

**ASHLAND HISTORIC COMMISSION
ELECTRONIC MEETING
DRAFT Meeting Minutes
April 6, 2022**

Community Development/Engineering Services Building – Electronic Meeting

CALL TO ORDER:

Hovenkamp called the electronic meeting to order at 6:00pm.

Commissioners Present:	Council Liaison:
Shostrom	Shaun Moran
Whitford	Staff Present:
Emery	Brandon Goldman; Planning Manager
Hovenkamp	Regan Trapp; Permit Technician II
Swink	
Von Chamier	
Commissioners Absent:	Skibby

APPROVAL OF MINUTES:

Shostrom/Emery m/s to approve minutes for March 2, 2022. Voice vote. ALL AYES. Motion passed.

PUBLIC FORUM:

Elk's building mural project - Peter Finkle and John Pugh

John Pugh (local muralist) presented his ideas regarding the mural to the Commission. John showed the Commission some of his work that he has done in many places. He likes to create illusions with his art to create the human experience. The proposal encompasses the original Chautauqua Dome, painted blue with Native American vibe and the idea that Ashland represents a spiritual energy. The name of the painting is called "Enchantment" which depicts and tells the story of Ashland. There is no time frame on this project yet because he wants to make sure that everyone is on the same page and approves of the design. He will be working with the Elks to raise money for the entire project.

Commission feedback:

- This is creating interest with the 3D design and allows it to feel more real.
- Loves the whimsical way of the design on one of the most historic buildings in Ashland.
- Work is spectacular and will be a nice addition to downtown. Wonderful to have indigenous representation.
- This type of mural will stand out and looks very provocative and fun.
- It's a prominent location and will dominate the whole street scene.
- The mural will engage people to ask questions about the community and invite visitors to see what Ashland has to offer.

COUNCIL LIAISON REPORT:

Councilor Moran gave the liaison report. Items discussed were:

- New City Manager Joe Lessard - Making necessary personnel hires and dealing with fiscal issues.
- New Assistant City Manager Sabrina Cotta welcomed.
- Departments within the general fund will have to cut 5-10%.
- Council working with SOU on community survey regarding City services.

PLANNING ACTION REVIEW

PLANNING ACTION: PA-T2-2022-00037

SUBJECT PROPERTY: 165 Water Street, 160 Helman Street and 95 Van Ness
(corner of Van Ness & Water Streets)

APPLICANT: Rogue Planning & Development Services, LLC, *agent for*

OWNERS: Magnolia Investment Group, LLC and Gil Livni

DESCRIPTION: A request for an eight-lot commercial subdivision to construct a phased mixed-use development for the three properties at the corner of Van Ness and Water Streets including 95 Van Ness Street, 165 Water Street and 160 Helman Street. The applicant's Phase I requests Site Design Review approval for five mixed-use buildings consisting of two ground floor commercial spaces with two residential units above in each building, as well as associated surface parking, utility infrastructure and street improvements. The remaining three building sites would be developed in a later phase. The application also includes a request for a Physical & Environmental (P&E) Constraints Review Permit because the proposal includes development on severe constraints lands with slopes greater than 35 percent and on floodplain corridor lands; a request for an Exception to the Development Standards for Hillside Lands; a request for a Tree Removal Permit to remove 20 trees on the subject properties and within the adjacent rights-of-way; a request for an Exception to the Site Development and Design Standards to allow 3,087 square feet of plaza space where the standards require 5,624 square feet; and a request for an Exception to Street Standards to allow parking bays with street trees in bump-outs along Van Ness Avenue rather than standard park row planting strips. **COMPREHENSIVE PLAN DESIGNATION:** Employment; **ZONING:** E-1; **ASSESSOR'S MAP:** 39 1E 04CC; **TAX LOTS #:** 2000, 2100 & 7100

Hovenkamp disclosed that she had ex-parte contact with Mr. Brouillard, a neighbor who submitted his comments to the Commission via email. Hovenkamp expressed that this would have no impact on her decision moving forward.

Von Chamier recused herself from the meeting as she is working with the applicants on this project.

Severson gave the updated staff report for PA-T1-2022-00037. These include the latest revisions submitted to Planning.

Hovenkamp opened the public hearing to the applicants.

Applicants present:

Amy Gunter – Rogue Planning and Development

Gil Livni – Owner

Amy Gunter addressed the Commission regarding the revisions since the last meeting. She stated that this is an eight-lot subdivision reduced to six lots with eight condo buildings. A solar setback waiver is no longer required, and lot consolidation eliminates frontage issue for previously proposed lot 5. Detail site design review plaza area exceeds minimum area and no longer seeks an exception. Looking into public alley to possibly be named "factory alley."

See presentation from staff & applicants– Attachment A

The Commission had comments and questions for the applicant's regarding the following:

- How much lower overall can the 3-story building be?
 - **Gunter-** Height will be reduced by 2 ft. all buildings along Helman average 36.5 – 38.5 ft tall. They could bring the decks in a bit to create less massing.
- How do we understand transition zone compliance? Does one take precedence over the other?
 - **Severson-**Transition between R3 and Employment zoning is finding a balance between the two and still finding ways to respond to the transition while allowing development to happen.
- There is nothing in the code to help out the residences on the west side regarding solar.

Public Testimony and comments submitted:

Eric Bonetti – Ashland resident (see attached photos – Attachment B) Owns adjacent property at 105 Water Street.

Mr. Bonetti presented photos of the area and spoke about how much he enjoys the Railroad District. He said that this project is a good opportunity to clean up the area, bring jobs and new residents to the area. He spoke about several buildings in the area that are similar in detailing and materials and feels the designs submitted are appropriate for the area.

Cat Gould – See comment attached (Attachment C)

Mark Brouillard – See comment attached (Attachment D)

Amy Gunter stated that It's critical that property owners pay attention to what they are buying into when they purchase properties near transitional zones.

Hovenkamp opened to the Commission to comments.

The Commission deliberated the following before rendering their decision:

- The business of the City is to create tax lots and to make revenue – In that way, the rules are stacked against the residents and in favor of the developer. Incongruity in building height between commercial and residential zones.
- The transitional zone was added to realize that there does need to be a balance between the two zones. How can you adjust to make it more compatible?
- Balancing design standards and zoning standards.
- Commission should be forthright and compelling about their recommendations.
- Most buildings in the area stand alone and these proposed buildings stand together and will look like three big apartment buildings.
- Do the changes that the applicant made conform to the recommendations?

Shostrom/Whitford m/s to deny PA-T1-2022-00037 until recommendations below have been met. Voice vote. ALL AYES. Motion passed.

Recommendation:

The Historic Commission would like to thank the applicants for the proposed building design modifications since the Commission reviewed the project last month. The Commission finds that most of the incremental changes are effective in that they address some of the Commission's concerns regarding the building façades and pedestrian amenities, but these revisions fall short in focusing on the major issues identified in the March meeting, which had to do with the height, scale, and massing of the buildings as they relate to the Historic District Design Standards (AMC 18.4.2.050.B.2-B.4.)

This massive development of eight nearly identical "cookie cutter" designs has no precedent in Ashland or its historic districts. The Commission cannot support approval of a project that has demonstrated such disregard in their attempt to comply with our historic standards and the scale of our city and neighborhoods. In particular, the three buildings facing Helman Street with a height of up to 40 feet and three stories will overwhelm the mostly single-story historic residences across the street.

These proposed buildings fail to achieve an appropriate scale and façade compatibility to the adjacent historic streetscape. Additionally, the zero setback to the sidewalk exacerbates the building mass and scale that will overwhelm the adjacent pedestrian traffic. By comparison, the Plaza Inn & Suites hotel on the same side of Helman Street, nearer to downtown, has 15- to 20-foot setbacks and is only two-stories in height.

In the Historic Commission's view, the building architecture and landscape design on this project is very attractive and high quality, but, the buildings are just not compatible with the scale of the historic district residences in the impact area, across Helman Street. For these reasons, the Commission cannot support moving this application forward.

With that in mind the Historic Commission voted unanimously to recommend that the project be denied.

PLANNING ACTION: PA-T1-2022-00179

SUBJECT PROPERTY: 247 Seventh Street

OWNER: Bar-Gem Vineyards, LLC

APPLICANT: Rogue Planning & Development Services, LLC

DESCRIPTION: A request for a Conditional Use Permit to expand an existing non-conforming structure by approximately 30 square feet. The existing building was constructed prior to current regulations and encroaches into a six-foot side yard setback. In the area of this encroachment there is a small bathroom, and the applicant is requesting to enlarge it to increase the floor area and headroom. *The proposed addition is approximately 29.75 square feet, of which approximately 19.2 square feet encroach into the setback.* **COMPREHENSIVE PLAN DESIGNATION:** Low-Density Multi-Family Residential; **ZONING:** R-2; **MAP:** 39 1E 09BA; **TAX LOT #:** 2800

There was no conflict of interest or ex-parte contact indicated by the Commission.

Severson gave the staff report for PA-T1-2022-00179

Hovenkamp opened the public hearing to the applicants.

Applicants present:

Amy Gunter – Rogue Planning and Development

Jean and John MacConaghy – Owners

Carlos Delgado - Architect

Amy Gunter addressed the Commission regarding the project.

See presentation - Attachment E

There were no questions from the Commission.

Whitford/Swink m/s to approve PA-T1-2022-00179 as submitted. Voice vote. ALL AYES. Motion passed.

PRE – APP REVIEW

160 Lithia Way: Pre-application submittal

See presentation - Attachment F

Applicants present:

Raymond Kistler – KSW Architects

Tom Lamore – KSW Architects

Amy Gunter – Rogue Planning and Development

Guidance to applicants:

- Appreciate the idea of eliminating the juliet balconies.
- Good design
- There is a hole in that side of the street that needs to be filled and it works well with the neighborhood.

485 A Street: Pre-application submittal

Applicants present:

Steve Hoxmeier -Applicant and Owner

Steve Hoxmeier spoke about his project. He stated that he would be extending towards A' Street using the same materials and design to match with the building. There will be more focus on the commercial frontage of the building.

Goldman noted that the drawings would need to be submitted by a design professional once a formal planning application is submitted.

Guidance to applicant:

- Scaled drawings showing windows on lower level and detail in the gable ends.
- More detailed drawings submitted by a design professional.
- Show on site plan what the plan for phase 3 would be.
- Show existing and changes in elevation.

DISCUSSION ITEMS

Historic Preservation Week – PastForward

Historic Preservation Awards scheduled for Tues, May 17th @12:30

2022 nominations - Decide on winners

HPW Addition Winner: 542 Siskiyou

Commissioner assigned: Whitford

HPW Addition Winner: 73 Pine

Commissioner assigned: Shostrom

HPW MU-Commercial Winner: 185-199 Lithia Way

Commissioner assigned: Von Chamier

HPW Individual Winner: 175 Church

Commissioner assigned: Swink

HPW Civic Winner: MAPS Project

Commissioner assigned: Hovenkamp

Wildfire Mitigation Construction Standards (R327.4)

Goldman briefly discussed the standards with the Commission to make sure that they were familiar with it. He went on to say that if there were any questions of the Commission regarding these standards that he would direct them to the City of Ashland building official.

ADJOURNMENT

Next meeting is scheduled for May 4, 2022, at 6:00pm via Zoom.

There being no other items to discuss, the meeting adjourned at 9:30pm

Respectfully submitted by Regan Trapp

Magnolia Terrace

165 Water St, 160 Helman St & 95 Van Ness Av

Planning Commission Hearing

April 6, 2022

STAFF PRESENTATION HC 4.6.2022

Part of Attachment A



Building 3 (Helman Street)
Original Elevation

Building 3 (Helman Street)
Revised Elevation

Magnolia Terrace

Helman Street Elevations from March



7
A0.4

HELMAN STREET ELEVATION

SCALE: 3/32" = 1'-0"



Magnolia Terrace

Last Month's Historic Commission Recommendation

The Historic Commission finds that there is no historical precedent in Ashland for three nearly identical, large buildings being constructed together (side by side) in a historic district. The designs and landscaping here are excellent, and help to mitigate this to a degree, however the designs are too repetitious and this emphasizes the significant difference in height and character relative to the residences on the other side of Helman Street.

The Historic Commission has concerns that the height, scale and massing of the three buildings (**AMC 18.4.2.050.B.2-4**) proposed along Helman Street for Buildings #1, #3 and #4 are out of scale with the one- to one-and-a-half-story historic residential buildings across Helman Street. The Commission asks that the designs be revisited to look at changing the height of the individual stories (i.e. 11-foot ceilings seemed excessive when height is an issue), and potentially reducing the number of stories on at least the two end buildings (#1 and #4). In the Commission's view, if the buildings on Helman were lower, the remaining buildings could "cascade" around the Van Ness corner as taller buildings there would be mitigated by the grade change and the fact that there is not a single-story, historic residential streetscape across Van Ness Avenue.

The Historic Commission believes that the designs would benefit from a greater variety of material treatment and finishes, and greater variations in height and/or number of stories to relieve the monotony as they present to the historic Helman Street streetscape.

Magnolia Terrace

Changes to the Proposal Since March

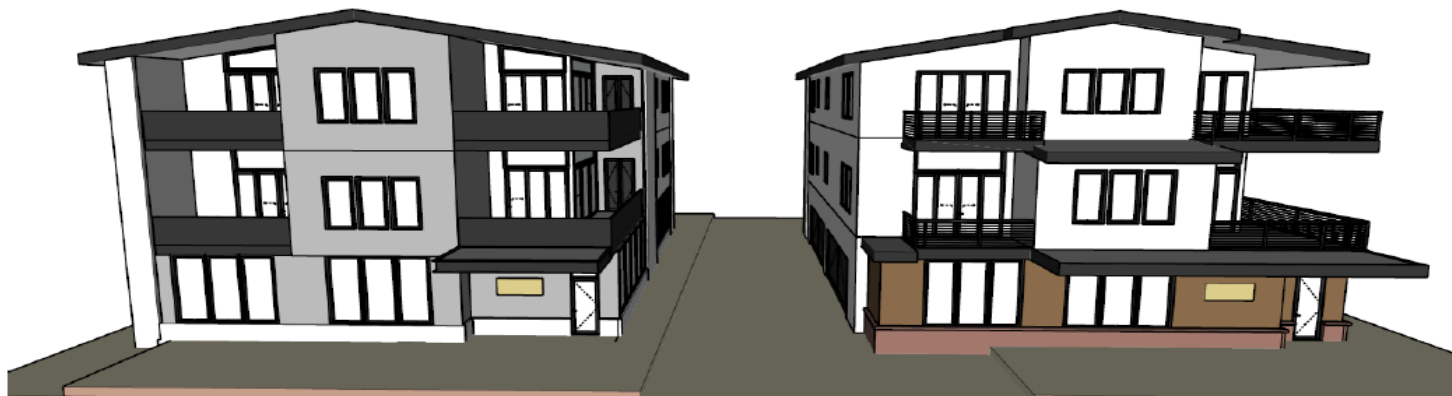
The number of lots to be created through the proposed subdivision has been reduced from the originally-proposed eight lots considered during the Planning Commission hearing in March down to six lots here. The previous Lots 1 & 3 and Lots 4 & 5 have been combined. Eight buildings are still proposed in the same locations, but they would be constructed as condominiums.

- The resultant lot configuration alters property line locations and north property lines relative to the proposed buildings, and Solar Access Exceptions are no longer requested.
- The resultant lot configuration eliminates a previously identified street frontage issue for the previously proposed Lot 5.
- Each building has been reconfigured to provide 65 percent of the ground floor area in commercial uses.
- Plaza space has been more clearly detailed in the revised materials provided. The revised materials provided identify four distinct plaza areas totaling 8,774 square feet where a minimum of 5,581 square feet is required. An exception is no longer requested.
- A Traffic Impact Analysis (TIA) has been provided. The TIA concludes that all intersections meet mobility standards with the development in place, that the addition of development traffic will not substantially increase queueing conditions over the background conditions, and that all site driveways are projected to operate safely and efficiently.
- A geotechnical report has been provided to speak to the narrow, steeply-sloped band through the middle of the site.

