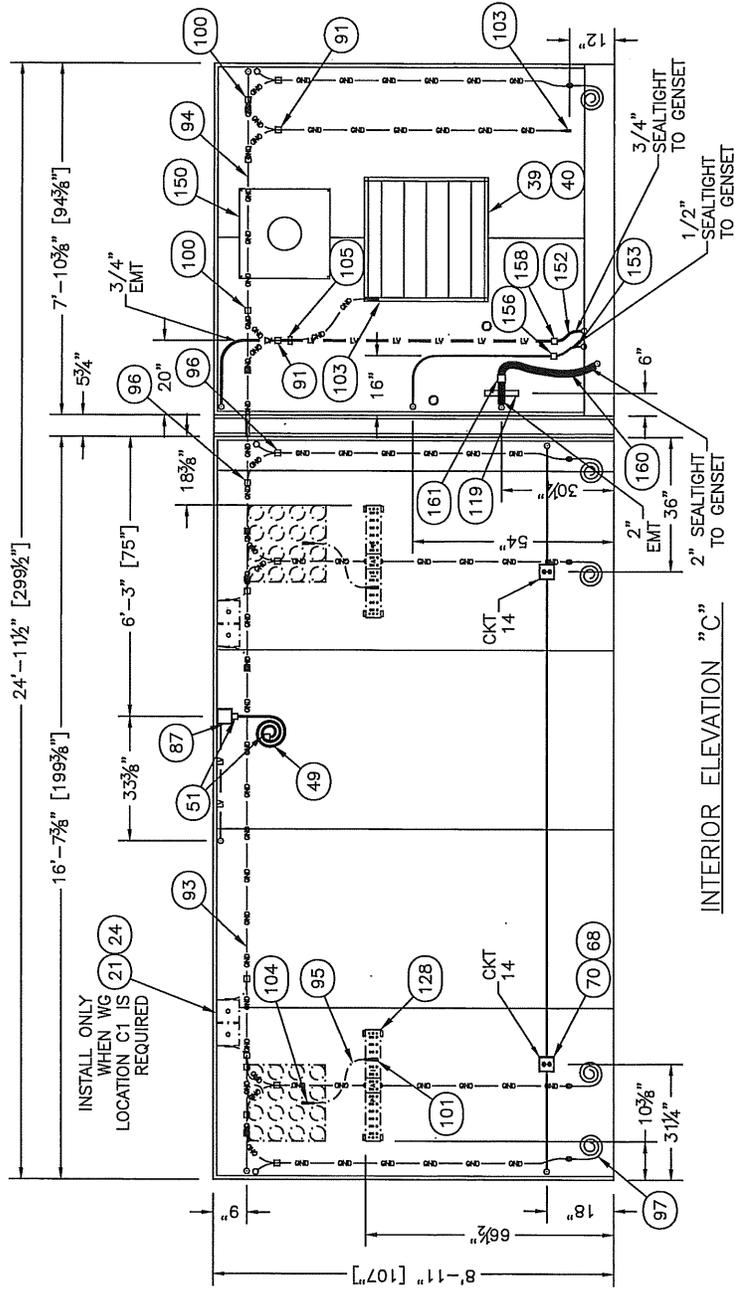
FILENAME: AT/SMT48	TOLERANCE:
SCALE: 3/8"=1'-0"	DATE: 2/6/09
DRAWN BY: J. REEVES	DATE: 2/6/09
CHK. BY: D. BROYLES	DATE: 2/6/09
ENG. BY:	DATE:
APP. BY: J. ENGI	DATE: 2/6/09
SHEET NO. 4-0	

DRAWING NO.:  
**SA11748**



INTERIOR ELEVATION "A"

SUB-PARTS LIST		
ITEM	P/N	DESCRIPTION
49	410111	CONDUIT, LFMC, 3/4", SEALTITE
95	400050	WIRE, #2 THHN, STRAND, GRN
97	400099	WIRE, #2 SOLID COPPER, BARE, TINNED
152	410111	CONDUIT, LFMC, 3/4", SEAL TIGHT
153	410112	CONDUIT, LFMC, 1/2", SEAL TIGHT
180	410232	CONDUIT, LFMC, 2", SEAL TIGHT



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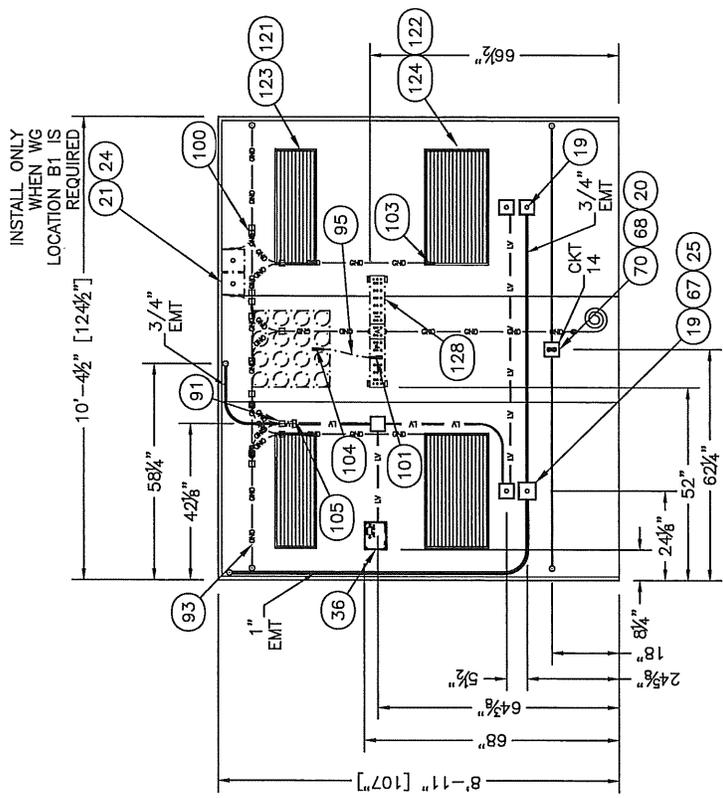
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CUSTOMER:  
**AT&T WIRELESS SERVICES**

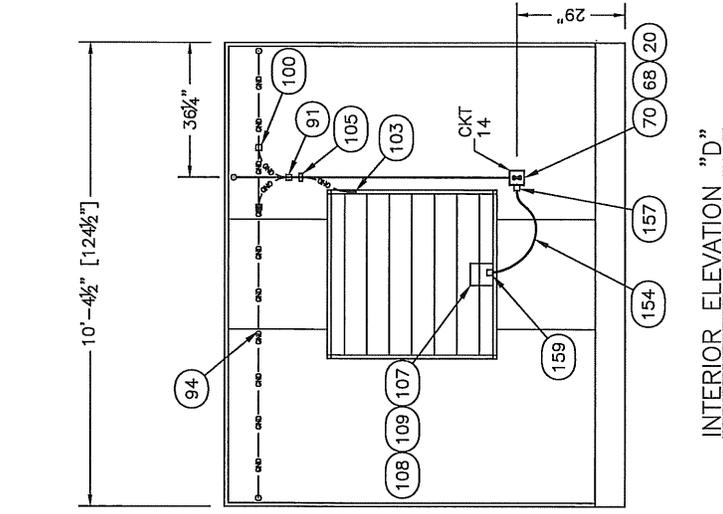
PROJECT:  
**11'-5 1/2" X 9'-0" CONCRETE SHELTER INTERIOR ELEVATION 'C'**

FILENAME	ADT/SMT48
SCALE	1/8"=1'-0"
DRAWN BY:	J. REEVES
DATE:	2/6/09
CHK. BY:	D. BROYLES
DATE:	2/6/09
ENG. BY:	J. ENGI
DATE:	2/6/09
SHEET NO.	4-1
DRAWING NO.:	SATT48

SUB-PARTS LIST		
ITEM	P/N	DESCRIPTION
154	410112	CONDUIT, 1/2", SEAL TIGHT
		CUT 48"



INTERIOR ELEVATION "B"



INTERIOR ELEVATION "D"

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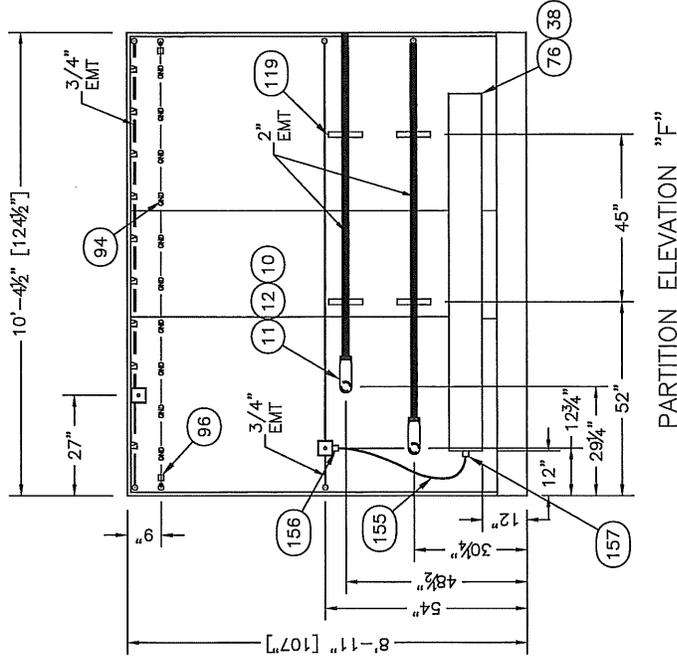
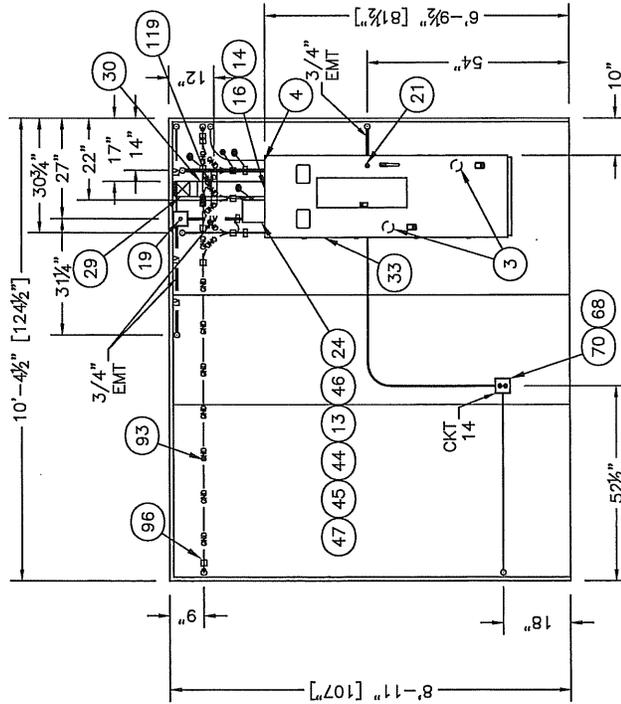
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fax: (318) 213-2919

CUSTOMER:  
**AT&T WIRELESS SERVICES**

PROJECT:  
**11'-5" X 26'-0" CONCRETE SHELTER INTERIOR ELEVATIONS B & D**

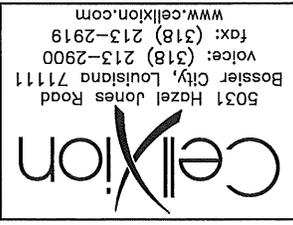
FILENAME: ATT/SHT48	TOLERANCE
SCALE: 3/8"=1'-0"	DATE: 2/6/09
DRWN. BY: J. REEVES	DATE: 2/6/09
CHK. BY: D. BROYLES	DATE: 2/6/09
ENG. BY:	DATE:
APP. BY: J. ENGI	DATE: 2/6/09
SHEET NO. 4-2	
DRAWING NO.: SAT748	

SUB-PARTS LIST		
ITEM	P/N	DESCRIPTION
155	410112	CONDUIT, LEMG, 1/2", SEAL TIGHT
		CUT
		72"



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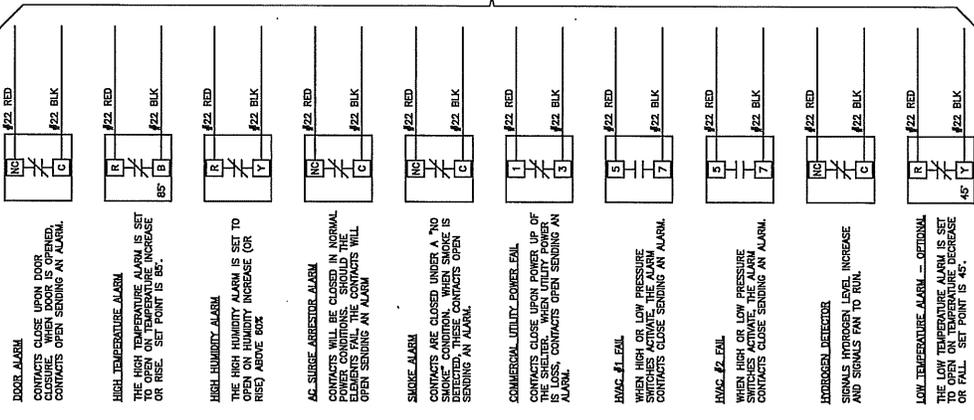


CUSTOMER:  
**AT&T WIRELESS SERVICES**

PROJECT:  
**11'-5" PROJECT CONCRETE SHELTER PARTITION ELEVATIONS E & F**

FILENAME: AT7/SATT48	TOLERANCE: 3/8" ± 1'-0"
DRAWN BY: D. BROYLES	DATE: 2/26/09
CHK. BY: D. BROYLES	DATE: 2/26/09
ENG. BY: J. ENGI	DATE: 2/26/09
APP. BY: J. ENGI	DATE: 2/26/09
SHEET NO. 4-2	
DRAWING NO. SATT48	





**DOOR ALARM**  
CONTACTS CLOSE UPON DOOR CLOSURE. WHEN DOOR IS OPENED, CONTACTS OPEN SENDING AN ALARM.

**HIGH TEMPERATURE ALARM**  
THE HIGH TEMPERATURE ALARM IS SET TO OPEN ON TEMPERATURE INCREASE OR RISE. SET POINT IS 85°.

**HIGH HUMIDITY ALARM**  
THE HIGH HUMIDITY ALARM IS SET TO OPEN ON HUMIDITY INCREASE (OR RISE) ABOVE 60%.

**AB SURGE ARRESTOR ALARM**  
CONTACTS WILL BE CLOSED IN NORMAL OPERATION. WHEN THE CONTACTS OPEN SENDING AN ALARM.

**SMOKE ALARM**  
CONTACTS ARE CLOSED UNDER A 'NO SMOKE' CONDITION. WHEN SMOKE IS DETECTED, CONTACTS OPEN SENDING AN ALARM.

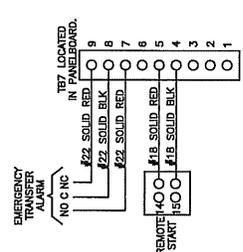
**COMMERCIAL UTILITY POWER FAIL**  
CONTACTS CLOSE UPON POWER UP OF THE SHELTER. WHEN UTILITY POWER IS LOST, CONTACTS OPEN SENDING AN ALARM.

**AVOC #1 FAIL**  
WHEN HIGH OR LOW PRESSURE SWITCHES ACTIVATE THE ALARM CONTACTS CLOSE SENDING AN ALARM.

**AVOC #2 FAIL**  
WHEN HIGH OR LOW PRESSURE SWITCHES ACTIVATE THE ALARM CONTACTS CLOSE SENDING AN ALARM.

**HYDROGEN LEVEL**  
SIGNALS HYDROGEN LEVEL INCREASE AND SIGNALS FAN TO RUN.

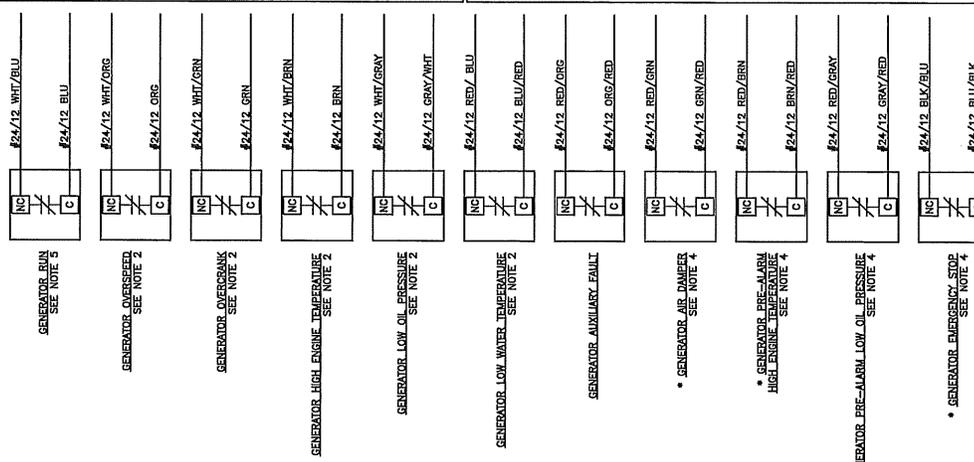
**LOW TEMPERATURE ALARM - OPTIONAL**  
THE LOW TEMPERATURE ALARM IS SET TO OPEN ON TEMPERATURE DECREASE OR FALL. SET POINT IS 45°.



**EMERGENCY TRANSFER ALARM**  
NO C NC

**REMOTE START**  
#18 SOLID RED  
#18 SOLID BLK  
#18 SOLID RED  
#18 SOLID BLK  
#22 SOLID RED  
#22 SOLID BLK  
#22 SOLID RED

**DETAIL A1**  
REMOTE START/EMERGENCY TRANSFER DETAIL



**GENERATOR RUN**  
SEE NOTE 5

**GENERATOR OVERSPEED**  
SEE NOTE 2

**GENERATOR OVERCURRENT**  
SEE NOTE 2

**GENERATOR HIGH ENGINE TEMPERATURE**  
SEE NOTE 2

**GENERATOR LOW OIL PRESSURE**  
SEE NOTE 2

**GENERATOR LOW WATER TEMPERATURE**  
SEE NOTE 2

**GENERATOR AUXILIARY FAULT**

**\* GENERATOR AIR DAMPER**  
SEE NOTE 4

**\* GENERATOR PRE-ALARM HIGH TEMPERATURE**  
SEE NOTE 4

**GENERATOR PRE-ALARM LOW OIL PRESSURE**  
SEE NOTE 4

**\* GENERATOR EMERGENCY STOP**  
SEE NOTE 4

LABEL EACH ALARM AND PLACE IN 12X12" BOX ABOVE '66' BLOCK.

LABEL EACH ALARM AND PLACE IN 12X12" BOX ABOVE '66' BLOCK.

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---

**CUSTOMER:**  
AT&T WIRELESS SERVICES

**PROJECT:**  
11'-5" X 26'-0"  
CONCRETE SHELTER  
LOW VOLTAGE  
SCHEMATIC

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FILENAME: A17/SAT148	TOLERANCE:	DATE: 2/6/09	DATE: 2/6/09
SCALE: N.T.S.	DATE: 2/6/09	DATE: 2/6/09	DATE: 2/6/09
DRWN. BY: J. REEVES	DATE: 2/6/09	DATE: 2/6/09	DATE: 2/6/09
CHK. BY: D. BROYLES	DATE: 2/6/09	DATE: 2/6/09	DATE: 2/6/09
ENG. BY: J. ENGI	DATE: 2/6/09	DATE: 2/6/09	DATE: 2/6/09
APP. BY: J. ENGI	DATE: 2/6/09	DATE: 2/6/09	DATE: 2/6/09
SHEET NO. 5-1			
DRAWING NO. SAT148			



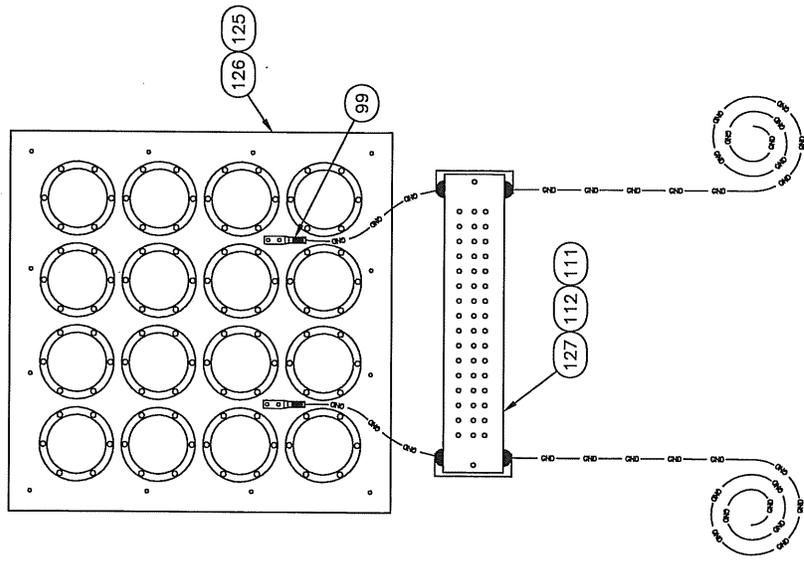
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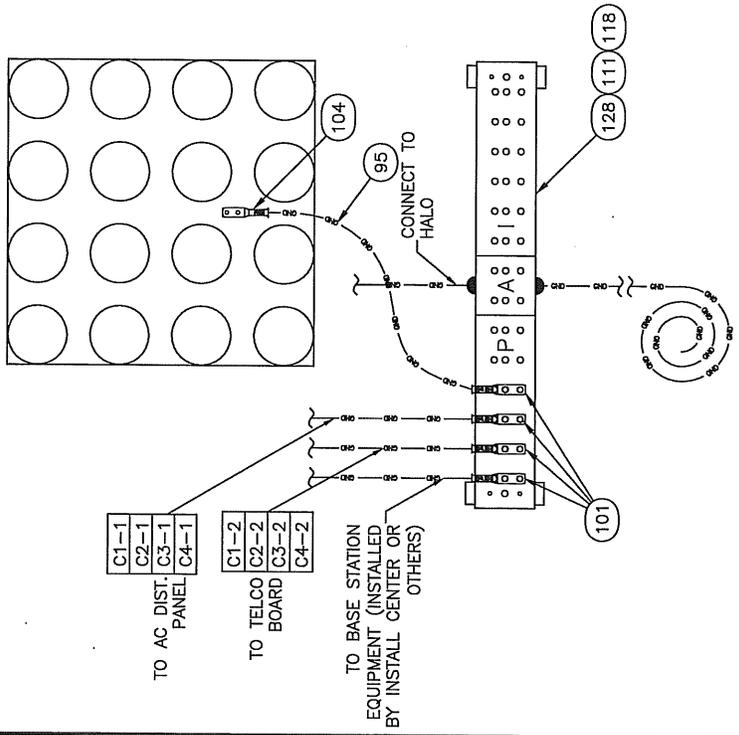
CUSTOMER:  
**AT&T WIRELESS SERVICES**

PROJECT:  
**11'-5 3/4" X 26'-0" CONCRETE SHELTER GROUND BAR DETAILS**

FILENAME: SATT48	TOLERANCE:
SCALE: 1/8"=1'	DATE: 2/6/09
DRAWN BY: J. REEVES	DATE: 2/6/09
CHK. BY: D. BROYLES	DATE: 2/6/09
ENG. BY:	DATE:
APP. BY: J. ENGI	DATE: 2/6/09
SHEET NO. 6-0	
DRAWING NO.: SATT48	



EXTERIOR GROUND BAR DETAIL



CELL REFERENCE GROUND BAR DETAIL

C1-1  
 C2-1  
 C3-1  
 C4-1  
 TO AC DIST. PANEL

C1-2  
 C2-2  
 C3-2  
 C4-2  
 TO TELCO BOARD

TO BASE STATION EQUIPMENT (INSTALLED BY INSTALL CENTER OR OTHERS)

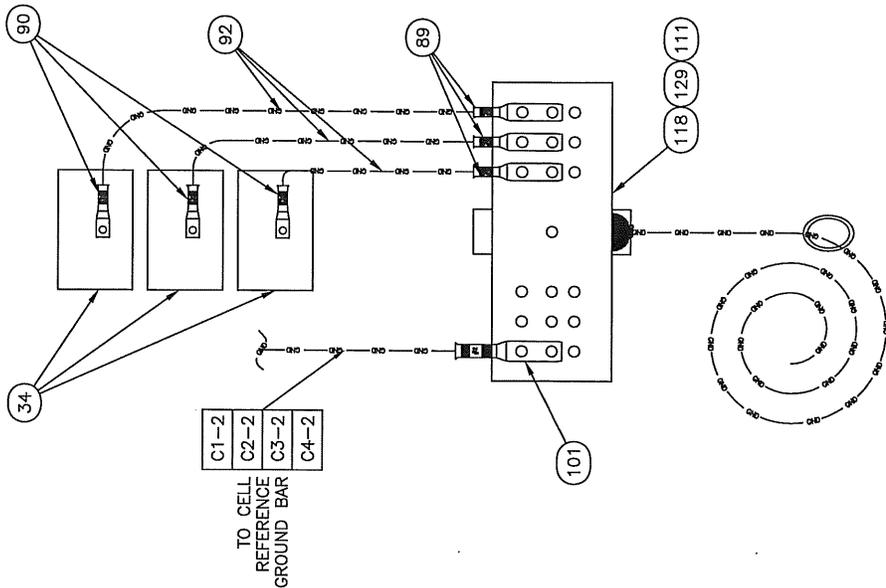
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CUSTOMER:  
**AT&T WIRELESS SERVICES**

PROJECT:  
**11' x 26' x 0" CONCRETE SHELF TELCO GROUND BAR DETAILS**

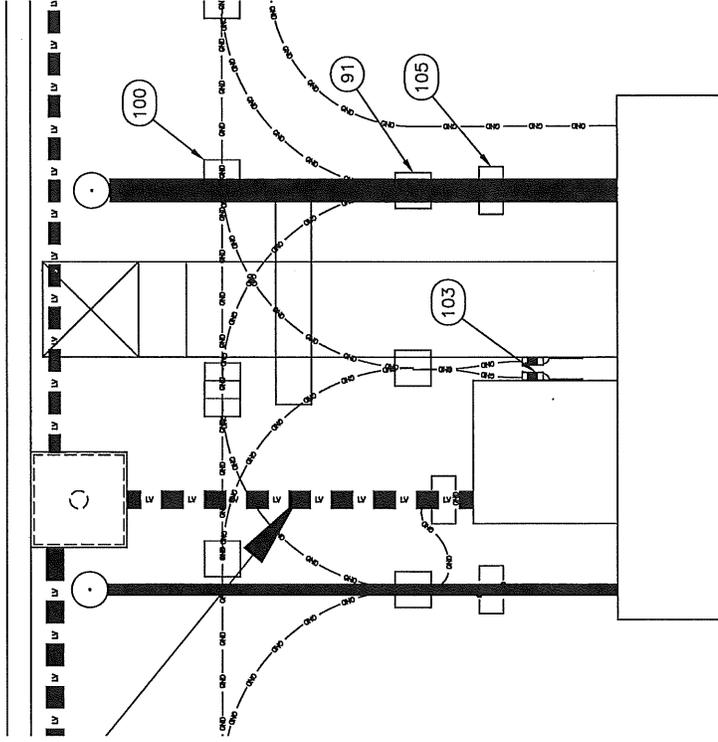
FILENAME: ATT/SATT48	TOLERANCE:
SCALE: 1/4"=1'	DATE:
DRWN. BY: J. REEVES	DATE: 2/6/09
CHK. BY:	DATE: 2/6/09
ENG. BY:	DATE:
APP. BY: J. ENGI	DATE: 2/6/09
SHEET NO. 6-1	DRAWING NO.: SATT48



**TELCO GROUND BAR DETAIL**

**GROUNDING NOTES:**

1. HALO GROUND TO BE #2 GREEN INSULATED STRANDED COPPER WIRE.
2. VERTICAL DROPS TO BE #2 SOLID TINNED COPPER WIRE. PULL TO FLOOR AND COIL ADDITIONAL 10'-0".
3. ALL BENDS MIN. 8" RADIUS.
4. APPLY ANTI-OXIDATION COMPOUND TO ALL CONNECTIONS.
5. GROUND CABLE TRAY AS SHOWN WITH #6 STRANDED GREEN COPPER CONDUCTOR AND 2-HOLE LUG.
6. GROUNDING OF CONDUIT TO HALO SHOULD NOT EXCEED 3 CONDUITS PER CONNECTION.
7. CONNECT CABLE RACK TO HALO GROUND WITH #2 AWG GREEN CONDUCTOR AND 2-HOLE LUG.
8. CONNECT #2 AWG GREEN TO GROUND BAR IN LOADCENTER AND CONNECT TO CELL REFERENCE GROUND BAR.
9. CONNECT TELCO GROUND BAR TO CELL REFERENCE GROUND BAR WITH #2 AWG GREEN.
10. USE COMPRESSION TAPS FOR ALL CONNECTIONS OF STRANDED WIRE TO HALO GROUND. USE (2) SPLIT BOLT CONNECTORS P/N 410265 FOR ALL SOLID WIRE CONNECTIONS TO HALO GROUND.
11. COIL ENOUGH #2 STRANDED COPPER WIRE TO REACH WAVEGUIDE LOCATION C1 CELL REFERENCE GROUND BAR.
12. CONNECT 10'-0" OF #2 SOLID TINNED COPPER WIRE W/ TWO BOLT HOLE MECHANICAL TYPE LUG W/ 1 SET SCREW.
13. MOUNT T1 LINE PROTECTORS TO TELCO BOARD DIRECTLY ABOVE TELCO GROUND BAR. USE #6 STRANDED GREEN COPPER CONDUCTOR AND 2 HOLE LUG, STRAIGHT RUNS.
14. ALL GROUND DROPS FROM THE HALO TO BE NON DIRECTIONAL.
15. EACH GROUND CONDUCTOR TERMINATING ON ANY GROUND BAR SHALL HAVE AN IDENTIFICATION TAG ATTACHED AT EACH END THAT WILL IDENTIFY ITS ORIGIN AND DESTINATION.
16. EACH GROUND BAR TO BE LABELED.
17. INSTALL GROUND BAR AS SPECIFIED BY PROJECT MANAGER.
18. BOND ALL BOXES LARGER THAN 4" X 4" TO THE HALO GROUND.
19. INSULATE #2 SOLID TINNED CORNER DOWN LEADS AS IT PASSES WITHIN 6" OF ANY METALLIC ITEM.
20. USE STANDOFF BRACKETS PART # 410343 TO SUPPORT GROUNDING CONDUCTORS, SUPPORTS SHALL BE SPACED AT 24" C/C MAX.
21. SECURE EXTERIOR TOWER LIGHT PENETRATIONS WITH LOCKNUTS, REDUCING WASHER, AND CAP.
22. INSTALL TOWER LIGHT CONTROLLER BOXES AT INSTALLED WAVEGUIDE LOCATION.



CONDUIT DETAIL

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CUSTOMER:  
AT&T WIRELESS SERVICES

PROJECT:  
11'-0" CONCRETE SPLITTER  
GROUNDING NOTES

FILENAME: A177/SA1748	TOLERANCE:
SCALE: N.T.S.	DATE: 2/16/09
DRWN. BY: J. REEVES	DATE: 2/16/09
CHK. BY: M. BROYLES	DATE: 2/16/09
ENG. BY:	DATE: 2/16/09
APP. BY: J. ENI	SHEET NO. 6-2
DRAWING NO.:	SA1748

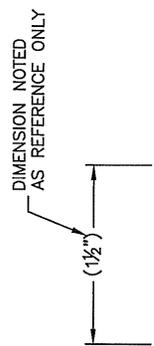
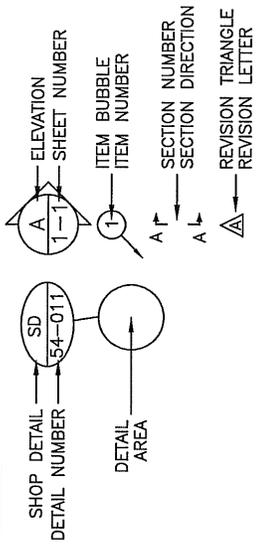


**ABBREVIATIONS**

- A AMP
- BOW
- BLK BLACK
- BRN BROWN
- BLDG BUILDING
- BOCA BUILDING OFFICIALS CODE ADMINISTRATION
- C/C CENTER TO CENTER
- CKT CIRCUIT
- CON CONDUIT
- CUBIC YARD
- DIA DIAMETER
- DIM DIMENSION
- DPST DOUBLE POLE DOUBLE THROW
- DPST DOUBLE POLE SINGLE THROW
- DT DOUBLE THROW
- DWG DRAWING
- EGR EQUIPMENT GROUND RING
- ELEC ELECTRICAL
- ELEV ELEVATION
- ELEV ELECTRICAL METALLIC TUBING
- ELEV ELECTRICAL NONMETALLIC TUBING
- EQUIP EQUIPMENT
- EXH EXHAUST
- FALC FLEXIBLE LIQUID TIGHT CONDUIT
- FNLD FOUNDATION
- FSR FIRE RESISTANCE
- GALV GALVANIZED
- GEN GENERATOR
- GRND GROUND
- GRND GROUND FAULT CIRCUIT INTERRUPTER
- HVAC HEATING, VENTILATION, AND AIR CONDITIONING
- IN IN ACCORDANCE WITH
- INCH INCH
- INSIDE DIAMETER/INSIDE DIMENSION
- ID INSULATION
- IMC INTERNATIONAL MECHANICAL CODE
- INT INTERNATIONAL
- INT INTERNATIONAL PLUMBING CODE
- ISOL ISOLATED GROUND
- ISOL ISOLATED GROUND BOX
- KLW KILOWATT
- KNCKOUT KNOCKOUT
- LEFT LEFT HAND
- RIGHT RIGHT HAND
- LG LIGHTNING
- LL LIVE LOAD
- LV LOW VOLTAGE
- MFG MANUFACTURER
- MISC MISCELLANEOUS
- NEC NATIONAL ELECTRICAL CODE
- NEMA NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
- NOM NOMINAL
- NO NOT TO SCALE
- OR ORANGE
- OUTSIDE DIAMETER/OUTSIDE DIMENSION
- P POWER DISTRIBUTION CABINET
- PDC POUND(S)
- PSF POUNDS PER SQUARE FOOT
- PSI POUNDS PER SQUARE INCH
- RECT RECTIFIER
- REBAR REINFORCING STEEL BAR
- REQD REQUIRED
- R RIGHT
- RHT RIGHT HAND
- SHT SINGLE PHASE
- SPST SINGLE POLE SINGLE THROW
- SPST SINGLE POLE DOUBLE THROW
- SO FT SQUARE FOOT
- SO IN SQUARE INCH
- STD STANDARD
- SWG STANDARD BUILDING CODE
- TEMP TEMPERATURE
- TEMP THERMOSTAT
- THREE PHASE
- THREE PHASE
- THREE WIRE
- TYP TYPICAL
- UNDERWIRE LABORATORIES INC.
- UNIFORM MECHANICAL CODE
- UNIFORM MECHANICAL CODE
- VENT VENTILATION
- W WEATHER PROOF
- WP WELDED
- WLD WELDED
- WIF WIRE FABRIC
- W/IT WITH
- W/O WITHOUT
- YEL YELLOW

- LOW VOLTAGE
- MANUFACTURER
- MISCELLANEOUS
- NATIONAL ELECTRICAL CODE
- NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
- NOMINAL
- NORMAL
- NOT TO SCALE
- ORANGE
- OUTSIDE DIAMETER/OUTSIDE DIMENSION
- POWER DISTRIBUTION CABINET
- POUND(S)
- POUNDS PER SQUARE FOOT
- POUNDS PER SQUARE INCH
- RECTIFIER
- REINFORCING STEEL BAR
- REQUIRED
- RIGHT
- RIGHT HAND
- SINGLE PHASE
- DOUBLE THROW
- SINGLE POLE
- SINGLE POLE DOUBLE THROW
- SINGLE POLE SWITCH
- SQUARE FOOT
- SQUARE INCH
- STANDARD
- STANDARD BUILDING CODE
- TEMPERATURE
- THERMOSTAT
- THREE PHASE
- THREE PHASE
- THREE WIRE
- TYPICAL
- UNDERWIRE LABORATORIES INC.
- UNIFORM MECHANICAL CODE
- UNIFORM MECHANICAL CODE
- VENTILATION
- WEATHER PROOF
- WELDED
- WELDED WIRE FABRIC
- WITH
- WITHOUT
- YELLOW

**SYMBOLS**



**Celxion**

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**PROJECT:**  
ENGINEERING STANDARD

**ABBREVIATIONS AND SYMBOLS**

FILENAME: 108-007	TOLERANCE: NA
SCALE: 1"=1'	DATE: 12/4/03
DRWN. BY: C.CASINGER	DATE: 12/4/03
CHK. BY: K.BARNETT	DATE: 12/4/03
ENG. BY: K.BARNETT	DATE: 12/4/03
APP. BY:	DATE:

SHEET NO.  
1 OF 1

DRAWING NO.:  
108-007

B

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REV	BY	DATE	DESCRIPTION
B	VGH	06/02/08	ADDED REFERENCE DIMENSION
A	CC	7/27/04	REVISED DETAIL SYMBOL
	APL	BT	DATE

