

CITY OF ASHLAND

HISTORIC COMMISSION MEETING

AGENDA

July 5, 2017 at 6:00 P.M.

- I. **REGULAR MEETING - CALL TO ORDER:** 6:00 p.m. – SISKIYOU ROOM in the Community Development/Engineering Services Building, located at 51 Winburn Way
- II. **APPROVAL OF MINUTES:** Historic Commission regular meeting of June 7, 2017
- III. **PUBLIC FORUM:** Business from the audience not included on the agenda. (Total time allowed for Public Forum is 15 minutes. Speakers are limited to 5 minutes or less, depending on the number of individuals wishing to speak.)
- IV. **COUNCIL LIAISON REPORT:**
Rich Rosenthal
- V. **PLANNING ACTION REVIEW:**

PLANNING ACTION: PA- 2017-01054
SUBJECT PROPERTY: 220 Hargadine St.
OWNER/APPLICANT: Ben and Mia Gaskin
DESCRIPTION: A request for a Conditional Use Permit (CUP) and Site Design Review approval to operate an Accessory Travelers' Accommodation (ATA). The garage located at the rear of the property will be converted to habitable space and used as the ATA. The garage structure is considered legal nonconforming because it is located less than 10 feet from the rear property line.
COMPREHENSIVE PLAN DESIGNATION: Low Density Multi-Family Residential; ZONING: R-2;
ASSESSOR'S MAP: 39 1E 09BC; TAX LOT: 5900.

PLANNING ACTION: PA-2017-00969
SUBJECT PROPERTY: 244 Hargadine Street
OWNER/APPLICANT: Elisa Fox/Tim Plankenhorn
DESCRIPTION: A request for a Site Design Review and Conditional Use Permit approval to operate a two-unit Accessory Traveler's Accommodation including one detached guest unit and one owner's unit in the existing home for the property located at 244 Hargadine Street. COMPREHENSIVE PLAN DESIGNATION: Low Density, Multi-Family Residential; ZONING: R-2; ASSESSOR'S MAP: 39 1E 09BD; TAX LOT #: 16500.
- VI. **COMMISSION ITEMS NOT ON AGENDA:**
- VII. **NEW ITEMS:**
 - Review board schedule.
 - Project assignments for planning actions.
- VIII. **OLD BUSINESS:**
- IX. **ADJOURNMENT:**

**ASHLAND HISTORIC COMMISSION
DRAFT Meeting Minutes**

June 7, 2017

Community Development/Engineering Services Building – 51 Winburn Way – Siskiyou Room

CALL TO ORDER:

Commission Chair, Shostrom called the meeting to order at 6:06pm in the Siskiyou Room at the Community Development and Engineering Offices located at 51 Winburn Way, Ashland OR 97520.

Commissioners Present:	Council Liaison:
Skibby	Rich Rosenthal-ABSENT
Emery	Staff Present:
Shostrom	Maria Harris; Planning Dept.
Swink	Regan Trapp; Secretary
Von Chamier	
Whitford	
Giordano	
Commissioners Absent:	Leonard (E)

APPROVAL OF MINUTES:

Whitford motioned to approve minutes from May 3, 2017. Swink seconded. Voice vote; All AYES. Motion passed.

PUBLIC FORUM:

Peter Kreisman, homeowner of 672 Monroe Street, Ashland, OR, addressed the Commission. Mr. Kreisman has lived in the area for many years and on a visit to the Ashland Airport, discovered the Lithia Springs Bridge in some brush out past the runway. They would like it to be recovered by the City and have it moved to a place where it can be resurrected. He showed the Commission photos of the old bridge and suggested that maybe it could be moved to Neil Creek but is open to other ideas as well. Mr. Kreisman plans on attending the Transportation Commission meeting to see if there is interest from them as well. Harris suggested that he talk to the Parks Department to see if the bridge could be used on a trail since trails are always being developed. Mr. Kreisman stated that the bridge is in two sections so it could be moved on a flatbed. Shostrom stated that the Historic Commission is supportive of resurrection of the bridge and will do anything to help this process move along.

COUNCIL LIAISON REPORT:

Rosenthal was not in attendance to give the report.