Magnolia Terrace

Applicant's Revised Helman Street Designs

- Step the façade back to reduce the presence of the height.
- The roofline has been cut back to reduce the massing of the overhang.
- The center bay on Buildings 3 & 4 steps back three feet for the third floor from the wall plane of the second floor, and a shed roof has been added that emphasize the step back.
- There have been surface and material changes to Buildings 3 & 4.
- A brick base has been added.
- The pedestrian overhang on the ground floor has been increased in length to add shadow lines and increase the pedestrian scale of the building when at the sidewalk.
- White and lighter materials used on the third story to fade the building away.
- Open wire or mesh railings instead of the previously proposed solid panel railings.



March

Building 3 (Helman Street)
Original Elevation

April

Building 3 (Helman Street)
Revised Elevation

Magnolia Terrace

Renderings of Changed Designs on Helman



Magnolia Terrace

Rendering of Changed Designs on Helman



Magnolia Terrace

Rendering of Changed Designs on Helman



Magnolia Terrace

Helman Street Elevations



March

7
A0.4

HELMAN STREET ELEVATION

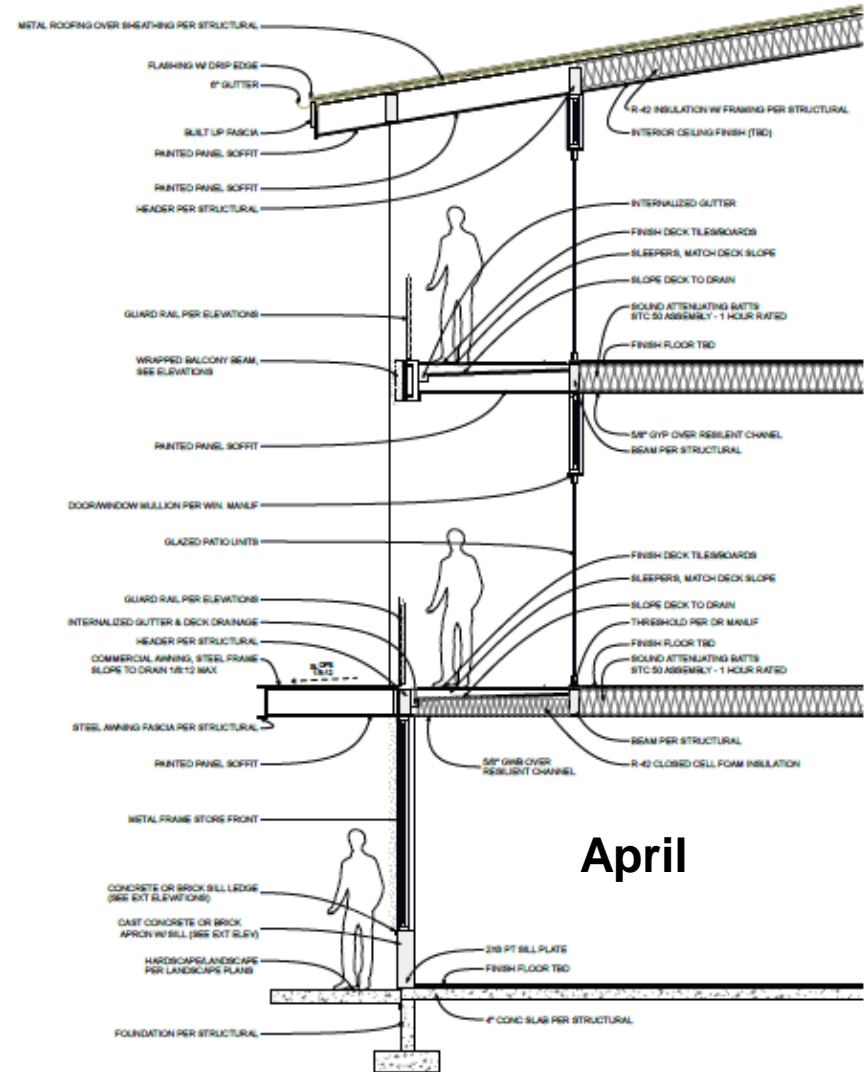
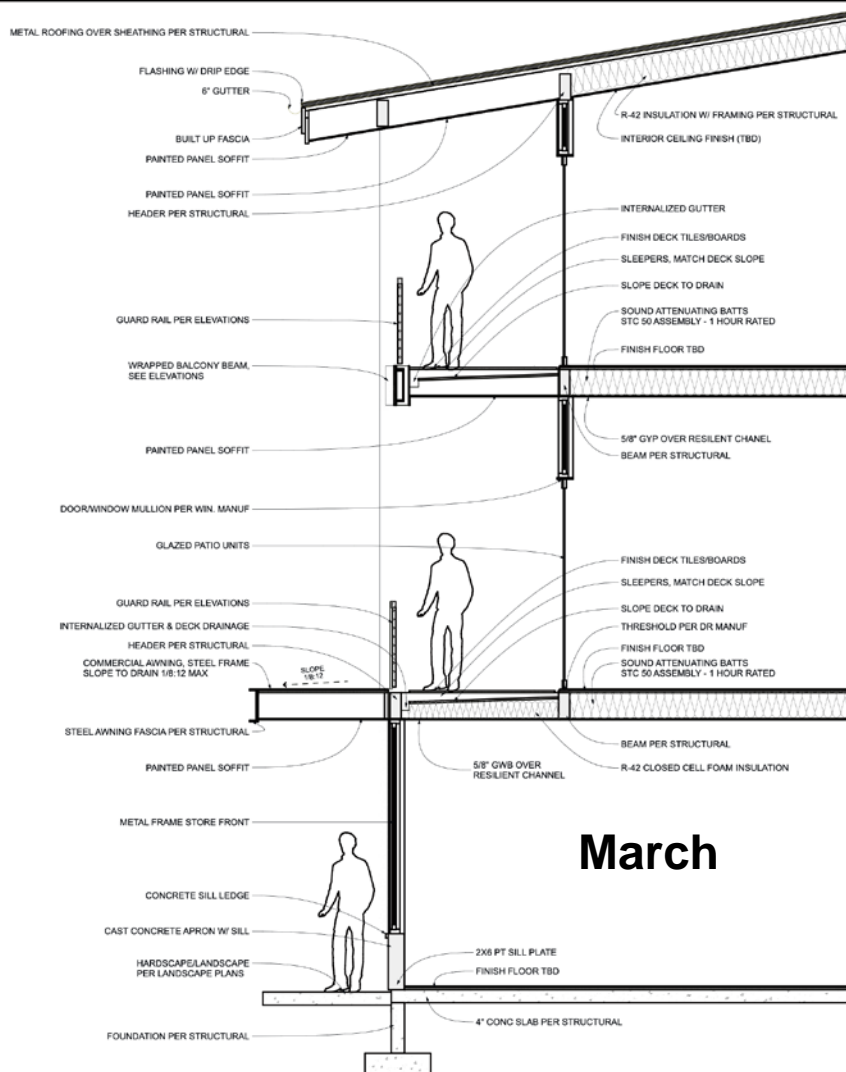
SCALE: 3/32" = 1'-0"



April

Magnolia Terrace

Typical Wall Section



Magnolia Terrace

Perhaps the key consideration with regard to the Historic District Development Standards here is how to apply **AMC 18.4.2.050.B.1** which speaks to “**Transitional Areas**” noting that, “*For projects located at the boundary between zones or overlays, appropriate adjustments to building form, massing, height, scale, placement, or architectural and material treatment may be considered to address compatibility with the transitional area while not losing sight of the underlying standards or requirements applicable to the subject property.*”

In staff’s assessment, the design revisions here have not gone far enough in making the necessary “*appropriate adjustments*” to address compatibility and more needs to be done with the “*building form, massing, height, scale, placement, or architectural and material treatment*” to better respond to the historic neighborhood context while still developing to the vision of the Employment zone.

The Historic Commission recommendations will aid the Planning Commission in their review of the proposed revisions when the reconvene the hearing next Tuesday.

Magnolia Terrace

165 Water St, 160 Helman St & 95 Van Ness Av

Planning Commission Hearing
March 8, 2022

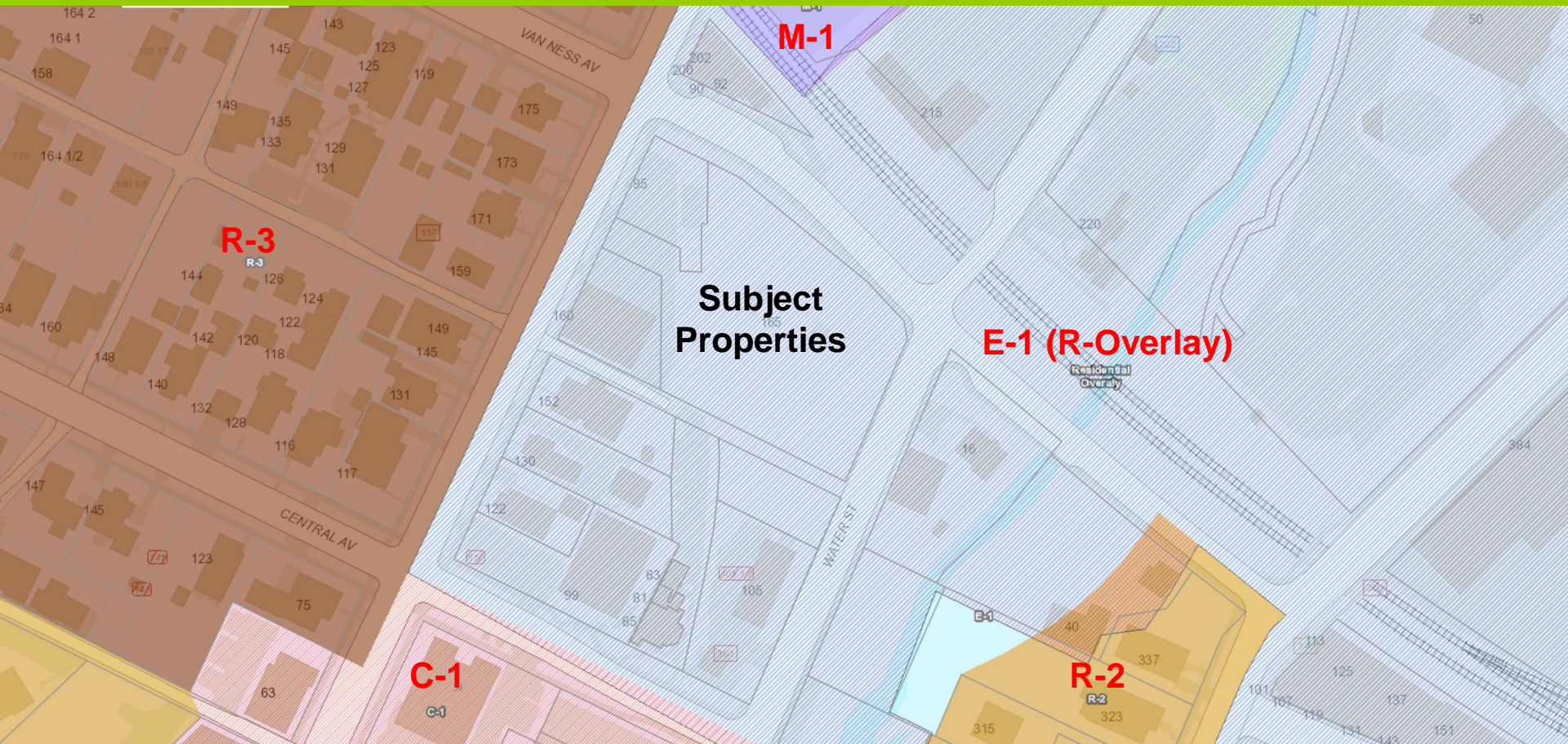


Magnolia Terrace

Proposal

- ❑ Eight-lot commercial **Subdivision** to construct a phased mixed-use development for the three properties including 95 Van Ness Street, 165 Water Street and 160 Helman Street.
- ❑ **Site Design Review** approval for five mixed-use buildings consisting of two ground floor commercial spaces with two residential units above in each building, as well as associated surface parking, utility infrastructure and street improvements. The remaining three building sites would be developed in a later phase.
- ❑ **Exception to the Site Development and Design Standards** to allow 3,087 square feet of plaza space where the standards require 5,624 square feet;
- ❑ **Exception to Street Standards** to allow parking bays with street trees in bump-outs along Van Ness Avenue rather than standard park row planting strips.
- ❑ **Physical & Environmental (P&E) Constraints Review Permit** because the proposal includes development on severe constraints lands with slopes greater than 35 percent and on floodplain corridor lands.
- ❑ **Exceptions to the Development Standards for Hillside Lands.**
- ❑ **Solar Access Exceptions** for Lots #3 and #4 (*request received after noticing*).
- ❑ **Tree Removal Permit** to remove all 20 of the trees on the property and within adjacent rights-of-way.