ENGINEER SEAL

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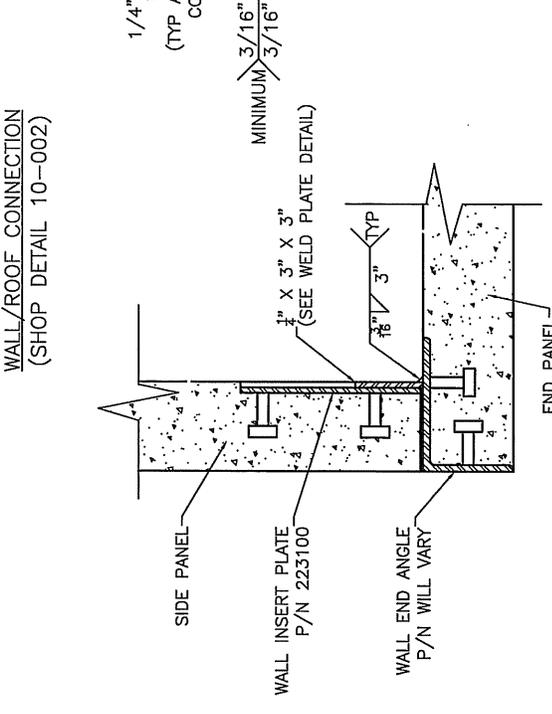
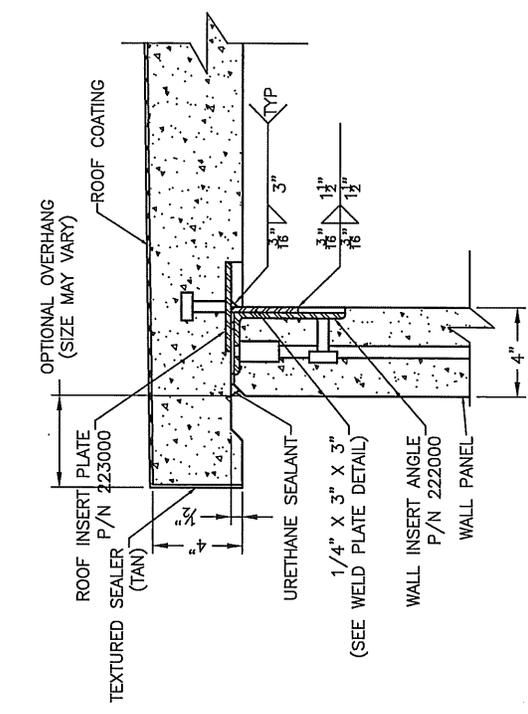
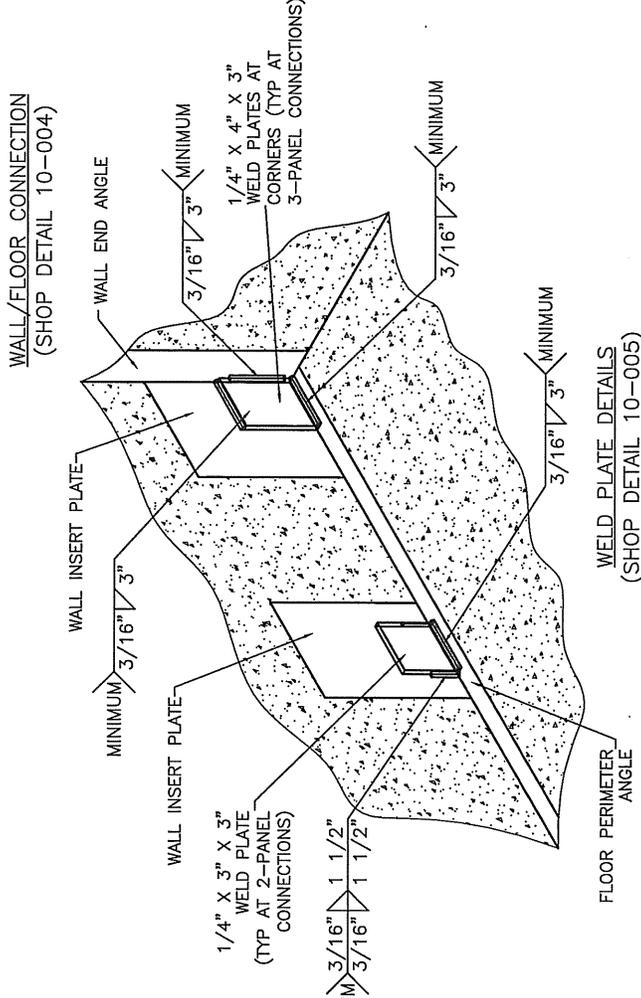
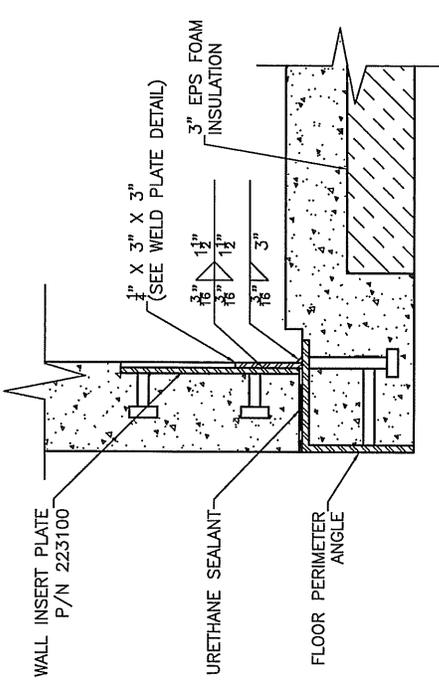
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Boston, MA 02111  
(Voice) 318-213-2900 (Fax) 318-213-2919  
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CUSTOMER: ENGINEERING STANDARD

PROJECT: SHELTER PANEL CONNECTION DETAILS

FILENAME: 102-008  
SCALE: 1/8" = 1'-0"  
DRAWN BY: C. CASINGER  
CHKD BY: V. HASSELL  
ENG. BY: K. BARNETT  
APP. BY: J. HOOD  
DATE: 4/5/04  
DATE: 4/5/04  
DATE: 4/5/04  
SHEET NO./PART NO.: 1 OF 1

DRAWING NO.: 108-008  
REV: B



REV	DATE	DESCRIPTION	APP. BY	DATE
B	8/5/05	CHG WELD PLATE DETAIL AT 3-PANEL CONNECTIONS	KB	8/5/05
A	7/27/04	REMOVED PART REF.	KB	7/27/04

**NOTES:**

1. CONDUCTOR COLORS ARE AS FOLLOWING:

- 120/240 SINGLE PHASE
- PHASE "A" = BLACK
- PHASE "B" = RED
- NEUTRAL = WHITE
- 120/208 THREE PHASE
- PHASE "A" = BLACK
- PHASE "B" = RED
- PHASE "C" = BLUE
- NEUTRAL = WHITE
- 277/480 THREE PHASE
- PHASE "A" = YELLOW
- PHASE "B" = BROWN
- PHASE "C" = ORANGE
- NEUTRAL = GRAY

ALL ELECTRICAL GROUND = GREEN  
 ALL ISOLATED GROUND = GREEN/YELLOW STRIPE  
 ALL SWITCHED = PURPLE

- 2. ALL CONDUCTORS (UNLESS OTHERWISE NOTED) TO BE STRANDED THHN OR THWN COPPER WIRE.
- 3. ALL CONDUIT TO BE 1/2" EMT UNLESS OTHERWISE NOTED.
- 4. ALL LOW VOLTAGE CONDUIT TO BE 3/4" EMT UNLESS NOTED.
- 5. ALL CONDUCTOR AMPACITIES ARE BASED ON TABLE 310-16 NATIONAL ELECTRICAL CODE.
- 6. CONDUIT FILL BASED ON CHAPTER 9 - NATIONAL ELECTRICAL CODE.
- 7. PLACEMENT OF ELECTRICAL AND CONDUIT COMPONENTS MAY VARY TO ALIGN WITH COMPONENTS MANUFACTURE'S PRE-MADE KNOCKOUTS. THIS MAY INCLUDE ALIGNMENT WITH SHELTER PENETRATIONS AND/OR INTERFERENCE WITH OTHER COMPONENTS.
- 8. CONDUIT, ELECTRICAL AND MECHANICAL DIMENSION TOLERANCE SHALL BE ±1/4".
- 9. DASHED LINES (-----) DENOTE FIELD WORK.
- 10. ALL CIRCUITS ON 25 AMP THROUGH 60 AMP BREAKER MUST USE #10 GROUND.
- 11. CONDUCTORS SMALLER THAN 4 AWG MUST HAVE CORRECT COLOR INSULATION. CONDUCTORS 4 AWG AND LARGER MAY BE RE-IDENTIFIED BY COLORED TAPE. BLACK INSULATED CONDUCTOR SHALL BE THE ONLY COLOR TO BE RE-IDENTIFIED. IF CONDUCTORS ARE RE-IDENTIFIED, IDENTIFICATION MUST BE APPLIED IN THREE INCH (3") WRAPS. MINIMUM EVERY THREE FEET (3'-0"). RE-IDENTIFICATION SHALL BE VISIBLE BY OPENING ANY ENCLOSURE. WHITE, GRAY AND GREEN CONDUCTORS SHALL NOT BE RE-IDENTIFIED.
- 12. ALL METALLIC ELECTRICAL BOXES (SWITCH BOXES, DUPLEX BOXES, LIGHTS, JUNCTION BOXES, ETC) SHALL BE CONNECTED TO THE PROTECTED GROUND OF THE ACB DISTRIBUTION PANEL WITH A #12 GREEN INSULATED STRANDED CONDUCTOR WHICH SHALL BE RUN INTERNAL TO THE CONDUIT.

**LEGEND:**

— = CONDUIT (THICKNESS VARIES WITH SIZE OF CONDUIT)

— = GROUND WIRE

□ = 4 X 4 BOX WITH QUAD RECEPTACLE

□ = 4 X 4 BOX WITH DUPLEX RECEPTACLE

□ = 4 X 4 BOX WITH PENETRATION

□ = 4 X 4 BOX BLANK

□ = 4 X 4 BOX WITH 2 SWITCHES

□ = 4 X 4 BOX WITH SINGLE SWITCH

⊞ = 4" OCTAGON BOX WITH SMOKE DETECTOR

⊞ = 4" OCTAGON BOX WITH HEAT DETECTOR

⊞ = 4 X 4 BOX WITH TWIST-LOCK RECEPTACLE

⊞ = 4 X 4 BOX WITH TIMER SWITCH

⊞ = 4 X 4 BOX WITH HYDROGEN DETECTOR

⊞ = PHOTOCELL SWITCH

⊞ = SYSTEM GROUND FOR AC CIRCUITS

⊞ = ISOLATED GROUND FOR AC CIRCUITS

⊞ = VENT FAN

⊞ = MOTORIZED DAMPER

⊞ = MOTION DETECTOR

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CUSTOMER:  
**ENGINEERING STANDARD**

PROJECT:  
**GENERAL ELECTRICAL NOTES AND LEGEND**

FILENAME: 108-015	TOLERANCE:
SCALE: 1"=1'	DATE:
DRWN. BY: C.CASINGER	DATE: 7/28/04
CHK. BY:	DATE:
ENG. BY: K. BARNETT	DATE: 7/28/04
APP. BY:	DATE:

SHEET NO. 1 OF 1	DATE
DRAWING NO. 708-015	DATE

REV	BY	DATE	DESCRIPTION
F	VGH	07/18/07	REVISED NOTE 7 & 8
E	LCS	06/18/06	ADDED MOTION DETECTOR SYMBOL
D	VGH	07/18/05	REMOVED THE WORD "CONDUCTOR"
C	CC	06/15/05	ADDED SYMBOLS
B	VGH	04/15/05	REVISED NOTE #10
A	CC	02/25/05	ADDED SYMBOLS CHG CONDUIT TO 1/2" IN NOTE 3

**GENERAL NOTES**

- ALL STEEL FABRICATION AND INSTALLATION SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL AISC LRFD(1989) AND AWS D1.1 SPECIFICATIONS.
- ALL WELDING SHALL BE MIG TYPE WITH THE FOLLOWING OPERATING SETTINGS:  
 WIRE SIZE ----- 0.35  
 WIRE FEED SPEED (in/min) ----- 5  
 VOLTAGE, DC (+) ----- 18.5  
 AMPERAGE, DC ----- 140  
 TRAVEL SPEED (in/min) ----- 10-12  
 SHIELDING GAS ----- 75/25
- STRUCTURAL STEEL SPECIFICATIONS:  
 STRUCTURAL SHAPES ASTM A36M-97a  
 HIGH STRENGTH BOLTS, ASTM A 307-97  
 OTHER BOLTS, SAE J429 GRADE 5
- ALL CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE A.C.I. 318-99 BUILDING CODES 311 & 211, AND ASTM STANDARDS C-172-97, C-31/31M96, C-39-96, AND PROVISIONS OF C-94-98.
- ALL PRECAST STRUCTURAL SAND-LIGHTWEIGHT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS.
- ALL REINFORCING STEEL BARS SHALL BE DOMESTIC, NEW BILLET STEEL CONFORMING TO ASTM A-615m-96a SPECIFICATIONS.
- CONCRETE COVERAGE OVER ALL REINFORCING STEEL SHALL BE A MINIMUM OF 3/4".
- ALL REBAR SHALL BE TIED 100% AT THE PERIMETER, AND 50% ELSEWHERE.
- ALL REBAR WIRE TIES TO BE 16 GAUGE.
- FIBROUS REINFORCED LIGHTWEIGHT CONCRETE MAY BE USED IN THE ROOF AND FLOOR AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS. FIBER REINFORCEMENT MAY BE USED IN THE FLOOR IF DESIRED IN ORDER TO MAKE BATCHING OPERATION MORE EFFICIENT.
- MAXIMUM JOINT SPACE BETWEEN PANELS SHALL BE 3/8" MEASURED BY REFUSAL OF ABILITY TO PASS A 3/8" ROD ALL THE WAY THROUGH THE JOINT AT ANY POINT ALONG THE JOINT.
- WELD PLATE CONNECTIONS SHALL BE SPACED AT 4'-8" MAXIMUM ON THE FLOOR AND ROOF PANELS. THIS DIMENSION SHALL BE MAINTAINED EXCEPT IN CASES WHERE OPENINGS PROHIBIT.
- TOLERANCES SHALL BE AS FOLLOWS:  
 PANEL THICKNESS: ±1/8"  
 PANEL SIZE: ±1/16"  
 PANEL SQUARENESS: ±1/8" AGREEMENT ON DIAGONALS  
 LOCATION OF BLOCKOUTS & PVC'S: ±1/4"  
 BLOCKOUT DIMENSIONS: +1/4", -0"  
 PVC SIZE: USE TRADE SIZE AS LISTED ON PROJECT DRAWINGS
- REBAR SPlicing IS ALLOWED WHERE SPACE PERMITS. MINIMUM LAP IS 18" FOR #4 REBAR AND 30" FOR #6 REBAR.
- CONCRETE SHALL HAVE AIR ENTRAINMENT OF 6%, MODERATE EXPOSURE AND A MAXIMUM AGGREGATE SIZE OF 3/8 INCH.
- CONCRETE SHALL HAVE A WATER-CEMENTITIOUS MATERIAL RATIO OF 0.50.

**GENERAL:**

THESE REBAR SIZES AND SPACING REPRESENT THE MINIMUM AMOUNT FOR ALL CASTING PLANS. PROJECT DRAWINGS MAY REQUIRE REINFORCEMENT IN ADDITION TO CELLXION STANDARDS.

**ROOF PANEL:** #4 (SHORT AXIS) 12" O.C. ON SHELTER WIDTH OF 11'-6" AND LESS, 10" O.C. ON SHELTER WIDTH GREATER THAN 11'-6" AND #4 (LONG AXIS) AT 18" O.C.

**WALL PANEL:** #4 AT PERIMETER AND 4 X 4 X W4.5 X W4.5 MESH THROUGHOUT.

**FLOOR:** (2)-#6 (SHORT AXIS) EACH RIB, #6 (LONG AXIS) EACH INTERIOR RIB. DECK: 4 X 4 X W4.5 X W4.5 MESH.

**SEALANT APPLICATION**

- AT MATING SURFACES BETWEEN PANELS, APPLY URETHANE SEALANT (2 BEAD) DURING ASSEMBLY.
- URETHANE SEALANT REQUIRED ON ALL JOINTS. APPLY TO EXTERIOR AFTER PANEL ASSEMBLY.
- ROOF COATING:  
 APPLY SHELTER ROOF COATING PER MANUFACTURER INSTRUCTION. ROOF COATING TO CONFORM TO OBC 1507.15.2 & 2000 IBC 1507.15.2.
- APPLY AGGREGATE SEALER TO EXTERIOR WALLS. USE 1 GALLON PER 200 SQ. FEET.
- USE TEXTURED SEALER ON ALL SMOOTH EXPOSED SURFACES. USE CEMENTITIOUS GRAY PAINT.

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CUSTOMER <b>ENGINEERING STANDARD</b>	
PROJECT <b>GENERAL LISTING SPECIFICATIONS 2000 IBC</b>	
FILENAME	108-016
SCALE	1" = 1'
TOLERANCE	
DATE	7/28/04
DATE	
DATE	
DATE	
SHEET NO.	1 OF 3
DRAWING NO.	108-016
	J

REV	BY	DATE	DESCRIPTION	APP. BY	DATE
J	WGG	11/28/07	REVISED GENERAL NOTES PER J. IRVING MARK-UPS	VGH	11/28/07
G	LD	9/18/07	ADDED ANOTHER SHEET FOR 2003 IBC	VGH	9/18/07
F	LD	9/9/07	REVISED PER J. IRVING MARKUPS	VGH	9/9/07
E	VGH	05/18/07	ADDED NOTE 15 & 16	VGH	05/18/07

**GENERAL NOTES**

- ALL STEEL FABRICATION AND INSTALLATION SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL AISC LRFD(1989) AND AWS D1.1 SPECIFICATIONS.
- ALL WELDING SHALL BE MIG TYPE WITH THE FOLLOWING OPERATING SETTINGS:  
 WIRE SIZE ----- 0.35  
 WIRE FEED SPEED (in/min) ----- 5  
 VOLTAGE, DC (+) ----- 18.5  
 AMPERAGE, DC ----- 140  
 TRAVEL SPEED (in/min) ----- 10-12  
 SHIELDING GAS ----- 75/25
- STRUCTURAL STEEL SPECIFICATIONS:  
 STRUCTURAL SHAPES ASTM A36/A 36M-00  
 HIGH STRENGTH BOLTS, ASTM A 307-00  
 OTHER BOLTS, SAE J429 GRADE 5
- ALL CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE A.C.I. 318-02 BUILDING CODES 311 & 211, AND ASTM STANDARDS C-172-99, C-31/C31M98, C-39-99ae1, AND PROVISIONS OF C-94/C94M-00.
- ALL PRECAST STRUCTURAL SAND-LIGHTWEIGHT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS.
- ALL REINFORCING STEEL BARS SHALL BE DOMESTIC, NEW BILLET STEEL CONFORMING TO ASTM A 615M-00 SPECIFICATIONS.
- CONCRETE COVERAGE OVER ALL REINFORCING STEEL SHALL BE A MINIMUM OF 3/4".
- ALL REBAR SHALL BE TIED 100% AT THE PERIMETER, AND 50% ELSEWHERE.
- ALL REBAR WIRE TIES TO BE 16 GAUGE.
- FIBROUS REINFORCED LIGHTWEIGHT CONCRETE MAY BE USED IN THE ROOF AND FLOOR AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS. FIBER REINFORCEMENT MAY BE USED IN THE FLOOR IF DESIRED IN ORDER TO MAKE BATCHING OPERATION MORE EFFICIENT.
- MAXIMUM JOINT SPACE BETWEEN PANELS SHALL BE 3/8" MEASURED BY REFUSAL OF ABILITY TO PASS A 3/8" ROD ALL THE WAY THROUGH THE JOINT AT ANY POINT ALONG THE JOINT.
- WELD PLATE CONNECTIONS SHALL BE SPACED AT 4'-8" MAXIMUM ON THE FLOOR AND ROOF PANELS. THIS DIMENSION SHALL BE MAINTAINED EXCEPT IN CASES WHERE OPENINGS PROHIBIT.
- TOLERANCES SHALL BE AS FOLLOWS:  
 PANEL THICKNESS: ±1/8"  
 PANEL SIZE: ±1/16"  
 PANEL SQUARENESS: ±1/8" AGREEMENT ON DIAGONALS  
 LOCATION OF BLOCKOUTS & PVC'S: ±1/4"  
 BLOCKOUT DIMENSIONS: +1/4", -0"  
 PVC SIZE: USE TRADE SIZE AS LISTED ON PROJECT DRAWINGS
- REBAR SPlicing IS ALLOWED WHERE SPACE PERMITS. MINIMUM LAP IS 18" FOR #4 REBAR AND 30" FOR #6 REBAR.
- CONCRETE SHALL HAVE AIR ENTRAINMENT OF 6%, MODERATE EXPOSURE AND A MAXIMUM AGGREGATE SIZE OF 3/8 INCH.
- CONCRETE SHALL HAVE A WATER-CEMENTITIOUS MATERIAL RATIO OF 0.50.

**GENERAL:**

THESE REBAR SIZES AND SPACING REPRESENT THE MINIMUM AMOUNT FOR ALL CASTING PLANS. PROJECT DRAWINGS MAY REQUIRE REINFORCEMENT IN ADDITION TO CELLXION STANDARDS.

**ROOF PANEL:**

#4 (SHORT AXIS) 12" O.C. ON SHELTER WIDTH OF 11'-6" AND LESS, 10" O.C. ON SHELTER WIDTH GREATER THAN 11'-6" AND #4 (LONG AXIS) AT 18" O.C.

**WALL PANEL:**

#4 AT PERIMETER AND 4 X 4 X W4.5 X W4.5 MESH THROUGHOUT.

**FLOOR:**

(2)-#6 (SHORT AXIS) EACH RIB, #6 (LONG AXIS) EACH INTERIOR RIB. DECK: 4 X 4 X W4.5 X W4.5 MESH.

**SEALANT APPLICATION**

- AT MATING SURFACES BETWEEN PANELS, APPLY URETHANE SEALANT (2" BEAD) DURING ASSEMBLY.
- URETHANE SEALANT REQUIRED ON ALL JOINTS. APPLY TO EXTERIOR AFTER PANEL ASSEMBLY.
- ROOF COATING:  
 APPLY SHELTER ROOF COATING PER MANUFACTURER INSTRUCTION.  
 ROOF COATING TO CONFORM TO OBC 1507.15.2 & 2003 IBC 1507.15.2.
- APPLY AGGREGATE SEALER TO EXTERIOR WALLS. USE 1 GALLON PER 200 SQ. FEET.
- USE TEXTURED SEALER ON ALL SMOOTH EXPOSED SURFACES. USE CEMENTITIOUS GRAY PAINT.

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CUSTOMER:  
 ENGINEERING STANDARD

PROJECT:  
 GENERAL CASTING  
 SPECIFICATIONS  
 2003 IBC

FILENAME	JGP-076
SCALE	1"=1'-0"
TOLERANCE	
DRWN. BY	L. PROZDZ
DATE	9/17/07
CHK. BY	
DATE	
ENG. BY	
DATE	
APP. BY	
DATE	
SHEET NO.	2 OF 3
DRAWING NO.	108-016
	H

J	11/28/07	11/28/07	VGH
REV. BY	DATE	REVISION	APP. BY
		DESCRIPTION	

**GENERAL NOTES**

- ALL STEEL FABRICATION AND INSTALLATION SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL AISC 360-05 AND AWS D1.1-04 SPECIFICATIONS.
- ALL WELDING SHALL BE MIG TYPE WITH THE FOLLOWING OPERATING SETTINGS:  
 WIRE SIZE ----- 0.35  
 WIRE FEED SPEED (in/min) ----- 5  
 VOLTAGE, DC (+) ----- 18.5  
 AMPERAGE, DC ----- 140  
 TRAVEL SPEED (in/min) ----- 10-12  
 SHIELDING GAS ----- 75/25
- STRUCTURAL STEEL SPECIFICATIONS:  
 STRUCTURAL SHAPES ASTM A36/A 36M-04g  
 HIGH STRENGTH BOLTS, ASTM A 307-03  
 OTHER BOLTS, SAE J429 GRADE 5
- ALL CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE A.C.I. 318-05 BUILDING CODES 311 & 211, AND ASTM STANDARDS C-172-04, C-31/C31M98, C-39-05e1, AND PROVISIONS OF C-94/C94M-04.
- ALL PRECAST STRUCTURAL SAND-LIGHTWEIGHT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS.
- ALL REINFORCING STEEL BARS SHALL BE DOMESTIC, NEW BILLET STEEL CONFORMING TO ASTM A 615M-04g SPECIFICATIONS.
- CONCRETE COVERAGE OVER ALL REINFORCING STEEL SHALL BE A MINIMUM OF 3/4".
- ALL REBAR SHALL BE TIED 100% AT THE PERIMETER, AND 50% ELSEWHERE.
- ALL REBAR WIRE TIES TO BE 16 GAUGE.
- FIBROUS REINFORCED LIGHTWEIGHT CONCRETE MAY BE USED IN THE ROOF AND FLOOR AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS. FIBER REINFORCEMENT MAY BE USED IN THE FLOOR IF DESIRED IN ORDER TO MAKE BATCHING OPERATION MORE EFFICIENT.
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- WELD PLATE CONNECTIONS SHALL BE SPACED AT 4"-8" MAXIMUM ON THE FLOOR AND ROOF PANELS. THIS DIMENSION SHALL BE MAINTAINED EXCEPT IN CASES WHERE OPENINGS PROHIBIT.
- TOLERANCES SHALL BE AS FOLLOWS:  
 PANEL THICKNESS: ±1/8"  
 PANEL SIZE: ±1/16"  
 PANEL SQUARENESS: ±1/8" AGREEMENT ON DIAGONALS  
 LOCATION OF BLOCKOUTS & PVC'S: ±1/4"  
 BLOCKOUT DIMENSIONS: ±1/4", -0"  
 PVC SIZE: USE TRADE SIZE AS LISTED ON PROJECT DRAWINGS
- REBAR SPlicing IS ALLOWED WHERE SPACE PERMITS. MINIMUM LAP IS 18" FOR #4 REBAR AND 30" FOR #6 REBAR.
- CONCRETE SHALL HAVE AIR ENTRAINMENT OF 6%, MODERATE EXPOSURE AND A MAXIMUM AGGREGATE SIZE OF 3/8 INCH.
- CONCRETE SHALL HAVE A WATER-CEMENTITIOUS MATERIAL RATIO OF 0.50.

**GENERAL:**

THESE REBAR SIZES AND SPACING REPRESENT THE MINIMUM AMOUNT FOR ALL CASTING PLANS. PROJECT DRAWINGS MAY REQUIRE REINFORCEMENT IN ADDITION TO CELLXION STANDARDS.

- ROOF PANEL:** #4 (SHORT AXIS) 12" O.C. ON SHELTER WIDTH OF 11'-6" AND LESS, 10" O.C. ON SHELTER WIDTH GREATER THAN 11'-6" AND #4 (LONG AXIS) AT 18" O.C.
- WALL PANEL:** #4 AT PERIMETER AND 4 X 4 X W4.5 X W4.5 MESH THROUGHOUT.
- FLOOR:** (2)-#6 (SHORT AXIS) EACH RIB, #6 (LONG AXIS) EACH INTERIOR RIB. DECK: 4 X 4 X W4.5 X W4.5 MESH.

**SEALANT APPLICATION**

- STEP 1.** AT MATING SURFACES BETWEEN PANELS, APPLY URETHANE SEALANT (4" BEAD) DURING ASSEMBLY.
- STEP 2.** URETHANE SEALANT REQUIRED ON ALL JOINTS. APPLY TO EXTERIOR AFTER PANEL ASSEMBLY.
- STEP 3.** ROOF COATING:  
 APPLY SHELTER ROOF COATING PER MANUFACTURER INSTRUCTION.  
 ROOF COATING TO CONFORM TO OBC 1507.15.2 & 2006 IBC 1507.15.2.
- STEP 4.** APPLY AGGREGATE SEALER TO EXTERIOR WALLS. USE 1 GALLON PER 200 SQ. FEET.
- STEP 5.** USE TEXTURED SEALER ON ALL SMOOTH EXPOSED SURFACES. USE CEMENTITIOUS GRAY PAINT.

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www.cellxion.com fax: (214) 213-2919 voice: (214) 213-2900 5031 Hazel Cornes Road Dallas, Texas 75211	
CUSTOMER: <b>ENGINEERING STANDARD</b>	
PROJECT: <b>GENERAL CASTINGS SPECIFICATIONS 2006 IBC</b>	
FILENAME: 206-016	TOLERANCE: SCALE: 1/4" = 1'-0"
DRAWN BY: L. PROZDZ	DATE: 10/1/07
CHK. BY:	DATE:
ENG. BY:	DATE:
APP. BY:	DATE:
SHEET NO. <b>3 OF 3</b>	
DRAWING NO.: <b>108-016</b>	
<b>H</b>	

J	WGS	11/28/26	REVISED	GENERAL NOTES PER J. IRVING MARK-UPS	VGH	11/28/07
	REV BY	DATE	DESCRIPTION	APP BY	DATE	

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5031 Hazel Jones Road  
 Bossier City, Louisiana 71111  
 Voice: (318) 213-2900  
 Fax: (318) 213-2919  
 www.ceilixon.com

CUSTOMER:  
 ENGINEERING STANDARD

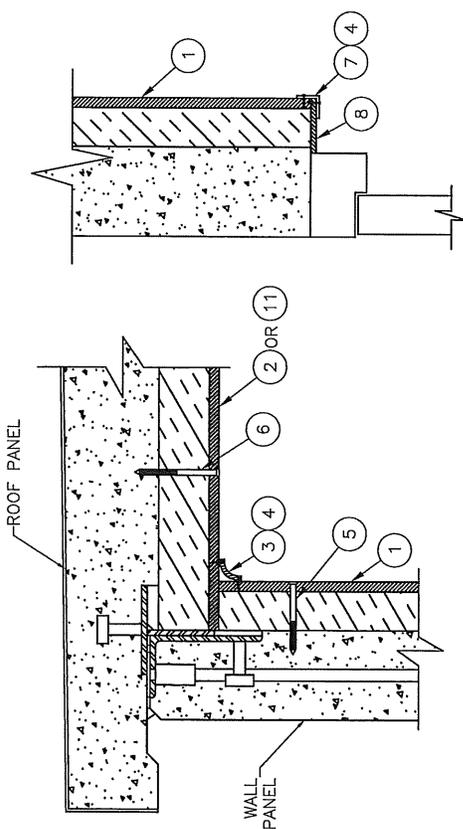
PROJECT:  
 CONCRETE SHELTER  
 INT. PAVELING INSTALL  
 ( ) LAYER  
 WALLS <= 9'-6"

FILENAME: 108-035  
 SCALE: 3/16"=1"  
 TOLERANCE:  
 DRWN. BY: DATE: 10/6/05  
 C. CASINGER  
 CHK. BY: DATE: 10/6/05  
 V. PASSELL  
 ENG. BY: DATE: 10/6/05  
 S. BARNETT  
 APP. BY: DATE:  
 SHEET NO. 1 OF 2  
 DRAWING NO. 108-035  
 B

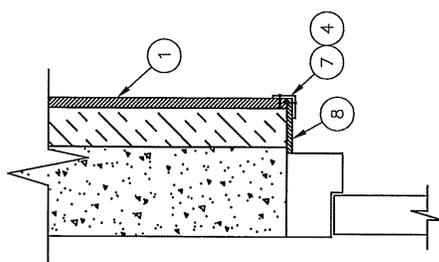
ITEM	U/M	P/N	DESCRIPTION
1	EA.	300032	INSULATION, 1.75" THERMAX, POLY, 48" X 110"
2	EA.	300033	INSULATION, 2.25" THERMAX, POLY, 48" X 132"
3	EA.	320002	TRIM, COVE, VINYL, 10' 0", WHITE
4	EA.	168009	BRAD, WHITE 3/4", 44241
5	EA.	168293	SCREW, CONCRETE, 3/16" X 3 1/4"
6	EA.	168294	SCREW, CONCRETE, 3/16" X 3 3/4"
7	EA.	320020	TRIM, CORNER, WOOD, 1-3/8" X 1-3/8" OUTSI
8	EA.	300028	PANELING, POLY OSB, W/ 5/8" OSB, 4' X 9' 1"
9	EA.	320023	TRIM, FRP, VINYL, 12' 0", WHITE, 2 PCS, 2"
10	EA.	320024	TRIM, FRP, VINYL, 12' 0", WHITE, 2 PCS, 2"
11	EA.	300036	INSULATION, 2.25" THERMAX TSX, 48" X 113"

NOTES:

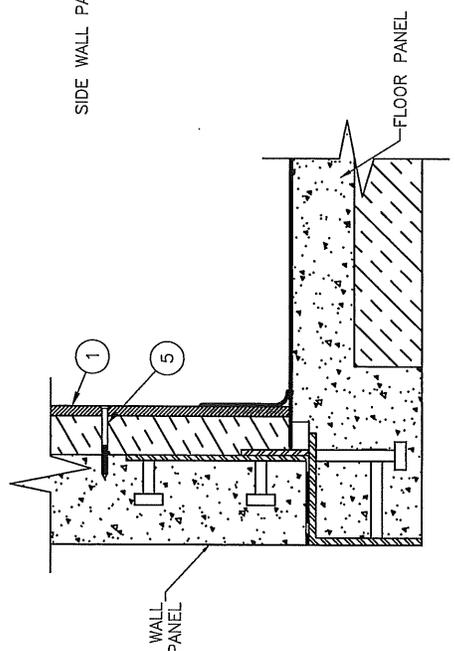
1. INSTALL INTERIOR PANELS W/ TAPCONS (LENGTH MAY VARY) 24" O.C. MAX ALONG LENGTH OF PANELS. (NO FASTENERS REQUIRED ALONG SHORT SIDE OF PANELS IF PANEL EDGE IS AT A CORNER)
2. MAX GAP BETWEEN PANELS TO BE 1/4"
3. USE COVE TRIM IN ALL CORNERS AND AROUND TOP PERIMETER. INSTALL USING 3/4" BRAD NAILS
4. TRIM ALL EXPOSED OPENINGS W/ OUTSIDE CORNER TRIM.
5. USE 10 FT TRIM, P/N 320023 FOR JOINT LENGTHS 10FT AND UNDER, USE P/N 320024 FOR JOINT LENGTHS OVER 10FT.



