
The comments of this pre-app are preliminary in nature and subject to change based upon the submittal of additional or different information. The Planning Commission or City Council are the final decision-making authority of the City, and are not bound by the comments made by the Staff as part of this pre-application.

ASHLAND PLANNING DIVISON
PRE-APPLICATION CONFERENCE
COMMENT SHEET November 15, 2023

SITE: 431-433 Lori Ln
APPLICANT: Collins Family Trust
REQUEST: Site Design Review

PLANNING STAFF COMMENTS:

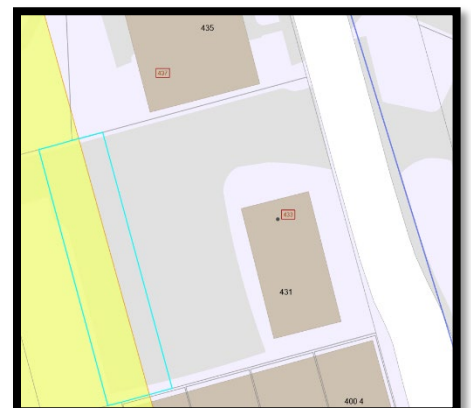
This pre-application conference is intended to highlight significant issues of concern to staff and bring them to the applicant's attention prior to their preparing a formal application submittal.

Summary: This property is located within the E-1 zone and has previous approval to run a 2-unit commercial hotel/motel. The proposed pickle ball/sports court and associated deck are considered accessory to the hotel-motel use. *Most of the site design review standards will not be applicable to the proposal as no buildings are proposed at this time. The focus of the review will be on parking, circulation, and landscaping.*

History: Based on the Assessor's records of recorded plats, the subject properties (taxlot 2701 & taxlot 2703) appear to be one lot. Planning will consider two contiguous lots under common ownership to be a singular lot for the purposes of planning and land use actions (ie. property line setbacks, etc.). However, the Building department may have issues with regulated structures that straddle or are within a certain distance of a property line. Planning strongly recommends the applicant get in contact with the Jackson County Assessor's office to rectify the property line boundary discrepancy. This site has an approved 1992 Conditional Use Permit for a 2-unit Commercial Hotel-Motel on the subject property.

Parking – The proposed use is accessory to the existing commercial 2-unit motel-hotel, so parking would not need to be evaluated. However, staff would like to note that under OAR 660-012-0440(3) adopted as part of the Climate-Friendly & Equitable Communities (CFEC) Rulemaking, after December 31, 2022 “*Cities and counties may not enforce parking ...within one-half mile of frequent transit corridors, including... corridors with the most frequent transit route or routes in the community if the scheduled frequency is at least once per hour during peak service.*” In this instance, the Rogue Valley Transit District's Route 1X and Route 10 both run on Siskiyou Blvd approximately 500 feet south of the subject property with peak hour frequency of every 20 minutes, and as such qualifies as frequent transit. Under the CFEC rules, the city is unable to require parking in the decision.

Historic –This property is located partially within the local Skidmore historic district and wholly within the National Historic district. Any new development within the local historic district area will be subject to Historic Committee review and any imposed recommendations/conditions. See attached screenshot (right) of the Local and National Historic District boundaries. The yellow shaded area shows the boundary for the local district and the dark blue line to the East of the property is the National historic district boundary. The existing development does not appear to be contributing, per the National Historic District entry (below).



78.0 Survey #727**BRENDAN HOUSE**

431 LORI LN (formerly located at 424 North Main)

Architect:

Other: Vernacular [I-House]

1900c/1990s

391E05DA 2701

Builder: Brad Roupp

Historic Non-Contributing

This vernacular volume was originally sited on North Main Street and was built circa 1900. In 1948 the address was occupied by Chester Knighton. In 1988 the parcel was subdivided and in 1991 local contractor Brad Roupp relocated the dwelling to the rear portion, adjacent to Lori Lane. Remodeled, and now known as the Brendan House, the dwelling does not retain sufficient integrity to relate its period of construction.