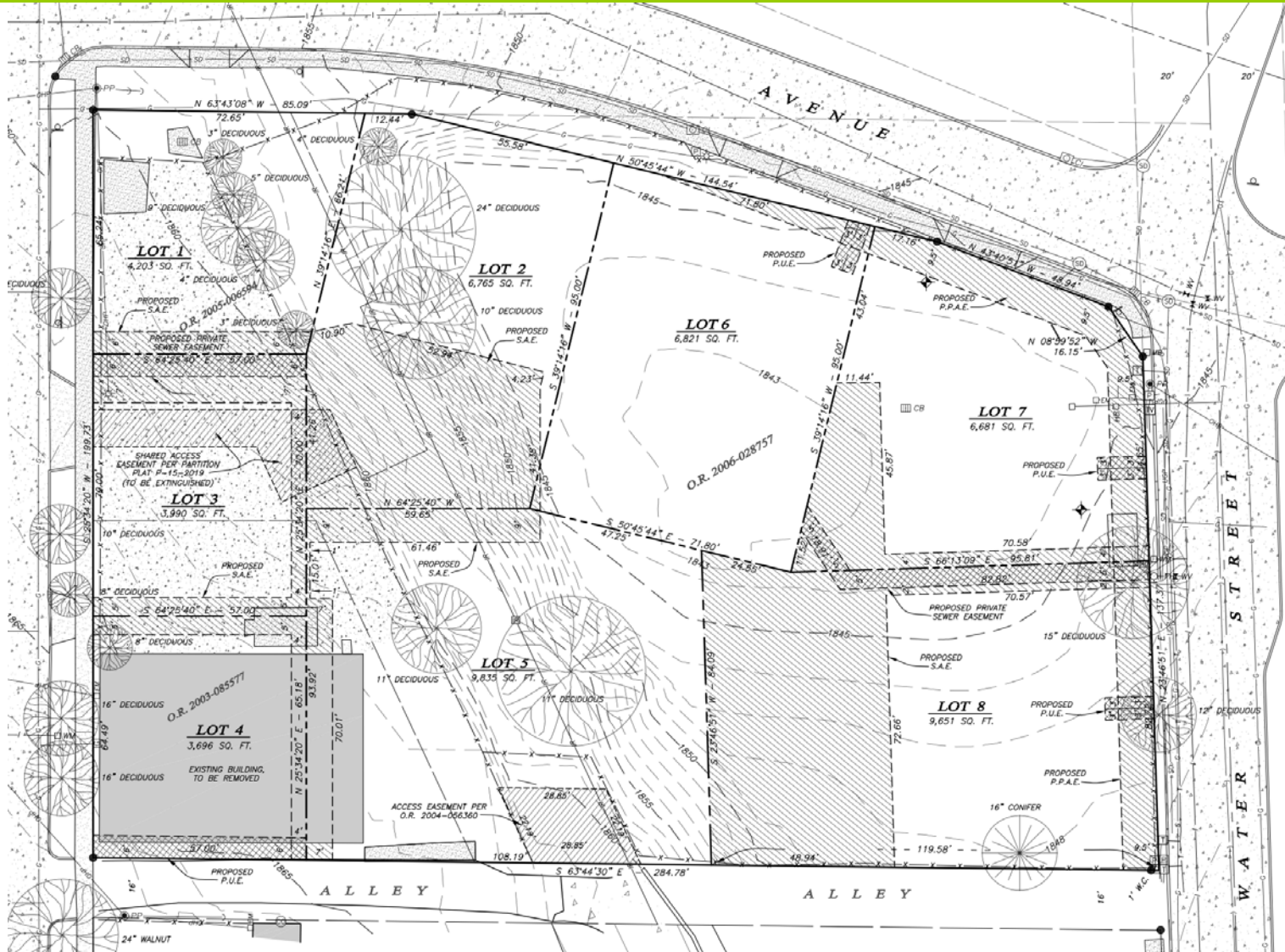
Magnolia Terrace Vicinity Map – Zoning



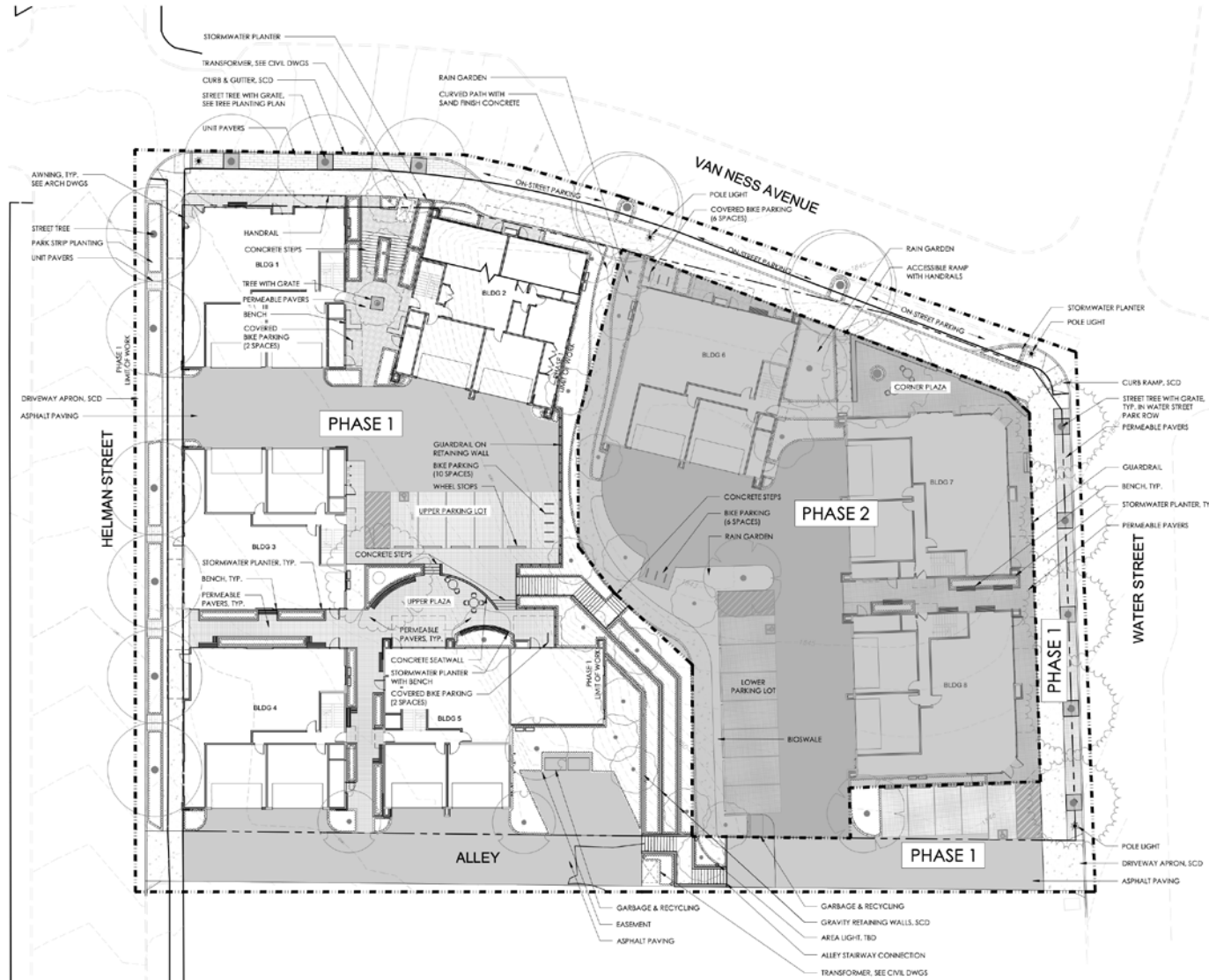


Magnolia Terrace

Preliminary Partition Plan



Magnolia Terrace Phasing Plan

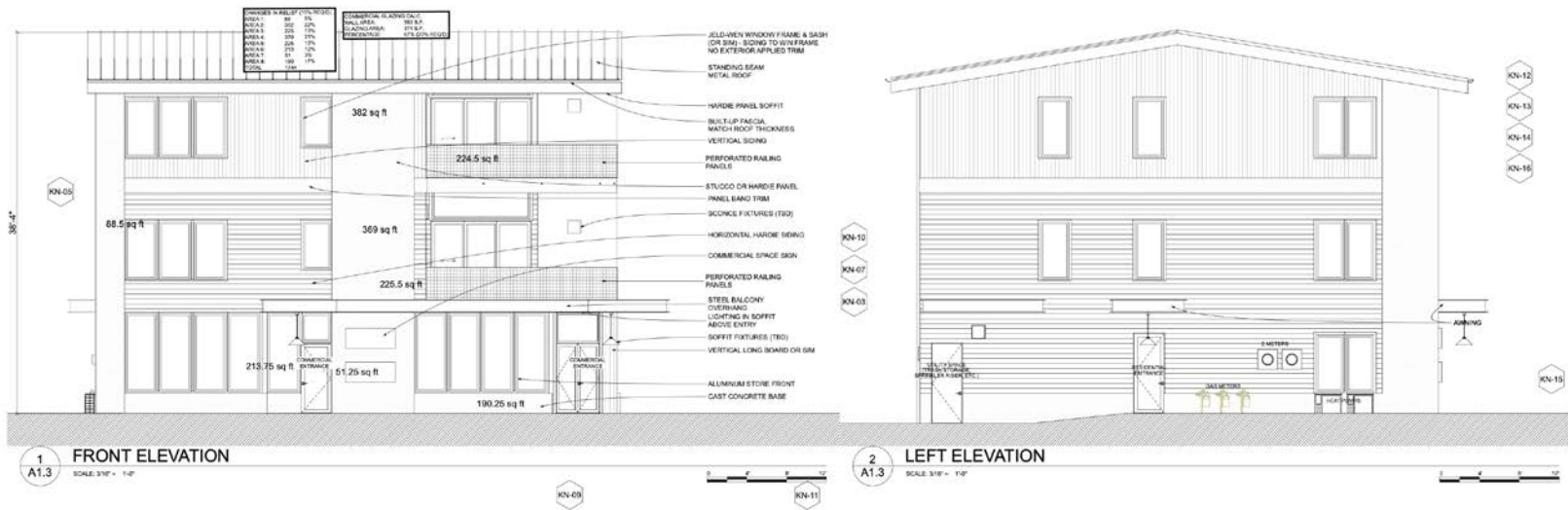


Magnolia Terrace Site Plan



Magnolia Terrace

Building #1 – Sheet A1.3



Magnolia Terrace

Building #1 from Corner

CITY OF
ASHLAND



Magnolia Terrace

Building #1 from Helman

CITY OF
ASHLAND



Magnolia Terrace

Building #2 - Sheet A2.3



WINDOWS BY ROOM (SIZES IN FEET)

AREA 1	201	12x
AREA 2	271	27x
AREA 3	261	27x
AREA 4	261	27x
AREA 5	251	12x
AREA 6	271	12x
AREA 7	261	12x
AREA 8	261	12x
AREA 9	261	12x
AREA 10	261	12x
AREA 11	261	12x
AREA 12	261	12x
AREA 13	261	12x
AREA 14	261	12x
AREA 15	261	12x
AREA 16	261	12x
AREA 17	261	12x
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AREA 93	261	12x
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AREA 95	261	12x
AREA 96	261	12x
AREA 97	261	12x
AREA 98	261	12x
AREA 99	261	12x
AREA 100	261	12x

CONCRETE FINISHING CALL

WALL AREA	603.5 SF
SKYLINE AREA	314.5 SF
SKYLINE PERIMETER	275.000 PERIMETER

Note: SEE A1.3 FOR MATERIALS AND DIMENSIONS



3 A2.3 SCALE: 3/8" = 1'-0"

2 A2.3 SCALE: 3/8" = 1'-0"

Magnolia Terrace

Building #3 – Sheet A3.3

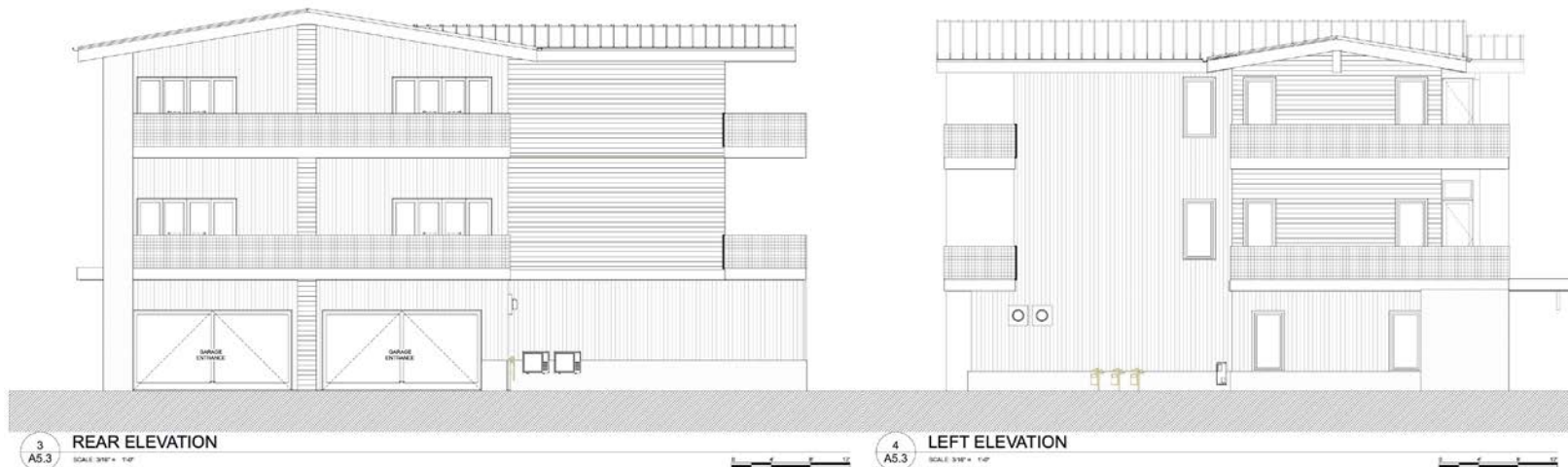


Note: SEE A1.3 FOR MATERIALS AND DIMENSIONS



Magnolia Terrace

Building #5 – Sheet A5.3



Magnolia Terrace

Water Street Elevations



6
A0.3

WATER STREET ELEVATION

SCALE: 3/32" = 1'-0"



Magnolia Terrace

Helman Street Elevations



7
A0.4

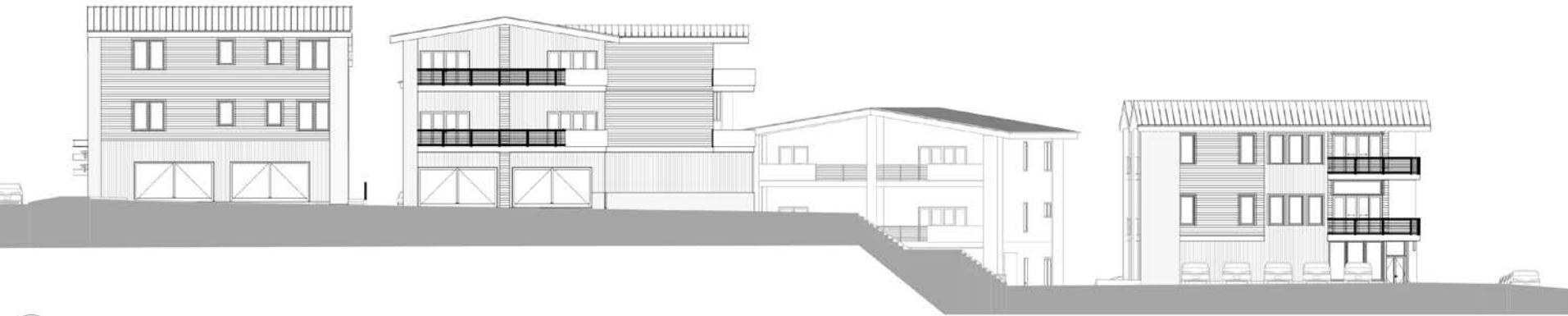
HELMAN STREET ELEVATION

SCALE: 3/32" = 1'-0"



Magnolia Terrace

Alley Elevations

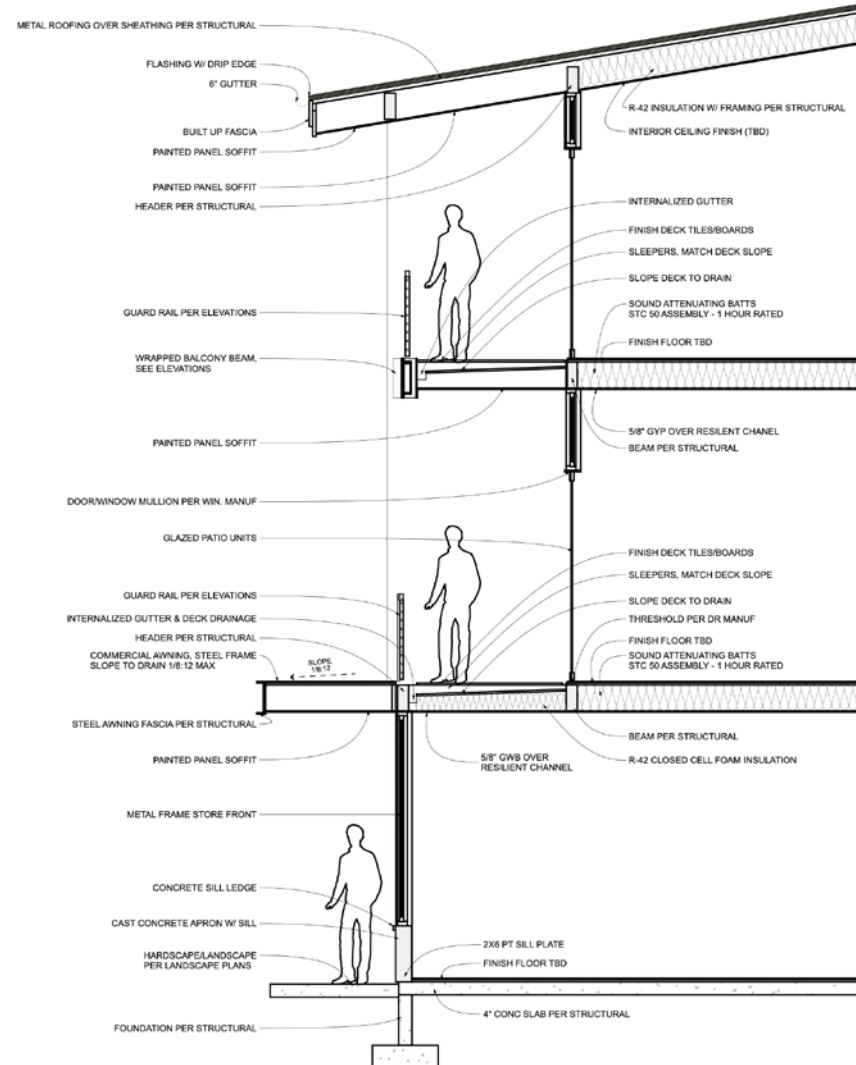
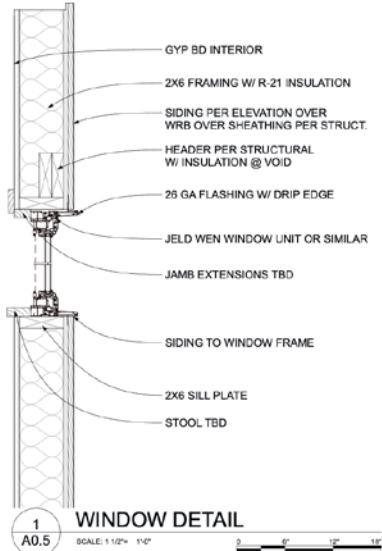