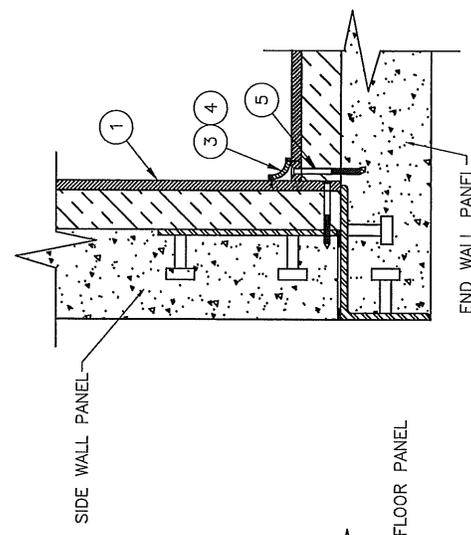
WALL/ROOF SECTION



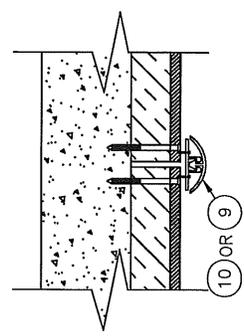
TYP DOOR SECTION TRIM DETAIL



WALL/FLOOR SECTION



WALL/WALL SECTION



JOINT DETAIL PLAN VIEW SECTION

REV	DATE	DESCRIPTION	APP'D	DATE
A	10/11/07	CHG DESCRIPTION OF INSULATION		10/11/07
A	10/11/05	CHG TITLE TO BE 9'-6" AND UNDER WALL HEIGHT		10/11/05
B				

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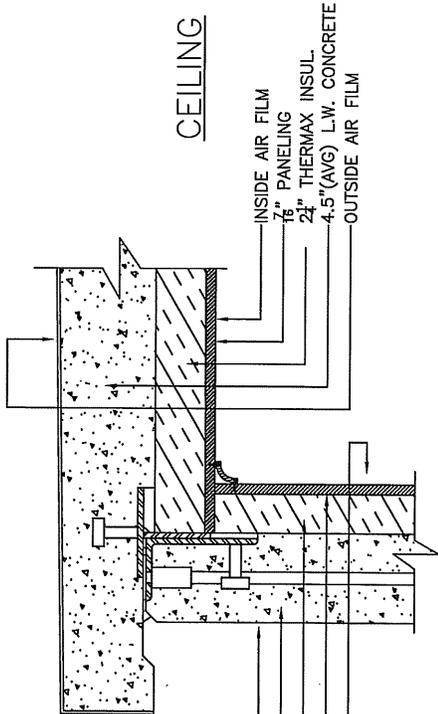
CUSTOMER:  
**ENGINEERING STANDARD**

PROJECT:  
**CONCRETE SHELTER  
 INT. PANELING INSTALL  
 R/U CALCULATIONS**

FILENAME:	108-035
SCALE:	TOLERANCE:
DRWN. BY:	C. CASINGER
DATE:	10/6/05
CHK. BY:	V. HASSELL
DATE:	10/6/05
ENG. BY:	J. BARNETT
DATE:	10/6/05
APP. BY:	DATE:
SHEET NO.:	2 OF 2
DRAWING NO.:	108-035

DRAWING NO.:  
 108-035

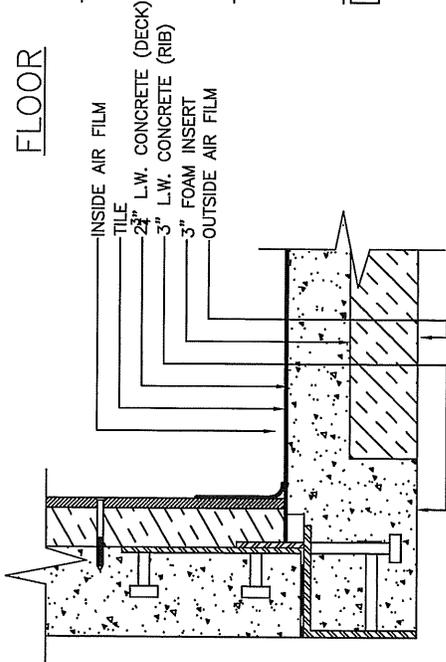
**CEILING**



4.55
0.54
14.40
1.53
0.25

21.27	OVERALL R-VALUE
0.047	OVERALL U-FACTOR

**FLOOR**



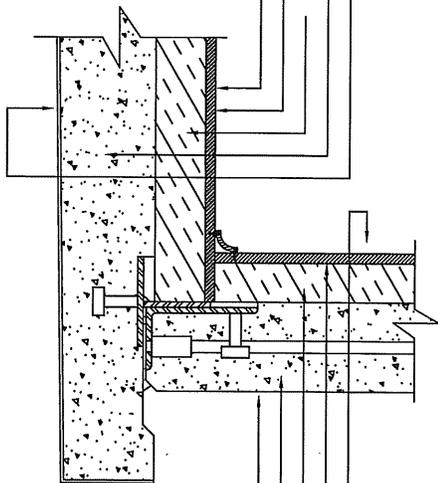
RIB	DECK
1.10	1.10
0.05	0.05
0.94	0.94
1.02	--
--	15.00
0.25	0.25

3.36	17.34	TOTAL 'R'
0.298	0.058	TOTAL 'U'
0.286	0.714	SURFACE AREA RATIO
0.960	12.380	R-FACTOR PER SURFACE AREA

0.074	OVERALL U-FACTOR
13.340	OVERALL R-VALUE

**WALL**

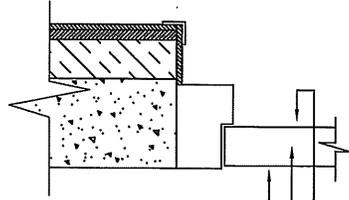
(HEAT CAPACITY = 8 BTU/°F)



0.25
1.36
11.20
0.54
1.70

15.05	OVERALL R-VALUE
0.066	OVERALL U-FACTOR

**METAL DOOR**



0.25
7.00
1.35

8.60	OVERALL R-VALUE
0.116	OVERALL U-FACTOR

## Neighborhood Community meeting issues:

### July 9<sup>th</sup>, 2009:

Host of meeting: Kevin Provance of Goodman Networks for AT&T. (No longer with Goodman Networks - no notes from initial meeting. Have attached news article with summarizes meeting).

Issues raised at meeting: RF Emissions and the design of the Cinemas.

Please see: Ashland Daily Tidings article below.

### **By Hannah Guzik**

Ashland Daily Tidings

July 10, 2009

At least a dozen residents are furious about AT&T's plans to put five antennas on the roof of the Ashland Street Cinemas, the movie theater in south Ashland.

At a community meeting the cell phone company held Thursday night at First Presbyterian Church, the residents said they're concerned that radiation from the antennas could affect their health and even cause cancer.

The AT&T representative, Kevin Provance, said the antennas would meet Federal Communications Commission radiation regulations and would be encased in a translucent material that would help buffer the emissions. He said the government has received no quantitative data showing that radiation from properly placed antennas causes cancer or is otherwise harmful.

AT&T and six other cell phone companies already have antennas on the top of the Ashland Springs Hotel, said Provance, a principal planner for Portland's Goodman Networks, which has a contract with AT&T.

The company wants to put more antennas in south Ashland because its cell phone and wireless internet coverage is spotty there, he said. The antennas will also allow AT&T to support more smartphones, such as Apple's iPhone, which has an exclusive contract with the company.

"This is generated based on complaints of lack of service for AT&T customers," Provance said.

A dozen people who own businesses or live near the Cinema attended the meeting to voice their concerns about the antennas.

"I wouldn't go to a cinema that had these fields going on around my body," said Anne Coyle, who co-owns Adhara Wellness Center, near the Cinema.

"We are all energy and the energy in our cells is not compatible with the energy in cell phones so it is not good for us to be bathed in these emissions," she said.

Katie Yasui, who also owns a business near the theater, said she was concerned the antennas would create a stigma in the area.

"There are wellness centers right there and that's going to put them out of business: A wellness center with an antenna," she said.

The AT&T plan calls for increasing the height of the Cinema building's pointed façade by 18 feet and placing the 6-foot antennas inside the new façade.

While most residents at the meeting said they were concerned about the radiation — not the aesthetics of the building —

Kathleen Magnuson said she didn't like the new design because it obscured mountain views.

"This blocks the mountains. It diminishes the view. There's no question," she said.

Thursday's meeting was just a preliminary step, Provance said.

The company has negotiated a deal with the owner of the Ashland Cinema building, and would pay the owner rent each month for providing the space for the antennas. However, the plans will still need to be approved by the Ashland Planning Commission and City Council, a process that could take months, he said.

After an hour of listening to unanimous complaints about the antennas, Provance said the company may consider placing the devices somewhere else in south Ashland.

"We may look for another location," he said. "We have to take a look at all the possibilities."

The antennas have about 1.5 mile radius, so they can't be placed in a rural Ashland area, he said.

If the company decides to move ahead with the plans for the Cinema, it will hold another community meeting because not all interested neighbors were able to attend Thursday's meeting, possibly due to a problem with the city's notification process, Provance said.

All those who own property within a 300 foot radius from the antennas were required to be notified of the meeting, but Provance said he was willing to expand that radius to encompass more people.

If there is another meeting, Provance said he would bring a report that would calculate the non-ionizing electromagnetic radiation the five antennas would give off and show that the devices comply with government standards.

But the residents at the meeting said they didn't trust the government's regulations or the studies done on the effects of radiation

from antennas.

"Just the fact that there are these studies is a concern," Yasui said.

Contact staff writer Hannah Guzik at 482-3456 ext. 226 or hguzik@dailytidings.com.

**September 22, 2009:**

Host of meeting: Brea Pike-Salas of Goodman Networks for AT&T.

Issues raised at meeting: RF Emissions and lack of trust of Government Studies

This 2<sup>nd</sup> meeting was organized on the part of AT&T (voluntarily) to show a good faith effort to put concerned neighbors at ease about the proposed cellular facility. At the 6:30pm meeting held at the First Presbyterian Church, 12 people showed up to express their continuing discontent about AT&T's rooftop proposal for the Ashland Cinema. A noticing radius had been expanded to include 600 neighbors of the subject site with labels being provided by the City of Ashland Community Development Department. Majority of participants at the 2<sup>nd</sup> meeting were not from the 600 foot noticing, but from other neighbors in the area. There was great concern expressed over why there were not in the noticing radius.

Specific issues of concern:

- Other candidates. Kevin Provance mentioned another alternative, and the neighbors wanted more information on this candidate. (After checking w/ AT&T, there is no other candidate).
- People with landlines are being forced to accept the cell phone facilities.
- Trust of government studies showing no health effects from facilities.
- "Not in my backyard" issues. Would like to see facility outside of residential area.
- Property owner not attending meeting, and how the property is for sale.
- Emissions. A lot of conversation about emissions and information given discussing the standard set by the FCC.



March 2, 2010

Derek Severson  
City of Ashland Planning Division  
20 E. Main Street  
Ashland, Oregon 97520

Re: Ashland South (MD01) PA2009-001244. 1644 Ashland Street collocation.

Mr. Severson,

Per your letter dated October 13, 2009, you asked for evidence that the lease agreement between the Ashland Street Cinemas and AT&T does not preclude collocation.

The proposal to place antennas on the Ashland Street Cinema at 1644 Ashland Street, Ashland, Oregon will help provide new and stronger signals that will improve the connection with AT&T's existing network.

AT&T's proposed placement of antennas on the existing Ashland Cinema will allow for potential future collocation of additional antennas, provided the minimum separation between antennas is satisfied and a future collocate facility company could come to an agreement with the Ashland Street Cinema for ground space and space on the roof.

I want to thank you for your consideration regarding this application.

Sincerely,

A handwritten signature in black ink, appearing to read 'Brandon A. Olsen', with a long, sweeping horizontal line extending to the right.

Brandon A. Olsen  
AT&T Mobility- Portland, Oregon



**GoodmanNetworks**  
Network Knowledge... Delivered.

February 12, 2010

Derek Severson  
Associate Planner  
City of Ashland  
20 E. Main  
Ashland, OR 97520

Re: PA# 2009-001244, 1644 Ashland Street (AT&T MD-01)  
Additional Submittals- Collocation Study and Lease Agreement

Dear Mr. Severson:

You have requested additional information regarding efforts by AT&T to utilize existing telecommunications facilities in the City of Ashland as an alternative to the installation of antennas inside the parapet wall of the Ashland Street Cinema. This is a summary of those efforts.

AT&T believes that collocation is the best possible solution to deployment of systems needed to meet the growing demand for wireless services. Building new structures is costly and the marginal cost per customer is typically greater when new structures must be built. Installing antennas on existing structures reduces consumer cost of wireless service, and reduces the visual impact on the community being served.

The Ashland Street Cinema is an ideal location for AT&T. It is located near the center of the RF Engineering search ring which identifies that area in Ashland where improved service delivery is planned. It is an existing structure, so this location represents one less tower that must be built, and seen.

Certainly, we evaluated existing AT&T facilities in the vicinity. Attached is the requested map showing AT&T facilities within a 5 mile radius. The nearest AT&T site, installed at the Ashland Springs Hotel, is 2.2 miles away. To serve the subject area, the antenna system needs to be less than a mile from the center of the search ring. The Cinema is a little over a half mile from the center of the ring.

Other carrier locations were evaluated as well, including the Holiday Inn Express. The Holiday Inn is located about a half mile from the center of the search ring, a reasonable location according to the search map. It is also possible to add false architectural elements to screen an installation at the holiday Inn. However the elevation of the antennas would only be about 35

feet above the existing ground. While this is the same elevation planned for the Cinema antennas, differences in topography place the planned Cinema antennas about 25% higher than would be possible at the Holiday Inn. This slight increase in ground elevation would make the projected signal coverage area of the Cinema installation larger and more efficient, potentially serving more customers. Further, when evaluating locations for radio equipment at the Holiday Inn, we discovered that the length of the coax run from the radio to the antennas would be much greater than the run designed for the Cinema. This additional length would result in an additional loss of signal, adding to the inefficiency of a possible Holiday Inn installation.

Conclusion:

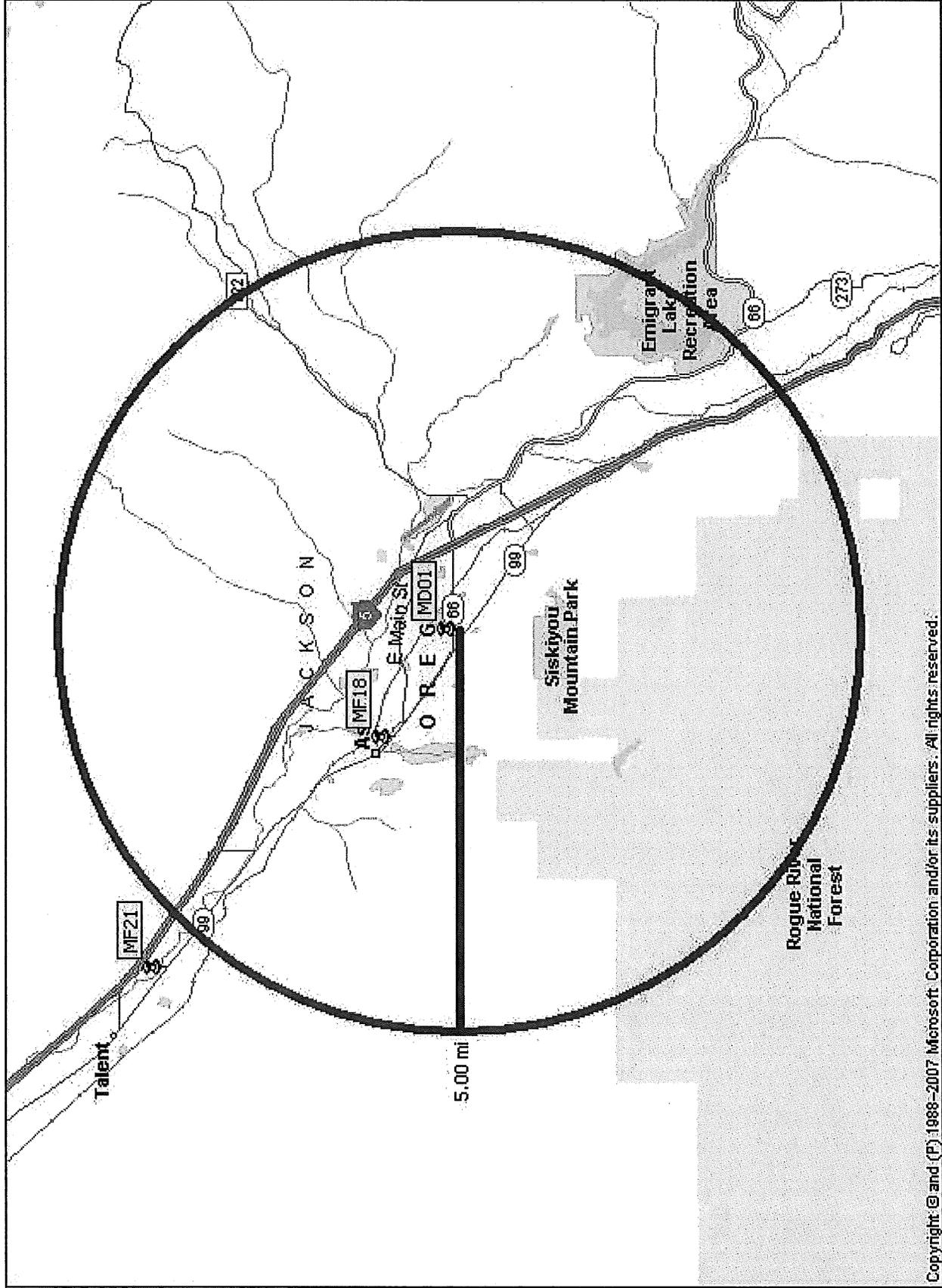
AT&T believes that these collocation efforts are consistent with the requirements of AMC 18.72, and looks forward to approval of the proposed Conditional Use Permit, and the opportunity to provide better service to the citizens of Ashland.

Sincerely,

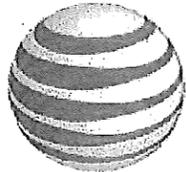
Doug Henderson, AICP  
Senior Site Acquisition and Zoning Specialist  
Goodman Networks, Inc.  
6400 International Parkway  
Plano, TX 75093

817-729-7006

PA #2009-001213: AT&T Sites w/in a 5 mile radius of proposed site at the Ashland Street Cinema (1644 Ashland Street, Ashland, Oregon )



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at&t Your world. Delivered

ASHLAND SOUTH
1644 ASHLAND ST
ASHLAND, OR 97520
MDO1



PROPRIETARY INFORMATION

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RECEIVED

MAR 19 2010

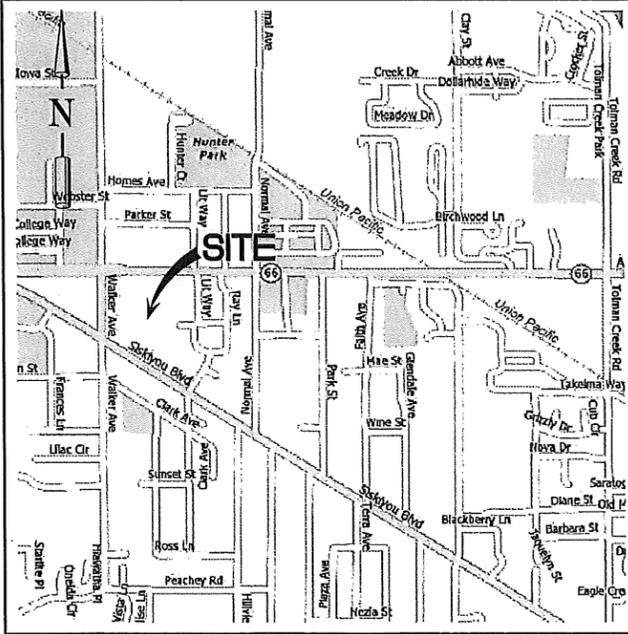
City of Ashland



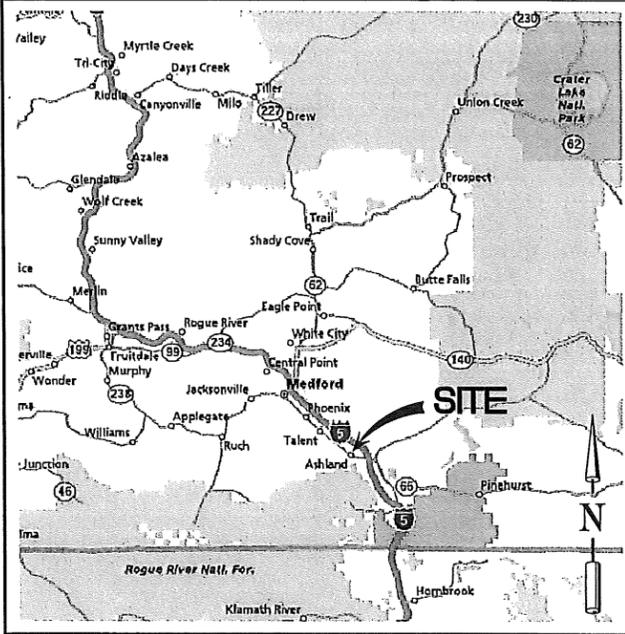
Your world. Delivered
19801 SW 72ND AVE
SUITE 200
TUALATIN, OR 97062

Goodman Networks
7360 SW HUNZICKER,
SUITE 206
PORTLAND, OR 97223

VICINITY MAP



GENERAL LOCATION MAP



PROJECT INFORMATION

APPLICANT:
AT&T MOBILITY CORPORATION
19801 SW 72ND AVE SUITE 200
TUALATIN, OR 97062
CONTACT: GERRI ROPER
PH: (503) 691-5019

LAND OWNER:
MICHAEL D & BEVERLY A RYDBOM
PO BOX 3030
ASHLAND, OR 97520
PH: 541-488-5827
MIKE RYDBOM

PROJECT ENGINEER:
CSA CONSULTING ENGINEERS
2895 BEAVERCREEK ROAD
OREGON CITY, OR 97045
PH: 503-228-3848
FAX: 503-228-0475
MOBILE: 503-679-6889
CONTACT: BRIAN K. FEENEY

BUILDING OWNER:
MICHAEL D & BEVERLY A RYDBOM
PO BOX 3030
ASHLAND, OR 97520
PH: 541-488-5827
MIKE RYDBOM

SURVEYOR:
CSA CONSULTING ENGINEERS
2895 BEAVERCREEK ROAD
OREGON CITY, OR 97045
PH: 503-228-3848
FAX: 503-228-0475
MOBILE: 503-313-0886
CONTACT: CHRIS THOMAS

PROJECT CONSULTANTS:
GOODMAN NETWORKS
7360 S.W. HUNZICKER, SUITE 206
TIGARD, OR 97223
OFFICE: 503-330-3588
FAX: 503-639-3159

TEAM LEAD:
APRIL COPELAND
PH: 360-921-3694

CODE INFORMATION:
ZONING CLASSIFICATION: CC
BUILDING CODE: IBC 2006/NEC2008
CONSTRUCTION TYPE: II-B

SITE ACQUISITION
JOAN STEWART
PH: 503-367-5577

OCCUPANCY: C-1
JURISDICTION: CITY OF ASHLAND
PROPOSED BUILDING USE: TELECOM

ZONING AGENT:
VANESSA MEYER
PH: 503-207-1724

CONSTRUCTION COORDINATOR:
JOHN CONLEY
PH: 503-510-2020

SITE LOCATION: (BASED ON NAD 83)

LATITUDE: 42.1842 N
LONGITUDE: 122.68611 W
TOP OF STRUCTURE: 33' A.G.L.
BASE OF STRUCTURE AMSL: 2022' AMSL

SITE ACCESS:
MIKE RYDBOM
PH: 541-488-5827

PROJECT AREA:
240 S.F.

PARCEL NUMBER(S):
39S1E15AB-6800

AREA OF PARCEL:
5.91 ACRES

GENERAL INFORMATION:

- 1. PARKING REQUIREMENTS ARE UNCHANGED.
2. TRAFFIC IS UNAFFECTED.
3. SIGNAGE IS PROPOSED.
4. ADDITIONAL IMPERVIOUS SURFACE IS NOT PROPOSED.

NEW IMPERVIOUS AREA

N/A

POWER & TELCO COMPANIES

POWER: ASHLAND CITY POWER
TELCO: QWEST

PROJECT DESCRIPTION:

AT&T MOBILITY. PROPOSES TO CONSTRUCT AN UNSTAFFED RADIO TELECOMMUNICATIONS FACILITY CONSISTING OF A THREE-SECTOR ANTENNA ARRAY, MOUNTED ON AN EXISTING 29'-9" BUILDING. RADIO BASE STATION EQUIPMENT IS TO BE INSTALLED IN A 12'x26' LEASE AREA, IN A 12'x26' EQUIPMENT SHELTER ON THE SOUTH END OF THE BUILDING. THE ANTENNAS WILL BE INSTALLED IN A PROPOSED RF TRANSPARENT PENTHOUSE ENCLOSURE.

DRAWING INDEX

Table with 2 columns: DWG. NO. and DESCRIPTION. Rows include T-1 TITLE SHEET, A-1 OVERALL SITE PLAN, A-2 EQUIPMENT/ROOF PLAN, A-3 ELEVATIONS, A-3.1 ELEVATIONS.

CSA CONSULTING ENGINEERS
2895 BEAVERCREEK ROAD
OREGON CITY, OREGON 97045
(503) 228-3848

PROJECT NO: 10649
DRAWN BY: N. EATON
CHECKED BY: B. FEENEY

Table with 3 columns: DATE, DESCRIPTION, REV. Rows include 10MAR09 90% ZONING SUBMITTAL 0, 18JUN09 90% ZONING REVISE 1, 20JUL09 REDLINE REVISE 2, 21JUL09 FINAL ZONING DRAWINGS 3, 21SEP09 ROOF PEAK ELE CHANGE 4, 15DEC09 PRELIMINARY CDS 5, 09MAR10 90% ZONING REVISED 6.

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T MOBILITY IS STRICTLY PROHIBITED.

PLOT SCALE: 1:1 @ 22X34
1:2 @ 11X17

SITE NAME
MDO1
ASHLAND SOUTH
OPTION 6
1644 ASHLAND STREET
ASHLAND, OR 97520

SHEET TITLE
TITLE SHEET
PROJECT INFORMATION

SHEET NUMBER
T-1

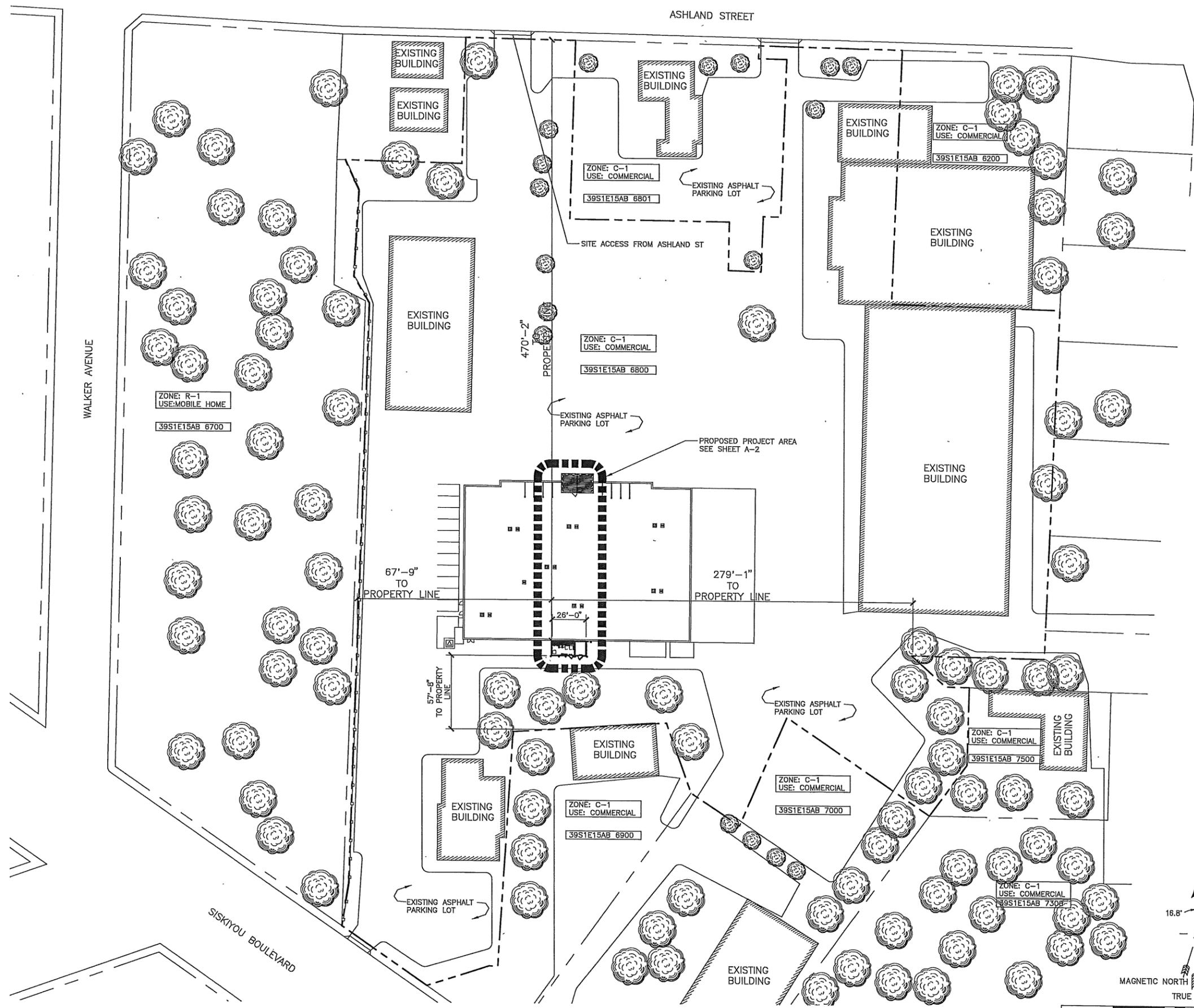
DRIVING DIRECTIONS

FROM AT&T'S TUALATIN OFFICE, START OUT GOING SOUTH ON SW 72ND AVE. TOWARD SW SAGERT ST. TURN LEFT ONTO SW SAGERT ST. TURN LEFT ONTO SW 65TH AVE. SW 65TH AVE BECOMES SW NYBERG RD. MERGE ONTO I-5 S VIA THE RAMP ON THE LEFT TOWARD SALEM. TRAVEL 275.4 MI. TAKE THE OR-66 EXIT, EXIT 14, TOWARD ASHLAND/KLAMATH FALLS. TURN RIGHT ONTO ASHLAND ST/OR-66. END AT 1644 ASHLAND ST ASHLAND, OR 97520-2389

APPROVAL/SIGN OFF OF ZONING DRAWINGS

Table with 6 columns: CONSULTANT GROUP SIGN OFF, DATE, SIGNATURE, AT&T SIGN OFF, DATE, SIGNATURE. Rows include CONSTRUCTION COORDINATOR, PROJECT MANAGER, SITE ACQUISITION, ZONING.

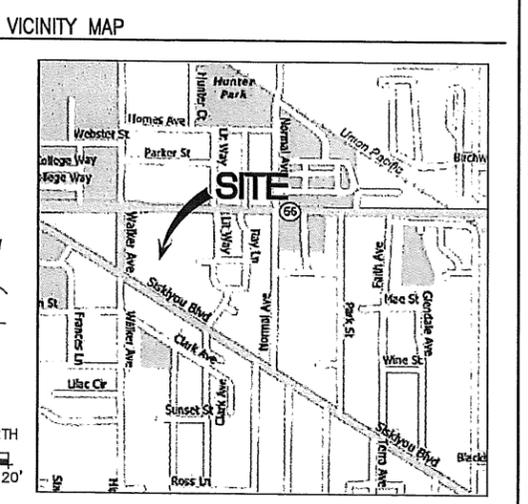
REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED



**LEGEND**

	SUBJECT BOUNDARY LINE
	ADJACENT BOUNDARY LINE
	RIGHT OF WAY CENTERLINE
	RIGHT OF WAY LINE
	ZONING BOUNDARY LINE
	OVERHEAD POWER LINE
	BURIED POWER LINE
	BURIED GAS LINE
	BURIED WATER LINE
	BURIED SANITARY SEWER LINE
	BURIED STORM DRAIN LINE
	VEGETATION LINE
	CHAIN LINK FENCE
	WOOD FENCE
	BARBED WIRE FENCE/WIRE FENCE
	TRANSFORMER
	LIGHT STANDARD
	UTILITY POLE
	POWER BOX
	UTILITY VAULT
	POLE GUY WIRE
	GAS VALVE
	GAS METER
	TELCO BOX
	TELCO RISER
	FIRE HYDRANT
	Fire Dept Connection
	GATE VALVE
	WATER METER
	CATCH BASIN, TYPE I
	CATCH BASIN, TYPE II
	SIGN
	BOLLARD
	MAILBOX
	ELEVATION POINT

**LEGAL DESCRIPTION**  
LEGAL DESCRIPTION



**OVERALL SITE PLAN**  
22' X 34" SCALE: 1"=40'-0"  
11" X 17" SCALE: 1"=80'-0"  
GRAPHICAL SCALE IN FEET  
SCALE: 1:40

GoodmanNetworks  
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PORTLAND, OR 97223

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19801 SW 72ND AVE, SUITE 200  
TUALATIN, OR 97062

CSA  
CONSULTING ENGINEERS  
2895 BEAVERCREEK ROAD  
OREGON CITY, OREGON 97045  
(503) 228-3848

PROJECT NO:	10649
DRAWN BY:	N. EATON
CHECKED BY:	B. FEENEY

SUBMITTALS		
DATE	DESCRIPTION	REV.
10MAR09	90% ZONING SUBMITTAL	0
18JUN09	90% ZONING REVISE	1
20JUL09	REDLINE REVISE	2
21JUL09	FINAL ZONING DRAWINGS	3
21SEP09	ROOF PEAK ELE CHANGE	4
15DEC09	PRELIMINARY CDS	5
09MAR10	90% ZONING REVISED	6

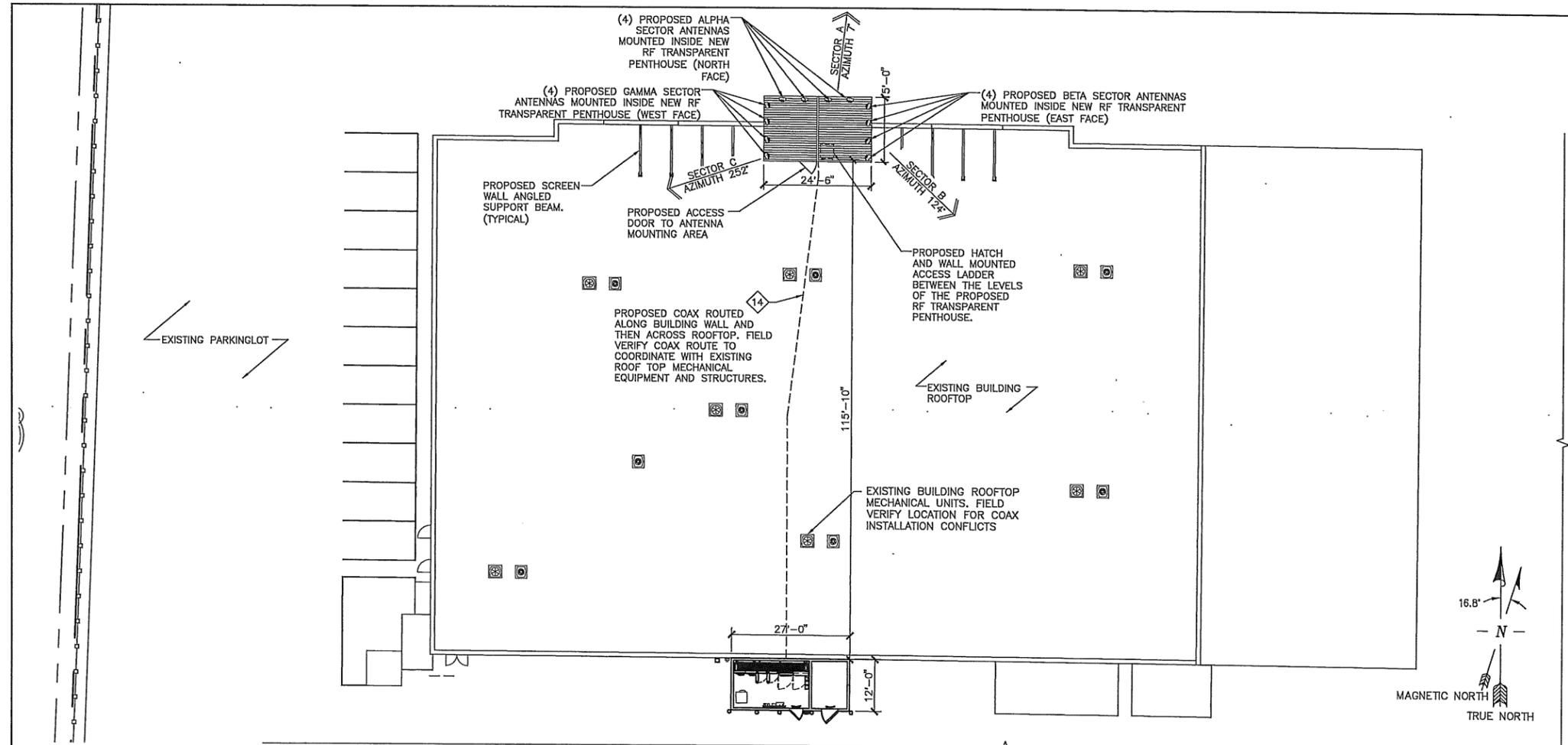
THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T MOBILITY IS STRICTLY PROHIBITED.