Site Design Review Approval Criteria

The application submittal would need to address the criteria for Site Design Review and the applicable Site Development and Design Standards:

- A. Underlying Zone.** The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.
- B. Overlay Zones.** The proposal complies with applicable overlay zone requirements (part 18.3).
- C. Site Development and Design Standards.** The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.
 - **Additional standards apply within the Detail Site Review zone.**
The applicant will need to address potential adverse impacts of the pickleball court (ie.. noise) and how it is proposed to mitigate those adverse impacts. Additionally, the applicant will need to speak to the pickleball court being an amenity for motel-hotel guests and will not be used commercially.

Conditional Use Permit Approval Criteria (18.5.4.050) A Conditional Use Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions:

1. That the use would be in conformance with all standards within the zoning district in which the use is proposed to be located, and in conformance with relevant Comprehensive plan policies that are not implemented by any City, State, or Federal law or program.
2. That adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the development, and adequate transportation can and will be provided to the subject property.
3. That the conditional use will have no greater adverse material effect on the livability of the impact area when compared to the development of the subject lot with the target use of the zone, pursuant with subsection 18.5.4.050.A.5, below. When evaluating the effect of the proposed use on the impact area, the following factors of livability of the impact area shall be considered in relation to the target use of the zone.
 - a. Similarity in scale, bulk, and coverage.
 - b. Generation of traffic and effects on surrounding streets. Increases in pedestrian, bicycle, and

- mass transit use are considered beneficial regardless of capacity of facilities.
- c. Architectural compatibility with the impact area.
 - d. Air quality, including the generation of dust, odors, or other environmental pollutants.
 - e. Generation of noise, light, and glare.
 - f. The development of adjacent properties as envisioned in the Comprehensive Plan.
 - g. Other factors found to be relevant by the approval authority for review of the proposed use.
4. A conditional use permit shall not allow a use that is prohibited or one that is not permitted pursuant to this ordinance.
 5. For the purposes of reviewing conditional use permit applications for conformity with the approval criteria of this subsection, the target uses of each zone are as follows.
 - b. R-1. Residential use complying with all ordinance requirements, developed at the density permitted by chapter 18.2.5 Standards for Residential Zones.

The applicant will need to address in a written narrative both the criteria for a Conditional Use Permit (CUP) as well as the criteria for Site Design Review & Detailed Site Review. Potential adverse material impacts such as noise levels above our noise ordinance, increased traffic to the site due to usage of the proposed amenities, etc. will need to be addressed and mitigation proposed as applicable.

Vehicle Area Design (18.4.3.080) & Pedestrian Access/Circulation (18.4.3.090): The application will also need to address the Vehicle and Parking Area Design Standards and Pedestrian Access and Circulation Standards in AMC 18.4.3.090, which would include considerations of how to break up the parking area to provide pedestrian circulation, how to treat the parking to minimize microclimatic and environmental impacts (such as by providing medians and swales to treat run-off), and addressing how pedestrians (customers and employees) circulation through the site in a safe, direct and convenient manner.

The main items for review under Site Design and Detailed Site Design Review are a landscaping plan, a vehicle area design, and pedestrian access circulation plan. These items will be required as part of the submittals for the application.

Neighborhood Outreach: Projects involving changes to established patterns can be a concern for neighbors, and staff always recommends that applicants approach the affected neighbors, make them aware of the proposal, and try to address any concerns as early in the process as possible. Notices are sent to neighbors within a 200-foot radius of the property.

Written Findings/Burden of Proof: Applicants should be aware that written findings addressing the ordinance and applicable criteria are required and are heavily depended on when granting approval for a planning action. In addition, the required plans are explained in writing below. The burden of proof is on the applicant(s) to ensure that all applicable criteria are addressed in writing and that all required (*scalable*) plans, written findings, and other materials are submitted even if those items were not discussed in specific, itemized detail during this initial pre-application conference.