8 ALLEY ELEVATION
A0.4 SCALE: 3/32" = 1'-0"



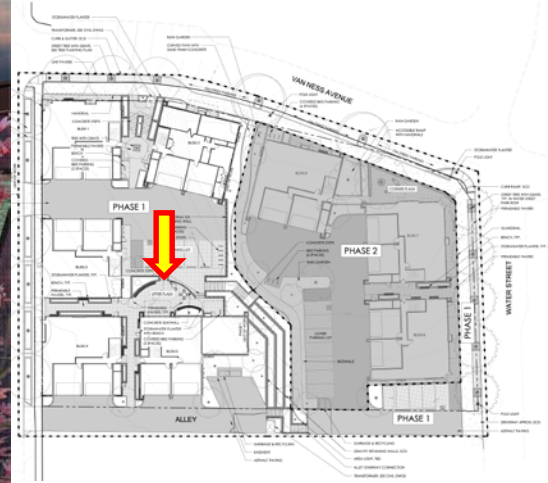
Magnolia Terrace

Typical Wall Section



Magnolia Terrace

Central Plaza Space (conceptual rendering)



Magnolia Terrace

Surrounding Streetview Comparisons – Sheet A0.2



165 Water St., 160 Helman St. & 95 Van Ness Ave.



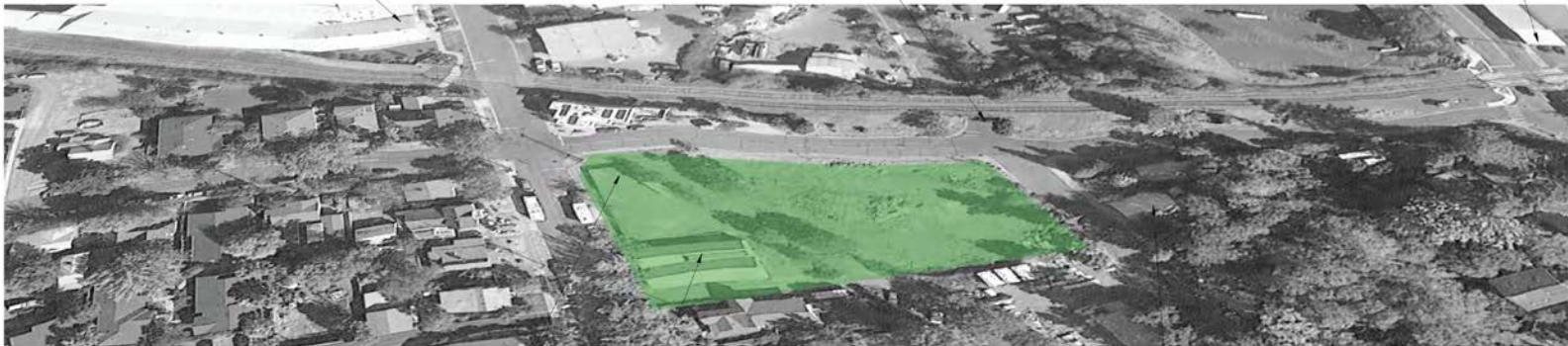
1 255 Helman St
SCALE: LARGE
MATERIAL: VERTICAL METAL SIDING, STUCCO
USE: COMMERCIAL



2 Tunnel Under Roll
SCALE: MEDIUM
MATERIAL: CONCRETE, STEEL
USE: INDUSTRIAL



3 Ashland Lumber
SCALE: LARGE
MATERIAL: VERTICAL WOOD, GABLE ROOF
USE: COMMERCIAL



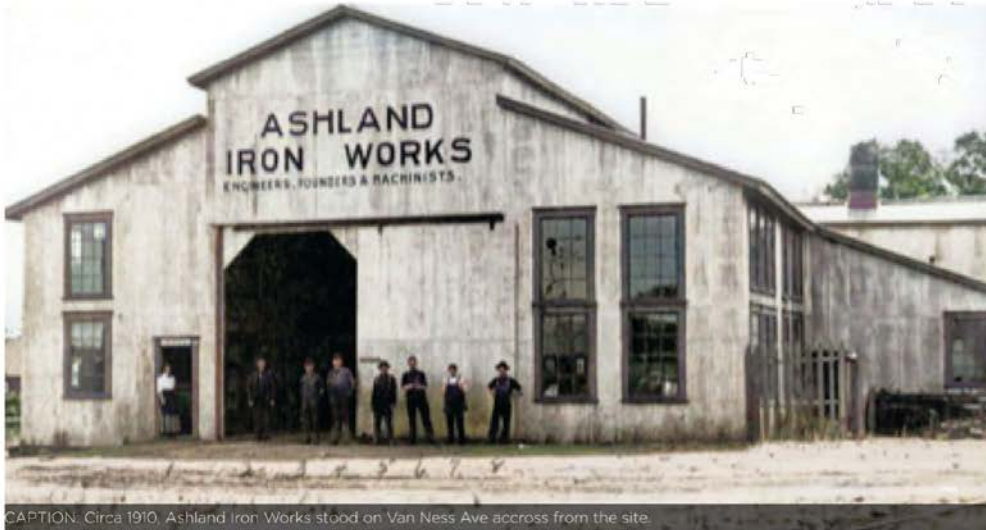
4 Proposed Mixed Use Development
SCALE: LARGE
MATERIAL: VERTICAL METAL SIDING, STUCCO, STEEL, GABLE ROOF
USE: COMMERCIAL AND RESIDENTIAL

5 Pyramid Juice
SCALE: MEDIUM
MATERIAL: VERTICAL WOOD SIDING, GABLE ROOF
USE: INDUSTRIAL

6 16 Van Ness Ave
SCALE: MEDIUM
MATERIAL: VERTICAL AND HORIZONTAL WOOD
USE: AGRICULTURE

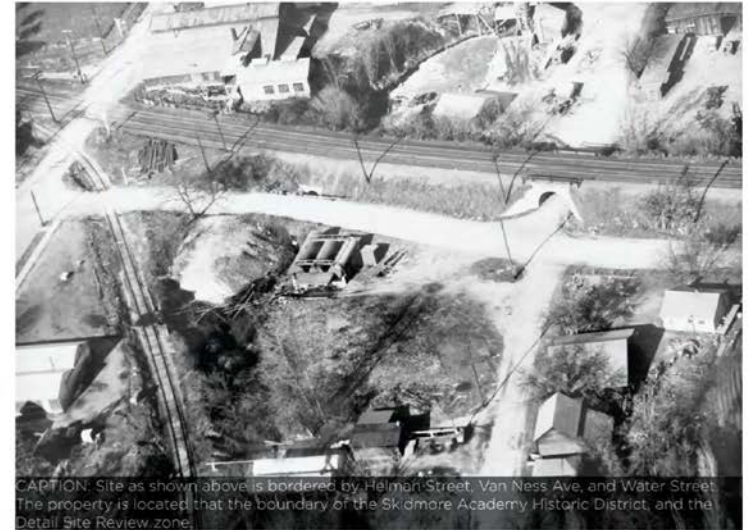


165 Water St., 160 Helman St. & 95 Van Ness Ave.



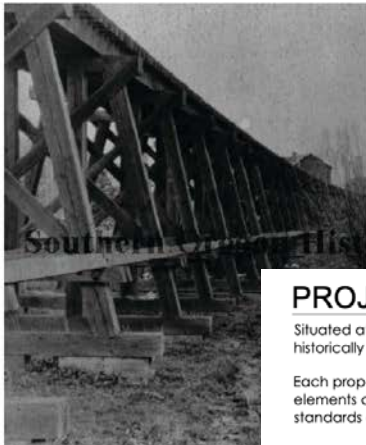
CAPTION: Circa 1910, Ashland Iron Works stood on Van Ness Ave across from the site.

1 ASHLAND IRON WORKS
HISTORICAL CONTEXT



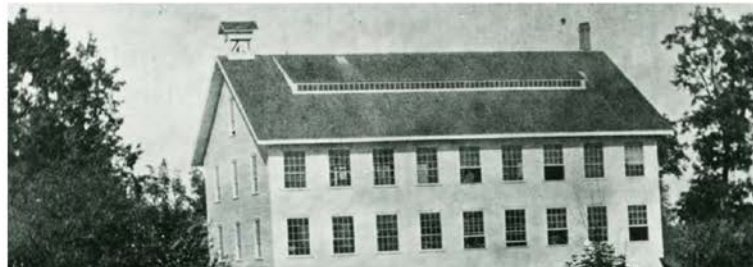
CAPTION: Site as shown above is bordered by Helman Street, Van Ness Ave, and Water Street. The property is located within the boundary of the Skidmore Academy Historic District, and the Detail Site Review zone.

2 AERIAL OF SITE
HISTORICAL CONTEXT



CAPTION: Rail detail that borders the site.

3 RAIL BRIDGE
HISTORICAL CONTEXT



PROJECT DESCRIPTION

Situated at the intersection of three preservation districts, this mixed use development will provide commercial and residential uses on a historically significant but vacant site. Eight buildings are proposed with 1st floor commercial uses and residential units on the 2nd and 3rd floors.

Each proposed building has numerous traditional architectural elements and materials. The scale, form, and massing of some of the material elements are more modern in styling. It can be found that the proposed buildings are architecturally compatible with the historic district design standards and provide a solid neighborhood anchor for the future redevelopment of the adjacent employment zoned properties.

CAPTION: Ashland Woolen Mills stood south of the site near Water Street and B Street.

4 ASHLAND WOOLEN MILLS
HISTORICAL CONTEXT



CAPTION: Wood mill that stood near the corner of Van Ness Ave and Helman Street.

5 WOOD MILL
HISTORICAL CONTEXT

Magnolia Terrace

2017-2018 Approved Design – 165 Water Street



From the corner of Van Ness & Water

Magnolia Terrace

Neighbors' Concerns (Brouillards' Letter)

“Our original suggestion for the now 95 Van Ness Avenue building would be to make it the height limit of the historic district, which is 30 feet. It should have a setback as well. The type of building that they are wanting to build is one that is better suited for the Clear Creek Drive area.

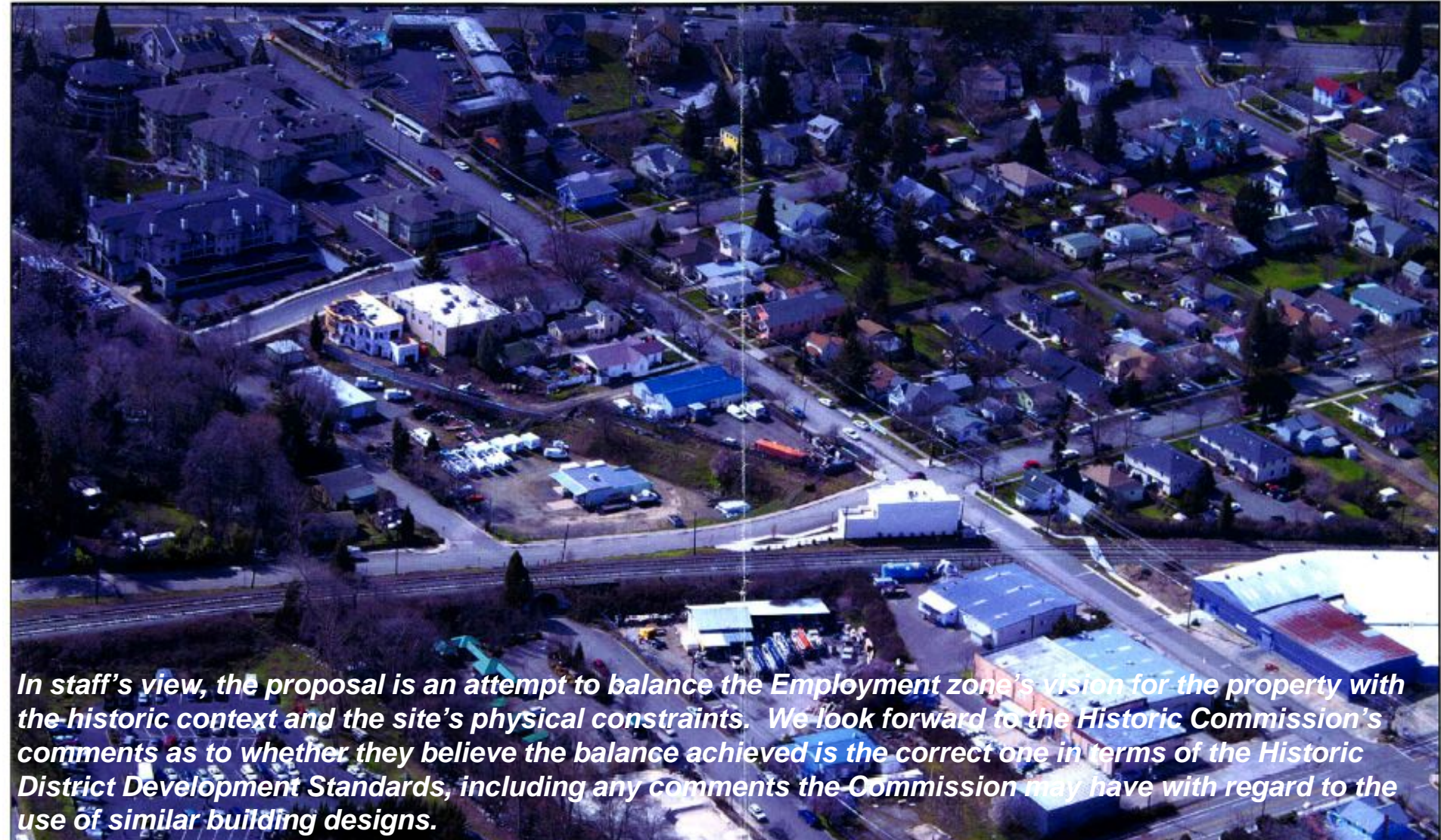
Here are our other concerns (again) with the project:

In our opinion the buildings do not meet the basic requirements of **AMC 18.4.2.050**. First, the buildings will be considerable taller than the “historic buildings in the vicinity” pursuant to **18.4.2.050.B.2**. The buildings, in our opinion, also does not meet the criteria for the following sections: **18.4.2.050. B.3, B.4, B.5, B.6, B.7, B.8, B.9, and B.10**.

We also believe that according to **AMC 18.2.3.130.A** which states that “Dwellings in the E-1 zone are limited to the R-overlay zone. See **chapter 18.3.13 Residential Overlay**.” This property is not in the residential overlay (**Figure 18.3.13.010**) and should be held to R-2 standards. If this holds true, and with the Historic District overlay, the maximum height is to be 30 feet not the 39.5 feet that is planned. It would also need the proper setbacks as well. Having a building directly at the edge of the sidewalk also does not fit with **AMC 18.4.2.050.B.6**.

Again, the main topic is to have impartial meetings...”

Magnolia Terrace



In staff's view, the proposal is an attempt to balance the Employment zone's vision for the property with the historic context and the site's physical constraints. We look forward to the Historic Commission's comments as to whether they believe the balance achieved is the correct one in terms of the Historic District Development Standards, including any comments the Commission may have with regard to the use of similar building designs.