PLOT SCALE: 1:1 @ 22X34  
1:2 @ 11X17

SITE NAME  
**MD01  
ASHLAND SOUTH  
OPTION 6**  
1644 ASHLAND STREET  
ASHLAND, OR 97520

SHEET TITLE  
**OVERALL  
SITE  
PLAN**

SHEET NUMBER  
**A-1**

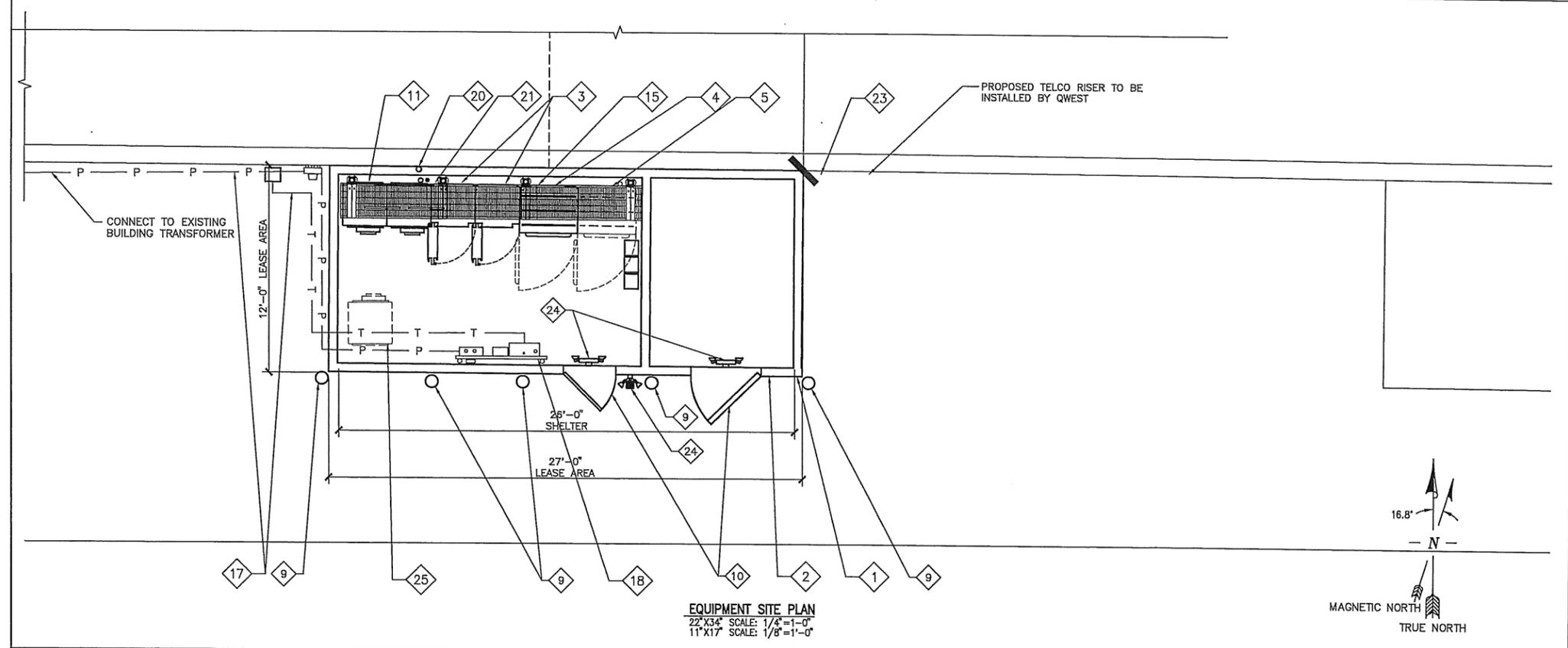


ROOF PLAN  
 22' X 34' SCALE: 1/16" = 1'-0"  
 11' X 17' SCALE: 1/32" = 1'-0"

CONSTRUCTION PLAN KEYED NOTES

- 1 PROPOSED 12'-0"x26'-0" LEASE AREA.
- 2 12'-0"x26'-0" SHELTER (PROVIDED BY CONTRACTOR)
- 3 NOKIA ULTRASITE CABINETS NO. 1 & 2 (PRIMARY - PROVIDED BY AT&T).
- 4 PROPOSED UMTS CABINET (PROVIDED BY AT&T)
- 5 FUTURE UMTS CABINET
- 10 PROPOSED 3'-0" LOCKING DOOR. AT&T SIGNAGE MOUNTED TO DOOR. LOCK PROVIDED BY AT&T. SEE DETAILS 9/A-4.2 & 3/A-4.6, 3/A-5.1.
- 11 ARGUS POWER CABINET.
- 14 COAXIAL CABLE (PROVIDED BY CONTRACTOR) TO ANTENNAS. SEE COAX LENGTH SCHEDULE ON THIS SHEET.
- 15 PEDESTAL MOUNTED WAVEGUIDE BRIDGE (PROVIDED BY CONTRACTOR).
- 17 POWER & TELCO LINES.
- 18 AT&T UTILITY CABINETS (PROVIDED BY CONTRACTOR).
- 19 PARKING PROTECTION BALLARD TYP. OF (2)
- 20 GPS/E911 COMBINED ANTENNA (PROVIDED BY AT&T).
- 21 ARGUS 24v BATTERY BACKUP CABINET.
- 23 AT&T POWER METER MOUNTED ON WALL.
- 24 REGENT 300W HALOGEN LIGHT W/ 1 HR TIMER SWITCH/GFI DUPLEX RECEPTACLE.
- 25 FUTURE SCC CABINET.

SITE NOTES



EQUIPMENT SITE PLAN  
 22' X 34' SCALE: 1/4" = 1'-0"  
 11' X 17' SCALE: 1/8" = 1'-0"

COAX LENGTH SCHEDULE

COAX LENGTHS ARE CALCULATED FROM THIS DRAWING SET. ANY DEVIATION FROM THE PROPOSED DESIGN MAY REQUIRE ALTERATION OF COAX LENGTHS. CONTRACTOR SHALL ENSURE THAT FINAL DESIGN AND COAX LENGTHS ARE COORDINATED.

SECTOR	LENGTH	# COAX	DIAMETER
SECTOR "1"	140'	8	1 5/8"
SECTOR "2"	140'	8	1-5/8"
SECTOR "3"	140'	8	1 5/8"

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 PORTLAND, OR 97223

**at&t**  
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 SUITE 100  
 TUALATIN, OR 97062

**CSA CONSULTING ENGINEERS**  
 2895 BEAVERCREEK ROAD  
 OREGON CITY, OREGON 97045  
 (503) 228-3848

PROJECT NO:	10649
DRAWN BY:	N. EATON
CHECKED BY:	B. FEENEY

SUBMITTALS		
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10MAR09	90% ZONING SUBMITTAL	0
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21SEP09	ROOF PEAK ELE CHANGE	4
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09MAR10	90% ZONING REVISED	6

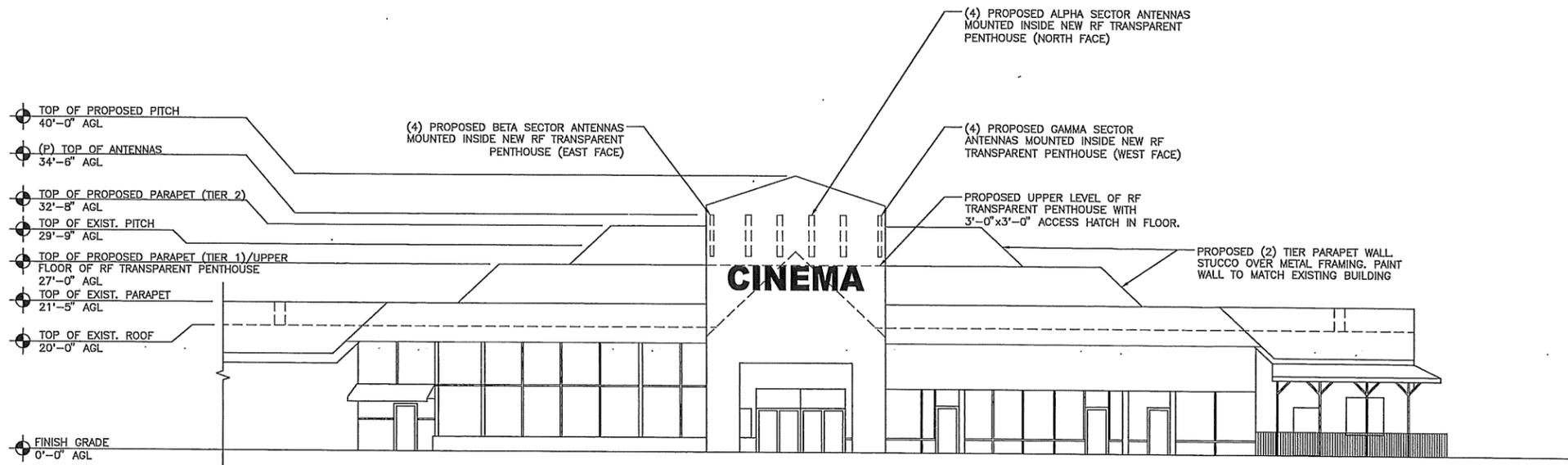
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PLOT SCALE: 1:1 @ 22X34  
 1:2 @ 11X17

SITE NAME  
**MD01 ASHLAND SOUTH OPTION 6**  
 1644 ASHLAND STREET  
 ASHLAND, OR 97520

SHEET TITLE  
 (E) ROOF VENT  
**ROOF TOP/  
 EQUIPMENT COMPOUND  
 SITE PLANS**

SHEET NUMBER  
**A-2**



**NORTH ELEVATION**  
 22'x34' SCALE: 3/32"=1'-0"  
 11'x17' SCALE: 1/32"=1'-0"

**CONSTRUCTION PLAN KEYED NOTES**

**GoodmanNetworks**  
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 PORTLAND, OR 97223

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 TUALATIN, OR 97062

**CSA CONSULTING ENGINEERS**  
 2895 BEAVERCREEK ROAD  
 OREGON CITY, OREGON 97045  
 (503) 228-3848

PROJECT NO: 10649  
 DRAWN BY: N. EATON  
 CHECKED BY: B. FEENEY

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PLOT SCALE: 1:1 @ 22X34  
 1:2 @ 11X17

SITE NAME

**MD01  
 ASHLAND SOUTH  
 OPTION 6**  
 1644 ASHLAND STREET  
 ASHLAND, OR 97520

SHEET TITLE

**ELEVATIONS**

SHEET NUMBER

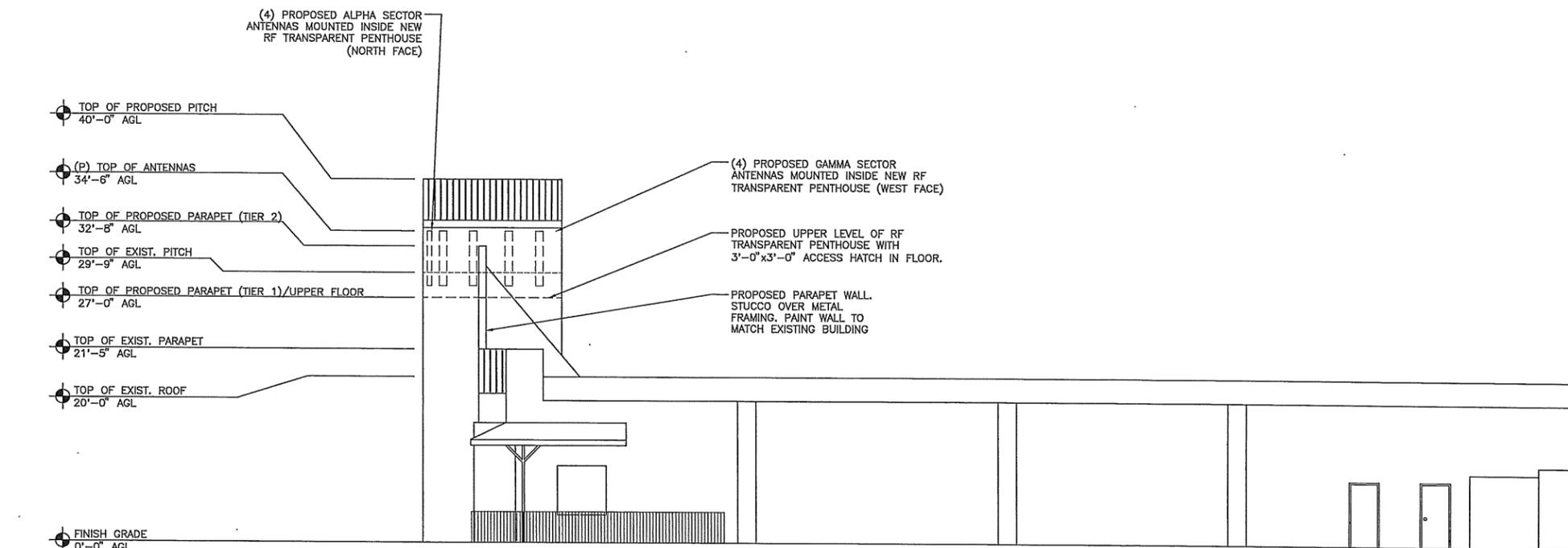
**A-3**

**SITE NOTES**

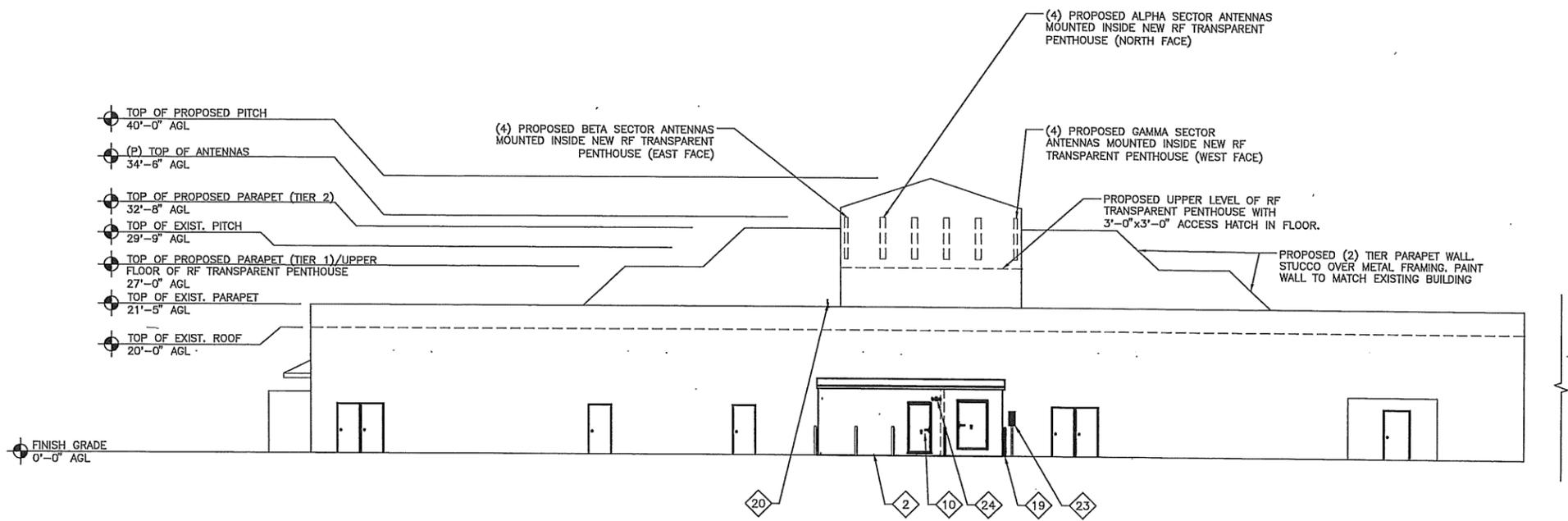
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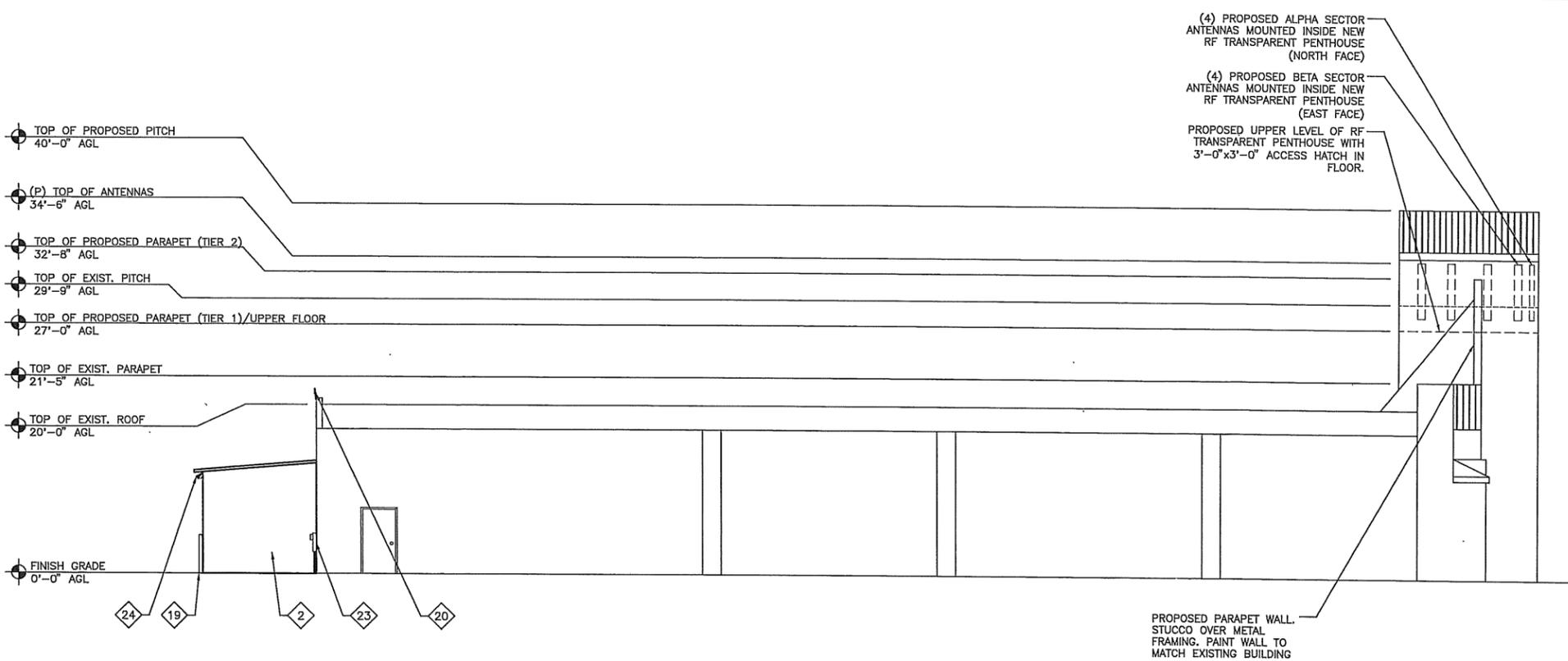
SECTOR	LENGTH	# COAX	DIAMETER
SECTOR "1"	140'	8	1 5/8"
SECTOR "2"	140'	8	1-5/8"
SECTOR "3"	140'	8	1 5/8"



**WEST ELEVATION**  
 22'x34' SCALE: 1/8"=1'-0"  
 11'x17' SCALE: 1/16"=1'-0"



**SOUTH ELEVATION**  
 22'x34' SCALE: 3/32"=1'-0"  
 11'x17' SCALE: 1/32"=1'-0"



**EAST ELEVATION**  
 22'x34' SCALE: 1/8"=1'-0"  
 11'x17' SCALE: 1/16"=1'-0"

**CONSTRUCTION PLAN KEYED NOTES**

- 2 12'-0"x26'-0" SHELTER (PROVIDED BY CONTRACTOR) SEE DETAILS 1 & 9/A-4.
- 10 PROPOSED 3'-0" LOCKING DOOR. AT&T SIGNAGE MOUNTED TO DOOR. LOCK PROVIDED BY AT&T. SEE DETAILS 9/A-4.2 & 3/A-4.6, 3/A-5.1.
- 19 PARKING PROTECTION BALLARD TYP. OF (2)
- 20 GPS/E911 COMBINED ANTENNA (PROVIDED BY AT&T).
- 23 AT&T POWER METER MOUNTED ON WALL.
- 24 REGENT 300W HALOGEN LIGHT W/ 1 HR TIMER SWITCH/GFI DUPLEX RECEPTACLE.

**SITE NOTES**

**COAX LENGTH SCHEDULE**

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 SUITE 200  
 TUALATIN, OR 97062

**CSA CONSULTING ENGINEERS**  
 2895 BEAVERCREEK ROAD  
 OREGON CITY, OREGON 97045  
 (503) 228-3848

PROJECT NO:	10649
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CHECKED BY:	B. FEENEY

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PLOT SCALE: 1:1 @ 22X34  
 1:2 @ 11X17

SITE NAME  
**MD01 ASHLAND SOUTH OPTION 6**  
 1644 ASHLAND STREET  
 ASHLAND, OR 97520

SHEET TITLE  
**ELEVATIONS**

SHEET NUMBER  
**A-3.1**

# Narrative

**TYPE II CONDITIONAL USE AND SITE REVIEW**  
**PROPOSAL FOR THE INSTALLATION OF A WIRELESS**  
**FACILITY AT THE ASHLAND STREET CINEMA.**

**GENERAL INFORMATION**

**Applicant:** AT&T Wireless, LLC  
19801 SW 72<sup>nd</sup> Avenue  
Tualatin, Oregon 97062

**Representative:** Breah Pike-Salas, Sr. Planner  
Goodman Networks, Inc.  
7360 SW Hunziker Rd, Ste. 206  
Portland, Oregon 97223  
503.207.1724

**Property Owner:** Michael D. & Beverly A. Rydbom  
P.O. Box 3030  
Ashland, Oregon 97520

**Site Address:** 1644 Ashland Street, Ashland, Oregon 97520

**Assessor's Map No.** 39 1E 15AB, **Tax lot:** 6800  
**Zoning:** C-1, Retail Commercial District

**Associated Case(s):** Pre-Application Conference, May 13, 2009

**Case Type:** **CU SR** (Concurrent Conditional Use and Site Review)  
**Procedure:** **Type II**, Public Hearing

**Proposal:** AT&T requests conditional use and site review approval for a wireless installation of twelve (12) panel antennas mounted within an expanded penthouse along the front facade of the Ashland Cinema structure. Associated equipment is to be ground mounted within a 12' x 20' lease area along the west side facade within three overflow parking spaces. The equipment shall be buffered from neighboring views with a 9 foot tall CMU block wall painted to match the adjacent building, as well as landscaping along the front.

Power and telephone utility connections are already present on the parcel to serve the existing equipment and will be utilized for the proposed facility.

In the spirit of Community Development, AT&T reached out to the neighbors regarding this proposal by hosting two neighborhood meetings. The first meeting held on July 9<sup>th</sup>, 2009 for neighbors within a 300 foot radius, and another on September 22<sup>nd</sup>, 2009 for neighbors within a 600 foot radius of the proposed site.

**Relevant Approval Criteria:** In order to be approved, this proposal must comply with the approval criteria found in the Ashland Land Use Ordinance. The relevant criteria are:

- **Chapter 18.104.050 (A-C)**, Conditional Use Approval.
- **Chapter 18.72.070 (A-D)**, Site Review Approval.

## ZONING CODE APPROVAL CRITERIA

### CHAPTER 18.104.050, CONDITIONAL USE

- A. The use would be in conformance with all standards within the zoning district in which the use is proposed to be located, and in conformance with relevant Comprehensive plan policies that are not implemented by any City, State, or Federal Law program.

**Findings:** The proposed rooftop wireless facility with associated ground mounted equipment is in conformance with the C-1 zone in that the maximum height for the modified penthouse will not exceed 40 feet, and noise shall be within the limits found in Ordinance AMC 9.08.170(c), and AMC 9.08.175. The AT&T proposal is in compliance with the Comprehensive plan that is implemented by the City of Ashland Land Use Ordinance, and the Federal Communications Commission.

- B. Adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property.

**Findings:** The proposed facility will not require water, or sewer. Ashland Street Cinema is located within an existing, fully developed retail center with a paved parking lot. Electricity, telecom, paved access to the lease area and storm drainage are available and adequate for AT&T's facility.

- C. The conditional use will have no greater adverse material effect on the livability of the impact area when compared to the development of the subject lot with the target use of the zone. When evaluating the effect of the proposed use on the impact area, the following factors of livability of the impact area shall be considered in relation to the target use of the zone:
1. Similarity in scale, bulk, and coverage.
  2. Generation of traffic effects on surrounding streets. Increases in pedestrian, bicycle, and mass transit use are considered beneficial regardless of capacity of facilities.
  3. Architectural compatibility with the impact area.
  4. Air quality, including the generation of dust, odors, or other environmental pollutants.
  5. Generation of noise, light, and glare.
  6. The development of adjacent properties as envisioned in the Comprehensive Plan.
  7. Other factors found to be relevant by the Hearing Authority for review of the proposed use.

**Findings:** Granting this conditional use for the wireless facility will not have a negative impact on the livability of the area, but rather enhance it. The purpose of the proposed facility is to alleviate pressure on AT&T's current system, thereby eliminating problems such as dropped calls and/or applications as reported by their customers. By granting the conditional use, the livability of the area will be enhanced in that customers who utilize AT&T's services will find their service to be stabilized and reliable.

The proposed development of expanding the existing penthouse and front parapet is designed to blend with the current design of the Cinema, as well as be architecturally compatible with existing development located within the retail center. The parapet will be constructed of a steel frame with a stucco overlay. The color will match the existing colors found in the structure.

This wireless facility with associated ground mounted equipment will not negatively impact current or future development of neighboring properties, traffic, air quality, noise, light, or glare. The equipment shall be buffered from neighboring properties by a 9 foot tall CMU block wall, along with associated landscaping.

## CHAPTER 18.72.070, SITE REVIEW

- A. All applicable City ordinances have been met or will be met by the proposed development.
- B. All requirements of the Site Review Chapter have been met or will be met.

### **Findings for A and B:**

AT&T is committed to meet or will meet all applicable City ordinances and the Site Review Chapter.

- C. The development complies with the Site Design Standards adopted by the City Council for implementation of this Chapter.
  - 1. Basic Site Review Standards
  - 2. Detail Site Review Standards
  - 3. Additional Standards for Large Scale Projects
  - 4. Ashland Boulevard Corridor Standards
  - 5. Landscape Coverage
  - 6. Parking Lot Landscaping & Screening
  - 7. Street Tree Standards

**Findings:** AT&T is proposing to locate on the Ashland Street Cinema building located within an existing, fully developed, retail center in compliance with the adopted Site Design Standards. However, AT&T will have a minor impact on a select few standards: Landscaping. Ground mounted equipment shall be landscaped 15% or more and buffered from neighboring views by a 9 foot tall CMU block wall. A species specific landscape plan has been submitted for review.

Noise. Associated equipment required by the facility shall be in compliance with Noise Ordinance AMC 9.08.170(c), and AMC 9.08.175. In addition, the equipment shall be buffered by a 9 foot tall CMU block wall which will act as an additional noise buffer.

Architectural diversity. With the installation of the wireless facility within an expanded penthouse, the Ashland Street Cinema's facade shall be upgraded to include a new parapet with different elevation heights. This facade improvement attempts to meet a goal found in the Ashland Boulevard Corridor Standards.

- D. Adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property.

**Findings:** As stated earlier in this narrative, the proposed facility will not require water, or sewer. Ashland Street Cinema is located within an existing, fully developed retail center with a paved parking lot. Electricity, telecom, paved access to the lease area and storm drainage are available and adequate for AT&T's facility.

## CONCLUSION

AT&T requests conditional use and site review approval for a wireless installation involving an architectural upgrade of the existing penthouse and the front facade of the Ashland Cinema structure. Antennas will be mounted within the penthouse and not visible. Associated equipment shall be ground mounted along the west side facade of the structure visually buffered by a 9 foot tall CMU block wall and landscaping. AT&T is complying or will comply with the applicable standards found in the City of Ashland Land Use Ordinance. Therefore, conditional use and site review approval is warranted.

# Neighborhood Notice

# Affidavit of Publication

State of Oregon,            )  
  )  
County of Jackson        )

ss.

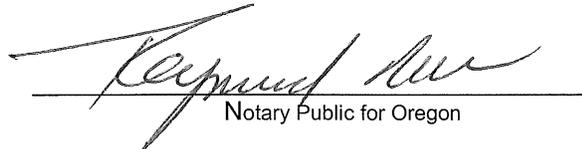
I, Cheryl A. Curtis, being first duly sworn, depose and say that I am the Principal Clerk of Medford Mail Tribune and /or Daily Tidings newspaper of general circulation, printed and published Medford in the aforesaid county and state; that the

Public Forum

a printed copy of which is hereto annexed, was published in the entire issue of said newspaper for 1 INsertion in the following issues:  
JULY 2, 2009

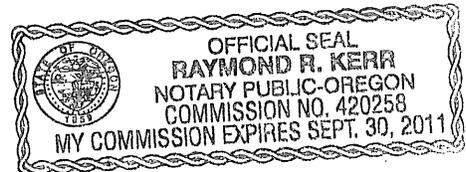


Subscribed and sworn to before me this 21 day of July, 2009.



Notary Public for Oregon

My Commission expires 30th day of September 2011.



**Public Forum**  
There will be a Neighborhood Meeting to discuss a design proposal for an AT&T Wireless Communication Rooftop Facility on Thursday, July 9, 2009 at 6:30 p.m. at the First Presbyterian Church of Ashland, Oregon, located at 1615 Clark Avenue (NE Corner of Siskiyou Boulevard and Walker Road,) Ashland Oregon 97520, (541) 482-3536. This neighborhood meeting will allow residences to comment and to address any concerns with AT&T's design proposal located on the rooftop of the Ashland Street Cinema, 1644 Ashland Street, Ashland, Oregon 97520. Any questions or comments, please call Kevin S. Provance, Principal Planner for Goodman Networks at (503) 367-5577.  
July 2, 2009

1  
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 MEDFORD, OR 97501-0299

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022766	7/02/09	
6 TERMS OF PAYMT	7 ACCOUNT TYPE	8 ADVERTISER #
	LEGAL	710427

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7/02	468802	PUBLIC FORUMTHE DT		2.90	I			35.18
<div style="font-size: 4em; opacity: 0.5; transform: rotate(-15deg); position: absolute; top: 50%; left: 50%;">PAID</div> <div style="font-size: 2em; opacity: 0.5; transform: rotate(-15deg); position: absolute; top: 50%; left: 50%;">By Kevin S. Prosser</div>								
<div style="font-size: 1.5em; opacity: 0.5; position: absolute; bottom: 20px; right: 20px;">No payment is due at this time</div>								

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OVER 120	OVER 90	OVER 60	OVER 30	CURRENT		
						35.18

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 BEGINNING 30 DAYS FROM DATE OF THIS INVOICE.  
 ALL ACCOUNTS ARE DUE AND PAYABLE ON THE 10TH OF THE MONTH FOLLOWING DATE OF STATEMENT

MD 01

**Grove, Sandra**

---

**From:** Legals Mail Tribune [legals@mailtribune.com]  
**Sent:** Monday, August 31, 2009 4:34 PM  
**To:** ksplanner@comcast.net  
**Cc:** Grove, Sandra  
**Subject:** Re: Public Notice for Ashland Daily Tidings

Hi Kevin and Sandra,

I'm confirming this will run in the Ashland Daily Tidings on the requested date of Tuesday, September 8. The ad number is 619785, and the total cost charged to your card will be \$43.67.

An affidavit of publication will arrive within 2-3 weeks. Please contact me if you need anything else.

Thanks,

Nick Morgan  
Classified/Legals Consultant  
Southern Oregon Media Group

The Mail Tribune/Ashland Daily Tidings  
111 North Fir Street  
Medford, Oregon 97501  
Toll Free: 800-366-2527  
Local: 541-482-3456 Extension 231\*  
Fax: 541-482-3688\*  
Email: [legals@mailtribune.com](mailto:legals@mailtribune.com)

\*Please note that my contact information has changed. Effective January 2, 2009, I am handling legal notices for both the Mail Tribune and Ashland Daily Tidings from the Ashland Tidings branch.

----- Original Message -----

**From:** [ksplanner@comcast.net](mailto:ksplanner@comcast.net)  
**To:** [legals@mailtribune.com](mailto:legals@mailtribune.com)  
**Cc:** [sgrove@goodmannetworks.com](mailto:sgrove@goodmannetworks.com) ; [pikesalabreah@yahoo.com](mailto:pikesalabreah@yahoo.com)  
**Sent:** Monday, August 31, 2009 9:13 AM  
**Subject:** Re: Public Notice for Ashland Daily Tidings

Nick,

I will send you the AD Blurb as a cut and paste to this email.

The Ad Blurb shall read as follows:

Public Forum

There will be a second neighborhood meeting to discuss a design proposal for an AT&T Wireless Communication Rooftop/Façade Facility on Tuesday, September 22, 2009 at 6:30pm at the First Presbyterian Church of Ashland, Oregon, located at 1615 Clark Avenue (NE Corner of Siskiyou Boulevard and Walker Road), Ashland, Oregon 97520, (541) 482-3536. This neighborhood meeting will allow residences to comment and to address any concerns regarding AT&T's design proposal located on the rooftop/façade of the Ashland Street Cinema, 1644 Ashland Street, Ashland, Oregon 97520. Any questions or comments, please call Breah

Pike-Salas, Senior Planner for Goodman Networks at 503-260-5440 or email at [pikesalasbreah@yahoo.com](mailto:pikesalasbreah@yahoo.com).  
Note: Goodman Networks will review all materials sent to property and business owners at the meeting.

Please contact Sandra Grove, Project Manager at 214-287-9517,  
[sgrove@goodmannetworks.com](mailto:sgrove@goodmannetworks.com) for payment arrangements and proof of publication receipt.

Thanks Nick!

Kevin S. Provance  
503-367-5577

----- Original Message -----

From: [ksplanner@comcast.net](mailto:ksplanner@comcast.net)

To: [legals@mailtribune.com](mailto:legals@mailtribune.com)

Cc: [sgrove@goodmannetworks.com](mailto:sgrove@goodmannetworks.com), [pikesalasbreah@yahoo.com](mailto:pikesalasbreah@yahoo.com)

Sent: Sunday, August 30, 2009 11:46:13 PM GMT -08:00 US/Canada Pacific

Subject: Public Notice for Ashland Daily Tidings

Nick Morgan,

Could you please place an advertisement for Public Notice in the Ashland Daily Tidings. AT&T is holding another neighborhood meeting for its proposal for a wireless communication facility at the Ashland Street Cinema. Please see the attached AD Blurb for publication. We would like this advertisement to be published for one day only on Tuesday, September 8, 2009. Please send receipt of payment and proof of publication at your earliest convenience.

Please contact Sandra Grove, Project Manager for Goodman Networks at 214-287-9517 for payment arrangements. I thank you in advance for your time and consideration regarding our request.

Best Regards,

KSP

Kevin S. Provance  
503-367-5577



7360 SW Hunziker Street, Suite 206  
Portland, OR 97223  
Phone: (503) 367-5577  
Fax: (503)207-1737

September 8, 2009

Dear Residents & Business Owners:

AT&T Wireless would like to invite you to participate in a second neighborhood meeting to discuss AT&T's proposed wireless communication rooftop/facade facility for the Ashland Street Cinema. The neighborhood meeting will be held at 6:30pm on Tuesday, September 22, 2009 at the First Presbyterian Church of Ashland, 1615 Clark Avenue (NE Corner of Siskiyou Blvd. and Walker Rd.), Ashland, Oregon 97520, 541.482.3536. At the neighborhood meeting, I will address any questions or concerns you may have regarding AT&T's proposal. I will have copies of our proposed design plans, photo simulations, and the radio transmission emissions report for your review at the meeting.

Pursuant to the City of Ashland's Municipal Code, Section AMC 18.72.180.B.10, it is AT&T's responsibility to notify property owners within a 300 foot radius of the proposed facility. However, AT&T has expanded this notification radius to 600 feet to encourage greater participation from the neighbors about the proposal. The property is owned by Michael D. & Beverly A. Rydbom. The parcel identification is 39S1E15AB6800.

The proposal includes expanding the existing parapet wall on the front facade of the Ashland Street Cinema to hold the proposed antennas. Radio equipment is to be ground mounted within three overflow parking spaces along the west side facade of the cinema building. The equipment will be buffered from neighboring views with a 6 foot tall cedar wood fence, as well as landscaped along the front.

If you have any questions or concerns, please do not hesitate to contact me at 503.260.5440, or pikesalasbreah@yahoo.com. Attached to this notification are the design plans, photo simulations and the radio transmission emissions report for your preliminary review. Thank you for your time and consideration regarding our proposal.

Sincerely,

Breah D. Pike-Salas  
Sr. Planner  
Goodman Networks, Inc.  
503.260.5440



7360 SW Hunziker Street, Suite 206  
Portland, OR 97223  
Phone: (503) 367-5577  
Fax: (503)639-3159

July 2, 2009

Dear Residents & Business Members:

AT&T Wireless would like to invite you to participate in a neighborhood meeting to discuss AT&T's proposed wireless communication rooftop facility for the Ashland Street Cinema. The neighborhood meeting will be held at 6:30pm on Thursday, July 9, 2009, at the First Presbyterian Church of Ashland, 1615 Clark Avenue (NE Corner of Siskiyou Boulevard and Walker Road), Ashland, Oregon 97520. At the neighborhood meeting, I will address any questions or concerns you may have regarding AT&T's proposal. I will have copies of our proposed design plans and photo simulations for your review at the meeting.

Pursuant to the City of Ashland's Municipal Code, Section AMC 18.72.180.B.10, it is AT&T's responsibility to notify all residents and business members with a 300 foot radius of the proposed facility. The proposed location of the wireless communication rooftop facility is to be located on the rooftop, and within the façade, of the Ashland Street Cinema, 1644 Ashland Street, Ashland, Oregon 97520. The property is owned by Michael D. & Beverly A. Rydbom. The parcel identification is 39S1E15AB6800.

As for our proposal, we are proposing to construct a rooftop/façade extension in the front of the Ashland Street Cinema that will contain our transmitting and receiving antennas. As for the equipment, we are proposing to locate it within three existing spaces of the overflow parking lot located on the west side of the cinema. The equipment will be buffered with a 6 foot cedar fence and with proposed landscaping in the front of the compound.

If you have any questions or comments, please call me directly at (503) 367-5577 or email me at [kprovance@goodmannetworks.com](mailto:kprovance@goodmannetworks.com). If you would like preview copies of the plans and photo simulations of our design, please email me at same address [kprovance@goodmannetworks.com](mailto:kprovance@goodmannetworks.com). I thank you for your time and consideration regarding our invitation.