OTHER DEPARTMENTS' COMMENTS

BUILDING DEPT: Please see attached Building Division comments. If you have any questions, please contact the Building Division for any Building Codes-related information at 541-488-5305.

CODE COMPLIANCE: For any compliance-related information, please contact Planning at 541-488-5305.

CONSERVATION: For information on available Conservation Programs, including potential rebates, tax credits, and financial or technical assistance with energy efficiency improvements, please contact the City of Ashland Conservation Division at 541-488-5305.

ENGINEERING: The Public Works/Engineering Department had no comments at this time. Please contact Karl Johnson at (541) 552-2415 or e-mail: karl.johnson@ashland.or.us for any Engineering-related questions (utilities, streets, storm drainage, etc.). There are specific engineering thresholds which trigger Traffic Impact Analysis (TIA) submittals for properties fronting on boulevards and arterials; the applicants may wish to contact Karl to verify those threshold levels.

FIRE DEPARTMENT: See comments included at the end of this document. Please contact Division Chief & Fire Marshal Ralph Sartain of Ashland Fire & Rescue for Fire Code-related information at (541) 552-2229.

WATER AND SEWER SERVICE: *“If the project requires additional water services or upgrades to existing services the Ashland Water Department will excavate and install in the city right of way all water services up to and including the meter on domestic and commercial water lines. If a fire line is required, the water department will also only install a stub out to the location where the double detector check assembly complete with a Badger brand cubic foot bypass meter should be placed in a vault external to the building. The vault and the DCDA device housed in it are the responsibility of the property owner and should be placed at the property line. Fees for these installations are paid to the water department and are based on a time and materials quote to the developer or contractor. Meter sizes and fire line diameters will need to be provided to the Water Department at the time of a quote being requested. Please call Steve Walker at [541-552-2326](tel:541-552-2326) or e-mail walkers@ashland.or.us with any questions regarding water utilities.”*

ELECTRIC SERVICE: Please contact Rick Barton in the Electric Department at (541) 552-2082 for service and meter location requirements and fee information. Rick will arrange an on-site meeting to develop an electric service plan for the site which the applicants will need to incorporate into their utility plans. Land use applications will not be deemed complete without an Electric Department-approved service plan; please allow additional time for scheduling and conducting an on-site meeting with Electric and their subsequent creation of a service plan.

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PROCEDURE: Site Review for new buildings or additions greater than 10,000 square feet / longer than 100' is subject to a “Type II” application procedure which requires a decision by the Planning Commission through a public hearing. (Conditional Use Permits for new buildings and Outline Plan approval are also subject to “Type II” procedures.) *Since no buildings are being proposed, the application will be reviewed as a “Type I” Commercial Site Design Review.*

1. **Application Form and Fee.** Applications for Type I review shall be made on forms provided by the Staff Advisor. One or more property owners of the property for which the planning action is requested, and their authorized agent, as applicable, must sign the application. The required application fee must accompany the application for it to be considered complete.
2. **Submittal Information.** The application shall include all of the following information.
 - a. The information requested on the application form.
 - b. Plans and exhibits required for the specific approvals sought.
 - c. A written statement or letter explaining how the application satisfies each and all of the relevant criteria and standards in sufficient detail.
 - d. Information demonstrating compliance with all prior decision(s) and conditions of approval for the subject site, as applicable.
 - e. The required fee.

The Ashland Land Use Ordinance in its entirety is available on-line at:
<https://ashland.municipal.codes/LandUse>

Plan Requirements

Two (2) readable copies of the plans below on paper no larger than 11-inches by 17-inches are required, in addition to at least one full-sized set of plans. Note: The 11x17 copies are used for the Planning Commission packets and for the notices mailed to neighbors. Please submit clear, reproducible copies drawn to a standard scale. **The final application submittal needs to include scalable drawings with a graphic scale to facilitate review by staff, commissioners, and the public.**

- ☐ the materials required for a Site Design Review application as detailed in LUO 18.5.2.040.
- ☐ Tree Protection Plan as required in chapter 18.4.5.030 (*if the application will involve any site disturbance that would impact trees*).
- ☐ Detailed Parking, Access, and Circulation Site Plan as detailed in LUO 18.4.3 (*must include existing and proposed spaces, their dimensions, circulation pattern, etc.*)
- ☐ plans required for a Tree Removal Permit as required in chapter 18.5.7.030 (*if tree removal is proposed*).