Magnolia Terrace

165 Water St, 160 Helman St & 95 Van Ness Av

Planning Commission Hearing
March 8, 2022



Magnolia Terrace Building #1 Elevations - Sheet A0.6

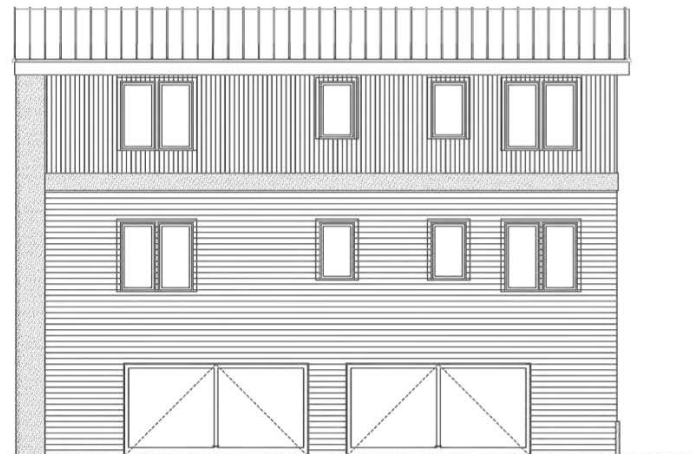


FRONT ELEVATION



LEFT ELEVATION

NOTE: ELEVATIONS OF BUILDING 1 ARE SHOWN FOR REFERENCE; REMAINING BUILDINGS WILL SHARE THE SAME MATERIALS PALETTE. SEE ARCH DWGS FOR FURTHER MATERIALS INFORMATION



REAR ELEVATION

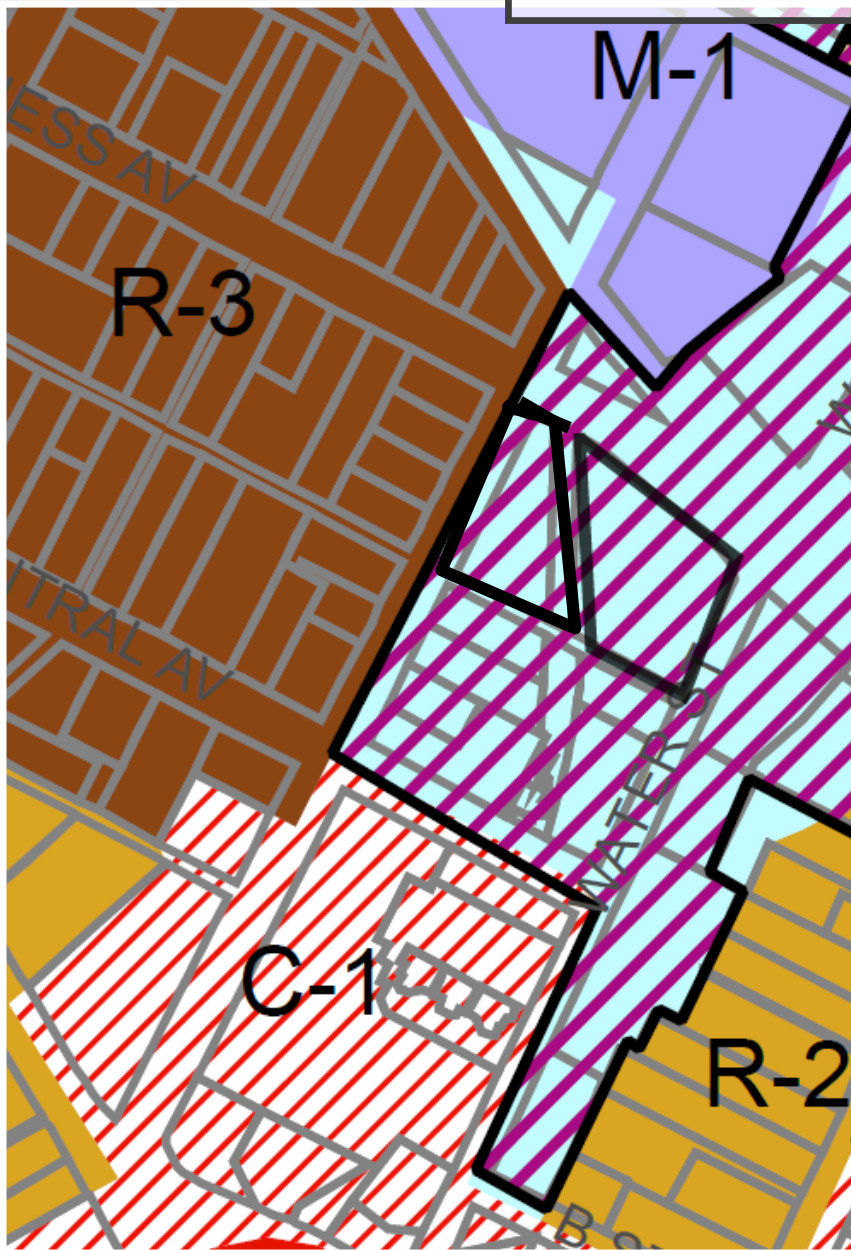


RIGHT ELEVATION

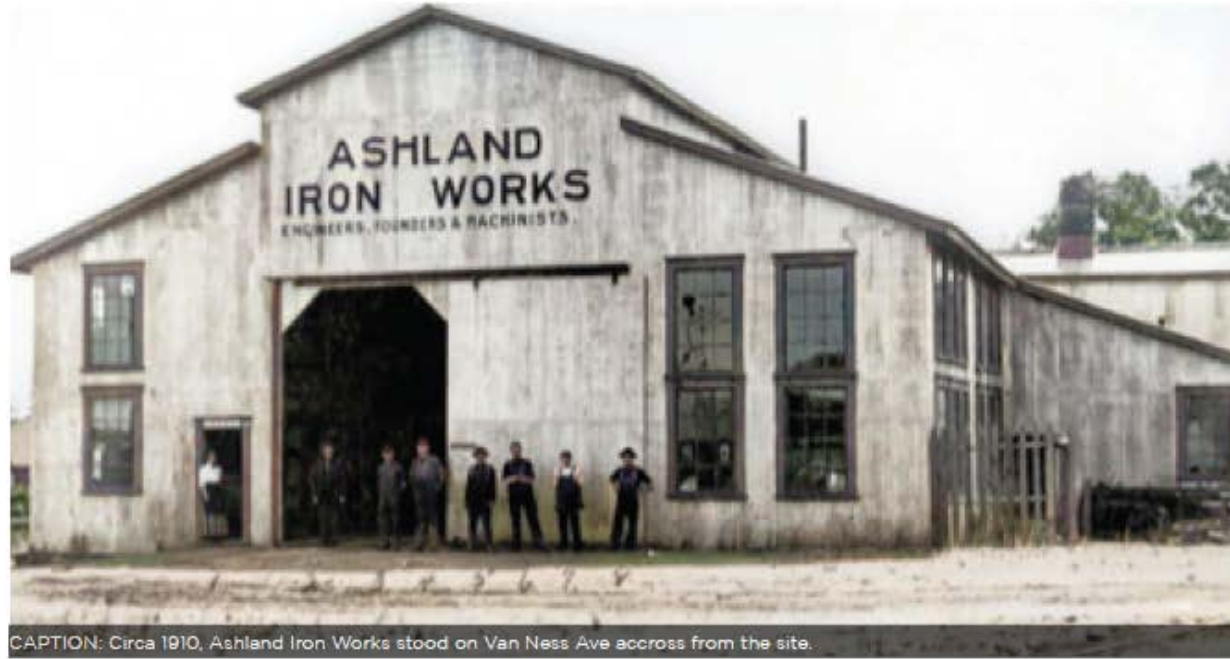
MAGNOLIA TERRACE
COMMERCIAL SUBDIVISION
SITE DESIGN REVIEW
PHYSICAL CONSTRAINTS REVIEW PERMIT
TREE REMOVAL PERMIT



ZONING AND HISTORIC OVERLAYS



SITE HISTORY



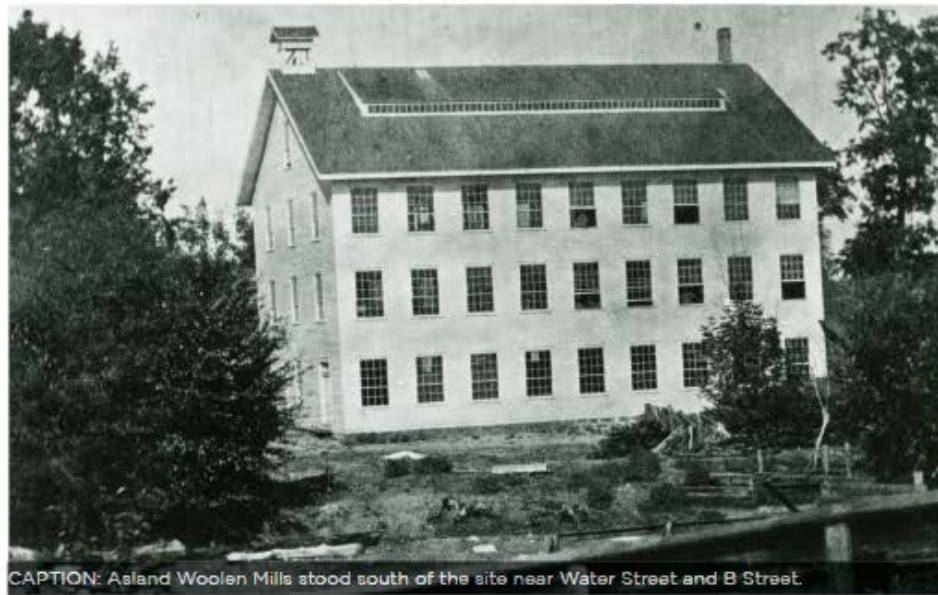
CAPTION: Circa 1910, Ashland Iron Works stood on Van Ness Ave across from the site.



CAPTION: Site as shown above is bordered by Helman Street, Van Ness Ave, and Water Street. The property is located that the boundary of the Skidmore Academy Historic District, and the Detail Site Review zone.



CAPTION: Rail detail that borders the site.

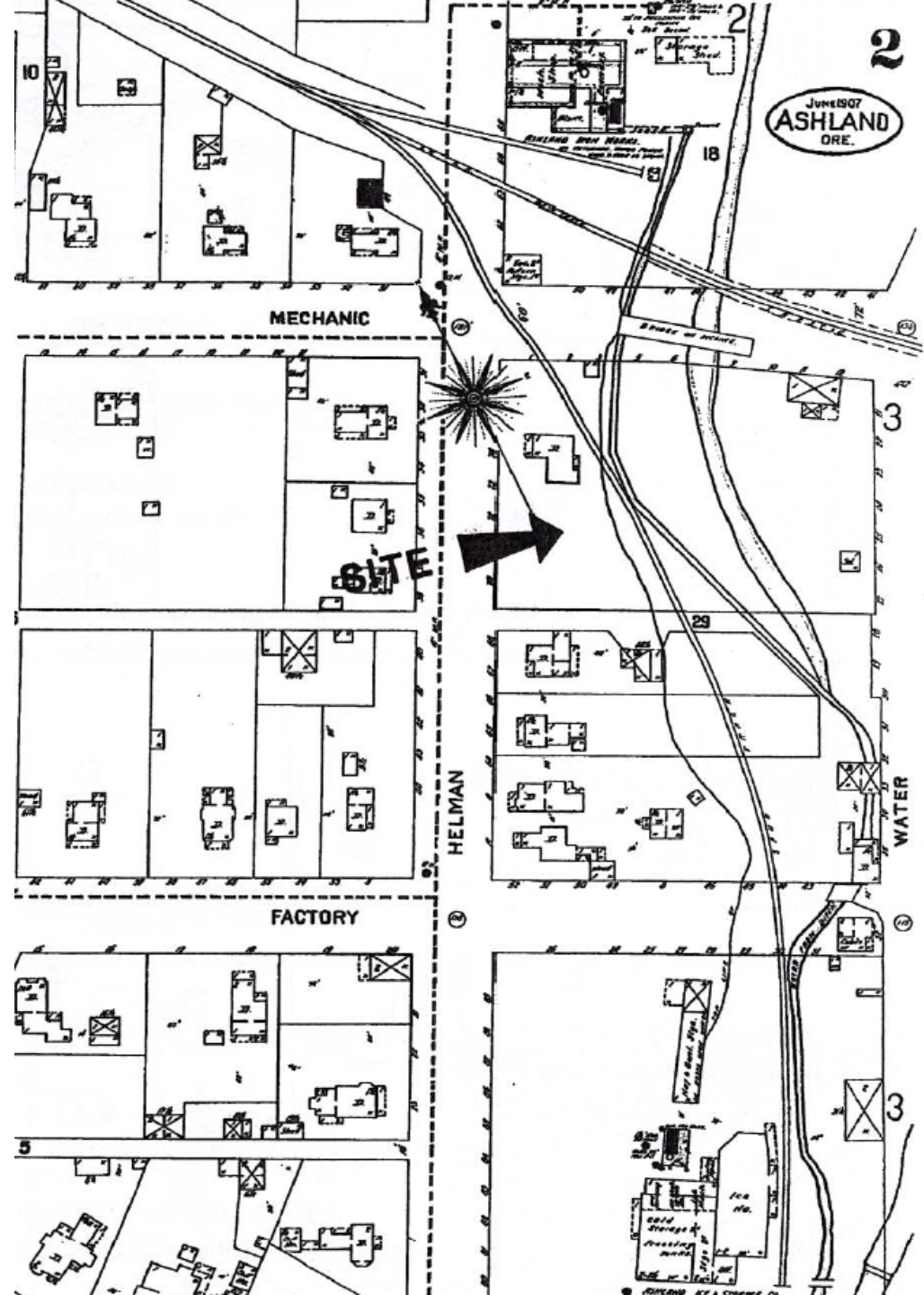


CAPTION: Asland Woolen Mills stood south of the site near Water Street and B Street.



CAPTION: Wood mill that stood near the corner of Van Ness Ave and Helman Street.