Sincerely,

Kevin S. Provance  
Principal Planner  
Goodman Networks, Inc.  
503-367-5577

**Public Forum**

There will be a Neighborhood Meeting to discuss a design proposal for an AT&T Wireless Communication Rooftop Facility on Thursday, July 9, 2009 at 8:30 p.m. at the First Presbyterian Church of Ashland, Oregon, located at 4615 Clark Avenue (NE Corner of Sleazy Boulevard and Walker Road,) Ashland, Oregon 97520, (541) 482-3536. This neighborhood meeting will allow residences to comment and to address any concerns with AT&T's design proposal located on the rooftop of the Ashland Sircel Cinema, 1044 Ashland Street, Ashland, Oregon 97520. Any questions or comments, please call Kevin S. Provance, Principal Planner for Goodman Networks at (503) 367-5577.

*RAN IN ASHLAND DAILY TIDINGS*

July 2, 2009

**MAIL TRIBUNE RECEIPT**

**Receipt No:**

Customer: GOODMAN NETWORKS Ad Number: 614861  
Sys No: 12652 Acct No: 710427 Phone: 5033675577  
Insertion: Start\_Date - 07/02/2009 End\_Date - 07/02/2009

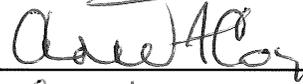
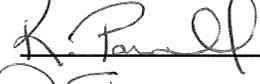
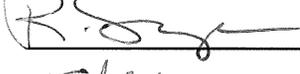
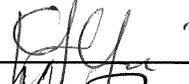
Class: 0817; LEGALS\_DT Size: 1 x 29.00

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Net Price: 35.18 Payment Method: BI Check No: 0  
Amount Paid: 0 Amount Owed: 35.18  
Credit Card:

Printed By: MMTMORGAN Date: 07/08/2009



July 9, 2009, 6:30 pm Ashland South Neighborhood Meeting  
 First Presbyterian Church of Ashland - Calvin Hall, 1615 Clark Avenue, Ashland, Oregon (541) 482-3536

<u>Name (print)</u>	<u>Signature</u>	<u>Address</u>
1. <u>Kevin S. Peoumco</u>		<u>7360 SW Hunziker St, Suite 206, Portland, OR 97223</u>
2. <u>Anne F. Coyle</u>		<u>1946 Ashland St. Ashland 97520</u>
3. <u>LUISA A. SPADIN</u>		<u>145 Sevinc dr Ashland 97520</u>
4. <u>KAREN PARVELL</u>		<u>8048 ASAX Ave, White City 97503</u>
5. <u>Ramona Savage</u>		<u>579 Lit way Ashland or 97520</u>
6. <u>Katie Yasui</u>		<u>1731 Ashland St Ashland or 97520</u>
7. <u>Hannah Guzik</u>		<u>Daily Tidings</u>
8. <u>ARK + Kathleen Magnuson</u>		<u>599 Lit Way 97520</u>
9. <u>KEN BROWN</u>		<u>595 LIT WAY, ASHLAND</u>
10. <u>Guy Nutter</u>		<u>1037 Pinecrest Terr Ashld 97520</u>
11. _____	_____	_____
12. _____	_____	_____
13. _____	_____	_____
14. _____	_____	_____
15. _____	_____	_____
16. _____	_____	_____
17. _____	_____	_____

391E10CD 4200  
OREGON STATE OF  
1250 SISKIYOU BLVD  
ASHLAND, OR 97520

391E10DC 1500  
GIBBS MARCIA HELEN  
227 BRANICIFORTE  
SANTA CRUZ, CA 95062

391E10DC 3300  
SHEIL PETER M/SHEIL JESSICA A  
465 RAY LN  
ASHLAND, OR 97520

391E10DC 3600  
POWELL JAY B  
495 RAY LN  
ASHLAND, OR 97520

391E10DC 4000  
YASUI DARYL TRUSTEE ET AL  
165 EVENBROOK DR  
MEDFORD, OR 97504

391E10DC 4300  
WAYMIRE STACY RYAN  
1070 GREENMEADOWS WAY  
ASHLAND, OR 97520

391E10DC 4600  
WOLFF SHANNON  
450 LIT WAY  
ASHLAND, OR 97520

391E10DC 5300  
PARSONS DOROTHY M TRUSTEE ET  
AL  
1715 PARKER ST  
ASHLAND, OR 97520

391E10DC 7000  
LOCKLIN PAUL TRUSTEE ET AL  
1350 NEVADA ST  
ASHLAND, OR 97520

391E10DC 7401  
ALSING ALLEN A TRUSTEE ET AL  
970 WALKER AVE  
ASHLAND, OR 97520

391E10DC 1200  
LITWILLER-SIMONSEN FUNERAL  
SERVICES INC  
15005 CARRY BACK DR  
NORTH POTOMAC, MD 20878

391E10DC 1600  
SARR DANIEL A/O'NEILL JOCELYN  
478 RAY LN  
ASHLAND, OR 97520

391E10DC 3400  
WIMBERLEY JOHN M/TERESA H  
475 RAY LN  
ASHLAND, OR 97520

391E10DC 3700  
HUANG TOM CAN/FENG LUN MAI  
1757 HWY 66  
ASHLAND, OR 97520

391E10DC 4100  
KANNASTO HARRY R  
239 15TH ST  
SANTA MONICA, CA 90402

391E10DC 4400  
DANIELSON DARCY M  
474 LIT WAY  
ASHLAND, OR 97520

391E10DC 4700  
KNEPPER SCOTT LEE  
P O BOX 5171  
PORTLAND, OR 97208

391E10DC 5400  
KOLAND THOMAS L TRUSTEE ET AL  
439 LIT WAY  
ASHLAND, OR 97520

391E10DC 7100  
KING JEFFREY/SUSAN MARSDEN  
1617 PARKER ST  
ASHLAND, OR 97520

391E10DC 7500  
WHITEHURST DAVID KENT  
82 EMERICK ST  
ASHLAND, OR 97520

391E10DC 1400  
WATSON JAMES R/SUSAN E  
515 GUTHRIE  
ASHLAND, OR 97520

391E10DC 3200  
GREER KATHLEEN SETSUKO  
TRUSTEE ET AL  
457 RAY LN  
ASHLAND, OR 97520

391E10DC 3500  
DEVALIN ELISABETH J  
483 RAY LANE  
ASHLAND, OR 97520

391E10DC 3900  
BENDER STEPHEN J/KATHLEEN F  
1745 ASHLAND ST  
ASHLAND, OR 97520

391E10DC 4200  
BRANDY TIMOTHY JOHN ET AL  
490 LIT WAY  
ASHLAND, OR 97520

391E10DC 4500  
BOGLE J ADAM/SOPHIA  
464 LIT WAY  
ASHLAND, OR 97520

391E10DC 4800  
KILLEEN TONYA L  
444 LIT WAY  
ASHLAND, OR 97520

391E10DC 6900  
VEZIE RICHARD L/GAYLE E  
446 WALKER AVE  
ASHLAND, OR 97520

391E10DC 7200  
ALSING ALLEN A TRUSTEE ET AL  
970 WALKER  
ASHLAND, OR 97520

391E10DC 7600  
WHITEHURST DAVID  
88 THEO DR  
TALENT, OR 97540

391E10DC 7700  
BAILEY RALPH D II  
1665 PARKER ST  
ASHLAND, OR 97520

391E10DC 7800  
VOS GRETCHEN ET AL  
1673 PARKER ST  
ASHLAND, OR 97520

391E10DC 7801  
YONDORF MICHAEL R ET AL  
195 GRANDVIEW DR  
ASHLAND, OR 97520

391E10DC 7900  
VAN DE VELDE CLAZINA  
1691 PARKER ST  
ASHLAND, OR 97520

391E10DC 8000  
MAC GRAW GARY/LAURIE  
423 LIT WAY  
ASHLAND, OR 97520

391E10DC 8200  
PETERSON JULIE R  
1708 PARKER ST  
ASHLAND, OR 97520

391E10DC 8201  
HEMMERLING R TROY/AUER GINNY  
1716 PARKER ST  
ASHLAND, OR 97520

391E10DC 8300  
STAFFORD CHARLES JEFFREY  
477 LIT WAY  
ASHLAND, OR 97520

391E10DC 8400  
BORICH PAMELA MAY/STEVEN JOHN  
PO BOX 3478  
ASHLAND, OR 97520

391E10DC 8500  
FIRST CH/CHRIST SCIENTIST  
1045 TERRA  
ASHLAND, OR 97520

391E10DC 8700  
MEYER KIRT ET AL  
678 PARK ST  
ASHLAND, OR 97520

391E10DC 8800  
SWEET PROPERTIES LLC  
1135 REITEN DR  
ASHLAND, OR 97520

391E10DC 8900  
A DOGS LIFE LLC  
4840 HWY 66  
ASHLAND, OR 97520

391E10DC 9201  
MEYER KIRT ET AL  
678 PARK ST  
ASHLAND, OR 97520

391E10DC 9202  
FIRST CHURCH OF CHRIST  
P O BOX 536  
ASHLAND, OR 97520

391E10DC 9300  
SHIELDS MARY E  
526 WHITNEY TERR  
MEDFORD, OR 97504

391E10DC 9400  
JIMENEZ SUSAN  
1221 STRATFORD LN  
SAN DIMAS, CA 91773

391E10DC 9500  
HENTY KEITH K  
1680 PARKER ST  
ASHLAND, OR 97520

391E10DC 9600  
LOCKE RAYMOND L TRUSTEE  
1521 E MAIN ST  
ASHLAND, OR 97520

391E10DC 9700  
TOSO JOHN TRUSTEE ET AL  
1660 PARKER ST  
ASHLAND, OR 97520

391E10DC 9800  
1644 PARKER STREET LLC  
1660 PARKER ST  
ASHLAND, OR 97520

391E10DC 9900  
BEVERIDGE SCOTT M  
1640 PARKER ST  
ASHLAND, OR 97520

391E10DC 10000  
BLAZEJ LUCIAN R TRUSTEE ET AL  
50 LAIDLEY ST  
SAN FRANCISCO, CA 94131

391E10DC 10100  
LUDWIG ROBERT F  
175 PILOT VIEW RD  
ASHLAND, OR 97520

391E10DC 10200  
WEBER PAMELA K  
472 WALKER AVE  
ASHLAND, OR 97520

391E10DC 10300  
DELUCA RONALD L TRUSTEE  
1665 SISKIYOU BLVD 102  
ASHLAND, OR 97520

391E10DC 10400  
LIGON WILLIAM C/JANET  
P O BOX 3534  
ASHLAND, OR 97520

391E10DC 10500  
FIRST FEDERAL S/L ASSN  
111 N WALL ST  
SPOKANE, WA 99201

391E10DD 2100  
LITWILLER-SIMONSEN FUNERAL  
SERVICES INC  
15005 CARRY BACK DR  
NORTH POTOMAC, MD 20878

391E15AB 100  
HILLENGA MIKE E TRUSTEE  
P O BOX 435  
ASHLAND, OR 97520

391E15AB 200  
FASHIONS FOR WINDOWS AND  
1796 ASHLAND ST  
ASHLAND, OR 97520

391E15AB 500  
TRESSER BENJAMIN I/SARI R  
3475 SPRINGHILL RD  
LAFAYETTE, CA 94549

391E15AB 800  
SILBIGER RUSSELL TRSTEE FBO  
562 RAY LN  
ASHLAND, OR 97520

391E15AB 1100  
FIRE BAPTIZED HOLINESS CH  
47165 WESTFIR RD  
WESTFIR, OR 97492

391E15AB 1400  
WELSH CLARA A  
600 RAY LN  
ASHLAND, OR 97520

391E15AB 1700  
SMITH RUTH  
623 NORMAL AVE  
ASHLAND, OR 97520

391E15AB 2000  
GRAY ALBERT F/RUGGLES COLLEEN  
M  
1015 MARY JANE AVE  
ASHLAND, OR 97520

391E15AB 2300  
MOORE WARREN/ADAIRE  
679 LIT WAY  
ASHLAND, OR 97520

391E15AB 2700  
MAJESKI EUGENE L/SYL ZUCKER  
667 NORMAL AVENUE  
ASHLAND, OR 97520

391E15AB 3400  
VILLEGAS PETER E/ANNELIESE  
1705 HARMONY CIR  
ASHLAND, OR 97520

391E15AB 300  
BERMAN AL/SANDRA (LE)  
162 PIONEER  
ASHLAND, OR 97520

391E15AB 600  
FIRE BAPTIZED HOLINESS CH  
47165 WESTFIR RD  
WESTFIR, OR 97492

391E15AB 900  
FERGUSON C S/SCHROEDER P C  
572 RAY LN  
ASHLAND, OR 97520

391E15AB 1200  
BJORLIE JUDITH M  
597 NORMAL AVE  
ASHLAND, OR 97520

391E15AB 1500  
CROWLEY NANCY  
902 PATTON LN  
ASHLAND, OR 97520

391E15AB 1800  
CANTRELL CHARLES G/ETHEL M  
620 RAY LN  
ASHLAND, OR 97520

391E15AB 2100  
SCHWENDENER JUAN/MILDRED  
644 RAY LN  
ASHLAND, OR 97520

391E15AB 2400  
OSHIRO NORINE M/BIGELOW  
CHARLES G JR  
664 RAY LN  
ASHLAND, OR 97520

391E15AB 2800  
THOMPSON STEPHEN E  
PO BOX 999  
SISTERS, OR 97759

391E15AB 3500  
MARTIN MONICA  
1710 HARMONY CIRCLE  
ASHLAND, OR 97520

391E15AB 400  
SELBY DEE/SELBY BARBARA  
2590 HERITAGE WAY  
MEDFORD, OR 97501

391E15AB 700  
FIRE BAPTIZED HOLINESS CH  
47165 WESTFIR RD  
WESTFIR, OR 97492

391E15AB 1000  
MACHAK PAUL F  
580 RAY LN  
ASHLAND, OR 97520

391E15AB 1300  
GRAY ALBERT F TRUSTEE FBO  
1015 MARY JANE AVE  
ASHLAND, OR 97520

391E15AB 1600  
WEISS PHILIP  
659 LIBERTY ST  
ASHLAND, OR 97520

391E15AB 1900  
ALLEN DAVID S/DAWN A  
630 RAY  
ASHLAND, OR 97520

391E15AB 2200  
SCHWENDENER MILDRED  
644 RAY LN  
ASHLAND, OR 97520

391E15AB 2500  
SO ORE TRAINING/REHAB  
P O BOX 386  
ASHLAND, OR 97520

391E15AB 2900  
KESLER MARK A/PATRICIA C  
701 NORMAL AVE  
ASHLAND, OR 97520

391E15AB 3601  
MC CAMEY ROBERT C  
732 FAITH AVE  
ASHLAND, OR 97520

391E15AB 3701  
BJAZEVIC DEBBIE ANN  
2305 ASHLAND ST SUITE C  
ASHLAND, OR 97520

391E15AB 3702  
TENSEGRITY LLC  
1701 SISKIYOU BLVD 2  
ASHLAND, OR 97520

391E15AB 3703  
HOLMES STEPHEN R/RUBY N  
3920 CORONADO WAY  
KLAMATH FALLS, OR 97603

391E15AB 3800  
CIATTI KIM E  
641 RAY LN  
ASHLAND, OR 97520

391E15AB 3900  
RUPP WILLIAM D TRUSTEE FBO  
938 CYPRESS POINT LOOP  
ASHLAND, OR 97520

391E15AB 4100  
WATKINS WILLIAM J  
3221 N 37TH ST 7  
PHOENIX, AZ 85018

391E15AB 4200  
NUTTER GUY B  
1037 PINECREST TERRACE  
ASHLAND, OR 97520

391E15AB 4300  
LE LACHEUR THOMAS F/LINDA  
1748 JOY AVE  
ASHLAND, OR 97520

391E15AB 4400  
HOCH RICHMOND J TRUSTEE ET AL  
1985 CAMPTON RD  
EUREKA, CA 95503

391E15AB 4500  
STILLMAN GERALD T TRUSTEE ET  
AL  
3801 ROSEHEDGE DR  
FULLERTON, CA 92835

391E15AB 4600  
BAXTER JOHN R  
595 RAY LN  
ASHLAND, OR 97520

391E15AB 4700  
MASON ANDREA R ET AL  
6625 WISTERIA PL  
BEAVERTON, OR 97008

391E15AB 4800  
COLLVER IVAN/VICTORIANNA  
565 RAY LN  
ASHLAND, OR 97520

391E15AB 4900  
CROUCH ROI  
555 RAY LANE  
ASHLAND, OR 97520

391E15AB 5000  
HEASLET JOHN/ANETTE  
1756 ASHLAND ST  
ASHLAND, OR 97520

391E15AB 5100  
SPADINI LUISA ANNA ET AL  
145 SCENIC DR  
ASHLAND, OR 97520

391E15AB 5101  
HURD JOHN P TRUSTEE FBO  
7314 JEWETT RD  
CLINTON, WA 98236

391E15AB 5200  
YOUNG MICHAEL D/GEORGIA B  
574 LIT WAY  
ASHLAND, OR 97520

391E15AB 5300  
KAHN DANIEL A TRUSTEE ET AL  
237 GRANITE ST  
ASHLAND, OR 97520

391E15AB 5400  
BOHN ERMA TRUSTEE ET AL  
594 LIT WAY  
ASHLAND, OR 97520

391E15AB 5500  
BANKE THEODORE H/LOIS E  
598 LIT WAY  
ASHLAND, OR 97520

391E15AB 5600  
MAGNUSON ARVID R TRUSTEE ET  
AL  
PO BOX 1044  
YREKA, CA 96097

391E15AB 5700  
BROWN KENNETH R  
595 LIT WAY  
ASHLAND, OR 97520

391E15AB 5800  
STAVROS ELMA E  
585 LIT WAY  
ASHLAND, OR 97520

391E15AB 5900  
GORMAN JOHN/SAUVAGE RAMONA  
PO BOX 1959  
EASTSOUND, WA 98245

391E15AB 6000  
555 LIT WAY LLC  
PO BOX 3555  
ASHLAND, OR 97520

391E15AB 6100  
BERMAN MITCHELL  
162 N PIONEER ST  
ASHLAND, OR 97520

391E15AB 6200  
RYDBOM MICHAEL D/BEVERLY A  
PO BOX 3030  
ASHLAND, OR 97520

391E15AB 6600  
MEDFORD PROPERTIES INC  
PO BOX 43  
MEDFORD, OR 97501

391E15AB 6700  
ALBERT MELISSA BETH  
1565 SISKIYOU BLVD 39  
ASHLAND, OR 97520

391E15AB 6700  
BARTELL ALDA  
PO BOX 1191  
ASHLAND, OR 97520

391E15AB 6700  
CULLUMBINE JUSTIN JEREMY  
PO BOX 3022  
ASHLAND, OR 97520

391E15AB 6700  
DE LUCA RONALD L  
1665 SISKIYOU BLVD STE 102  
ASHLAND, OR 97520

391E15AB 6700  
DE LUCA RONALD L  
1665 SISKIYOU BLVD 102  
ASHLAND, OR 97520

391E15AB 6700  
DE LUCA RONALD LEWIS/KRISTY  
GABRIELLA  
228 MORNINGLIGHT DR  
ASHLAND, OR 97520

391E15AB 6700  
DELUCA RONALD LEWIS  
1665 SISKIYOU BLVD 102  
ASHLAND, OR 97520

391E15AB 6700  
DELUCA RONALD TRUSTEE  
1665 SISKIYOU BLVD 102  
ASHLAND, OR 97520

391E15AB 6700  
EDMANDS GARRETT P  
1565 SISKIYOU BLVD 10  
ASHLAND, OR 97520

391E15AB 6700  
EDWARDS MARK  
1565 SISKIYOU BLVD 11  
ASHLAND, OR 97520

391E15AB 6700  
EDWARDS MARK R  
1565 SISKIYOU BLVD 11  
ASHLAND, OR 97520

391E15AB 6700  
EDWARDS OREN RALPH III  
1565 SISKIYOU BLVD 32  
ASHLAND, OR 97520

391E15AB 6700  
FRANKLIN MC KENZIE  
1565 SISKIYOU BLVD 24  
ASHLAND, OR 97520

391E15AB 6700  
GOINES LAWRENCE BURCH/LINDA  
JOYCE  
1565 SISKIYOU BLVD 15  
ASHLAND, OR 97520

391E15AB 6700  
GREENBURG ROSE MARIE  
P O BOX 1226  
ASHLAND, OR 97520

391E15AB 6700  
GUITRON-MORA CARLOS  
1565 SISKIYOU BLVD 33  
ASHLAND, OR 97520

391E15AB 6700  
HARMON PAUL MARTIN  
1565 SISKIYOU BLVD 31  
ASHLAND, OR 97520

391E15AB 6700  
KEENAN DARBY ELLEN  
1565 SISKIYOU BLVD 13  
ASHLAND, OR 97520

391E15AB 6700  
MAYFIELD GERALD DUANE  
1565 SISKIYOU BLVD 25  
ASHLAND, OR 97520

391E15AB 6700  
MEYERS SCOTT D ESTATE OF  
720 GROVER ST  
ASHLAND, OR 97520

391E15AB 6700  
MINTON CHRISTINE H  
1565 SISKIYOU BLVD 19  
ASHLAND, OR 97520

391E15AB 6700  
MORA-OLIVARES MARIA DE JESUS  
1565 SISKIYOU BLVD 40  
ASHLAND, OR 97520

391E15AB 6700  
PIDGEON JOHN A JR/JESSICA  
1565 SISKIYOU BLVD 43  
ASHLAND, OR 97520

391E15AB 6700  
PRINCE DANNY JOE  
1565 SISKIYOU BLVD 36  
ASHLAND, OR 97520

391E15AB 6700  
QUINCE PETER LEE  
1565 SISKIYOU BLVD 35  
ASHLAND, OR 97520

391E15AB 6700  
REYES-RODRIGUEZ FAUSTO  
1565 SISKIYOU BLVD 46  
ASHLAND, OR 97520

391E15AB 6700  
SWISS CAROL ANN  
1565 SISKIYOU BLVD 50  
ASHLAND, OR 97520

391E15AB 6700  
TAGUI-BINZHA GILBERTO  
1565 SISKIYOU BLVD 49  
ASHLAND, OR 97520

391E15AB 6700  
TAGUI-BINZHA YOLANDA  
1565 SISKIYOU BLVD 48  
ASHLAND, OR 97520

391E15AB 6700  
URRUTIA-DIAZ BRIGIDO  
1565 SISKIYOU BLVD 37  
ASHLAND, OR 97520

391E15AB 6700  
URRUTIA-DIAZ MIGUEL  
1565 SISKIYOU BLVD 16  
ASHLAND, OR 97520

391E15AB 6700  
URRUTIA-DIAZ MIGUEL  
1565 SISKIYOU BLVD 30  
ASHLAND, OR 97520

391E15AB 6700  
WHITE NOEL  
1565 SISKIYOU BLVD 41  
ASHLAND, OR 97520

391E15AB 6700  
WILLIAMS BARBARA  
1565 SISKIYOU BLVD 52  
ASHLAND, OR 97520

391E15AB 6800  
RYDBOM MICHAEL D/BEVERLY A  
P O BOX 3030  
ASHLAND, OR 97520

391E15AB 6801  
STALLCUP WALT ENTERPR INC  
PO BOX 4304  
MEDFORD, OR 97501

391E15AB 6803  
DE LUCA RONALD L  
1665 SISKIYOU BLVD STE 102  
ASHLAND, OR 97520

391E15AB 6900  
COOPER DENNIS K TRUSTEE  
1182 TIMBERLINE TERR  
ASHLAND, OR 97520

391E15AB 7000  
DAVILL INC  
PO BOX 1108  
MEDFORD, OR 97501

391E15AB 7100  
DELUCA RONALD L TRUSTEE  
1665 SISKIYOU BLVD 102  
ASHLAND, OR 97520

391E15AB 7300  
1651 SISKIYOU BOULEVARD LLC  
1651 SISKIYOU BLVD  
ASHLAND, OR 97520

391E15AB 7500  
MILLER NORMAN T TRUSTEE  
625 LIT WAY  
ASHLAND, OR 97520

391E15AB 7702  
KANCHANAKASETT P TRSTEE FBO  
645 LIT WAY  
ASHLAND, OR 97520

391E15AB 7703  
KANCHANAKASET PIENGCHIT  
645 LIT WAY  
ASHLAND, OR 97520

391E15AB 7704  
KANCHANAKASET PIENGCHIT  
TRUSTEE ET AL  
645 LIT WAY  
ASHLAND, OR 97520

391E15AB 7801  
KANCHANAKASET PIENGCHIT  
645 LIT WAY  
ASHLAND, OR 97520

391E15AB 7900  
KANCHANAKASETT P TRSTEE FBO  
645 LIT WAY  
ASHLAND, OR 97520

391E15AB 8001  
KANCHANAKASET PIENGCHIT  
645 LIT WAY  
ASHLAND, OR 97520

391E15AB 8100  
IRELAND MARIE M TRUSTEE FBO  
610 E MAIN ST  
MEDFORD, OR 97504

391E15AB 8101  
A & L RENTALS LLC  
1668 SISKIYOU BLVD  
ASHLAND, OR 97520

391E15AB 8200  
WONG TUNG BALL/SHARON  
1147 PARK ST  
ASHLAND, OR 97520

391E15AB 8202  
A & L RENTALS LLC  
1668 SISKIYOU BLVD  
ASHLAND, OR 97520

391E15AB 8300  
KELLY MARK A TRUSTEE ET AL  
1630 SISKIYOU BLVD  
ASHLAND, OR 97520

391E15AB 8302  
GREENE DON L TRUSTEE ET AL  
PO BOX 516  
ASHLAND, OR 97520

391E15AB 8303  
GREENE DON L TRUSTEE ET AL  
PO BOX 516  
ASHLAND, OR 97520

391E15AB 8304  
KELLY MARK A TRUSTEE ET AL  
1630 SISKIYOU BLVD  
ASHLAND, OR 97520

391E15AB 8306  
NEWKIRK PROPERTIES LLC  
P O BOX 516  
ASHLAND, OR 97520

391E15AB 8400  
FIRST PRESBYTERIAN CH/ASH  
P O BOX 62  
ASHLAND, OR 97520

391E15AB 8500  
FIRST PRESBYTERIAN CH/ASH  
P O BOX 62  
ASHLAND, OR 97520

391E15AC 6300  
PARK  
, 0

391E15AC 8800  
MENDELSONH ALEXANDRA W  
740 WALKER AVE  
ASHLAND, OR 97520

391E15AC 8900  
MC HUGH BARBARA  
P O BOX 3364  
ASHLAND, OR 97520

391E15AC 9000  
MORLEY DANIEL LEE TRUSTEE ET  
AL  
428 SILVER CREEK DR  
CENTRAL POINT, OR 97502

391E15AC 9100  
ASHLAND SUPPORTIVE HOUSING  
AND COMMUNITY  
PO BOX 3536  
ASHLAND, OR 97520

391E15BA 100  
MEISTER'S BUY RITE INC  
870 CYPRESS POINT  
ASHLAND, OR 97520

391E15BA 200  
HAYS R W PROPERTIES LLC  
PO BOX 1220  
MEDFORD, OR 97501

391E15BA 300  
MEISTER RICHARD J  
870 CYPRESS POINT LOOP  
ASHLAND, OR 97520

391E15BA 400  
MEISTER'S BUY RITE INC  
870 CYPRESS POINT LOOP  
ASHLAND, OR 97520

391E15BA 4402  
PEOPLE'S BANK OF COMMERCE  
750 BIDDLE RD  
MEDFORD, OR 97504

391E15BA 4500  
GRACE EVANGELICAL LUTHERAN  
660 FRANCES  
ASHLAND, OR 97520

391E15BA 4600  
JANSEN LLC  
12042 SUNNYSIDE RD 442  
CLACKAMAS, OR 97015

391E15BA 4601  
BUTCHER ALBERT TRUSTEE  
1633 NEWCASTLE DR  
LOS ALTOS, CA 94024

391E15BA 4700  
NAMANNY LINDA J ET AL  
PO BOX 793  
ASHLAND, OR 97520

391E15BA 4800  
KUNKEL EILEEN  
725 WALKER AVE  
ASHLAND, OR 97520

391E15BA 4900  
LANDES JONATHAN  
796 LIBERTY ST  
ASHLAND, OR 97520

391E15BA 4901  
LANDES JONATHAN  
796 LIBERTY ST  
ASHLAND, OR 97520

391E15BA 5600  
DELUCA RONALD L TRUSTEE  
1665 SISKIYOU BLVD 102  
ASHLAND, OR 97520

Ashland Nails  
1644 #2 Ashland St.  
Ashland OR 97520

Ashland Pets  
1664 Ashland St.  
Ashland OR 97520

Ashland Bicycle Works  
Timothy J. Schurr  
1632 Ashland St.  
Ashland OR 97520

Bear Creek Lock  
Rocky Puderbaugh  
2420 Crater Lake Hwy.  
Medford OR 97504

BookWagon.com  
Carl Hilton  
1652 Ashland St.  
Ashland OR 97520

Coming Attractions Inc.  
1644 Ashland St.  
Ashland OR 97520

Flat Top Barbershop  
Mike C. Diaz  
1648 Ashland St.  
Ashland OR 97520

Deja Vu  
1644 #3 Ashland St.  
Ashland OR 97520

DHS Facilities  
Kellie Herrera  
500 Summer St. N.E. E 90  
Salem OR 97301-1115

DJ's Video  
Mr. Jerry Thompson  
1670 Ashland St.  
Ashland OR 97520

Dollar Tree Stores Inc.  
Department 300  
500 Volvo Parkway  
Chesapeake VA 23320

Double Deuce Deli  
PO Box 410  
Merlin OR 97532

Dutch Bros.  
Ty Sullivan  
201 Bateman Dr. #23  
Central Point OR 97502

Funagain Games  
1662 Ashland St.  
Ashland OR 97520

Hair It Is  
Jennice Dauenhauer  
1646 Ashland St.  
Ashland OR 97520

Happy Falafel  
1729 Siskiyou Blvd  
Ashland OR 97520

Henry's Laundromat  
Mr. Jim Jean  
2855 E Main St.  
Ashland OR 97520

Little Shop of Bagels  
Francesca Fericano  
1644 #5 Ashland St.  
Ashland OR 97520

Northwest Pizza Co.  
Heakyoungh Kwon  
393 Oxford St.  
Ashland OR 97520

Advanced Foto  
1678 Ashland St.  
Ashland OR 97520

Printfast  
Mr. Doug Carrico  
1700 Ashland St.  
Ashland OR 97520

Quiltz  
Debra E Barth  
1666 Ashland St.  
Ashland OR 97520

Senor Sams  
1634 Ashland St.  
Ashland OR 97520

Peoples Choice Accupuncture  
1664 B Ashland St.  
Ashland OR 97520

Radio Shack Corp Store 01-3776 Rent  
Accounting Mail Stop 5014  
PO Box 961090  
Fort Worth TX 76161-5014

Tan Ashland  
1680 Ashland St.  
Ashland OR 97520

Three Rivers Cuisine  
Hardip S Basra  
1640 Ashland St  
Ashland OR 97520

FAA

## Pike-Salas, Breah

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**From:** MISHLER, ANDY (ATTCINW) [AM2077@att.com]  
**Sent:** Monday, September 21, 2009 5:57 PM  
**To:** Pike-Salas, Breah  
**Subject:** RE: FAA for MD01 Ashland?

Hi Breah,

I've submitted the request for an FAA Determination, but we haven't received it yet. It generally takes 2-3 weeks to receive the final determination, so I'll keep you posted as I get any updates. Thanks!

Andy Mishler  
AT&T Mobility  
Compliance Coordinator-PNW  
Desk: 425-580-6648  
Mobile: 425-444-6968  
[am2077@att.com](mailto:am2077@att.com)

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**From:** Pike-Salas, Breah [mailto:[bpik-salas@goodmannetworks.com](mailto:bpik-salas@goodmannetworks.com)]  
**Sent:** Monday, September 21, 2009 9:49 AM  
**To:** MISHLER, ANDY (ATTCINW)  
**Subject:** FAA for MD01 Ashland?

Hi Andy, Can you help me w/ this? I need to have it asap for my submittal.

Thanks-  
Breah

Breah Pike-Salas  
Sr. Planner  
Goodman Networks, Inc.  
7360 SW Hunziker Street, Ste. 206  
Portland, Oregon 97223

Non-Ionizing  
Electromagnetic Exposure  
Analysis

**NON-IONIZING ELECTROMAGNETIC EXPOSURE ANALYSIS  
&  
ENGINEERING CERTIFICATION**



**SITE NUMBER: MD01)**

**SITE NAME: Ashland South**

**SITE ADDRESS: 1644 Ashland Street  
Ashland, OR 97520**

**DATE: September 4, 2009**

**PREPARED BY:**

**B. J. THOMAS, P.E.  
7607 80<sup>th</sup> Ave NE  
Marysville, WA 98270  
(206) 851-1106**

## PROJECT

The proposed AT&T project consists of a WCF (Wireless Communications Facility) located at 1644 Ashland Street, Ashland, OR 97520, Jackson County Tax Parcel 39S1E15AB-6800. The planned improvements include antennas mounted within a proposed penthouse on an existing building with supporting BTS (Base Transmission System) radio equipment located on the in a fenced lease area adjacent the building.

## EQUIPMENT

Type of Service: GSM 1900, UMTS 1900, GSM 850, GSM 1900

Antennas: Kathrein 800-10122 (2) per sector

Sectors: (3) (X = 7°, Y = 124°, Z = 252°)

Maximum Power: GSM 1900 - 625 w (57.96 dBm ERP)  
UMTS 1900 - 676 w (58.3 dBm ERP)  
GSM 850 - 459 w (56.62 dBm ERP)  
UMTS 850 - 459 w (56.62 dBm ERP)

Antenna Rad Center: 31.4' AGL

## CALCULATIONS

Calculations for RF power densities near ground level are based on the **“Evaluating Compliance with FCC Guidelines for Human Exposure to Radio Frequency Electromagnetic Fields OET Bulletin 65”** Edition 97-01, August 1997 issued by the Federal Communications Commission Office of Engineering & Technology.

Section 2 of **OET Bulletin 65** demonstrates that “for a truly worst-case prediction of power density at or near the surface, such as at ground-level or on a rooftop, 100% reflection of incoming radiation can be assumed, resulting in a potential doubling of predicted field strength and a four-fold increase in (far field equivalent) power density”. Therefore the following equation is used:

$$S = \text{EIRP} / \pi R^2$$

Where S = power density (mW/cm<sup>2</sup>), EIRP = equivalent isotropically radiated power and R = distance to the center of the radiation antenna (cm)

Attached as an exhibit are the MPE (Maximum Power Exposure) calculations using the above referenced formula and the antenna manufacturers vertical pattern information using a conservative 20 dB loss below main lobe. The calculations show that the maximum MPE at ground level (6' above AGL) at the base of the building and the power density is 0.01268 mW/cm<sup>2</sup> with power levels as provided by AT&T RF Data Sheet. This is 2.236% of the MPE limit for the general population/uncontrolled exposure of 0.567 mW/cm<sup>2</sup> as referenced in **Table I OET Bulletin 65 Appendix A** for the lowest frequency range.

## **ENVIRONMENTAL EVALUATION**

Routine environmental evaluation is required if a PCS broadband/cellular facility with building mounted antennas has a total power of all channels in any given sector greater than 2,000W ERP (PCS)/ 1,000W ERP (cellular) as referenced in "**Table 2 Transmitters, Facilities and Operations subject to Routine environmental Evaluation**" of **Bulletin 65**. For the proposed facility, the total power in any given sector is less than 2,000W ERP (PCS) & 1,000W (cellular); therefore, the WCF is categorically exempt from requirement for routine environmental processing.

## **FCC COMPLIANCE**

The general population/uncontrolled exposure near the building, including persons at ground level, surrounding properties, inside and on existing structures will have RF exposure much lower than the "worst case" scenario, which is a small fraction of the MPE limit.

Only trained persons will be allowed to access the rooftop for maintenance operations. AT&T and/or its contractors will provide training to make the employees fully aware of the potential for RF exposure occupational training and they can exercise control over their exposure that is within the occupational/controlled limits.

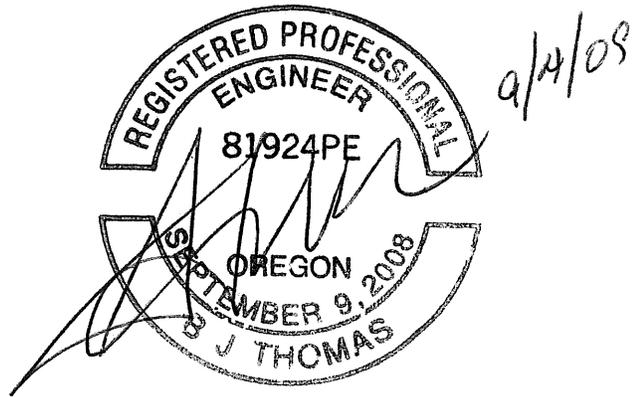
## **CONCLUSIONS**

Based on calculations, the proposed WCF will comply with current FCC and county guidelines for human exposure to radiofrequency electromagnetic fields.

All representations contained herein are true to the best of my knowledge.