PLANNING ACTION REVIEW:

PLANNING ACTION: PA-2017-00707

SUBJECT PROPERTY: 550 East Main Street

OWNER: Geoff & Mary Ann Geness

APPLICANT: Kistler, Small and White, Architects

DESCRIPTION: A request for Site Design Review and Conditional Use Permit approval for the property located at 550 East Main Street. The proposal involves a two-story, 960-square foot detached addition to accommodate two additional hotel units, bringing the total approved hotel units on the property to four. The application includes a request for an Exception to the Site Development & Design Standards to not provide the typically required five-foot landscape buffer at the property line adjacent to the city's Fire Station #1. **COMPREHENSIVE PLAN DESIGNATION:** Commercial; **ZONING:** C-1; **ASSESSOR'S MAP:** 39 1E 09AC; **TAX LOT:** #14900.

Both Skibby and Shostrom stated that they spoke with the applicant on several occasions but that those meetings would not affect their decisions on this project.

Harris gave the staff report for PA-2017-00707.

The applicants were not present for the public hearing.

Shostrom closed the public hearing and opened to the Commission for comments.

The Historic Commission greatly appreciates the retention and rehabilitation of the original home that is currently underway including the use of historically compatible exterior materials such as the siding and windows. The additions and decks at the back of the home cascade nicely down from the main form.

The Commission also appreciates that the proposed new structure includes architectural elements and materials of the historic home such as the bay windows and matching wood windows. The Commission believes the proposed structure meets many of the Historic District Design Standards in 18.4.2.050.B. However, there are several standards that the Commission determined were not met by the proposed structure. The Commission recommends approval of the application with a condition that the plans are revised to address the following standards

Shostrom motioned to approve PA-2017-00707 with below recommendations. Whitford seconded. Voice vote; All AYES. Motion passed.

Height, Scale, Massing, Form (AMC 18.4.2.050.B 2, 3, 4, 9)

The Historic Commission appreciates the change from the initial concept of a flat roof with a deck to a roof shape that is consistent with the historic buildings in the immediate vicinity. The Commission's concern is that the proposed structure exceeds the height of the original home and will be clearly visible from E. Main and Siskiyou Blvd. As a result, the height, massing and form varies with historic buildings in the vicinity. Despite the small size of the proposed new building, the roof will be prominent in part because of the topography of the site. The Commission recommends using a hipped roof (pyramid) and also consider using false dormers with vents.

Rhythm of Openings (AMC 18.4.2.050.B.7)

The Historic Commission has a concern about the consistency of the pattern and rhythm of the wall to door/windows openings on the west elevation (side view 2) with the historic home.

- Doors on first and second floor – the type and width of doors is not typically found in the historic district. The Commission recommends using narrower French doors (e.g., four feet wide) or a series of double hung windows.
- Bay windows – the window and side panels appear slightly out of proportion. The Commission recommends using a wider window and narrower side panels to reflect the bay window on the historic home.

PLANNING ACTION: PA-2017-00838

SUBJECT PROPERTY: 250 Alta Ave.

APPLICANT/OWNER: Vadim Agakhanov

DESCRIPTION: A request for a Physical & Environmental Constraints Review Permit to construct a new single-family dwelling on Severe Constraint Hillside Lands for the property located at 250 Alta Ave. The proposal involves an Exception to the Development Standards for Hillside Lands to allow for a 10' tall retaining wall to stabilize an existing nine-foot tall un-retained cut slope, and an Exception to the Street Design Standards to retain Alta Ave. as an unimproved street with the addition of a curb and gutter, but no paving or sidewalk installation. **COMPREHENSIVE PLAN DESIGNATION:** Single-Family Residential; **ZONING:** R-1-7.5; **ASSESSOR'S MAP:** 39 1E 05DC; **TAX LOT:** 1301.

There was no ex-parte contact or conflict of interest indicated by the Commission.

Harris gave the staff report for PA-2017-00838.

Shostrom opened the public hearing to the applicants.