SANBORN FIRE
INSURANCE
MAP 1907



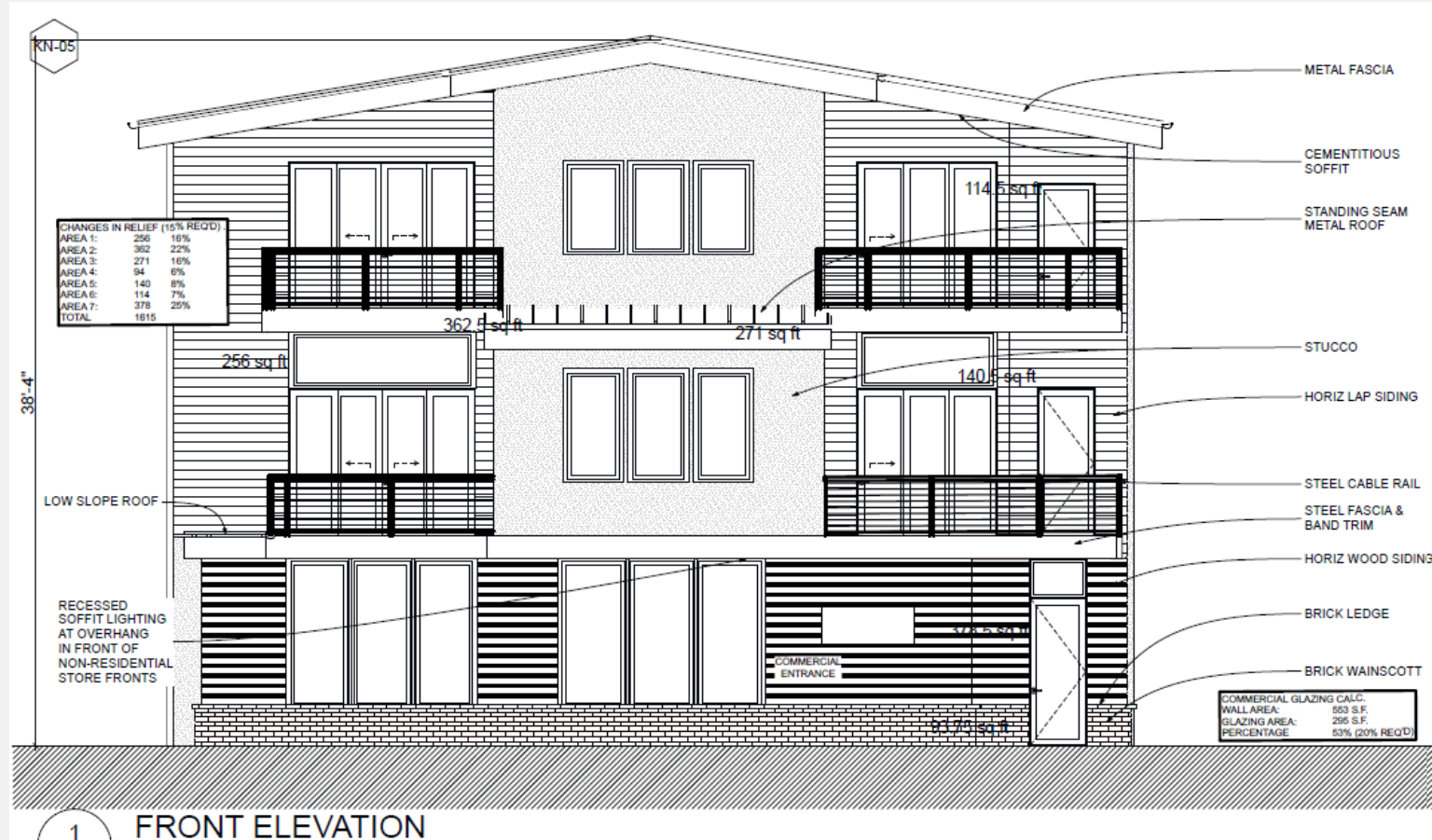


OVERALL MODIFICATIONS TO PROPOSAL

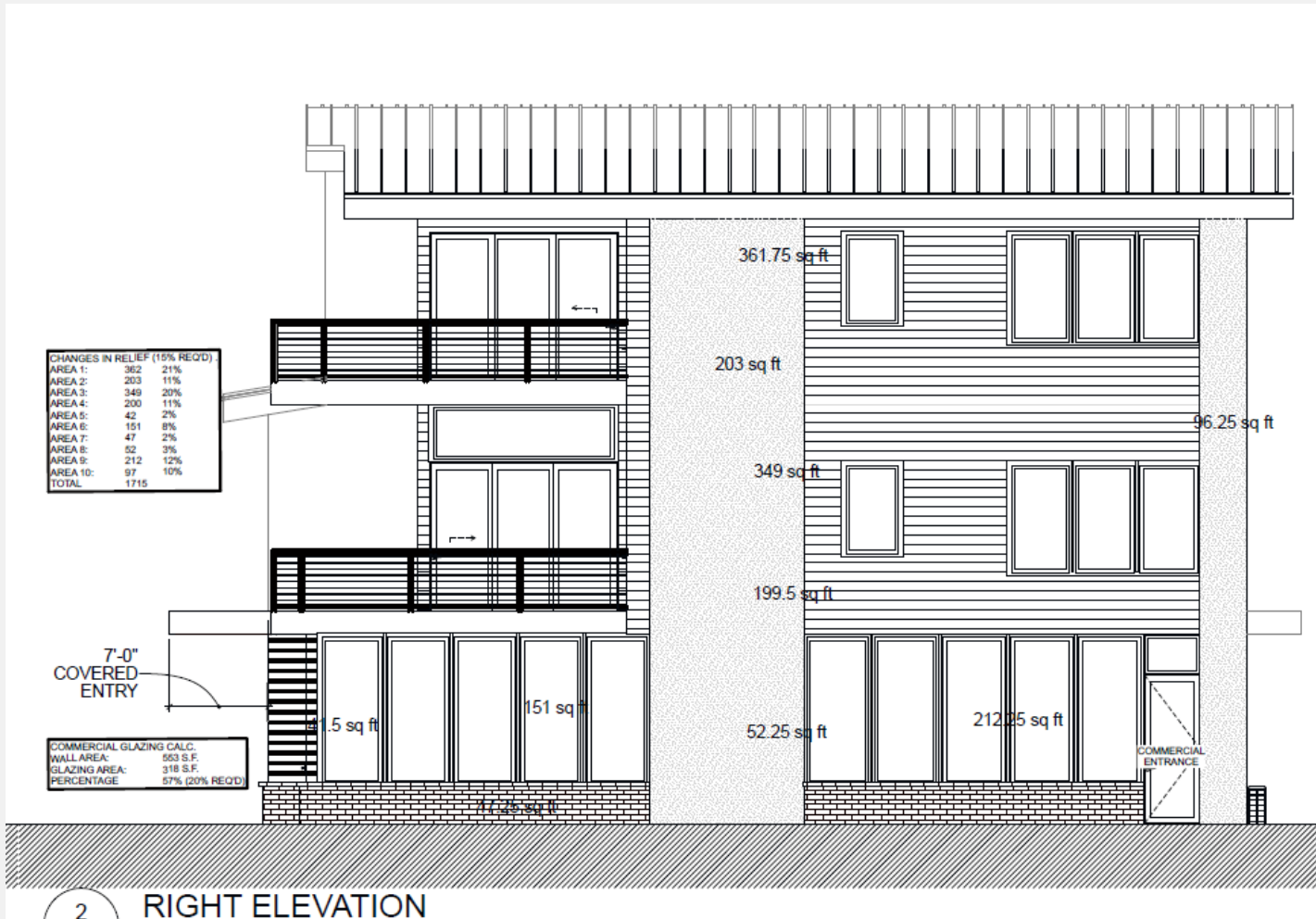
- Eight lot subdivision reduced to six lots with eight condominium buildings
- Lot consolidation eliminates frontage issue for previously proposed Lot 5
- Solar Setback Waivers no longer required
- Detail Site Design Review Plaza Area exceeds minimum area
- Historic District Design Compliance and Modifications

HISTORIC DISTRICT DESIGN CHANGES TO ADDRESS CONCERNS

- AMC 18.4.2.050.B
- 1. Transition Zone compliance
- 2. Height: All buildings are less than the maximum in the zone which is 40'.
- 3 & 4. Massing and Scale:
 - The roofline has been cut back substantially to reduce the massing of the overhang.
 - The center bay of the third floor on Buildings 3 and 4 steps back three feet from the wall plane of the second floor and a shed roof has been added that emphasize the step back.
 - Recessed corners on ground floor to provide variation in the façade.



HISTORIC DISTRICT DESIGN STANDARD COMPLIANCE



- 6. Roof: The shape, pitch and materials are consistent with buildings in the vicinity
- 7. Rhythm of Openings: The proposed pattern of wall to door and window openings on the street frontages are clearly defined.
- 8. Base or Platforms: Buildings 3 & 4 both include a brick base to ground the building.
 - The use of a darker material on the lower levels enhances and adds strength to the base.
- 9. Form: The proposal has a form appropriate in a commercial zone.
- 10. Entrances: The commercial entrances are well defined and covered.



BUILDING I – HELMAN STREET AND VAN NESS INTERSECTION



BUILDING I – HELMAN STREET FACADE

PREVIOUSLY APPROVED ON HELMAN FACADE



- 95 Van Ness was previously approved with a three-story, 36-foot tall, nearly 8,500 SF structure.
- This previous approval provided guidance as the proposed buildings are of similar mass, scale and setback as this.
- The proposed design includes similar materials and façade treatments as well.



Building 3 (Helman Street)
Original Elevation

Building 3 (Helman Street)
Revised Elevation



Note: SEE A1.3 FOR MATERIALS AND DIMENSIONS

MAGNOLIA FINE HOMES LLC
MAGNOLIA FINE HOMES LLC
632 Liveoak
441 Talent Ave
Talent, OR 97540
(510) 913-5110

MAGNOLIA TERRACE
165 WATER ST. - 160 HELMAN ST. - 95 VAN NESS
Ashland, OR 97520

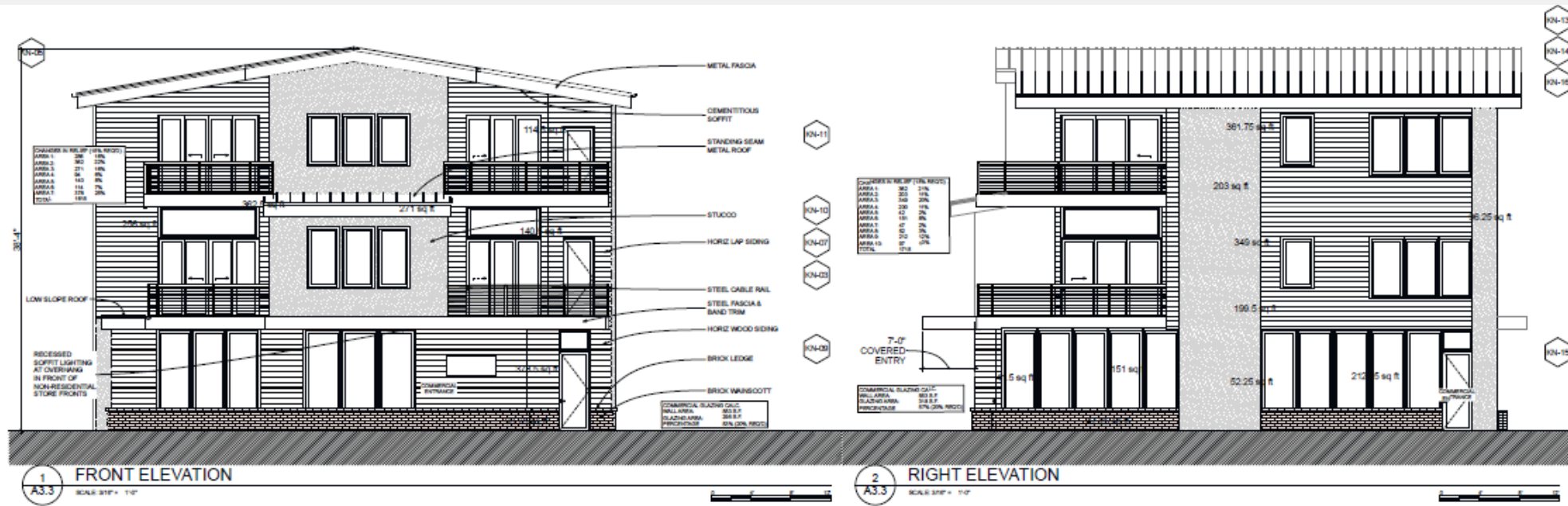
MARK	DATE	DESCRIPTION

DATE: 1/7/22

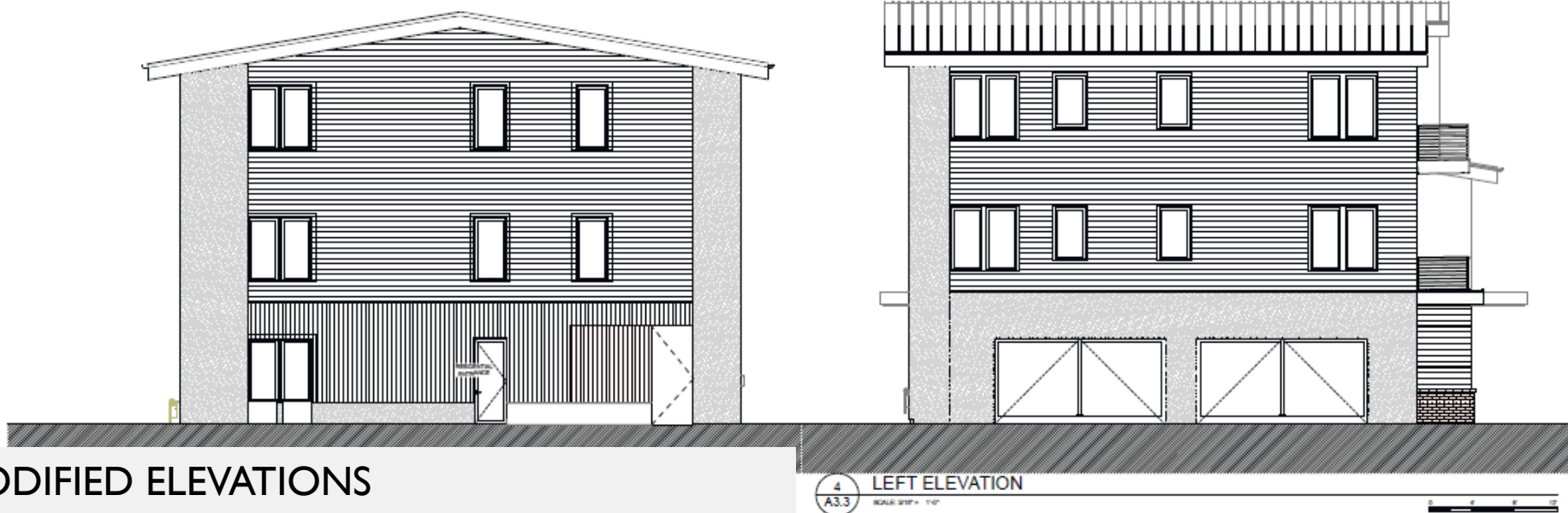
SHEET TITLE
BUILDING 3 ELEVATIONS

A3.3

Building #3 – PREVIOUS PROPOSAL



Note: SEE A1.3 FOR MATERIALS AND DIMENSIONS



Building #3 – MODIFIED ELEVATIONS

KN-05

CHANGES IN RELIEF (15% REQ'D)		
AREA 1:	256	16%
AREA 2:	362	22%
AREA 3:	271	16%
AREA 4:	94	6%
AREA 5:	140	8%
AREA 6:	114	7%
AREA 7:	378	25%
TOTAL	1615	

38'-4"

256 sq ft

362.5 sq ft

271 sq ft

114.5 sq ft

140.5 sq ft

378.5 sq ft

93.75 sq ft

RECESSED SOFFIT LIGHTING AT OVERHANG IN FRONT OF NON-RESIDENTIAL STORE FRONTS

COMMERCIAL ENTRANCE

CAST CONC BASE

COMMERCIAL GLAZING CALC.	
WALL AREA:	553 S.F.
GLAZING AREA:	295 S.F.
PERCENTAGE	53% (20% REQ'D)

Building #3 – PREVIOUS PROPOSAL

KN-05

CHANGES IN RELIEF (15% REQ'D)		
AREA 1:	256	16%
AREA 2:	362	22%
AREA 3:	271	16%
AREA 4:	94	6%
AREA 5:	140	8%
AREA 6:	114	7%
AREA 7:	378	25%
TOTAL:	1615	

38'-4"

LOW SLOPE ROOF

RECESSED SOFFIT LIGHTING AT OVERHANG IN FRONT OF NON-RESIDENTIAL STORE FRONTS



METAL FASCIA

CEMENTITIOUS SOFFIT

STANDING SEAM METAL ROOF

STUCCO

HORIZ LAP SIDING

STEEL CABLE RAIL

STEEL FASCIA & BAND TRIM

HORIZ WOOD SIDING

BRICK LEDGE

BRICK WAINSCOTT

COMMERCIAL GLAZING CALC.	
WALL AREA:	553 S.F.
GLAZING AREA:	296 S.F.
PERCENTAGE:	53% (20% REQ'D)

Building #3 – REVISED ELEVATION

1
A3.3

FRONT ELEVATION

SCALE: 3/16" = 1'-0"







CHANGES IN RELIEF (15% REQ'D)		
AREA 1:	65	4%
AREA 2:	85	5%
AREA 3:	98	6%
AREA 4:	84	5%
AREA 5:	378	22%
AREA 6:	94	5%
AREA 7:	274	21%
AREA 8:	376	21%
AREA 9:	261	11%
TOTAL:	1705	



38'-4"
KN-05

RECESSED SOFFIT LIGHTING AT OVERHANG IN FRONT OF NON-RESIDENTIAL STORE FRONTS

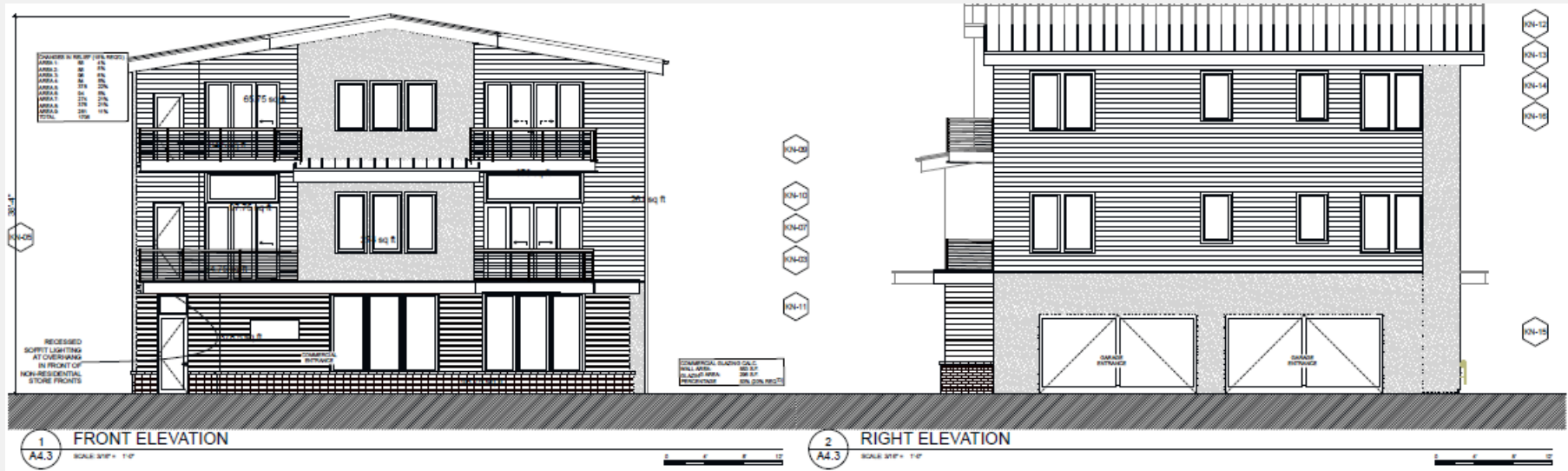
COMMERCIAL GLAZING CALC.	
WALL AREA:	553 S.F.
GLAZING AREA:	295 S.F.
PERCENTAGE:	53% (20% REQ'D)