Narrative Submittal Requirements:

Applicants are advised that in addition to required plans, written findings addressing how the ordinance criteria are satisfied in narrative format are required. The applicable criteria are referenced below:

- ☐ written findings addressing the approval criteria for Site Design Review, as detailed in LUO 18.5.2.050. Exceptions to the Site Development and Design Standards are addressed in these criteria as well. (*Narrative requirements can be found in chapter 18.5.2.040.B.8.*)
- ☐ written findings addressing the following criteria from chapter 18.4.6.020.B. for an Exception to Street Standards (*if applicable*)
- ☐ written findings addressing the following criteria from chapter 18.5.7.040.B.2. for Tree Removal Permit to remove a tree that is not a hazard (*if applicable to the final proposal*).

UPCOMING APPLICATION DEADLINES: First Friday of each month
 UPCOMING PC MEETINGS: Second Tuesday of each month

FEES: Commercial Site Review & Conditional Use Permit Modification (Type I) \$1,271.25 + ½ % of valuation of proposed project

***NOTE:**

- *Building valuation is based on the building valuation data table maintained in state building code.*
- *Applications are accepted on a first come-first served basis.*
- *All applications received are reviewed by staff, and must be found to be complete before being processed or scheduled at a Planning Commission meeting.*
- *Applications will not be accepted without a complete application form signed by the applicant(s) and property owner(s), all required materials and full payment.*
- *Applications are reviewed for completeness in accordance with ORS 227.178.*
- *Applications submitted are processed in the order received, and complete actions are scheduled at the next available Planning Commission meeting.*

For further information, please contact:

Veronica Allen, CFM, *Associate Planner*
City of Ashland, Department of Community Development
Phone: 541-552-2042 or e-mail: veronica.allen@ashland.or.us

November 15, 2023

Date



Ashland Fire & Rescue Pre-Application Report

Ashland Fire & Rescue

Review/Project Information

Reviewed By: Sartain, Ralph; Kleinberg Tech, Admin

Date Completed: 10/25/2023

LD File #: PreApp-2023-00390

Date Scheduled:

Applicant: Collins Family Trust

Location: 431-433 Lori Lane

Site Name: Lombardi

Description: Site development review for a proposed deck and sports court.

Status

**Approved with
Conditions Noted
Below?:** Yes

Specific Development Requirements for Access & Water Supply

Fire department comments are based upon the 2022 Oregon Fire Code as adopted by the Ashland Municipal Code, and Ashland Land Use Laws:

Conditions

Code Set

Code Reference

Agency Defined Code

Approved

Conditions Descriptions

Code Reference

Description

Approved

Approved as submitted with no additional conditions or requirements.

Construction General Information/Requirements

Development shall comply with access and water supply requirements in accordance with the Oregon Fire Code in effect at the time of development submittal. Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (fire hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code. This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on information provided only. This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on information provided only.

Design and installation shall meet the Oregon requirements of the International Fire, Building, Mechanical Codes and applicable NFPA Standards.

Final determination of fire hydrant distance, fire flow, and fire apparatus access requirements will be based upon plans submitted for Building Permit review. Changes from plans submitted with this application can result in further requirements. Any future construction must meet fire code requirements in effect at that time. The fire department contact for this project is Fire Marshal Ralph Sartain. He may be contacted at (541) 552-2229 or ralph.sartain@ashland.or.us.

If work will be completed during fire season, check fire season fire prevention requirements found at www.ashland.or.us/fireseason.

Ashland Fire & Rescue, 455 Siskiyou Blvd, Ashland OR 97520