Kim Locklin, property owner of 250 Alta Ave, Ashland, OR, addressed the Commission regarding the project. Ms. Locklin stated that this is a request for a physical and environmental constraints review permit for the construction of a new single family residence on land that has more than a 25 percent slope. The request also includes a tree removal permit to remove two six-inch DBH pear trees.

Shostrom closed the public hearing and opened to the Commission for comments.

After a brief discussion regarding width of street, and parking issues the Commission rendered their decision.

Giordano motioned to approve PA-2017-00838 as presented. Swink seconded. Voice vote; All AYES. Motion passed.

PLANNING ACTION: PA-2017-00969

SUBJECT PROPERTY: 244 Hargadine Street

OWNER/APPLICANT: Elisa Fox/Tim Plankenhorn

DESCRIPTION: A request for a Site Design Review and Conditional Use Permit approval to operate a two-unit Accessory Traveler's Accommodation including one detached guest unit and one owner's unit in the existing home for the property located at 244 Hargadine Street. **COMPREHENSIVE PLAN DESIGNATION:** Low Density, Multi-Family Residential; **ZONING:** R-2; **ASSESSOR'S MAP:** 39 1E 09BD; **TAX LOT #:** 16500.

There was no ex-parte contact or conflict of interest indicated by the Commission.

Harris gave the staff report for PA-2017-00969.

The applicants were not present for the public hearing.

Shostrom closed the public hearing and opened to the Commission for comments.

The Historic Commission does not recommend approval of the application because it does not meet the following Historic District Design Standards in Ashland Municipal Code (AMC) 18.4.2.050.

Shostrom motioned deny to PA-2017-00969. Von Chamier seconded. Voice vote; All AYES. Motion passed.

Height, Scale, Massing, Form (AMC 18.4.2.050.B 2, 3, 4, 9)

The vertical volume is not consistent and is out of scale with the historic home on the property as well as other historic buildings in the vicinity. Consider a hipped roof.

Rhythm of Openings (AMC 18.4.2.050.B.7)

The pattern and rhythm of window/door openings on the proposed building is inconsistent with the historic home as well as adjacent historic buildings in the vicinity. Windows should be compatible in proportion, shape and size to the historic home and historic buildings in the vicinity.

- The modern gable-end windows on the front elevation are not historically compatible. Consider historically proportioned double-hung windows over garage man door.
- Proposed balcony is not proportionate to front elevation in that it is too deep and too narrow. Recommend balcony be positioned and sized symmetrical to the garage door.
- Proposed balcony door is not compatible in type or proportion. Consider smaller door with windows or French door.
- Recommend carriage-style garage door.

- A historic building would have windows on the sides and back of building that are historically proportioned and have a rhythm.

Building Materials (AMC) 18.4.2.050.C

The Commission recommends the following exterior building materials to maintain the historic and architectural character of the district.

- Siding should have a six-inch exposure or less and be smooth finish.
- Use corner board and belly board at deck level.
- Use historic window and door trim (minimum of 3 ½ inches wide).

COMMISSION ITEMS NOT ON AGENDA:

There were no items to discuss.

NEW ITEMS:

- Review board schedule.
- Project assignments for planning actions

OLD BUSINESS:

The decision by the Planning Commission regarding 165 Water was discussed.

Review Board Schedule

June 8 th	Terry, Sam, Bill
June 15 th	Terry, Piper, Keith
June 22 nd	Terry, Tom, Sam
June 29 th	Terry, Dale, Taylor
July 6 th	Terry, Keith, Piper

PA-2014-00710	143 Nutley	Swink & Whitford
PA-2014-02206	485 A Street	Whitford
PA-2015-00878	35 S. Pioneer	Leonard
PA-2015-01695	399 Beach	Skibby
PA-2016-00847	252 B Street	Whitford
PA-2016-01027	276 B Street	Shostrom & Leonard
PA-2016-02103	133 Alida	Swink
PA-2016-02095	563 Rock St.	Whitford
PA-2016-02114	556 B	Von Chamier
PA-2017-00013	15, 35, 44 & 51 S. Pioneer Street	ALL
PA-2017-00235	114 Granite	Leonard
PA-2017-00325	746 C Street	Von Chamier
PA-2017-00200	165 Water	ALL
PA-2017-00707	550 E. Main	No one assigned
PA-2017-00838	250 Alta Ave	No one assigned

ANNOUNCEMENTS & INFORMATIONAL ITEMS:

Next meeting is scheduled July 5, 2017 at 6:00 pm

There being no other items to discuss, the meeting adjourned at 8:15pm

Respectfully submitted by Regan Trapp



NOTICE OF APPLICATION

PLANNING ACTION: PA- 2017-01054

SUBJECT PROPERTY: 220 Hargadine St.