1
A4.3

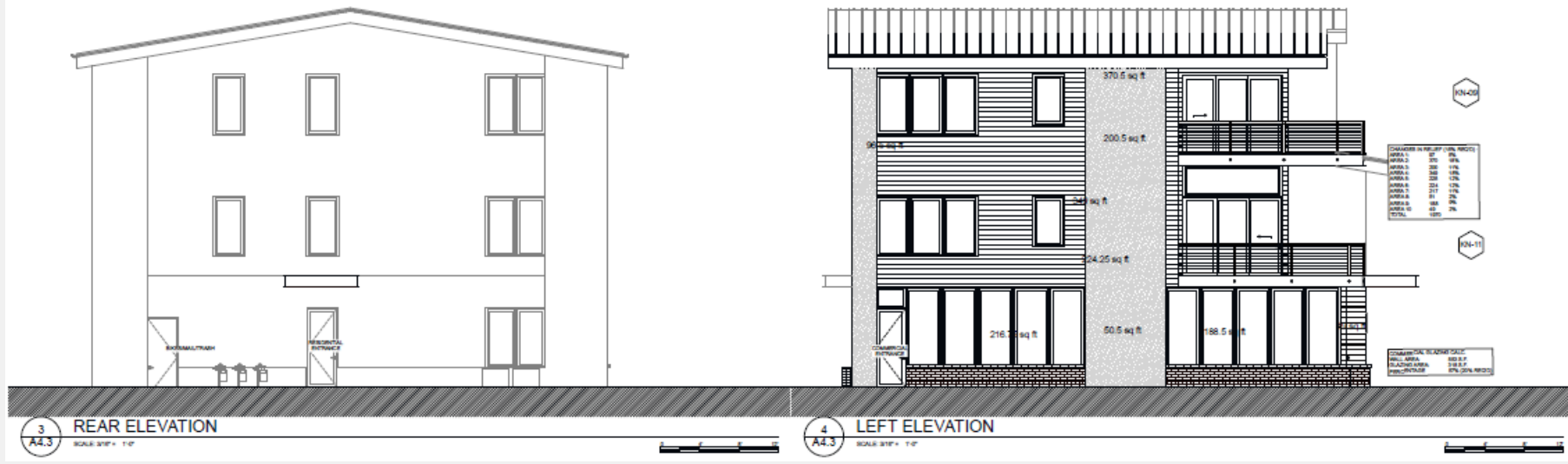
FRONT ELEVATION

SCALE: 3/16" = 1'-0"





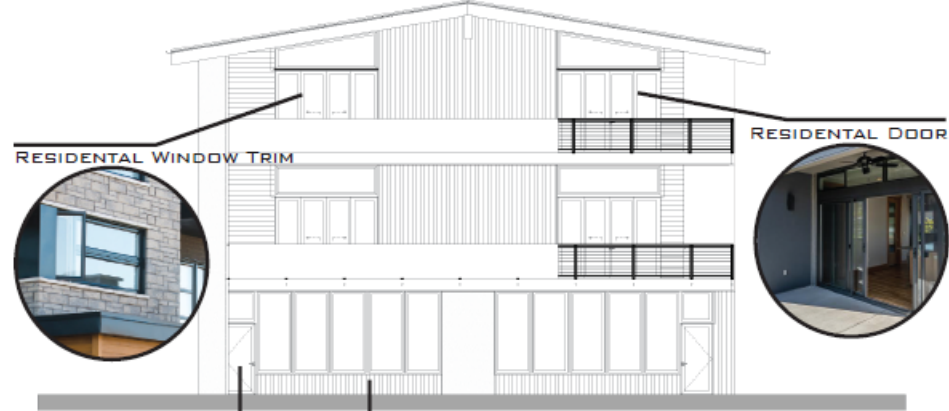
Note: SEE A1.3 & A3.3 FOR MATERIALS AND DIMENSIONS



Building #4

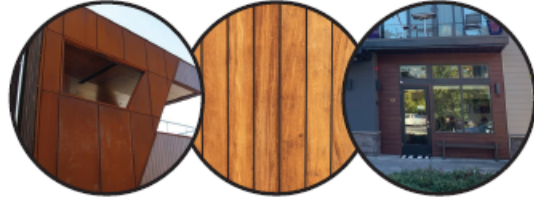
EXTERIOR MATERIALS

The proposed façades includes a rhythm of openings adjacent to the sidewalk that have a pedestrian scale width-to-height ratio. The various façade treatment and material variations break up the form of the building.



FRONT ELEVATION

ACCENT SIDING OPTIONS



COMMERCIAL WINDOW & DOOR OPTIONS

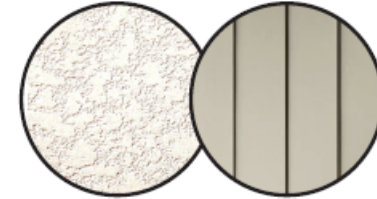


The business entrances are all designed in a manner to provide clear, visible, and functional entrances with direct access to the public sidewalk. Emphasis has been provided to the entrances through the use of roof overhangs and awnings. Upper story floors provide roof cover, the recesses in the façade provide arcades and awnings will be provided that protect pedestrians from the rain and sun.

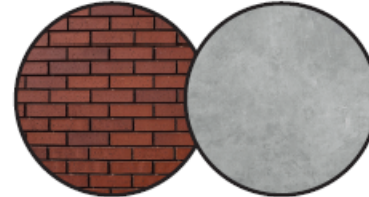


RIGHT ELEVATION

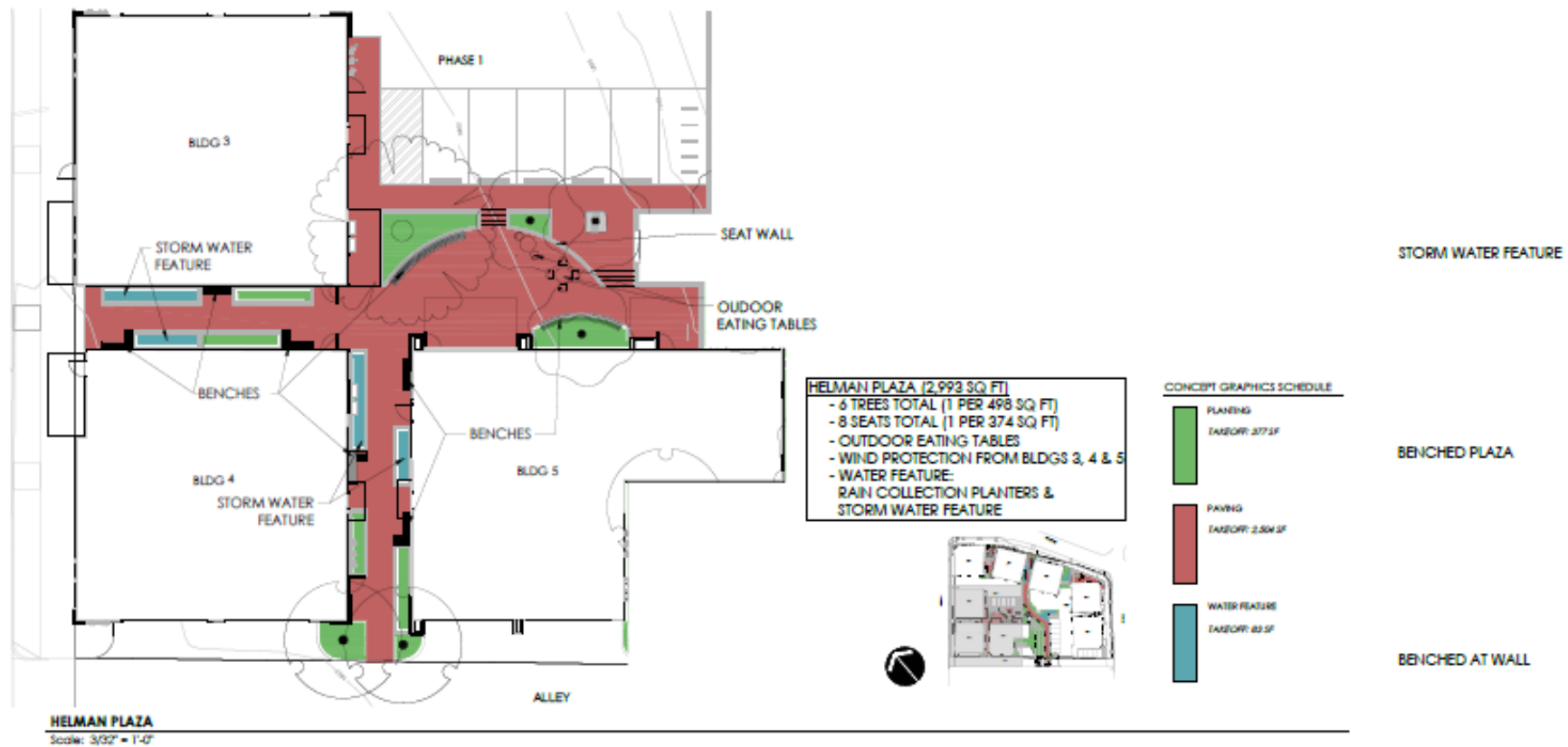
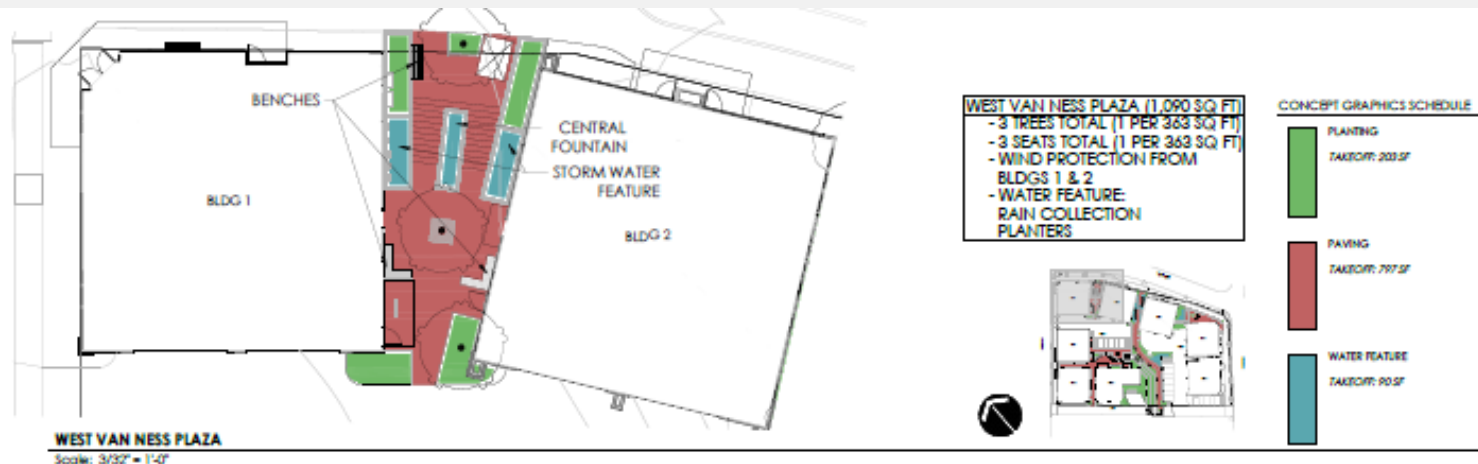
VERTICAL SIDING OPTIONS



BASE & CAP OPTIONS



Base design will vary. Some will be prominent similar to downtown developments. Others will have less of a base, consistent with historical sites near the site and consistent larger commercial/industrial buildings in the area.





1 CONCEPT RENDER: CENTRAL PLAZA
Scale: N.T.S.



2 CONCRETE SEATWALL
MATERIAL PRECEDENT



3 HANDRAIL
MATERIAL PRECEDENT



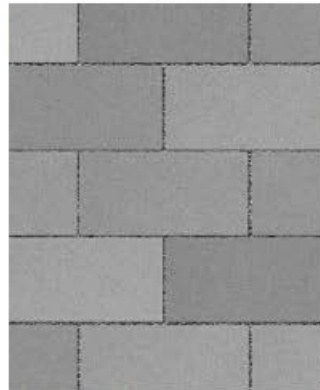
4 WOOD BENCH
MATERIAL PRECEDENT



5 FLOW THROUGH PLANTER
MATERIAL PRECEDENT



6 SAND FINISHED CONCRETE
MATERIAL PRECEDENT



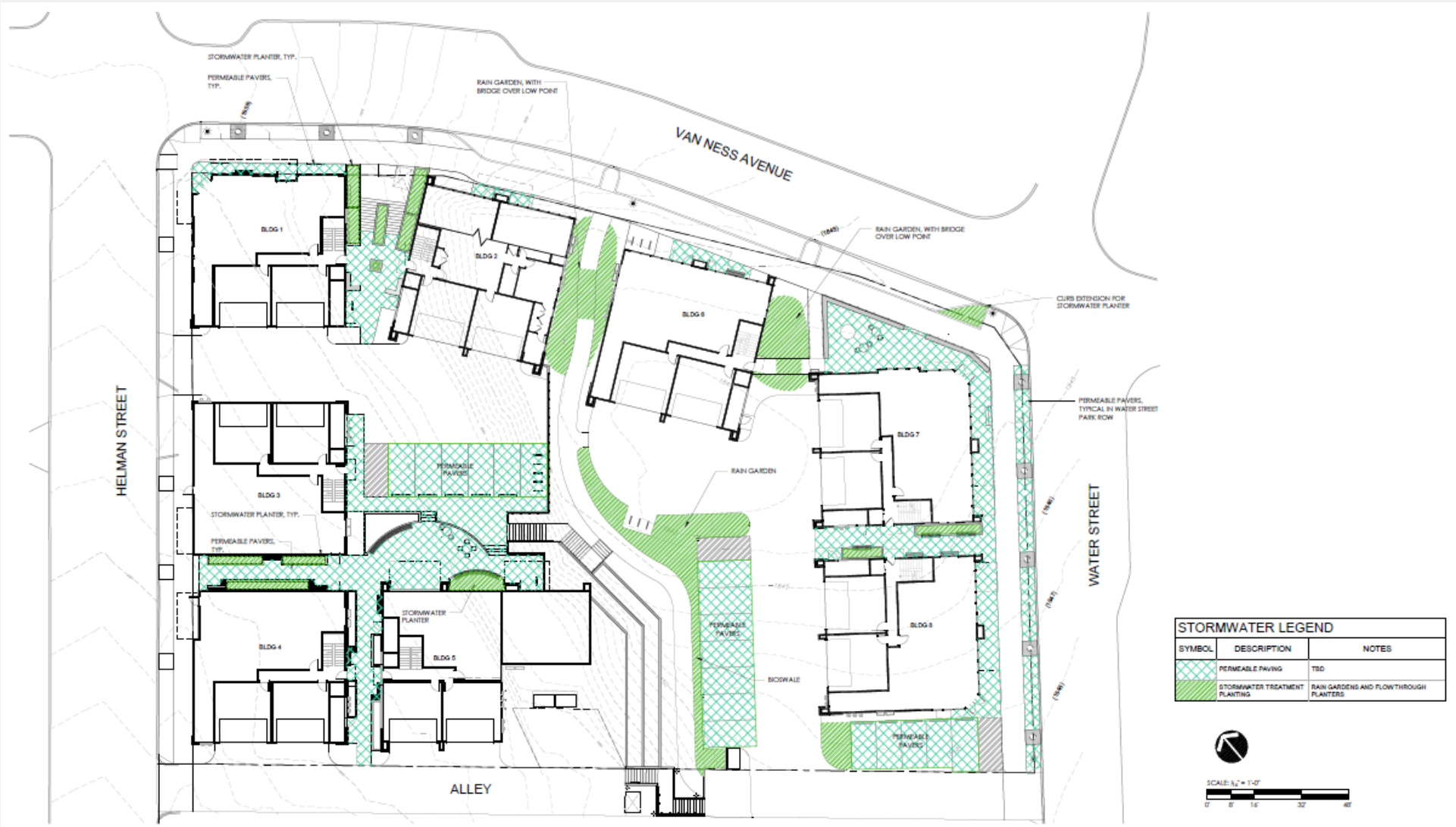
7 PERMEABLE PAVERS
MATERIAL PRECEDENT



8 TREE GRATE
MATERIAL PRECEDENT



9 PARK ROW PAVERS
MATERIAL PRECEDENT



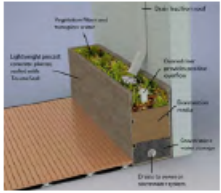
STORMWATER LEGEND		
SYMBOL	DESCRIPTION	NOTES
	PERMEABLE PAVING	TBD
	STORMWATER TREATMENT PLANTING	RAIN GARDENS AND FLOWTHROUGH PLANTERS