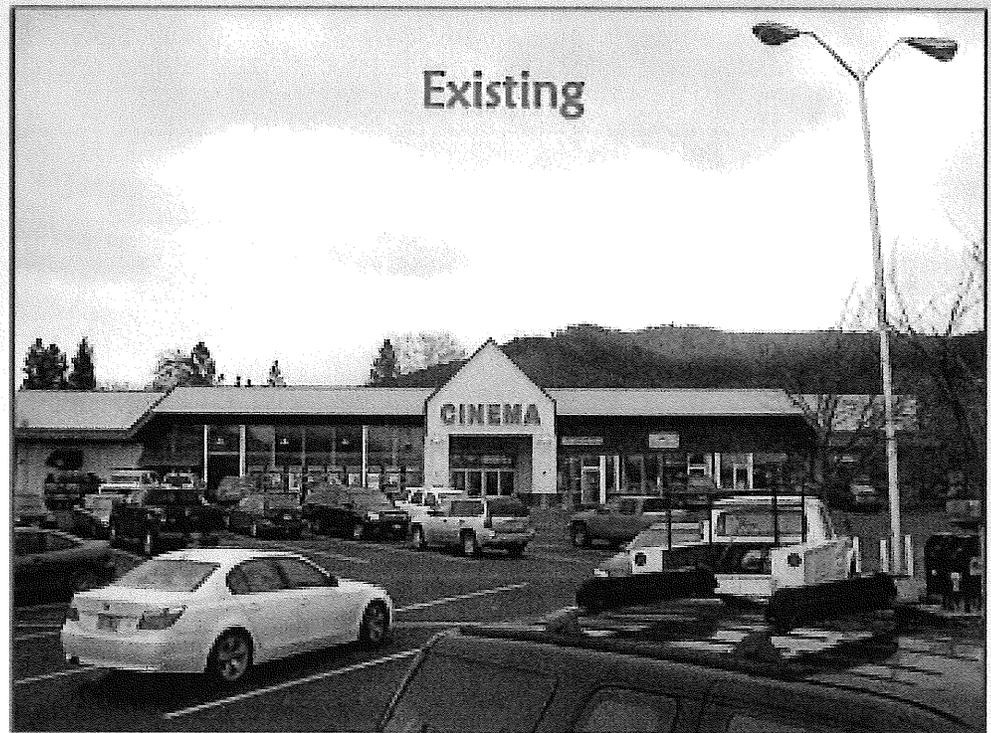
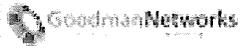
**EXIHIBITS**

- MPE Calculations
- RF Data Sheet
- Antenna Data Sheet
- WCF Location Map



# Photosims

# ASHLAND SOUTH



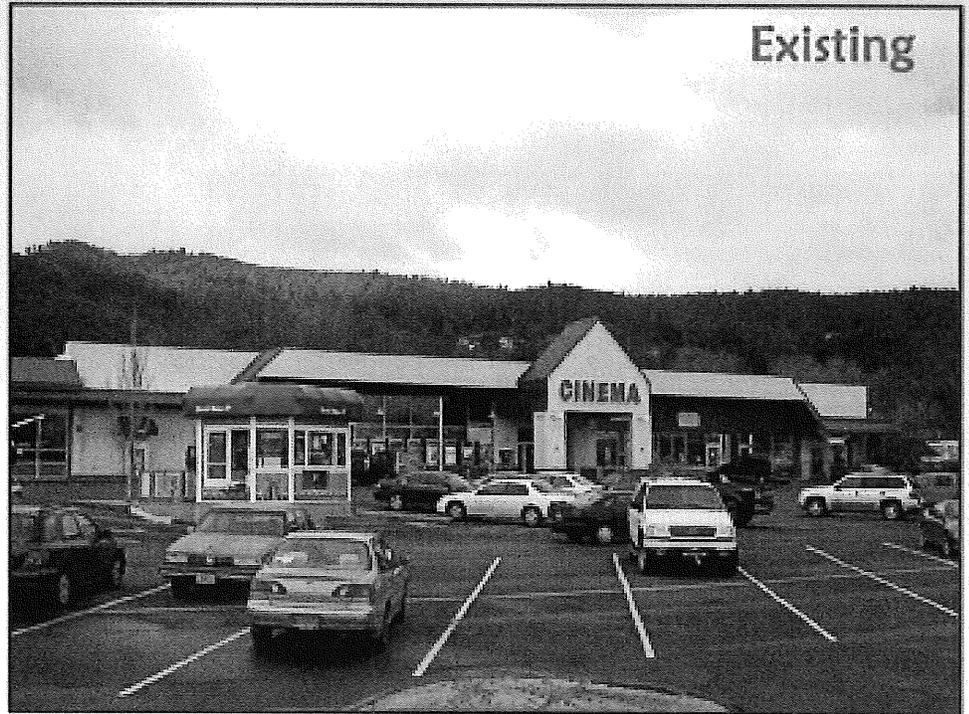
View from Parking Lot looking South

# ASHLAND SOUTH

Goodman Networks



Existing



Proposed



View from Parking Lot looking South and slightly Southwest

CSA Consulting Engineers, LLC

Pre-Application

May 13, 2009

2:00 PM on 5/13/09  
MDOI - Pre-Application Conference (Teleconference)

with Derek ~~Severson~~ Severson 541-552-2040

dereks@ashland.or.us

**The comments of this pre-app are preliminary in nature and subject to change based upon the submittal of additional or different information. The Planning Commission or City Council are the final decision making authority of the City, and are not bound by the comments made by the Staff as part of this pre-application.**

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ASHLAND PLANNING DEPARTMENT  
PRE-APPLICATION CONFERENCE  
COMMENT SHEET  
DATE: May 13, 2009

SITE: 1644 Ashland Street  
APPLICANT: AT&T Wireless  
REQUEST: Site Review/CUP - WCF

### GENERAL ORDINANCE INFORMATION

**ZONING:** C-1, Commercial District, also located within the Detail Site Review Zone and the Ashland Boulevard Corridor.

**LANDSCAPING REQUIREMENTS:** 15 percent. A site-, size-, and species- specific landscaping plan is required at time of formal application. Avoid using lawn. Provide irrigation system at the time of final submittal..

**SETBACKS:** While there are no standardized setback or yard requirements in the C-1 zoning district, wireless communications facilities have to be setback from any residential zone a distance equal to their overall height. The district boundaries for residential zones are lot lines and the centerlines of street and railroad rights-of-way. The facility needs to demonstrate compliance with these setback requirements in the application submittal.

**SIGNS:** Any signage requires a separate sign permit and must be in conformance with Chapter 18.96 of the Ashland Land Use Ordinance. Signage location and design must be shown on Site Review application submittals.

### PLANNING STAFF COMMENTS

As proposed, the WCF installation projects significantly beyond the roofline of the existing Ashland Street Cinema building, which runs counter to the Visual Impacts Design Standards found in AMC 18.72.180.C.4 and may also be an issue in terms of the Conditional Use Permit requirements for architectural compatibility in a Detail Site Review Zone. The application will need to speak directly to the impacts of the WCF installation on the existing building with specific focus upon the Detail Site Review Approval Standards and Additional Standards for Large Scale Projects. For example, does the addition of six "faux chimneys" adversely impact the way the building's mass relates to the human scale?

Ashland's Land Use Ordinance recognizes that WCF installations by nature have an impact that affects not only neighboring properties but the community as a whole, and our standards are

1644 Ashland St.  
May 13, 2009  
Page 1 of 10

accordingly intended to see that the visual and aesthetic impacts are mitigated to the greatest extent possible. To date, all WCF installations within the City of Ashland have been collocated and/or architecturally integrated into existing buildings. As proposed, with a significant projection beyond the roofline of an existing building, staff would anticipate some level of public opposition to the project during public hearings before the Planning Commission. Staff would thus advise the applicants to first exhaust all possibilities for collocation on existing WCF sites (such as the Ashland Springs Hotel and Holiday Inn Express) and then, if collocation proves impossible, to look at ways to better integrate the proposed installation into an existing structure.

**Required Public Meetings:** To potentially alleviate some anticipated public opposition, the applicants should begin the process of public meetings required in AMC 18.72.180 B.10. The final application submittal will need to include documentation that the applicants have held a local community meeting to inform members of the surrounding area of the proposed wireless communication facility. Documentation provided is to include:

- a. a copy of the mailing list to properties within 300' of the proposed facility.*
- b. a copy of the notice of community meeting, mailed one week prior to the meeting.*
- c. a copy of the newspaper ad placed in a local paper one week prior to the meeting.*
- d. a summary of issues raised during the meeting.*

**Procedurally:** A WCF application within the C-1 zoning district is subject to a Type II Conditional Use Permit process, and because the application also involves modifications to an existing building a Site Review approval is required to gauge how the proposed faux chimneys and associated equipment structure impact the existing building's ability to satisfy applicable approval criteria, such as the parking requirements, Detail Site Review Approval Standards, and Additional Standards for Large Scale Projects.

**Conditional Use Permit:** Conditional Use Permit approval requires a demonstration that the proposal conform with all applicable standards, that the proposal is similar in bulk and scale to the impact area, that it is architecturally compatible, and that it satisfies other factors found to be relevant by the Hearing Authority.

**Site Review:** Because the application involves an addition to the existing building and modifications to the approved parking configuration and site circulation, it is subject to Site Review approval and should address the applicable criteria for Basic, Detail and Large Scale Site Review in terms of the impact of the proposed modifications to the existing building's approval.

**Visual Impacts/Architectural Compatibility:** Antennas, when attached to a pre-existing building are to be integrated architecturally and to the greatest extent possible are not to exceed the height of the pre-existing building. The proposed projection above the existing parapet does not satisfy this standard for mitigating visual impacts, and may be a concern to commissioners, neighbors and/or the public at large when viewed in terms of the impacts to the architectural compatibility and bulk/scale of the existing large-scale building within a Detail Site Review Zone. The application will need to thoroughly address this issue both in terms of the approval criteria for an Administrative Variance to the Site Design and Use Standards and the impact to the existing building as it relates to the Site Design and Use Standards, and in terms of the

criteria for Conditional Use Permit approval (listed below). Presenting “faux chimneys” as an alternative structure on top of an existing building may be difficult given the level of architectural review required of Large Scale Projects within the Detail Site Review Zone and the standards which require WCF installations on existing buildings to be architecturally integrated and to not exceed the height of the existing structure. The placement of alternative structures on top of an existing building, higher than the parapet and without architectural integration may ultimately be seen as exaggerating, rather than concealing, their placement.

**Parking:** The application will need to address the impacts to the approved parking configuration of the existing building (i.e. that with the loss of three spaces the remaining parking is adequate for all other approved uses of the site; that the landscaping and screening adjacent to the equipment cabinet is consistent with Parking Lot Landscaping and Screening Standards, etc.)

**Accessory Equipment:** All associated transmittal equipment must be housed in a building which must be designed and landscaped to achieve minimal impact to the surrounding environment. If visible from adjacent rights-of-way or residential uses – such as the adjacent mobile home park - landscaping must be provided according to the standards outlined in AMC 18.72.180.C.3. including a drought-resistant ten-foot wide landscape buffer that includes one canopy tree at least every 20-feet.

**Collocation:** Collocation is the preferred option under Ashland’s ordinances. Application requirements include identification of other WCF sites operated by the applicants within a five-mile radius, a collocation feasibility study, and evidence that the lease agreement for the site does not preclude collocation. Applicants will need to demonstrate that options for collocation Staff would strongly suggest that the applicants thoroughly explore options for collocation on existing WCF sites (i.e. the Ashland Springs Hotel and the Holiday Inn Express) and that the findings to be provided clearly address these efforts.

**FAA Approval:** The final application submittal will need to include a demonstration that the proposal complies with standards and regulations of the Federal Aviation Administration and Oregon Department of Aviation.

**Business License:** The applicant will need to obtain a business license to operate within the City of Ashland.

**Colors, Materials, Lighting and Signage:** The final application submittal should include details of the proposed colors and materials to be used, as well as associated lighting and signage. These will be reviewed both in terms of the Visual Impacts standards for WCF standards and in considering the impacts to the existing building.

**Written Findings/Burden of Proof:** This pre-application conference is intended to highlight significant issues of concern to staff and bring them to the applicants’ attention prior to their preparing a formal application. Applicants are advised that written findings addressing the ordinance criteria are required, and the applicable criteria and required plans are explained in writing below. Applicants are also encouraged to consider enlisting the services of a private professional land-use planner to prepare their application. The burden of proof is on the

applicants to ensure that all applicable criteria are addressed in writing and that all required maps, written findings, and other materials are submitted even if those items were not discussed in specific, itemized detail during this initial pre-application conference.

#### OTHER DEPARTMENTS' COMMENTS

**BUILDING DEPT:** *“Final drawings from Oregon Licensed Design Professional required to complete submission for permits. Drawings to address OSSC Chapter 16 wind, seismic, and tributary loads, forms of attachment, any special inspection required. See Ashland Building Division Policy for special inspection at city web site.”* Obtain all necessary permits prior to construction. Please contact Building Official Mike Broomfield of the Building Division for any further information at 552-2073.

**ENGINEERING:** No Comments. Please contact Karl Johnson of the Engineering Division for any further information at 552-2415.

**ENERGY CONSERVATION:** No Comments. Please contact Robbin Pearce of the Conservation Division for any further information at 552-2062.

**FIRE DEPARTMENT:** No comments. Please contact Margueritte Hickman of the Fire Department for any further information at 552-2229.

**STREETS AND TRANSPORTATION:** No Comments. Please contact Karl Johnson of the Engineering Division for any further information at 552-2415.

**WATER AND SEWER SERVICE:** Water: OK. Please contact Terry Oldfield of the Water Quality Division for any further information at 552-2326.

**STORM WATER DRAINAGE:** No Comments. Please contact Karl Johnson of the Engineering Division for any further information at 552-2415.

**ELECTRIC SERVICE:** Please contact Dave Tygerson in the Electric Department for electrical service requirements and fee information at 552-2389.

**CODE COMPLIANCE:** No comments. Please contact Assistant Planner/Code Compliance Specialist Amy Anderson of the Community Development Division for any further information at 552- 2044.

## Application Process

This application is subject to a Type II land use application, meaning that a Public Hearing is required. The application includes a Conditional Use Permit & a Commercial Site Review.

### Required Application Materials – Submittal Requirements:

#### **Two (2) copies of plans as required for Conditional Use Permit approval in Chapter 18.104.040.A:**

1. *Vicinity map.*
2. *North arrow.*
3. *Depiction and names of all streets abutting the subject property.*
4. *Depiction of the subject property, including the dimensions of all lot lines.*
5. *Location and use of all buildings existing and proposed on the subject property and schematic architectural elevations of all proposed structures.*
6. *Location of all parking areas, parking spaces, and ingress, egress and traffic circulation for the subject property.*
7. *Schematic landscaping plan showing area and type of landscaping proposed.*
8. *A topographic map of the site showing contour intervals of five feet or less.*
9. *Approximate location of all existing natural features in areas which are planned to be disturbed, including, but not limited to, all existing trees of greater than six inch dbh, any natural drainage ways, ponds or wetlands, and any substantial outcroppings of rocks or boulders.*

#### **Two (2) Copies of Plans as required in 18.72.060 for Site Review:**

- A. *Project name.*
- B. *Vicinity map.*
- C. *Scale (the scale shall be at least one (1) inch equals fifty (50) feet or larger.) The Staff Advisor may authorize different scales and plan sheet sizes for projects, provided the plans provide sufficient information to clearly identify and evaluate the application request.*
- D. *North arrow.*
- E. *Date.*
- F. *Street names and locations of all existing and proposed streets within or on the boundary of the proposed development.*
- G. *Lot layout with dimensions for all lot lines.*
- H. *Zoning designations of the proposed development.*
- I. *Zoning designations adjacent to the proposed development.*
- J. *Location and use of all proposed and existing buildings, fences and structures within the proposed development. Indicate which buildings are to remain and which are to be removed.*
- K. *Location and size of all public utilities in and adjacent to the proposed development with the locations shown of:*

1. *Water lines and meter sizes.*
  2. *Sewers, manholes and cleanouts.*
  3. *Storm drainage and catch basins.*
  4. *Opportunity-to-recycle site and solid waste receptacle, including proposed screening.*
- L. *The proposed location of:*
1. *Connection to the City water system.*
  2. *Connection to the City sewer system.*
  3. *Connection to the City electric utility system.*
  4. *The proposed method of drainage of the site.*
- M. *Location of drainage ways or public utility easements in and adjacent to the proposed development.*
- N. *Location, size and use of all contemplated and existing public areas within the proposed development.*
- O. *All fire hydrants proposed to be located near the site and all fire hydrants proposed to be located within the site.*
- P. *A topographic map of the site at a contour interval of at least five (5) feet.*
- Q. *Location of all parking areas and all parking spaces, ingress and egress on the site, and on-site circulation.*
- R. *Use designations for all areas not covered by building.*
- S. *Locations of all existing natural features including, but not limited to, any existing trees of a caliber greater than six inches diameter at breast height, except in forested areas, and any natural drainage ways or creeks existing on the site, and any outcroppings of rocks, boulders, etc. Indicate any contemplated modifications to a natural feature.*
- T. *A landscape plan showing the location, type and variety, size and any other pertinent features of the proposed landscaping and plantings. At time of installation, such plans shall include a layout of irrigation facilities and ensure the plantings will continue to grow.*
- U. *The elevations and locations of all proposed signs for the development.*
- V. *For non-residential developments proposed on properties located in a Historic District, an exterior wall section, window section and drawings of architectural details (e.g. column width, cornice and base detail, relief and projection, etc.) drawn to a scale of three-fourths (3/4) of an inch equals one (1) foot or larger.*
- W. *Exterior elevations of all buildings to be proposed on the site. Such plans shall indicate the material, color, texture, shape and other design features of the building, including all mechanical devices. Elevations shall be submitted drawn to scale of one inch equals ten feet or greater.*
- X. *A written summary showing the following:*
1. *For commercial and industrial developments:*

- a. *The square footage contained in the area proposed to be developed.*
  - b. *The percentage of the lot covered by structures.*
  - c. *The percentage of the lot covered by other impervious surfaces.*
  - d. *The total number of parking spaces.*
  - e. *The total square footage of all landscaped areas.*
2. *For residential developments:*
- a. *The total square footage in the development.*
  - b. *The number of dwelling units in the development (include the units by the number of bedrooms in each unit, e.g., ten one-bedroom, 25 two-bedroom, etc).*
  - c. *Percentage of lot coverage by:*
    - i. *Structures.*
    - ii. *Streets and roads.*
    - iii. *Recreation areas.*
    - iv. *Landscaping.*
    - v. *Parking areas.*
3. *For all developments, the following shall also be required: The method and type of energy proposed to be used for heating, cooling and lighting of the building, and the approximate annual amount of energy used per each source and the methods used to make the approximation.*

**Two (2) copies of written findings addressing the following criteria for a Conditional Use Permit from Chapter 18.104.050:**

- A. *That the use would be in conformance with all standards within the zoning district in which the use is proposed to be located, and in conformance with relevant Comprehensive plan policies that are not implemented by any City, State, or Federal law or program.*
- B. *That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property.*
- C. *That the conditional use will have no greater adverse material effect on the livability of the impact area when compared to the development of the subject lot with the target use of the zone. When evaluating the effect of the proposed use on the impact area, the following factors of livability of the impact area shall be considered in relation to the target use of the zone:*
  - 1. *Similarity in scale, bulk, and coverage.*
  - 2. *Generation of traffic and effects on surrounding streets. Increases in pedestrian, bicycle, and mass transit use are considered beneficial regardless of capacity of facilities.*
  - 3. *Architectural compatibility with the impact area.*

4. *Air quality, including the generation of dust, odors, or other environmental pollutants.*
5. *Generation of noise, light, and glare.*
6. *The development of adjacent properties as envisioned in the Comprehensive Plan.*
7. *Other factors found to be relevant by the Hearing Authority for review of the proposed use.*

**Two (2) copies of written findings addressing the following criteria from Chapter 18.72.070 for Site Review Approval:**

- A. *All applicable City ordinances have been met or will be met by the proposed development.*
- B. *All requirements of the Site Review Chapter have been met or will be met.*
- C. *The development complies with the Site Design Standards adopted by the City Council for implementation of this Chapter.*

**NOTE:** The following sections of the Site Design and Use Standards must be addressed in the written findings. An electronic copy is available free on-line at <http://www.ashland.or.us/comdevdocs> in the "Document Center" or hardcopies may be purchased at the Planning Department front counter.

Basic Site Review Standards	pp. 18-19
Detail Site Review Standards	pp. 20-24
Additional Standards for Large Scale Projects	pp. 25-28
Ashland Boulevard Corridor Standards	pp. 47-48
Landscape coverage	pp. 13
Parking Lot Landscaping & Screening	pp. 29-30
Street Tree Standards	pp. 31-32

- D. *That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property. All improvements in the street right-of-way shall comply with the Street Standards in Chapter 18.88, Performance Standards Options.*

**Two (2) copies of written findings addressing the approval criteria for an Administrative Variance to the Site Design and Use Standards from Chapter 18.72.090 (if the final proposal does not comply with Design Standards, such as those for Visual Impacts):**

- A. *There is a demonstrable difficulty in meeting the specific requirements of the Site Design Standards due to a unique or unusual aspect of the proposed use of a site;*

- B. *Approval of the variance will not substantially negatively impact adjacent properties;*
- C. *Approval of the variance is consistent with the stated purpose of the Site Design and Use Chapter; and*
- D. *The variance requested is the minimum variance which would alleviate the difficulty.*

**Two (2) copies of materials addressing the following items that shall be provided as part of the application for a wireless communication facility from 18.72.180.B:**

1. *A photo of each of the major components of a similar installation, including a photo montage of the overall facility as proposed.*
2. *Exterior elevations of the proposed wireless communication facility (min 1"=10').*
3. *A set of manufacturers specifications of the support structure, antennas, and accessory buildings with a listing of materials being proposed including colors of the exterior materials.*
4. *A site plan indicating all structures, land uses and zoning designation within 150 feet of the site boundaries, or 300 feet if the height of the structure is greater than 80 feet.*
5. *A map showing existing wireless communication facility sites operated by the applicant within a 5 mile radius of the proposed site.*
6. *A collocation feasibility study that adequately indicates collocation efforts were made and states the reasons collocation can or cannot occur.*
7. *A copy of the lease agreement for the proposed site showing that the agreement does not preclude collocation.*
8. *Documentation detailing the general capacity of the tower in terms of the number and type of antennas it is designed to accommodate.*
9. *Any other documentation the applicant feels is relevant to comply with the applicable design standards.*
10. *Documentation that the applicant has held a local community meeting to inform members of the surrounding area of the proposed wireless communication facility. Documentation to include:*
  - a. *a copy of the mailing list to properties within 300' of the proposed facility.*
  - b. *a copy of the notice of community meeting, mailed one week prior to the meeting.*
  - c. *a copy of the newspaper ad placed in a local paper one week prior to the meeting.*
  - d. *a summary of issues raised during the meeting.*

**Application submittals must include at least one copy of the site plan, landscaping plan and elevations on paper no larger than 11-inches by 17-inches. This copy is used for notices mailed to neighbors and preparation of packet materials for Commissioners. Please submit clear, reproducible copies.**

<b>NEXT APPLICATION DEADLINE:</b>	First Friday of each month
<b>PLANNING COMMISSION MEETING:</b>	Second Tuesday of each month
<b>FEES- Conditional Use Permit (Type II):</b>	\$1,836
<b>Commercial Site Review (Type I):</b>	\$ 917 + ½ percent of project valuation

**NOTE:** Applications are accepted on a first come-first serve basis. All applications received are reviewed by staff, and must be found to be complete before being scheduled for a hearing or further processed. Applications will not be accepted without a complete application form signed by the applicant(s) and property owner(s), all required materials and full payment. Applications are reviewed for completeness within 30 days from application date in accordance with ORS 227.178. The first fifteen COMPLETE applications submitted are processed at the next available Hearings Board or Planning Commission meeting.

---

Derek Severson, *Associate Planner*  
 seversond@ashland.or.us or (541) 552-2040

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May 13, 2009  
 Date

# Drawings



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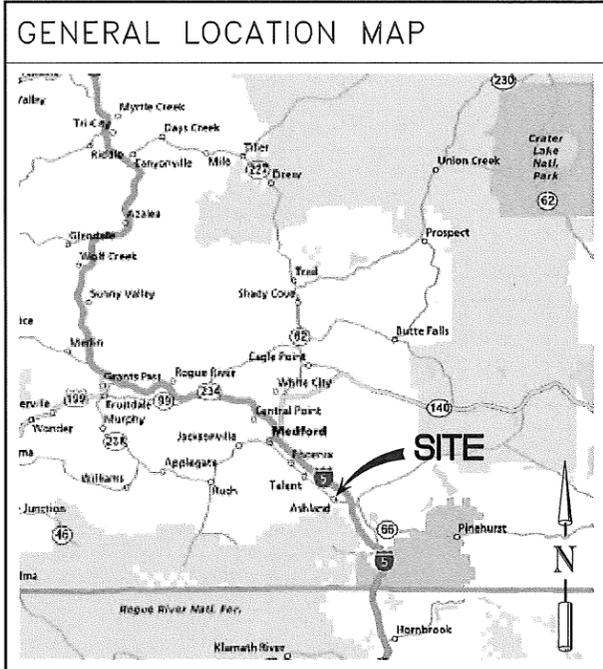
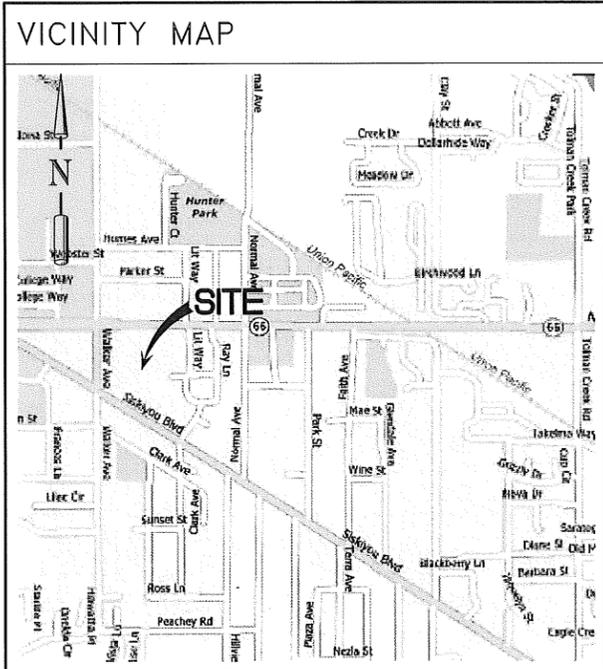
### ASHLAND SOUTH 1644 ASHLAND ST ASHLAND, OR 97520 MDO1

**PROPRIETARY INFORMATION**  
THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T MOBILITY, LLC. SERVICES IS STRICTLY PROHIBITED.

### 100% ZONING SUBMITTAL

Goodman Networks  
7360 SW HUNZIKER, SUITE 206  
PORTLAND, OR 97223

at&t  
Your world. Delivered  
19801 SW 72ND AVE SUITE 200  
TUALATIN, OR 97062



**PROJECT INFORMATION**

**APPLICANT:**  
AT&T MOBILITY CORPORATION  
19801 SW 72ND AVE SUITE 200  
TUALATIN, OR 97062  
CONTACT: GERRI ROPER  
PH: (503) 691-5019

**PROJECT ENGINEER:**  
CSA CONSULTING ENGINEERS  
2895 BEAVERCREEK ROAD  
OREGON CITY, OR 97045  
PH: 503-228-3848  
FAX: 503-228-0475  
MOBILE: 503-593-1707  
CONTACT: JOHN CRAIG

**SURVEYOR:**  
CSA CONSULTING ENGINEERS  
2895 BEAVERCREEK ROAD  
OREGON CITY, OR 97045  
PH: 503-228-3848  
FAX: 503-228-0475  
MOBILE: 503-313-0886  
CONTACT: CHRIS THOMAS

**CODE INFORMATION:**  
ZONING CLASSIFICATION: CC  
BUILDING CODE: IBC 2006/NEC2008  
CONSTRUCTION TYPE: II-B

**OCCUPANCY:** C-1  
**JURISDICTION:** CITY OF ASHLAND  
**PROPOSED BUILDING USE:** TELECOM

**SITE LOCATION: (BASED ON NAD 83)**  
LATITUDE: 42.1842 N  
LONGITUDE: 122.68611 W  
TOP OF STRUCTURE: 33' A.G.L.  
BASE OF STRUCTURE AMSL: 2022' AMSL

**APPLICANT:**  
AT&T MOBILITY CORPORATION  
19801 SW 72ND AVE SUITE 200  
TUALATIN, OR 97062  
CONTACT: GERRI ROPER  
PH: (503) 691-5019

**LAND OWNER:**  
MICHAEL D & BEVERLY A RYDBOM  
PO BOX 3030  
ASHLAND, OR 97520  
PH: 541-488-5827  
MIKE RYDBOM

**BUILDING OWNER:**  
MICHAEL D & BEVERLY A RYDBOM  
PO BOX 3030  
ASHLAND, OR 97520  
PH: 541-488-5827  
MIKE RYDBOM

**PROJECT CONSULTANTS:**  
GOODMAN NETWORKS  
7360 S.W. HUNZIKER, SUITE 206  
TIGARD, OR 97223  
OFFICE: 503-330-3588  
FAX: 503-639-3159

**TEAM LEAD:**  
APRIL COPELAND  
PH: 360-921-3694

**SITE ACQUISITION**  
JOAN STEWART  
PH: 503-367-5577

**ZONING AGENT:**  
--  
PH: --

**CONSTRUCTION COORDINATOR:**  
JOHN CONLEY  
PH: 503-510-2020

**SITE ACCESS:**  
N/A  
PH: --

**PARCEL NUMBER(S):**  
39S1E15AB-6800

**AREA OF PARCEL:**  
5.91 ACRES

**NEW IMPERVIOUS AREA**  
N/A

**POWER & TELCO COMPANIES**  
POWER: ASHLAND CITY POWER  
TELCO: QWEST

**DRAWING INDEX**

DWG. NO.	DESCRIPTION
T-1	TITLE SHEET
A-1	OVERALL SITE PLAN
A-2	EQUIPMENT/ROOF PLAN
A-3	ELEVATIONS

**DRIVING DIRECTIONS**

FROM AT&T'S TUALATIN OFFICE, START OUT GOING SOUTH ON SW 72ND AVE TOWARD SW SAGERT ST. TURN LEFT ONTO SW SAGERT ST. TURN LEFT ONTO SW 65TH AVE. SW 65TH AVE BECOMES SW NYBERG RD. MERGE ONTO I-5 S VIA THE RAMP ON THE LEFT TOWARD SALEM. TRAVEL 275.4 MI. TAKE THE OR-66 EXIT, EXIT 14, TOWARD ASHLAND/KLAMATH FALLS. TURN RIGHT ONTO ASHLAND ST/OR-66. END AT 1644 ASHLAND ST ASHLAND, OR 97520-2389

**APPROVAL/SIGN OFF OF ZONING DRAWINGS**

CONSULTANT GROUP SIGN OFF	DATE	SIGNATURE	AT&T SIGN OFF	DATE	SIGNATURE
CONSTRUCTION COORDINATOR			PROJECT MANAGER		
PROJECT MANAGER			INTERCONNECT		
SITE ACQUISITION			OPERATIONS		
ZONING			RF ENGINEER		
			RF MANAGER		
			CONSTRUCTION		
			COMPLIANCE		

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED

CSA  
CONSULTING ENGINEERS  
2895 BEAVERCREEK ROAD  
OREGON CITY, OREGON 97045  
(503) 228-3848

PROJECT NO: 10649  
DRAWN BY: A. INGMAN  
CHECKED BY: J. CRAIG

**SUBMITTALS**

DATE	DESCRIPTION	REV.
10MARD09	90% ZONING SUBMITTAL	0
18JUN09	90% ZONING REVISE	1
20JUL09	REDLINE REVISE	2
21JUL09	FINAL ZONING DRAWINGS	3
21SEP09	ROOF PEAK ELE CHANGE	4

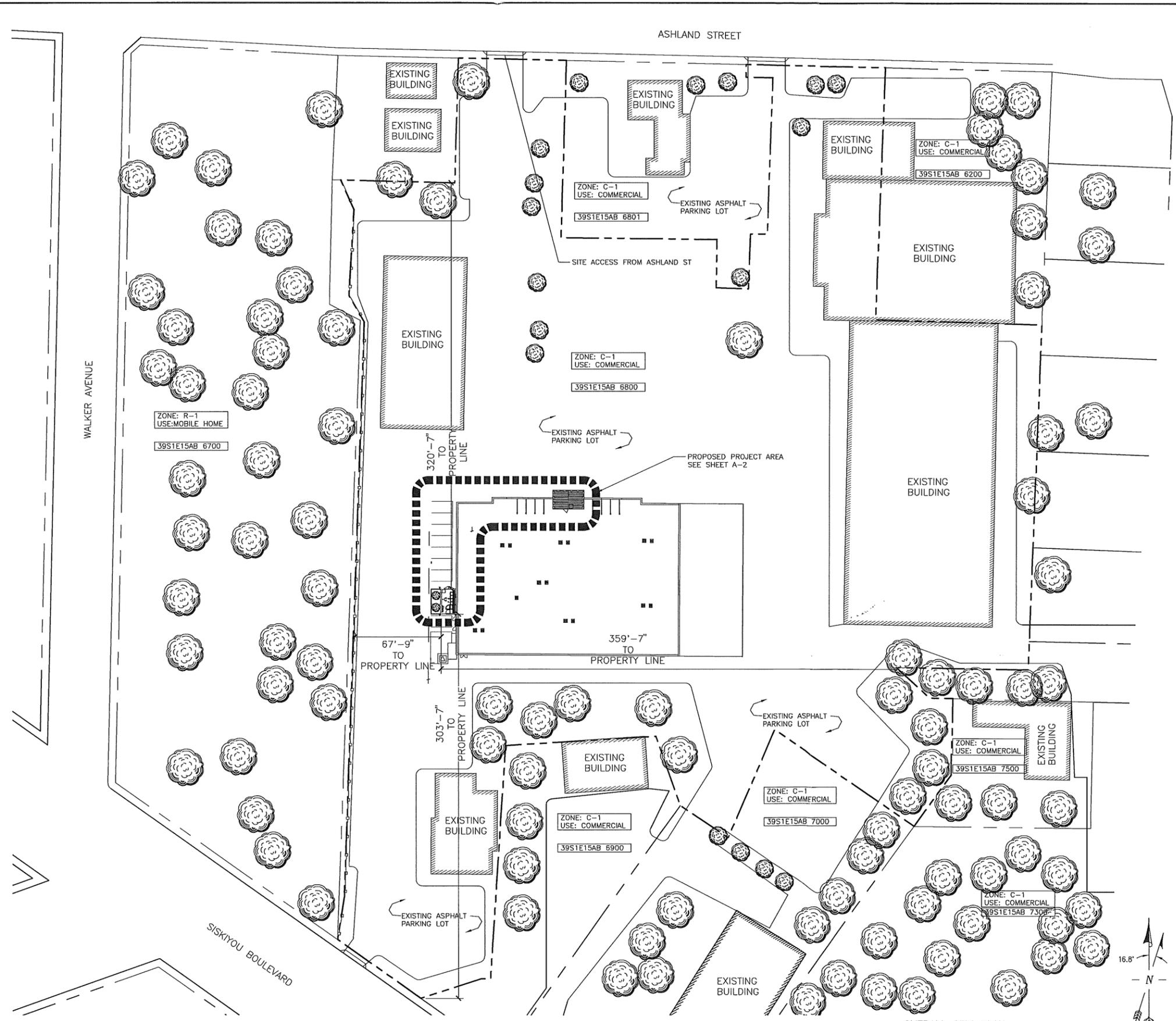
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PLOT SCALE: 1:1 @ 22X34  
1:2 @ 11X17

**SITE NAME**  
**MDO1  
ASHLAND SOUTH  
OPTION 6**  
1644 ASHLAND STREET  
ASHLAND, OR 97520

**SHEET TITLE**  
**TITLE SHEET  
PROJECT INFORMATION**

**SHEET NUMBER**  
**T-1**



**LEGEND**

	SUBJECT BOUNDARY LINE
	ADJACENT BOUNDARY LINE
	RIGHT OF WAY CENTERLINE
	RIGHT OF WAY LINE
	ZONING BOUNDARY LINE
	OVERHEAD POWER LINE
	BURIED POWER LINE
	BURIED GAS LINE
	BURIED WATER LINE
	BURIED SANITARY SEWER LINE
	BURIED STORM DRAIN LINE
	VEGETATION LINE
	CHAIN LINK FENCE
	WOOD FENCE
	BARBED WIRE FENCE/WIRE FENCE
	TRANSFORMER
	LIGHT STANDARD
	UTILITY POLE
	POWER BOX
	UTILITY VAULT
	POLE GUY WIRE
	GAS VALVE
	GAS METER
	TELCO BOX
	TELCO RISER
	FIRE HYDRANT
	Fire Dept Connection
	GATE VALVE
	WATER METER
	CATCH BASIN, TYPE I
	CATCH BASIN, TYPE II
	SIGN
	BOLLARD
	MAILBOX
	ELEVATION POINT