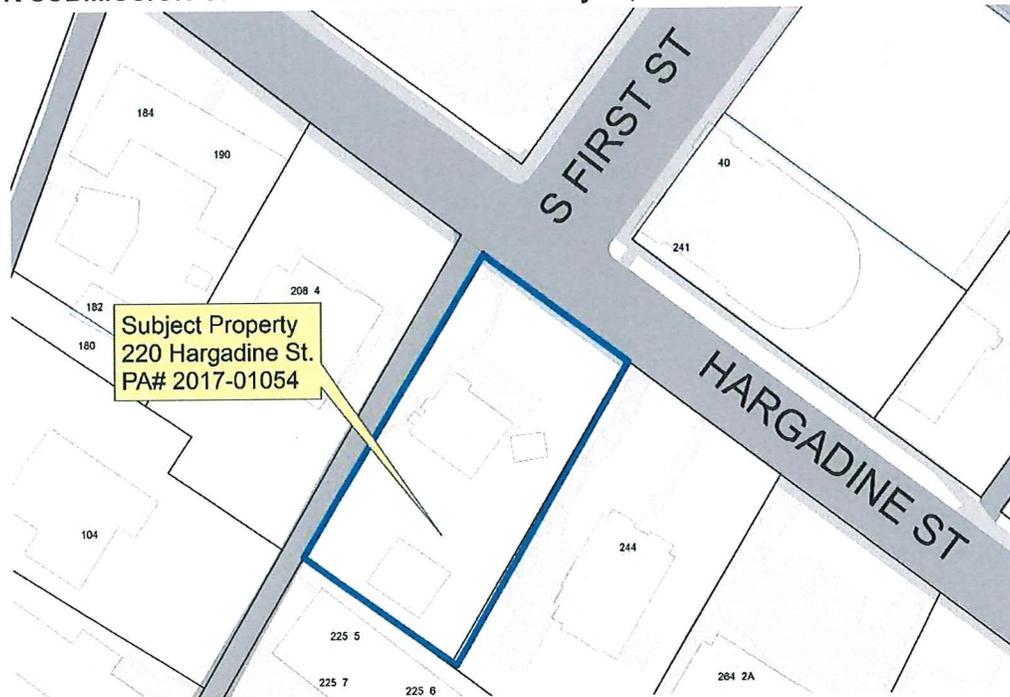
OWNER/APPLICANT: Ben and Mia Gaskin

DESCRIPTION: A request for a Conditional Use Permit (CUP) and Site Design Review approval to operate an Accessory Travelers' Accommodation (ATA). The garage located at the rear of the property will be converted to habitable space and used as the ATA. The garage structure is considered legal nonconforming because it is located less than 10 feet from the rear property line. **COMPREHENSIVE PLAN DESIGNATION:** Low Density Multi-Family Residential; **ZONING:** R-2; **ASSESSOR'S MAP:** 39 1E 09BC; **TAX LOT:** 5900.

NOTE: The Ashland Historic Commission will also review this Planning Action on **Wednesday July 5, 2017 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTICE OF COMPLETE APPLICATION: June 28, 2017

DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS: July 12, 2017



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.5.1.050.G)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

TRAVELERS' ACCOMMODATIONS

18.2.3.220

Where travelers' accommodations and accessory travelers' accommodations are allowed, they require a Conditional Permit under chapter 18.5.4, are subject to Site Design Review under chapter 18.5.2, and shall meet the following requirements. See definitions of travelers' accommodation and accessory travelers' accommodation in part 18-6.