1 RAIN GARDEN PLANTERS
CONCEPT IMAGE



2 POROUS PARKING AREAS
CONCEPT IMAGE



3 FLOW THROUGH PLANTER
CONCEPT IMAGE



4 RAIN GARDEN BRIDGE
CONCEPT IMAGE



5 FLOW THROUGH PLANTER
CONCEPT IMAGE



6 PERMEABLE PAVER PLAZA
CONCEPT IMAGE



7 DOWNSPOUT ART INTO PLANTERS
CONCEPT IMAGE



FRONT ELEVATION



LEFT ELEVATION

NOTE: ELEVATIONS OF BUILDING 1 ARE SHOWN FOR REFERENCE; REMAINING BUILDINGS WILL SHARE THE SAME MATERIALS PALETTE. SEE ARCH DWGS FOR FURTHER MATERIALS INFORMATION



REAR ELEVATION



RIGHT ELEVATION

1 Building 1 Elevations
Scale: N.T.S.



2 SMOOTH HARDIE BOARD
MATERIAL PRECEDENT



3 STANDING SEAM METAL ROOFING
MATERIAL PRECEDENT



4 VERTICAL SIDING
MATERIAL PRECEDENT



5 CABLE RAIL
MATERIAL PRECEDENT



6 HORIZONTAL SIDING
MATERIAL PRECEDENT



7 PERFORATED METAL RAILING
MATERIAL PRECEDENT



8 ALUMINUM AND GLASS GARAGE DOORS
MATERIAL PRECEDENT



9 ALUMINUM STOREFRONT DOORS
MATERIAL PRECEDENT



10 PRECAST CONCRETE SILL
MATERIAL PRECEDENT



11 SMOOTH STUCCO
MATERIAL PRECEDENT



12 BUILDING SCOUNCE
MATERIAL PRECEDENT

EXTERIOR BUILDING MATERIALS

The proposed facades include a rhythm of openings adjacent to the sidewalk with a pedestrian scale width-to-height ratio. The array of facade treatments and materials breaks up the forms of the buildings. The design of the business entrances provides clear, visible, and functional openings with direct access to the public sidewalk. Roof overhangs and awnings emphasize public entrances to the buildings. Upper story floors provide pedestrians shelter from the rain and sun, while the recesses in the facade provide arcades.

Wood, metal, concrete, and stucco comprise the material palette since these features draw on the historical context of the commercial/industrial neighborhood. The classic materials combined with modern styling and variations in the facades bring multiplicity to the site. The site will include an assortment of building bases. Some will be prominent similar to downtown developments. Others will have less of a presence, consistent with historical examples near the site and more significant commercial/industrial buildings in the area.



13 BLACK FRAMED WINDOWS AND DOORS
MATERIAL PRECEDENT



14 CONCRETE BASE WALL
MATERIAL PRECEDENT

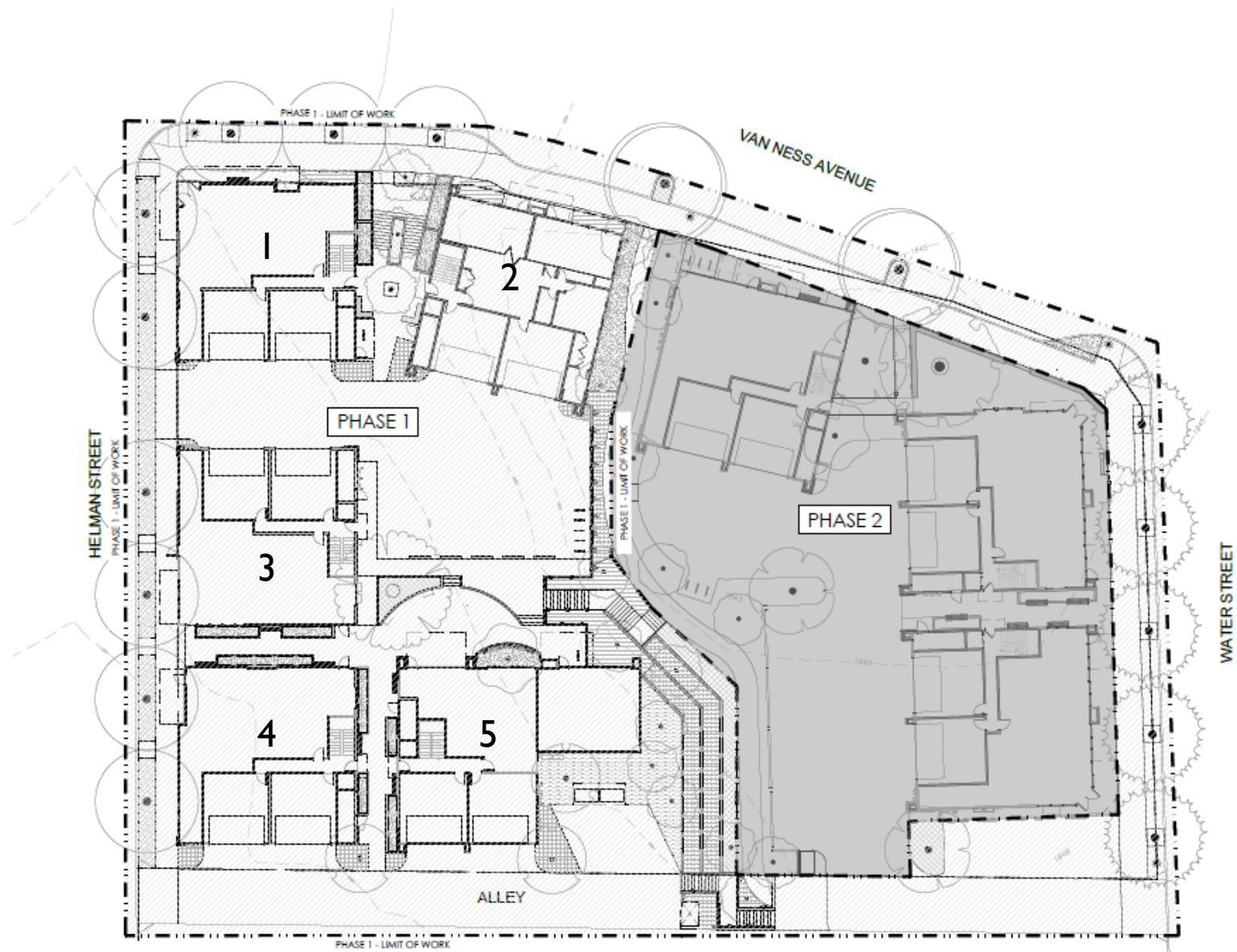


15 HORIZONTAL / VERTICAL WOOD GRAINED PANELS
MATERIAL PRECEDENT



16 PENDANT LIGHT
MATERIAL PRECEDENT

PROPOSED SITE LAYOUT







MAGNOLIA
FINE HOMES LLC
MAGNOLIA FINE HOMES LLC
03 Live! Ave
441 Talent Ave
Talent, OR 97540
(503) 913-5110



MAGNOLIA TERRACE
165 WATER ST. - 160 HELMAN ST. - 95 VAN NESS
Ashland, OR 97520

MARK	DATE	DESCRIPTION

DATE: 12/8/21

SHEET TITLE
STREET VIEWS

A0.2

KN-09 COMPARISON FOR ADJACENT BUILDING MASSING/HEIGHT
KN-14 CONTEXT PHOTOS FOR REFERENCE OF EXISTING BUILDINGS MASSING, FENESTRATION, ETC.



Attachment B

**Eric Bonetti's photos submitted to record
regarding 165 Water on 4.6.2022**

Attachment B

Eric Bonetti Public Comment – Historic Commission 4/6/2022

Photos presented during oral testimony:





Eric Bonetti Public Comment – Historic Commission 4/6/2022
Photos presented during oral testimony



Eric Bonetti Public Comment – Historic Commission 4/6/2022
Photos presented during oral testimony



Eric Bonetti Public Comment – Historic Commission 4/6/2022

Photos presented during oral testimony



Eric Bonetti Public Comment – Historic Commission 4/6/2022
Photos presented during oral testimony



Eric Bonetti Public Comment – Historic Commission 4/6/2022
Photos presented during oral testimony



Eric Bonetti Public Comment – Historic Commission 4/6/2022
Photos presented during oral testimony



Eric Bonetti Public Comment – Historic Commission 4/6/2022
Photos presented during oral testimony

Attachment C

**Cat Gould comments submitted to the record
for 165 Water**

Attachment C

From: [Cat.gould](#)
To: [Planning Commission - Public Testimony](#)
Subject: 4/12/22 PC hearing testimony
Date: Monday, April 04, 2022 3:51:21 PM

[EXTERNAL SENDER]

Dear commissioners,

I live very close to this proposed development and feel for the following reasons it is not a good fit for our neighbourhood in the Skidmore historic district, nor responsible development for Ashland as a whole. The design has not made any attempt to blend into the historic nature of our modest neighbourhood. Nor takes into account the necessity to curtail energy consumption in every household.

PLANNING ACTION: PA-T2-2022-00037

SUBJECT PROPERTY: 165 Water Street, 160 Helman Street and 95 Van Ness (corner of Van Ness & Water Streets)

Sincerely,

Cat Gould

114 Van Ness Ave, Ashland, OR 97520

Sustainability and Affordability

Ashland does not need more unaffordable housing that demands huge energy consumption to keep cool in summer and warm in winter due to the high ceilings and exposure. What are the projected energy costs to keep these large high ceilinged apartments comfortable?

Ashland needs housing for lower income workers that we rely on to work in our restaurants/schools/and retail stores. Many employees of the Ashland City administration can't even afford to live here.

Energy costs are skyrocketing and this is not just pocket book costs, it is costs paid out in climate chaos on the poorest of the world who do not have the freedom to simply pay more to live elsewhere. It is irresponsible to be building anything less than energy efficient housing. Energy consumption is reduced by 1% for each 10 cm of ceiling height reduction.

Parking

Most houses in the area already use street parking which is strained during high season, this can not have been assessed by the traffic analysis due to lack of high season for the past 2 years.

Flood Plain

While we are in a drought cycle now we all know that this will be over at some point and the unpredictable nature of climate chaos that we have unalterably entered will continue. I have

Received 4.4.2022

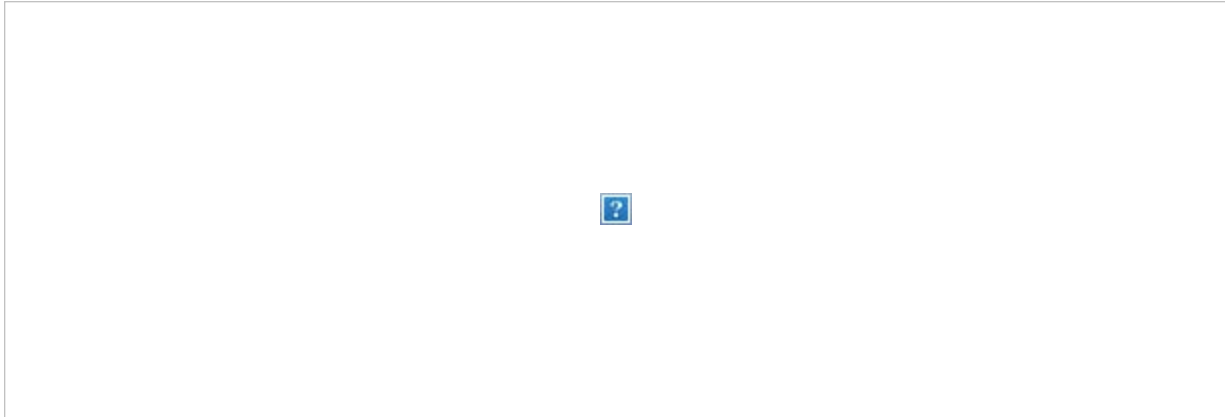
Attachment C

to wonder why Gil Livni, who only recently lost his entire development to climate chaos and had to completely rebuild after the Alameda fire, would once again throw his buildings in the path of zoned "extreme or severe risk" of flooding.

This land has Severe Constraints meaning "development of this land is discouraged" Application itself explains "the embankment was likely first created by Ashland Creek" .

Shading caused by mass of structure on neighborhood and traffic

The following image was taken off google earth and you can see where the 28 foot pole reaches (yellow). At a proposed average height of 40 feet the development will be approximately 40% taller than the existing pole. I have conservatively projected in orange the extent of the shadow that will be cast from this building on the homes and intersection. This intersection and the steep downhill slope of Van Ness Ave to Water st is in heavy use throughout the year by commuters, school traffic, recology vehicles, delivery trucks and the official bike corridor from the greenway and will be extremely icy throughout winter due to this shading from the building.



Attachment D

**Mark Brouillard's comments submitted to the
record for 165 Water**

Attachment D

From: [City of Ashland, Oregon](#)
To: [planning](#); [Regan Trapp](#)
Subject: Historic Commission Contact Form Submitted
Date: Monday, April 04, 2022 6:31:16 AM

[EXTERNAL SENDER]

*** FORM FIELD DATA ***

Full Name: **Mark Brouillard**

Phone: **206 661 7085**

Email: **Mtbrouillard@msn.com**

Subject: **PA-T2-2022--00037**

Message: **To whom it may concern: I am unable to be at this week's meeting but wanted to follow-up from the last meeting. First, as a point of reference we have heard about the photo showing Ashland Iron Works and its supposed 40 foot height. That height was on the Water Strret frontage. Second, I implore you to revisit the Helman Street side. Stand in front of 173 Helman. Look at the subject property and notice a lamp post next to the gate. The propsed Buildings would be 8+ feet taller than that. Third, it seems like a rather flippant response to the Commisiins asking for different heights on the Helman Street side. Two deck/balcony changes and that is considered an elevation change? Fourth, this project still doesn't meet the AMC criteria I laid out in the last meeting. Setbacks, scale, massing, height are not even close to the homes in the on or across the street. Fifth, buildings are.still cookie cutter and don't follow the AMC which states different buildings and residential accommodation (have AMC at home, currently on an airplane). All we are asking for is something reasonable on the Helman Street side. Buildings taller than a telephone poll is not reasonable. No setbacks; again revisit the site and look at it from the sidewalk on the east side of Helman. Walk from Central towards Van Ness and invision a monolithic building with zero setback. It will block the openness of the street and any view that there once was. Doesn't seem like any equity; social, mental health, economic, or justice. This is a David versus Goliath moment that you as the historic commission have a lot of say in. Respectfully, Mark and Donna Brouillard
159 Helman Street**

Attachment 1 file:

Attachment 2 file:

Attachment 3 file:

*** USER INFORMATION ***

SubscriberID: **-1**

SubscriberUserName:

SubscriberEmail:

RemoteAddress: **66.241.70.76**

RemoteHost: **66.241.70.76**

RemoteUser:

Received 4.4.2022

Attachment E

247 Seventh Street presentation

247 7TH STREET

Attachment E





EAST ELEVATION

VIEW FROM SEVENTH ST

SCALE: 1/8" = 1'-0"

Attachment F

160 Lithia Way - The Vine -presentation



The Vine

Attachment F

Tasting Room, Hotel, and Member's Lounge



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PROGRESSIVE DESIGN, INC.





NORTH ELEVATION - STREET VIEW

SCALE: 3/32" = 1'-0" (24 X 36)
SCALE: 3/64" = 1'-0" (11 X 17)

1