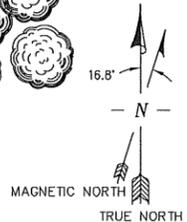
**LEGAL DESCRIPTION**

LEGAL DESCRIPTION

**VICINITY MAP**



**OVERALL SITE PLAN**  
 22' X 34" SCALE: 1"=40'-0"  
 11" X 17" SCALE: 1"=80'-0"



GoodmanNetworks  
 7360 SW HUNZICKER,  
 SUITE 206  
 PORTLAND, OR 97223



19801 SW 72ND AVE  
 SUITE 200  
 TUALATIN, OR 97062

**CSA**  
 CONSULTING ENGINEERS  
 2895 BEAVERCREEK ROAD  
 OREGON CITY, OREGON 97045  
 (503) 228-3848

PROJECT NO:	10649
DRAWN BY:	A. INGMAN
CHECKED BY:	J CRAIG

SUBMITTALS		
DATE	DESCRIPTION	REV.
10MAR09	90% ZONING SUBMITTAL	0
18JUN09	90% ZONING REVISE	1
20JUL09	REDLINE REVISE	2
21JUL09	FINAL ZONING DRAWINGS	3
21SEP09	ROOF PEAK ELE CHANGE	4

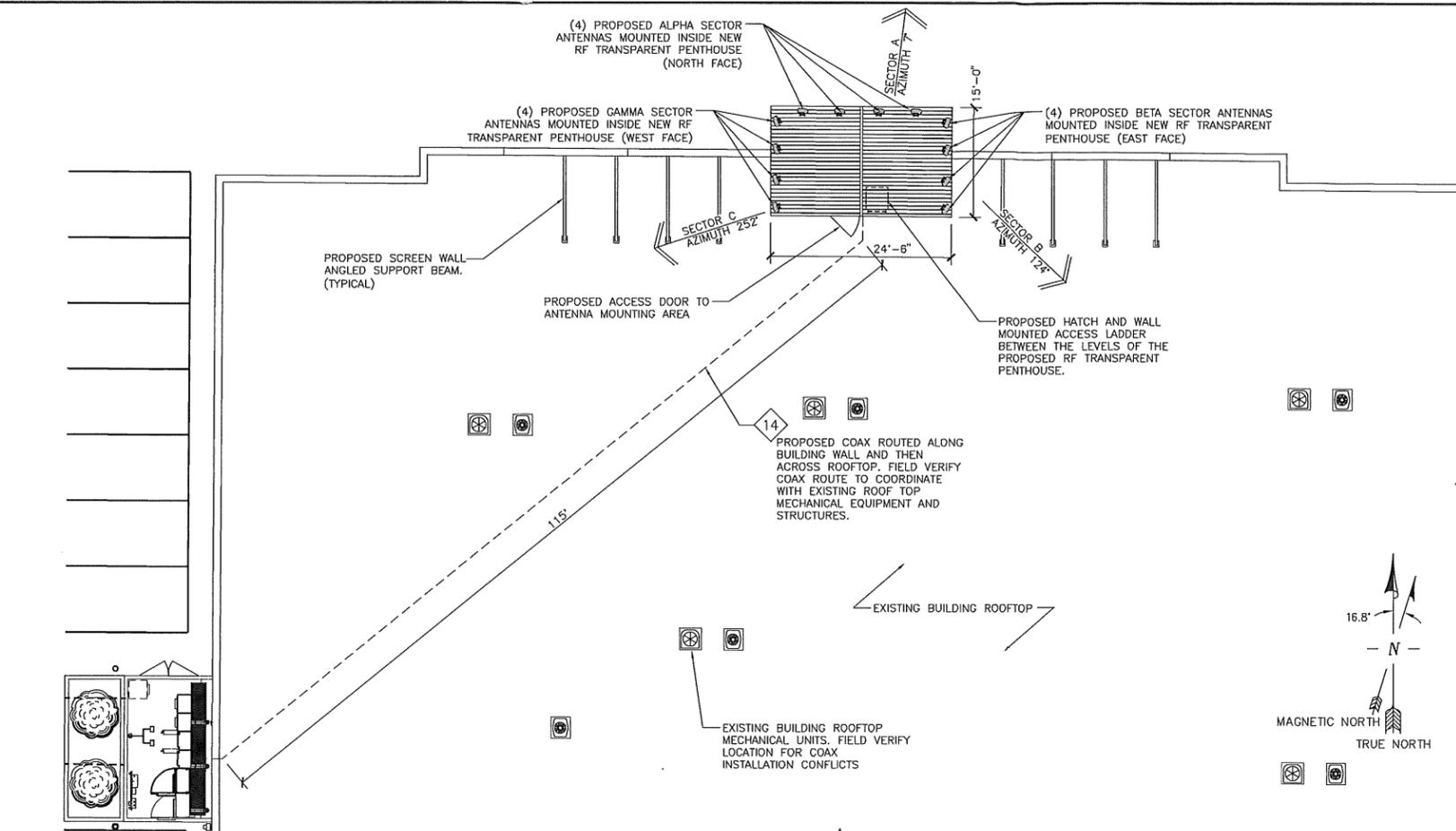
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PLOT SCALE: 1:1 @ 22X34  
 1:2 @ 11X17

SITE NAME  
**MD01  
 ASHLAND SOUTH  
 OPTION 6**  
 1644 ASHLAND STREET  
 ASHLAND, OR 97520

SHEET TITLE  
**OVERALL  
 SITE  
 PLAN**

SHEET NUMBER  
**A-1**

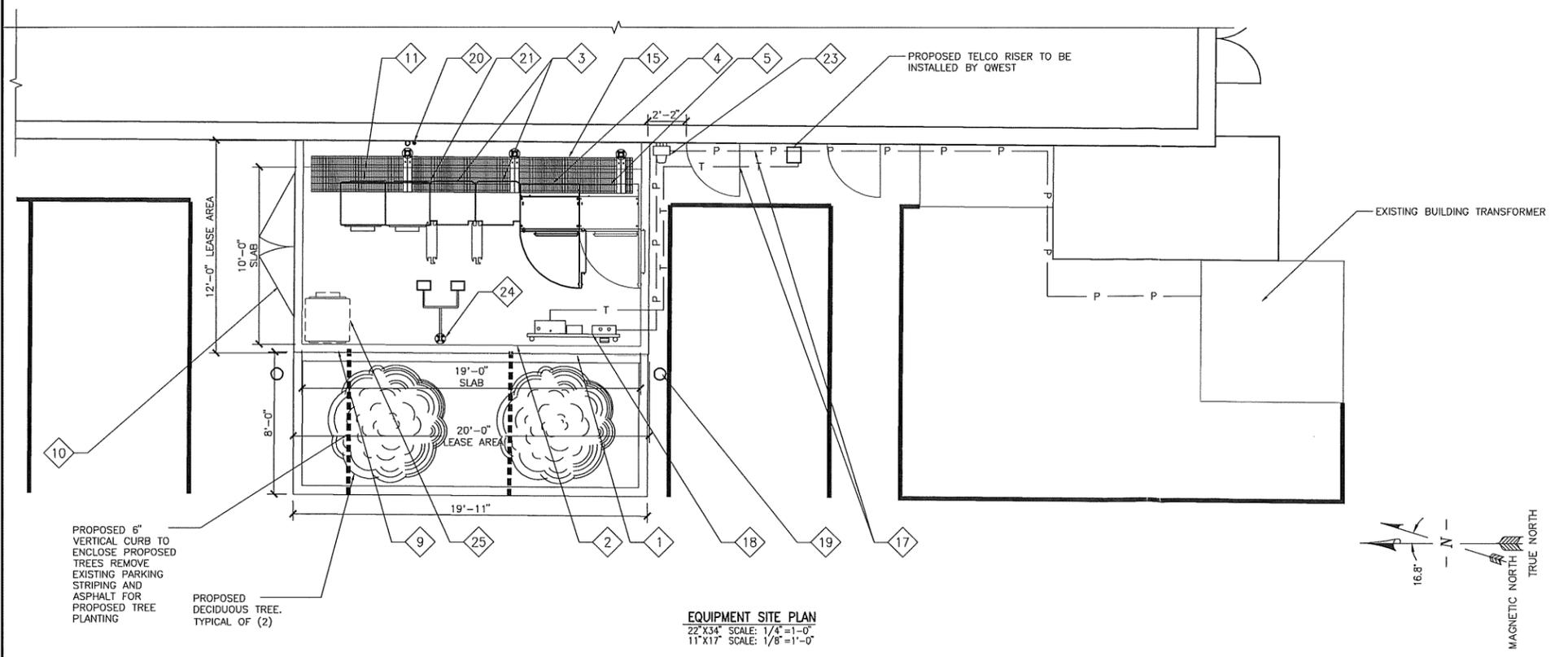


ROOF PLAN  
 22' X 34' SCALE: 3/32" = 1'-0"  
 11' X 17' SCALE: 1/64" = 1'-0"

**CONSTRUCTION PLAN KEYED NOTES**

- 1 PROPOSED 12'-0"x20'-0" LEASE AREA.
- 2 10'-0"x19'-0"x8" CONCRETE SLAB ON GRADE (PROVIDED BY CONTRACTOR)
- 3 NOKIA ULTRASITE CABINETS NO. 1 & 2 (PRIMARY - PROVIDED BY AT&T).
- 4 PROPOSED UMTS CABINET (PROVIDED BY AT&T)
- 5 FUTURE UMTS CABINET
- 9 9'-0" CMU BLOCK WALL (PROVIDED BY CONTRACTOR). PAINT WALL TO MATCH BUILDING
- 10 PROPOSED 12'-0" SWINGING CEDAR LOCKING GATE. AT&T SIGNAGE MOUNTED TO GATE. LOCK PROVIDED BY AT&T.
- 11 ARGUS POWER CABINET.
- 14 COAXIAL CABLE (PROVIDED BY CONTRACTOR) TO ANTENNAS. SEE COAX LENGTH SCHEDULE ON THIS SHEET.
- 15 PEDESTAL MOUNTED WAVEGUIDE BRIDGE (PROVIDED BY CONTRACTOR).
- 17 POWER & TELCO LINES.
- 18 AT&T UTILITY CABINETS (PROVIDED BY CONTRACTOR).
- 19 PARKING PROTECTION BALLARD TYP. OF (2)
- 20 GPS/E911 COMBINED ANTENNA (PROVIDED BY AT&T).
- 21 ARGUS 24v BATTERY BACKUP CABINET.
- 23 AT&T POWER METER MOUNTED ON WALL.
- 24 REGENT 300W HALOGEN LIGHT W/ 1 HR TIMER SWITCH/GFI DUPLEX RECEPTACLE.
- 25 FUTURE SCC CABINET.

**SITE NOTES**



EQUIPMENT SITE PLAN  
 22' X 34' SCALE: 1/4" = 1'-0"  
 11' X 17' SCALE: 1/8" = 1'-0"

**COAX LENGTH SCHEDULE**

COAX LENGTHS ARE CALCULATED FROM THIS DRAWING SET. ANY DEVIATION FROM THE PROPOSED DESIGN MAY REQUIRE ALTERATION OF COAX LENGTHS. CONTRACTOR SHALL ENSURE THAT FINAL DESIGN AND COAX LENGTHS ARE COORDINATED.

SECTOR	LENGTH	# COAX	DIAMETER
SECTOR "1"	140'	8	1 5/8"
SECTOR "2"	140'	8	1-5/8"
SECTOR "3"	140'	8	1 5/8"

**Goodman Networks**  
 7360 SW HUNZICKER, SUITE 206  
 PORTLAND, OR 97223

**at&t**  
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 19801 SW 72ND AVE, SUITE 200  
 TUALATIN, OR 97062

**CSA CONSULTING ENGINEERS**  
 2895 BEAVERCREEK ROAD  
 OREGON CITY, OREGON 97045  
 (503) 228-3848

PROJECT NO:	10649
DRAWN BY:	A. INGMAN
CHECKED BY:	J CRAIG

SUBMITTALS		
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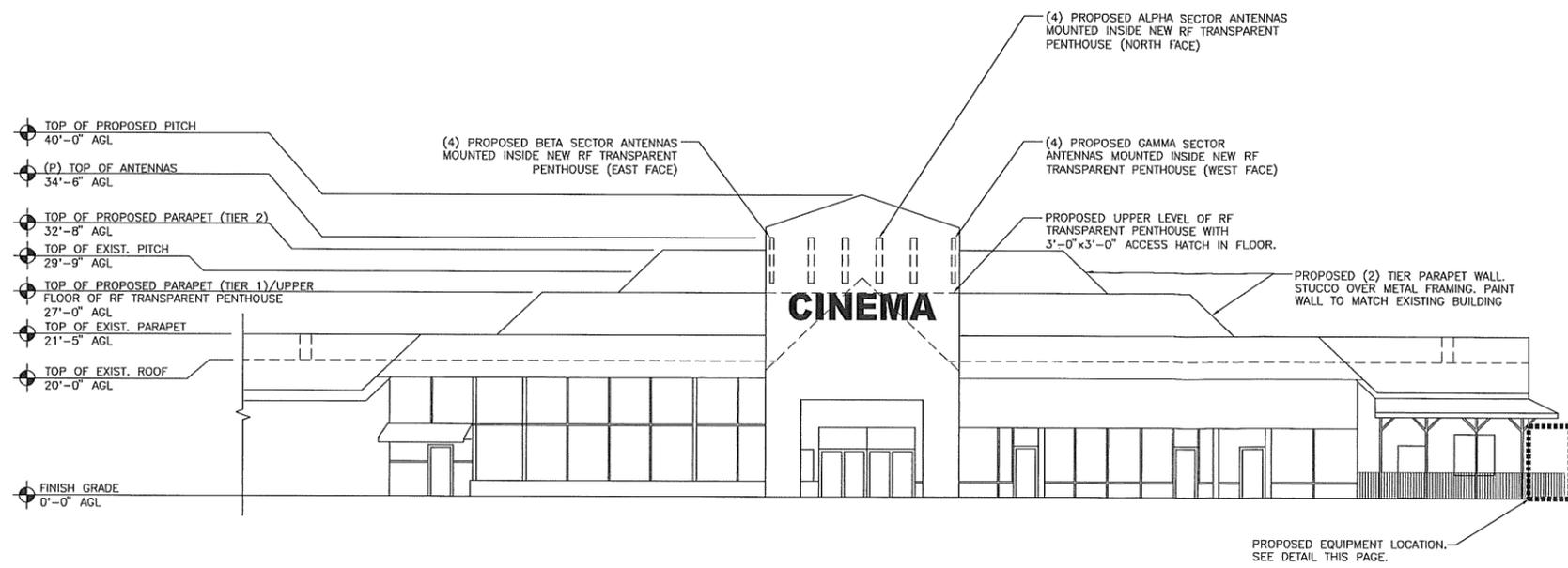
PLOT SCALE: 1:1 @ 22X34  
 1:2 @ 11X17

SITE NAME  
**MD01 ASHLAND SOUTH OPTION 6**  
 1644 ASHLAND STREET  
 ASHLAND, OR 97520

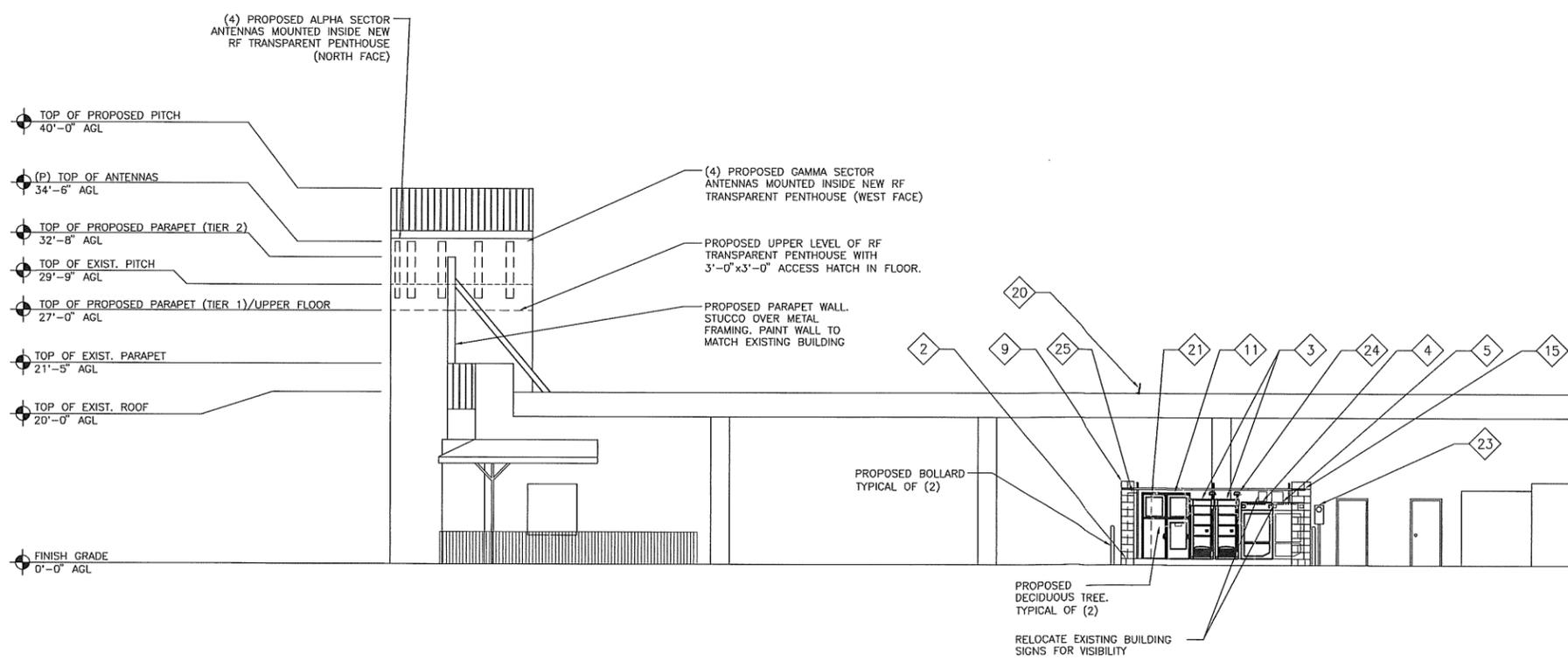
SHEET TITLE  
 (E) ROOF VENT  
**ROOF TOP/  
 1ST FLOOR UTILITY ROOM  
 SITE PLANS**

SHEET NUMBER

**A-2**



**SOUTH ELEVATION**  
 22'x34' SCALE: 3/32"=1'-0"  
 11'x17' SCALE: 1/64"=1'-0"



**EQUIPMENT ELEVATION**  
 22'x34' SCALE: 1/2"=1'-0"  
 11'x17' SCALE: 1/4"=1'-0"

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**SITE NOTES**

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PLOT SCALE: 1:1 @ 22X34  
 1:2 @ 11X17

SITE NAME  
**MD01 ASHLAND SOUTH OPTION 6**  
 1644 ASHLAND STREET  
 ASHLAND, OR 97520

SHEET TITLE  
**ELEVATIONS**

SHEET NUMBER  
**A-3**

NOT A FORMAL SUBMITTAL  
NOTE: Discussion Draft / For Reference



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**ASHLAND SOUTH**  
1644 ASHLAND ST  
ASHLAND, OR 97520  
MDO1

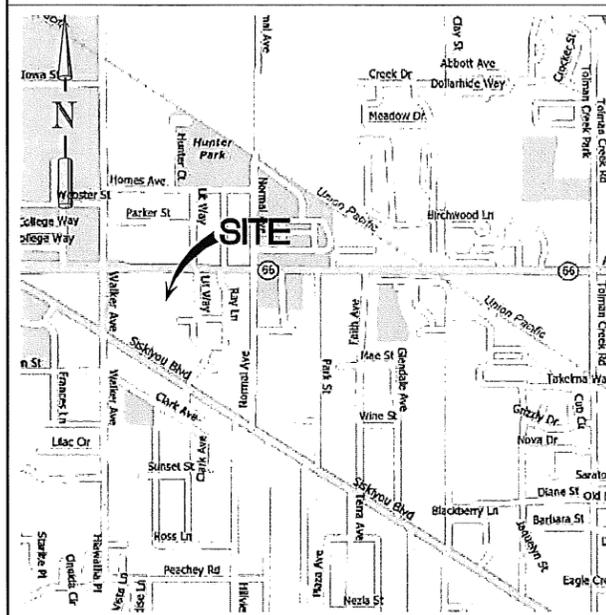
PROPRIETARY INFORMATION  
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90% ZD SUBMITTAL

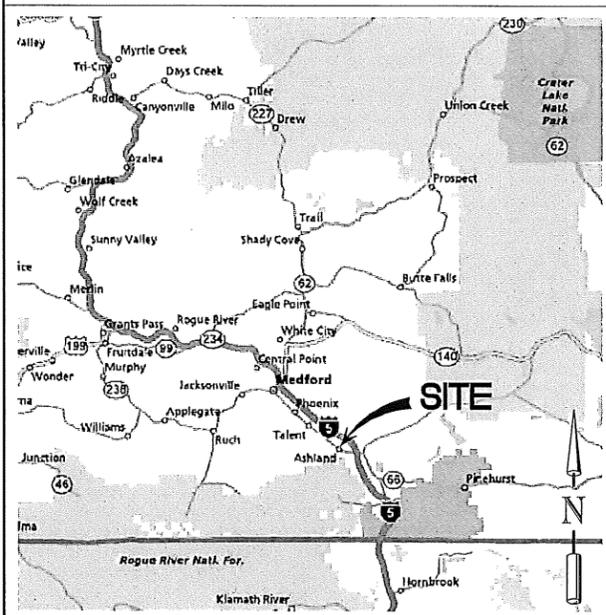
Goodman Networks  
7360 S.W. HUNZIKER, SUITE 206  
PORTLAND, OR 97223  
at&t  
Your world. Delivered  
16221 NE 72nd Way  
Redmond, WA 98052

CSA CONSULTING ENGINEERS  
2895 BEAVERCREEK ROAD  
OREGON CITY, OREGON 97045  
(503) 228-3848

VICINITY MAP



GENERAL LOCATION MAP



PROJECT INFORMATION

**APPLICANT:**  
AT&T MOBILITY CORPORATION  
16221 NE 72ND WAY, RTC 3  
REDMOND, WA 98052  
CONTACT: GERRI ROPER  
PH: (503) 691-5019

**LAND OWNER:**  
MICHAEL D & BEVERLY A RYDBOM  
PO BOX 3030  
ASHLAND, OR 97520  
PH: 541-488-5827  
MIKE RYDBOM

**BUILDING OWNER:**  
MICHAEL D & BEVERLY A RYDBOM  
PO BOX 3030  
ASHLAND, OR 97520  
PH: 541-488-5827  
MIKE RYDBOM

**PROJECT CONSULTANTS:**  
GOODMAN NETWORKS  
7360 S.W. HUNZIKER, SUITE 206  
TIGARD, OR 97223  
OFFICE: 503-330-3588  
FAX: 503-639-3159

**PROJECT ENGINEER:**  
CSA CONSULTING ENGINEERS  
2895 BEAVERCREEK ROAD  
OREGON CITY, OR 97045  
PH: 503-228-3848  
FAX: 503-228-0475  
MOBILE: 503-593-1707  
CONTACT: JOHN CRAIG

**SURVEYOR:**  
CSA CONSULTING ENGINEERS  
2895 BEAVERCREEK ROAD  
OREGON CITY, OR 97045  
PH: 503-228-3848  
FAX: 503-228-0475  
MOBILE: 503-313-0886  
CONTACT: CHRIS THOMAS

**CODE INFORMATION:**  
ZONING CLASSIFICATION: CC  
BUILDING CODE: IBC 2006/NEC2008  
CONSTRUCTION TYPE: II-B

**CONSTRUCTION COORDINATOR:**  
BOE BOEDIGHEIMER  
PH: --

**TEAM LEAD:**  
JOHN SILENSI  
PH: 503-467-6785

**SITE ACQUISITION**  
SHAWN MURRY  
PH: 503-367-5577

**ZONING AGENT:**  
KEVIN PROVANCE  
PH: 503-367-5577

**CONSTRUCTION COORDINATOR:**  
BOE BOEDIGHEIMER  
PH: --

**SITE ACCESS:**  
N/A  
PH: --

**PARCEL NUMBER(S):**  
39S1E15AB-6800

**AREA OF PARCEL:**  
5.91 ACRES

**NEW IMPERVIOUS AREA**  
N/A

**POWER & TELCO COMPANIES**  
POWER: ASHLAND CITY POWER  
TELCO: QWEST

**OCCUPANCY:** C-1  
**JURISDICTION:** CITY OF ASHLAND  
**PROPOSED BUILDING USE:** TELECOMMUNICATIONS

**SITE LOCATION: (BASED ON NAD 83)**  
LATITUDE: 42.184171 N  
LONGITUDE: 122.686674 W  
TOP OF STRUCTURE: 33' A.G.L.  
BASE OF STRUCTURE AMSL: 2018± AMSL

**PROJECT AREA:**  
240 S.F.

**GENERAL INFORMATION:**  
1. PARKING REQUIREMENTS ARE UNCHANGED.  
2. TRAFFIC IS UNAFFECTED.  
3. SIGNAGE IS PROPOSED.  
4. ADDITIONAL IMPERVIOUS SURFACE IS NOT PROPOSED.

**PROJECT DESCRIPTION:**  
AT&T MOBILITY. PROPOSES TO CONSTRUCT AN UNSTAFFED RADIO TELECOMMUNICATIONS FACILITY CONSISTING OF A THREE-SECTOR ANTENNA ARRAY, MOUNTED ON AN EXISTING 29'-9" BUILDING. RADIO BASE STATION EQUIPMENT IS TO BE INSTALLED IN A 12'x20' LEASE AREA, ON A 10'x19' EQUIPMENT SLAB ON THE WEST END OF THE BUILDING. A CEDAR FENCE WILL BE INSTALLED ENCLOSED THE EQUIPMENT. THE ANTENNAS WILL BE INSTALLED IN A PROPOSED RF TRANSPARENT PENTHOUSE ENCLOSURE.

DRAWING INDEX

DWG. NO.	DESCRIPTION
T-1	TITLE SHEET
A-1	OVERALL SITE PLAN
A-2	EQUIPMENT/ROOF PLAN
A-3	ELEVATIONS
A-3.1	ELEVATIONS

DRIVING DIRECTIONS

FROM AT&T'S TUALATIN OFFICE, START OUT GOING SOUTH ON SW 72ND AVE TOWARD SW SAGERT ST. TURN LEFT ONTO SW SAGERT ST. TURN LEFT ONTO SW 65TH AVE. SW 65TH AVE BECOMES SW NYBERG RD. MERGE ONTO I-5 S VIA THE RAMP ON THE LEFT TOWARD SALEM. TRAVEL 275.4 MI. TAKE THE OR-66 EXIT, EXIT 14, TOWARD ASHLAND/KLAMATH FALLS. TURN RIGHT ONTO ASHLAND ST/OR-66. END AT 1644 ASHLAND ST ASHLAND, OR 97520-2389

APPROVAL/SIGN OFF OF CONSTRUCTION DRAWINGS

CONSULTANT GROUP SIGN OFF	DATE	SIGNATURE	AT&T SIGN OFF	DATE	SIGNATURE
CONSTRUCTION COORDINATOR			PROJECT MANAGER		
LANDLORD'S REPRESENTATIVE			INTERCONNECT		
PROJECT MANAGER			OPERATIONS		
SITE ACQUISITION			RF ENGINEER		
ZONING			RF MANAGER		
			CONSTRUCTION		
			EE ENGINEER		

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED

LEGAL DESCRIPTION

N/A

RECEIVED  
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City of Ashland  
Community Development

PROJECT NO:	10649
DRAWN BY:	A. INGMAN
CHECKED BY:	J CRAIG

SUBMITTALS		
DATE	DESCRIPTION	REV.
10MAR09	90% ZONING SUBMITTAL	0
18JUN09	90% ZONING REVISE	1

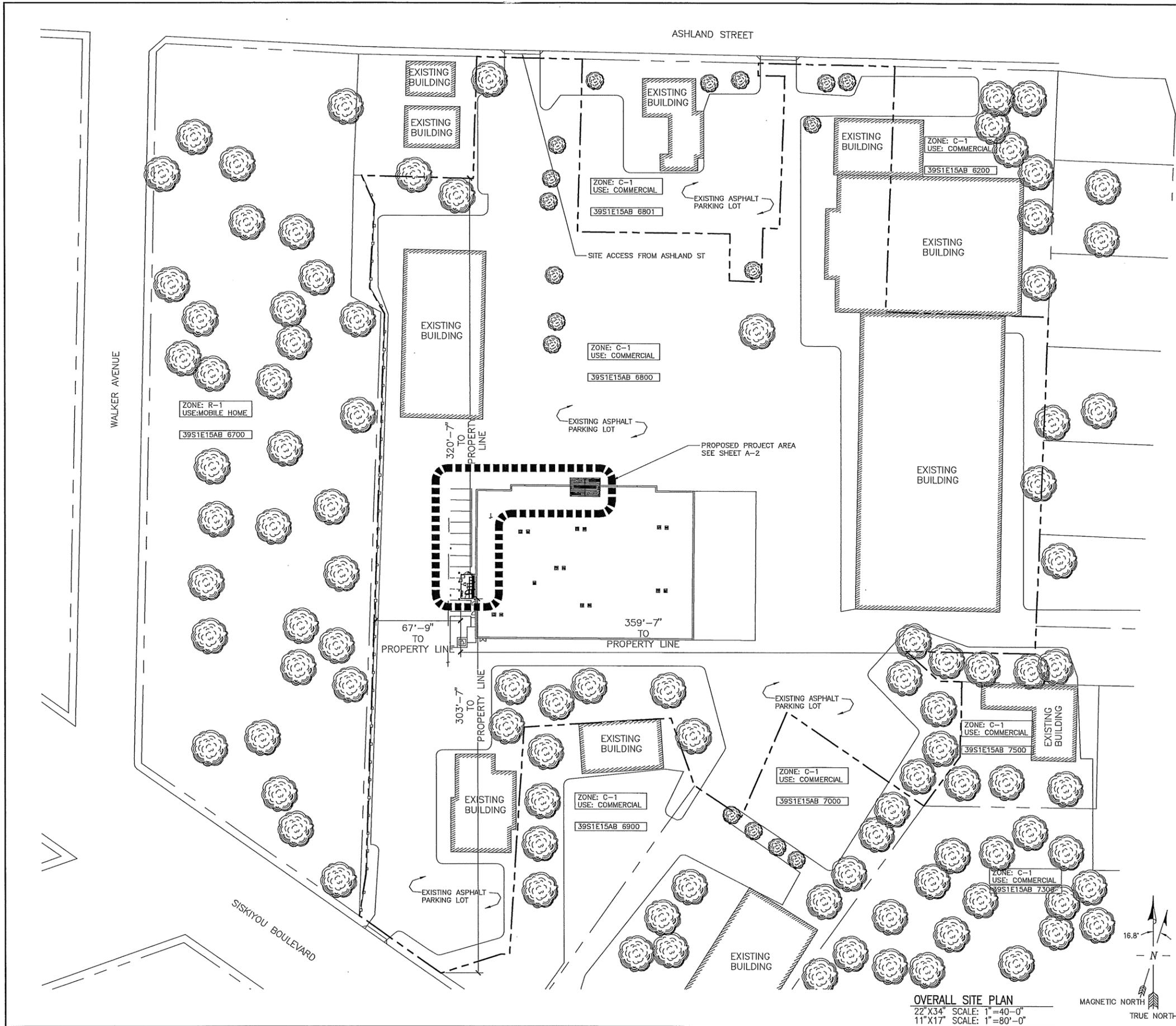
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PLOT SCALE: 1:1 @ 22X34  
1:2 @ 11X17

SITE NAME  
**MDO1  
ASHLAND SOUTH  
OPTION 6**  
1644 ASHLAND STREET  
ASHLAND, OR 97520

SHEET TITLE  
**TITLE SHEET  
PROJECT INFORMATION**

SHEET NUMBER  
**T-1**



**LEGEND**

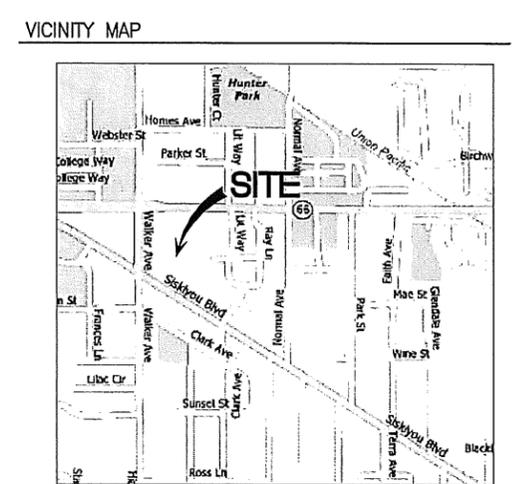
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	ADJACENT BOUNDARY LINE
	RIGHT OF WAY CENTERLINE
	RIGHT OF WAY LINE
	ZONING BOUNDARY LINE
	OVERHEAD POWER LINE
	BURIED POWER LINE
	BURIED GAS LINE
	BURIED WATER LINE
	BURIED SANITARY SEWER LINE
	BURIED STORM DRAIN LINE
	VEGETATION LINE
	CHAIN LINK FENCE
	WOOD FENCE
	BARBED WIRE FENCE/WIRE FENCE
	TRANSFORMER
	LIGHT STANDARD
	UTILITY POLE
	POWER BOX
	UTILITY VAULT
	POLE GUY WIRE
	GAS VALVE
	GAS METER
	TELCO BOX
	TELCO RISER
	FIRE HYDRANT
	Fire Dept Connection
	GATE VALVE
	WATER METER
	CATCH BASIN, TYPE I
	CATCH BASIN, TYPE II
	SIGN
	BOLLARD
	MAILBOX
	123.45 ELEVATION POINT

**LEGAL DESCRIPTION**  
LEGAL DESCRIPTION

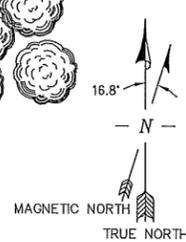
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PLLOT SCALE: 1:1 @ 22X34  
1:2 @ 11X17



**OVERALL SITE PLAN**  
22'X34" SCALE: 1"=40'-0"  
11'X17" SCALE: 1"=80'-0"



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7360 SW HUNZICKER,  
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OREGON CITY, OREGON 97045  
(503) 228-3848

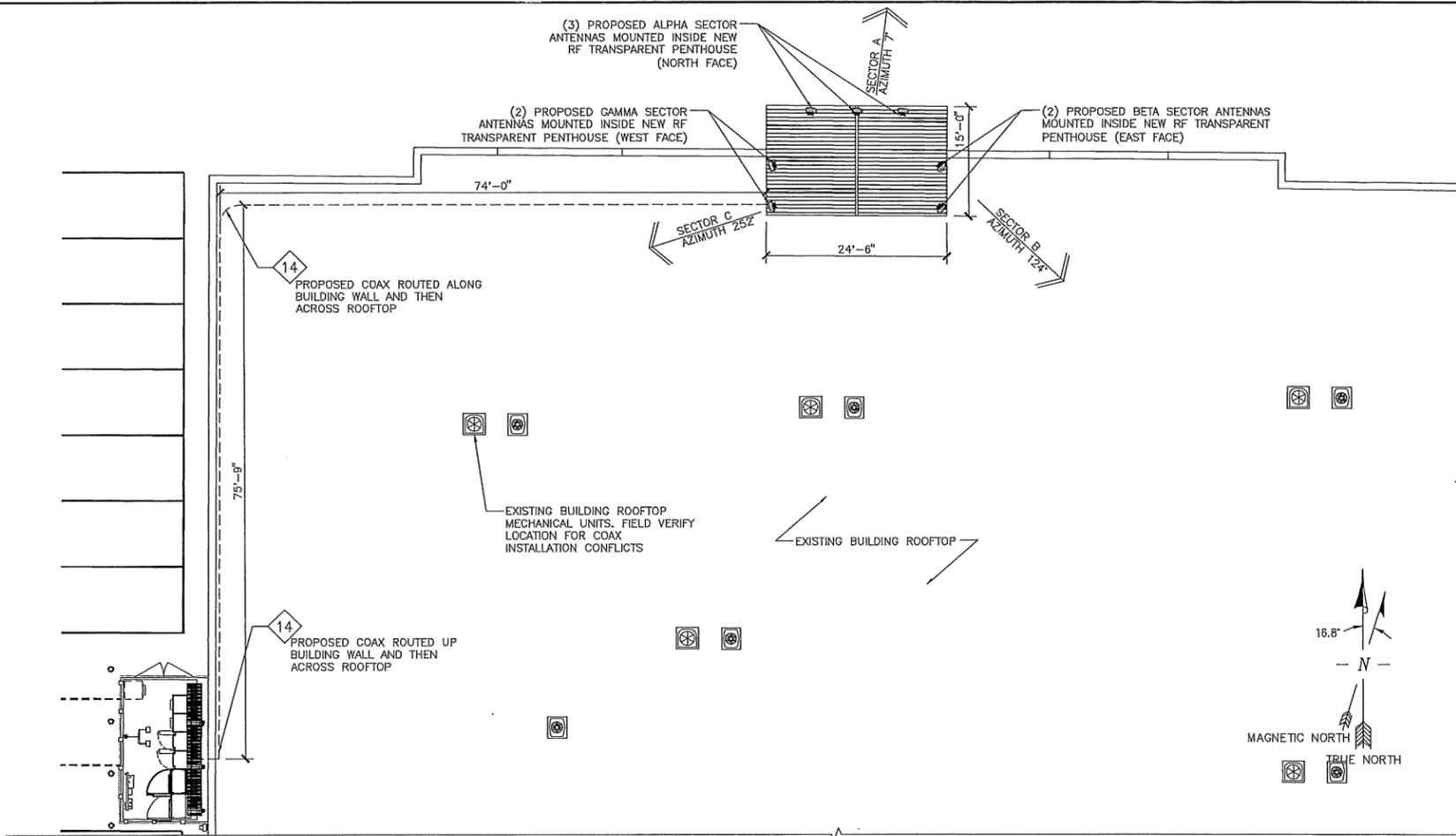
PROJECT NO: 10649  
DRAWN BY: A. INGMAN  
CHECKED BY: J. CRAIG

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SITE NAME  
**MD01 ASHLAND SOUTH OPTION 6**  
1644 ASHLAND STREET  
ASHLAND, OR 97520

SHEET TITLE  
**OVERALL SITE PLAN**

SHEET NUMBER  
**A-1**

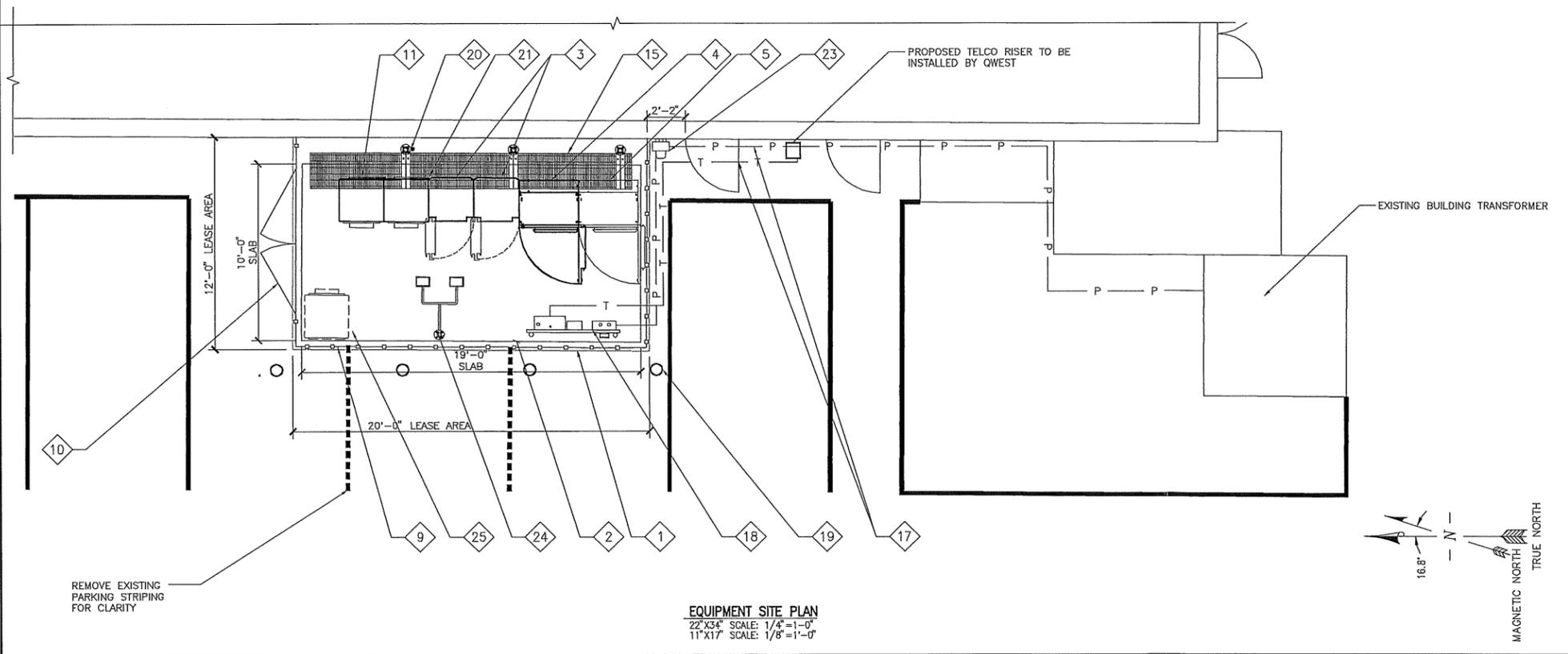


ROOF PLAN  
 22'x34' SCALE: 3/32"=1'-0"  
 11'x17' SCALE: 1/64"=1'-0"

**CONSTRUCTION PLAN KEYED NOTES**

- 1 PROPOSED 12'-0"x20'-0" LEASE AREA.
- 2 8" 10'x19' CONCRETE SLAB ON GRADE (PROVIDED BY CONTRACTOR)
- 3 NOKIA ULTRASITE CABINETS NO. 1 & 2 (PRIMARY - PROVIDED BY AT&T).
- 4 PROPOSED UMTS CABINET (PROVIDED BY CONTRACTOR)
- 5 FUTURE UMTS CABINET
- 9 8'-9" CEDAR FENCE (PROVIDED BY CONTRACTOR). 8'-0" POST TO POST TYPICAL.
- 10 PROPOSED 12'-0" SWINGING CEDAR LOCKING GATE. AT&T SIGNAGE MOUNTED TO GATE. LOCK PROVIDED BY AT&T.
- 11 ARGUS TE20 POWER CABINET.
- 14 COAXIAL CABLE (PROVIDED BY AT&T) TO ANTENNAS. SEE COAX LENGTH SCHEDULE ON THIS SHEET.
- 15 PEDESTAL MOUNTED WAVEGUIDE BRIDGE (PROVIDED BY CONTRACTOR).
- 17 POWER & TELCO LINES.
- 18 AT&T UTILITY CABINETS (PROVIDED BY CONTRACTOR).
- 19 PARKING PROTECTION BALLARD TYP. OF (4)
- 20 GPS/E911 COMBINED ANTENNA (PROVIDED BY GOODMAN).
- 21 ARGUS 48v TE20B BATTERY BACKUP CABINET.
- 23 AT&T POWER METER MOUNTED ON WALL.
- 24 REGENT 300W HALOGEN LIGHT W/ 1 HR TIMER SWITCH/GFI DUPLEX RECEPTACLE.
- 25 FUTURE SCC CABINET.

**SITE NOTES**



EQUIPMENT SITE PLAN  
 22'x34' SCALE: 1/4"=1'-0"  
 11'x17' SCALE: 1/8"=1'-0"

**COAX LENGTH SCHEDULE**

COAX LENGTHS ARE CALCULATED FROM THIS DRAWING SET. ANY DEVIATION FROM THE PROPOSED DESIGN MAY REQUIRE ALTERATION OF COAX LENGTHS. CONTRACTOR SHALL ENSURE THAT FINAL DESIGN AND COAX LENGTHS ARE COORDINATED.

SECTOR	LENGTH	# COAX	DIAMETER
SECTOR "1"	180'	4	1 5/8"
SECTOR "2"	180'	4	1-5/8"
SECTOR "3"	180'	4	1 5/8"

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CSA  
 CONSULTING ENGINEERS  
 2895 BEAVERCREEK ROAD  
 OREGON CITY, OREGON 97045  
 (503) 228-3848

PROJECT NO:	10649
DRAWN BY:	A. INGMAN
CHECKED BY:	J CRAIG

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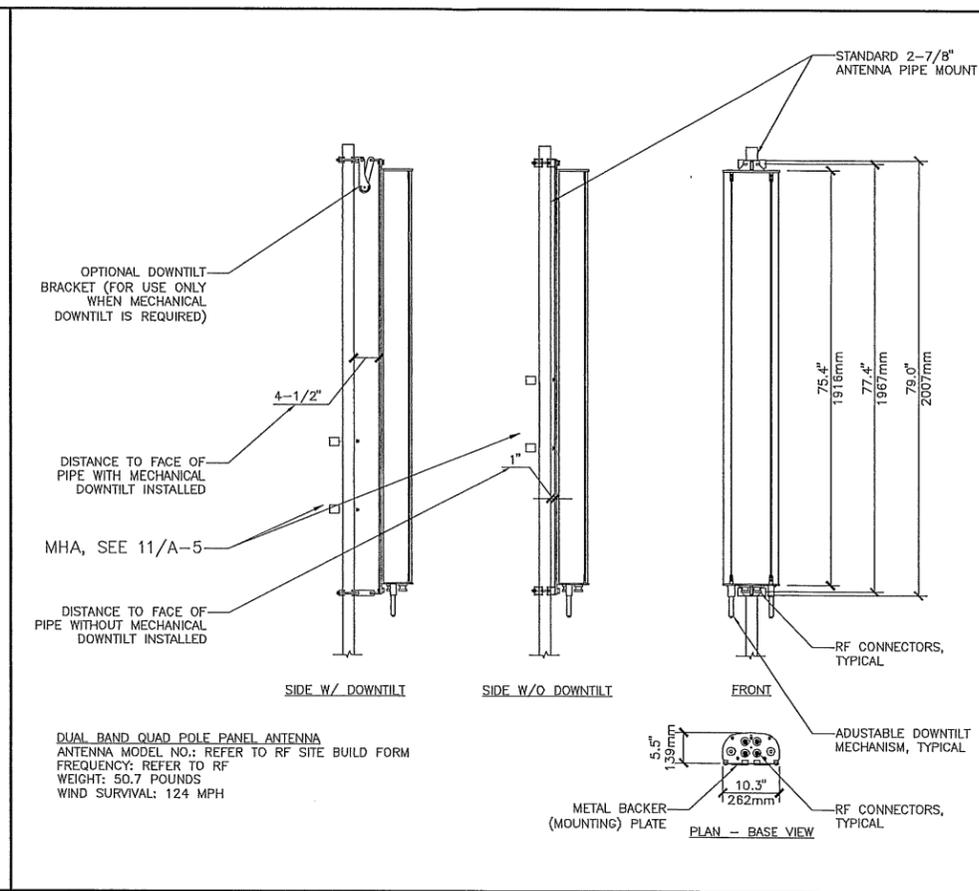
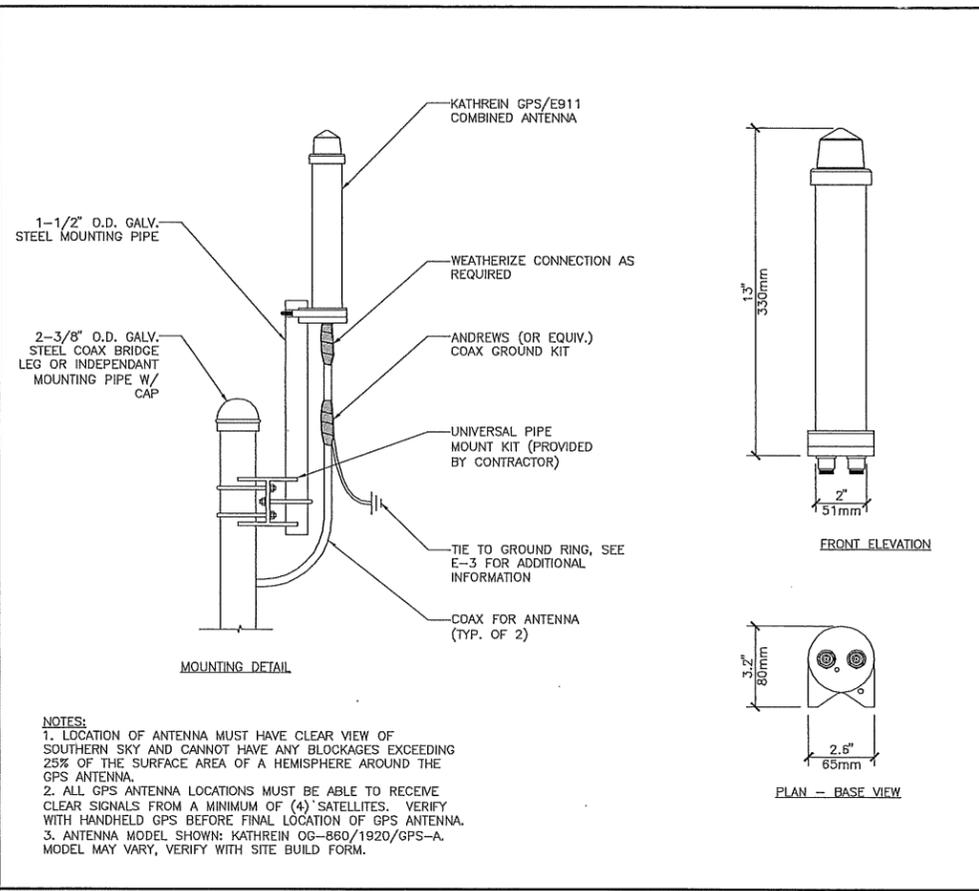
SITE NAME  
**MD01 ASHLAND SOUTH OPTION 6**  
 1644 ASHLAND STREET  
 ASHLAND, OR 97520

SHEET TITLE  
 (E) ROOF VENT  
**ROOF TOP/  
 1ST FLOOR UTILITY ROOM  
 SITE PLANS**

SHEET NUMBER  
**A-2**

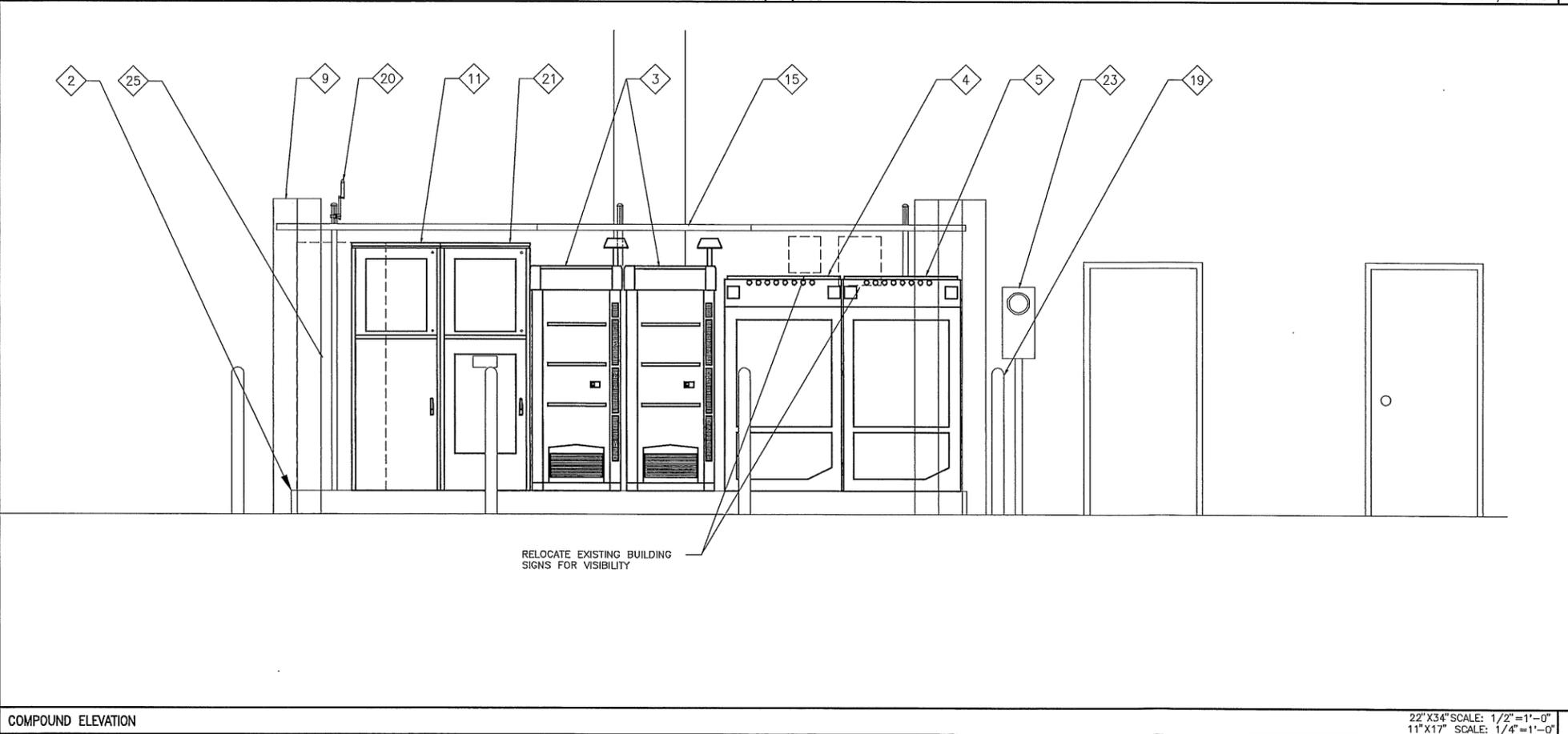
PROCESSED  
 JUL 15 2009  
 City of Ashland  
 Community Development





- CONSTRUCTION PLAN KEYED NOTES**
- 2 8" 10'x19' CONCRETE SLAB ON GRADE (PROVIDED BY CONTRACTOR)
  - 3 NOKIA ULTRASITE CABINETS NO. 1 & 2 (PRIMARY - PROVIDED BY AT&T).
  - 4 PROPOSED UMTS CABINET (PROVIDED BY CONTRACTOR)
  - 5 FUTURE UMTS CABINET
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  - 20 GPS/E911 COMBINED ANTENNA (PROVIDED BY GOODMAN).
  - 21 ARGUS 48v TE20B BATTERY BACKUP CABINET.
  - 23 AT&T POWER METER MOUNTED ON WALL.
  - 24 REGENT 300W HALOGEN LIGHT W/ 1 HR TIMER SWITCH/GFI DUPLEX RECEPTACLE. SEE DETAIL SHEET A-4.1.
  - 25 FUTURE SCC CABINET.

GPS/E911 COMBINED ANTENNA DETAIL SCALE: NTS 5 PANEL ANTENNA DETAIL 22"X34" SCALE: 3/4"=1'-0" 11"X17" SCALE: 3/8"=1'-0" 4



**SITE NOTES**

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SITE NAME

MD01  
 ASHLAND SOUTH  
 OPTION 6  
 1644 ASHLAND STREET  
 ASHLAND, OR 97520

SHEET TITLE

ELEVATION(S)

SHEET NUMBER

**A-3.1**

**Goodman Networks**  
 7360 SW HUNZICKER, SUITE 206  
 PORTLAND, OR 97223

**at&t**  
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 16221 NE 72nd WAY  
 R.T.C. 3  
 REDMOND, WA 98052

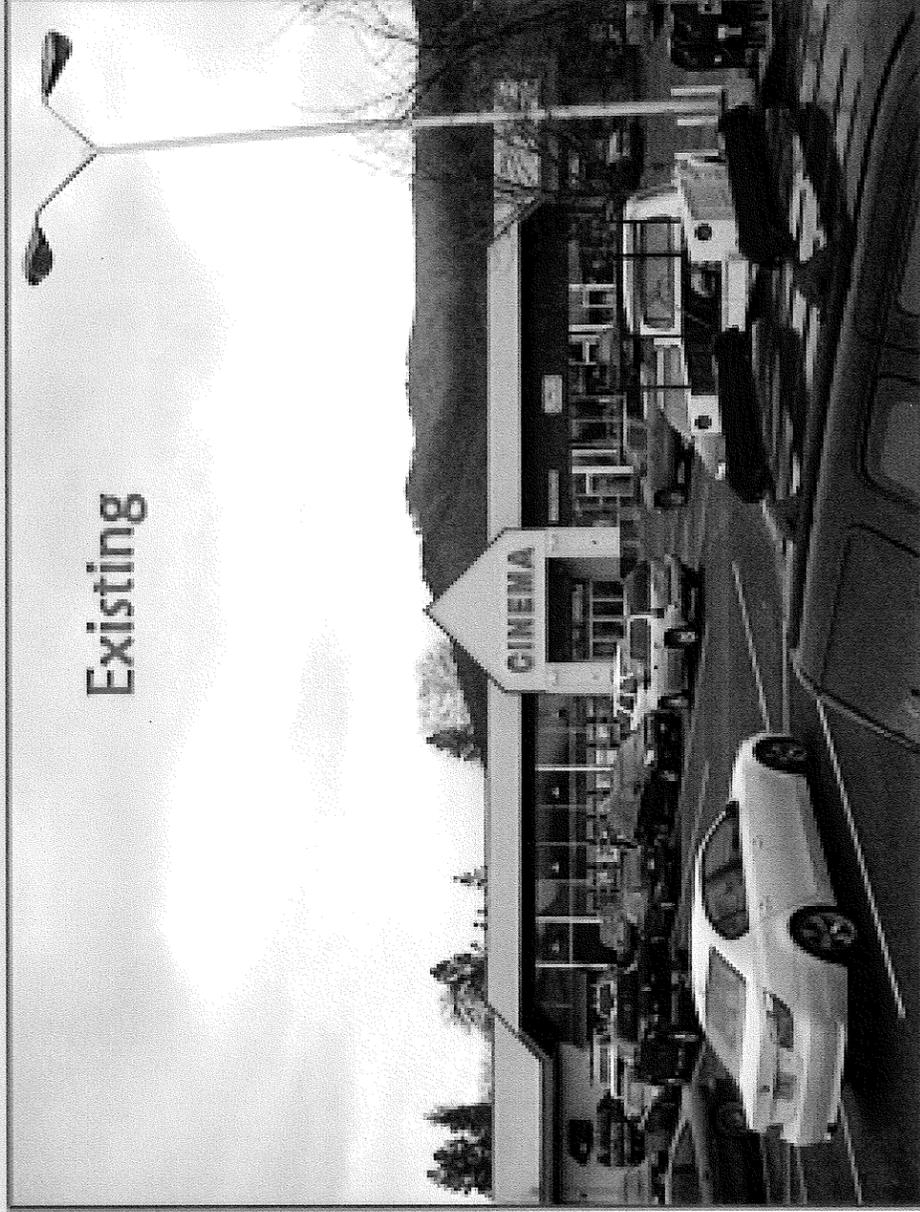
**CSA CONSULTING ENGINEERS**  
 2895 BEAVERCREEK ROAD  
 OREGON CITY, OREGON 97045  
 (503) 228-3848

PROJECT NO: 10649  
 DRAWN BY: A. INGMAN  
 CHECKED BY: J CRAIG

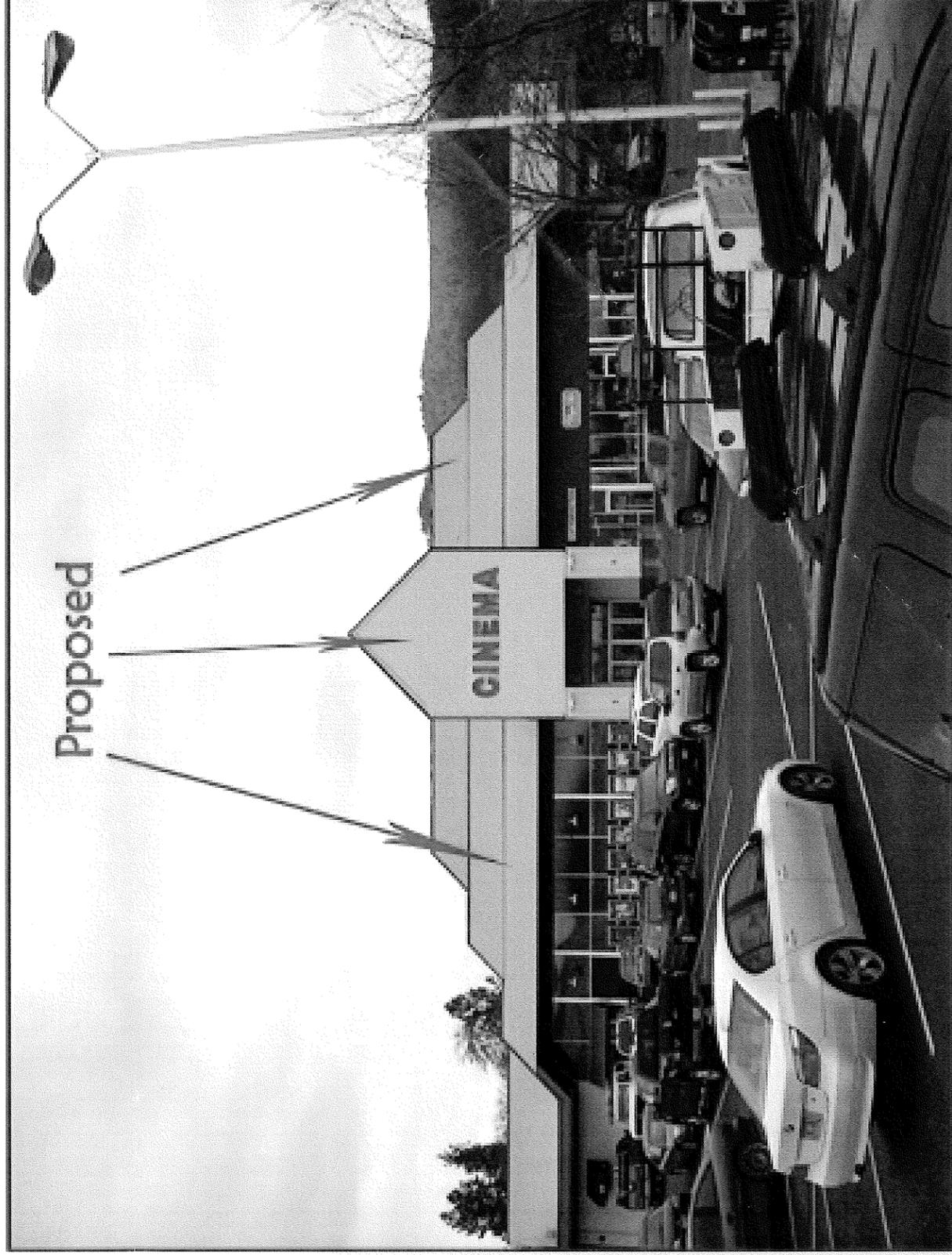
# ASHLAND SOUTH



Existing



Proposed



View from Parking Lot looking South

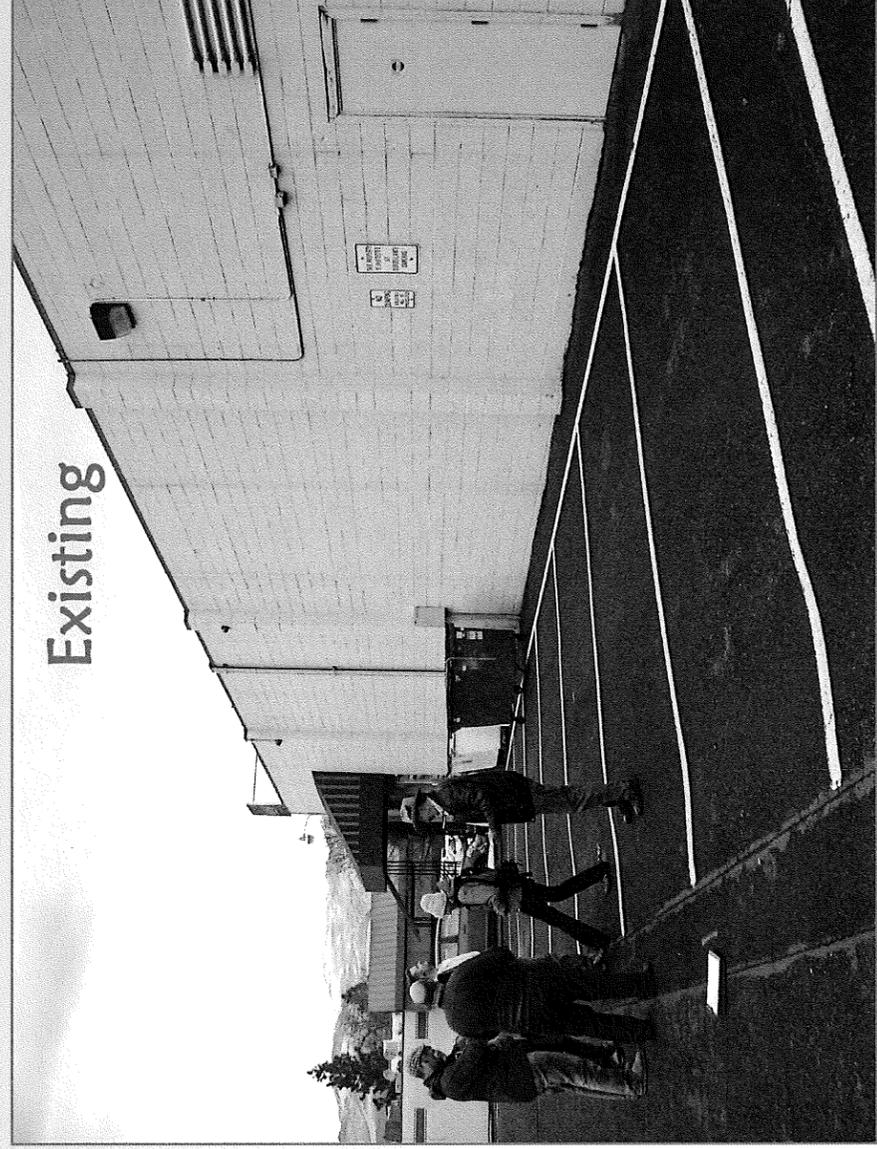
CSA Consulting Engineers, LLC

ENCINO

JUL 15 2009

City of Encino  
Community Development

# ASHLAND SOUTH



View, West Side of Building, looking North and NorthEast

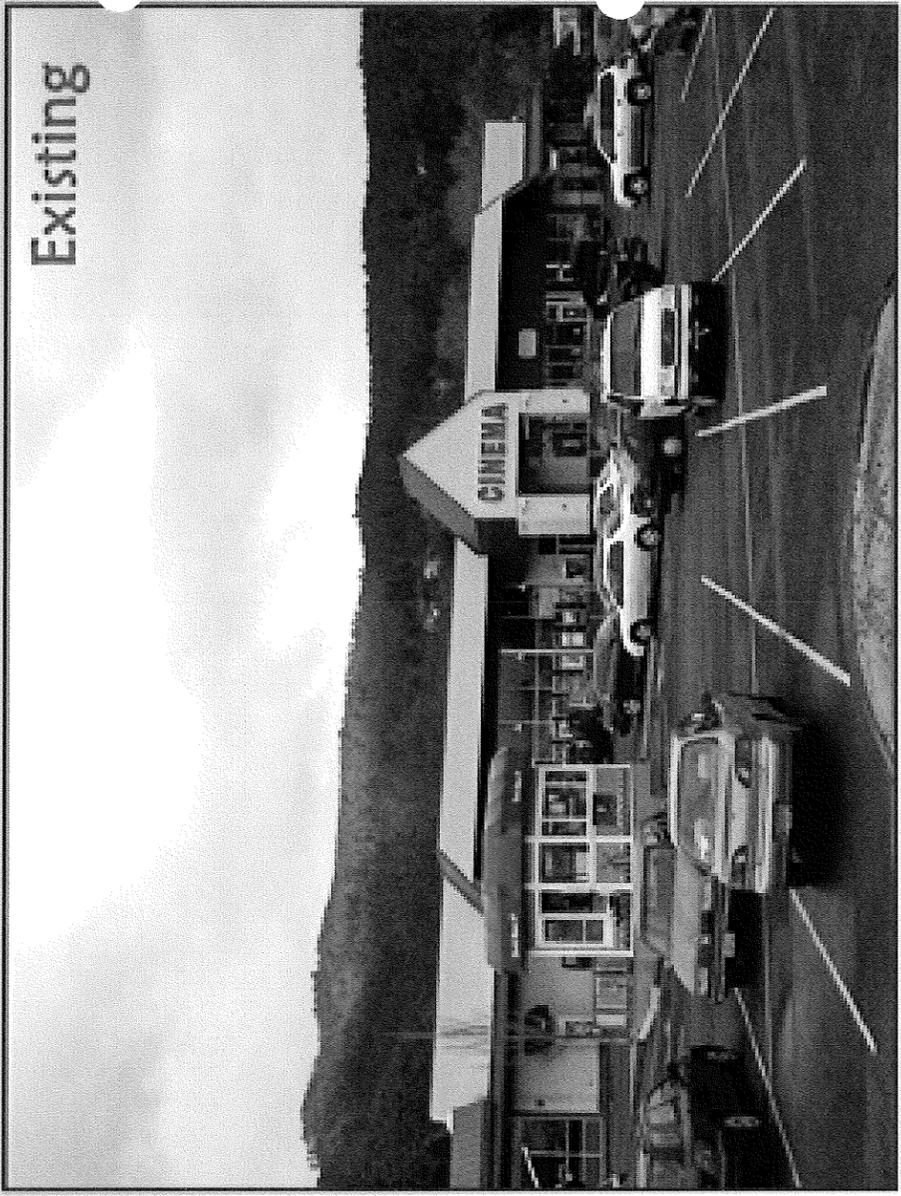
CSA Consulting Engineers, LLC

ENCLOSURE

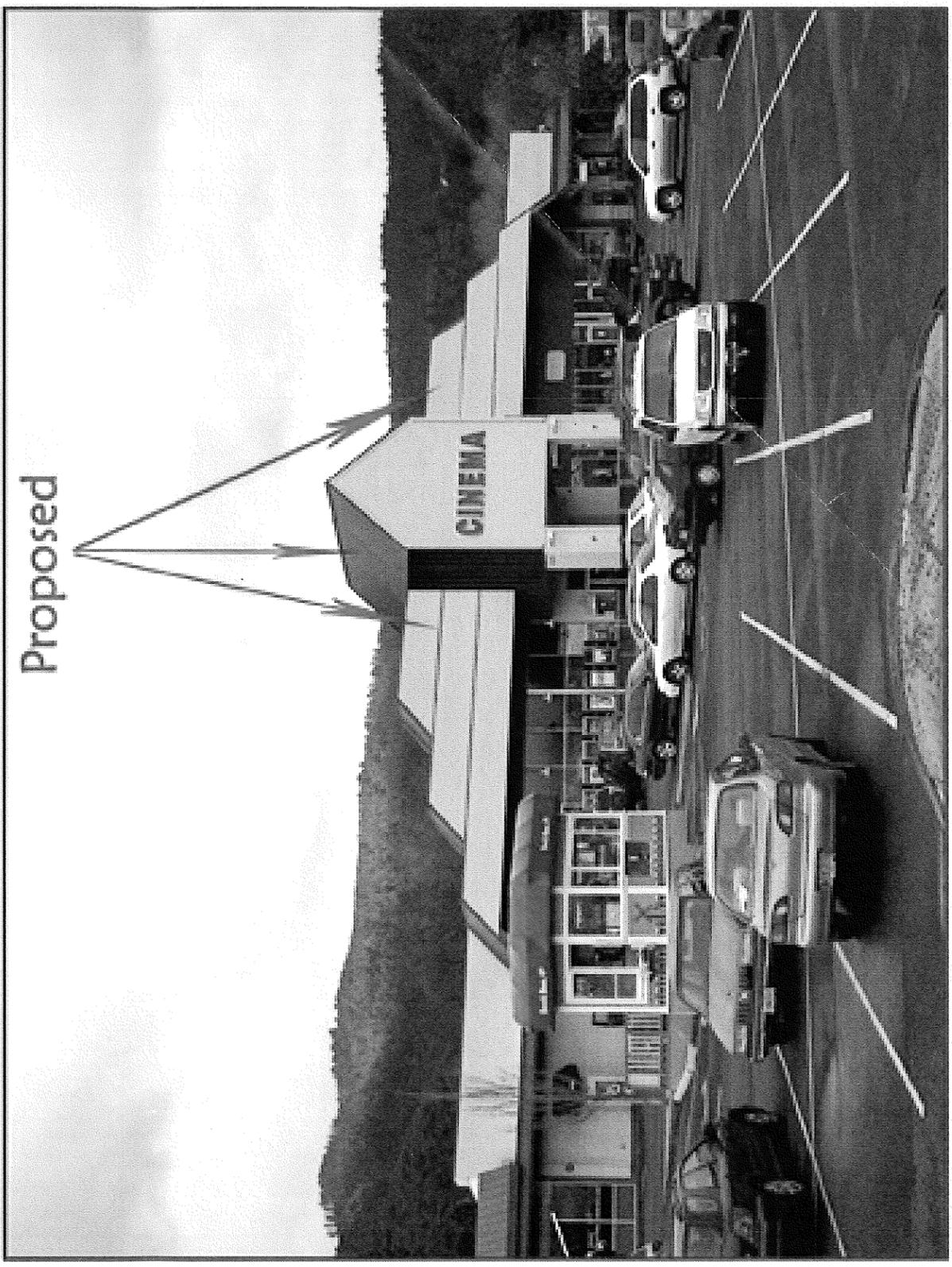
JUL 15 2009

City of Ashland  
Community Development

# ASHLAND SOUTH



Existing



Proposed

View from Parking Lot looking South and slightly Southwest

CSA Consulting Engineers, LLC

ENCLOSURE

JUL 15 2009

City of Ashland  
Community Development

ASHLAND ST

PA #2009-01244  
1644 ASHLAND STREET/ASHLAND ST CINEMA  
SUBJECT PROPERTY

LIT WY

RAY LN

JOY AV

SISKIYOU BLVD



0 50 100 200 Feet

Property lines are for reference only, not scaleable