- A. **Travelers' Accommodations and Accessory Travelers' Accommodations.** Travelers' accommodations and accessory travelers' accommodations shall meet all of the following requirements.
1. An accommodation must meet all applicable building, fire, and related safety codes at all times and must be inspected by the Fire Department before occupancy following approval of a Conditional Use Permit and periodically thereafter pursuant to AMC 15.28.
 2. The business-owner of a travelers' accommodation or the property owner of an accessory travelers' accommodation must maintain a City business license and pay all transient occupancy tax in accordance with AMC 4.24 and AMC 6.04 as required.
 3. Advertising for an accommodation must include the City planning action number assigned to the land use approval.
 4. Offering the availability of residential property for use as an accommodation without a valid Conditional Use Permit approval, current business license and transient occupancy tax registration is prohibited and shall be subject to enforcement procedures.
- B. **Travelers' Accommodations.** In addition to the standards described above in section 18.23.220.A, travelers' accommodations shall meet all of the following requirements.
1. The property is located within 200 feet of a boulevard, avenue, or neighborhood collector as identified on the Street Dedication Map in the Comprehensive Plan. Distances to the property from a boulevard, avenue, or neighborhood collector shall be measured via a public street or public alley to a lot line.
 2. During operation of a travelers' accommodation, the property on which the travelers' accommodation is sited must be the primary residence of the business-owner. "Business-owner" shall be defined as a person or persons who own the property and accommodation outright; or who have entered into a lease agreement with the property owner(s) allowing for the operation of the accommodation. Such lease agreement must specifically state that the property owner is not involved in the day-to-day operation or financial management of the accommodation and that the business-owner has actual ownership of the business and is wholly responsible for all operations associated with the accommodation, and has actual ownership of the business.
 3. The primary residence on the site must be at least 20 years old. The primary residence may be altered and adapted for travelers' accommodation use, including expansion of floor area. Additional structures may be allowed to accommodate additional units, but must be in conformance with all setback and lot coverage standards of the underlying zone.
 4. The number of travelers' accommodation units allowed shall be determined by the following criteria.
 - a. The total number of units, including the business-owner's unit, shall be determined by dividing the total square footage of the lot by 1,800 square feet. Contiguous lots under the same ownership may be combined to increase lot area and the number of units, but not in excess of the maximum established by this ordinance. The maximum number of accommodation units shall not exceed nine per approved traveler's accommodation with primary lot frontage on boulevard streets. For travelers' accommodation without primary lot frontage on a designated boulevard, but within 200 feet of a boulevard, avenue, or neighborhood collector street, the maximum number of units shall be seven. Street designations shall be as determined by the Street Dedication Map in the Comprehensive Plan. Distances to the property from a boulevard, avenue, or neighborhood collector shall be measured via a public street or public alley to a lot line.
 - b. Excluding the business-owner's unit and the area of the structure it will occupy, there must be at least 400 square feet of gross interior floor space remaining per unit.
 5. Each accommodation must have one off-street parking space and the business-owner's unit must have two parking spaces. All parking spaces shall be in conformance with chapter 18.4.3.
 6. Only one ground or wall sign, constructed of a non-plastic material, non-interior illuminated, and a maximum of six square feet total surface area is allowed. Any exterior illumination of signage shall be installed such that it does not directly illuminate any residential structures adjacent or nearby the travelers' accommodation in accordance with subsection 18.4.4.050.C.1.
 7. An annual inspection by the Jackson County Health Department shall be conducted as required by the laws of Jackson County or the State of Oregon.
 8. Transfer of business-ownership of a travelers' accommodation shall be subject to all requirements of this section and conform with the criteria of this section. Any further modifications beyond the existing approval shall be in conformance with all requirements of this section.
- C. **Accessory Travelers' Accommodations.** In addition to the standards in section 18.2.3.220.A, accessory travelers' accommodations shall meet all of the following requirements.
1. The operator of the accessory travelers' accommodation must be the property owner and the property must be the operator's primary residence. The operator must be present during operation of the accessory travelers' accommodation.
 2. The property is limited to having one accessory travelers' accommodation unit, covered under a single reservation and consisting of two or fewer bedrooms. Meals are not provided and kitchen cooking facilities are not permitted with an accessory travelers' accommodation, with the exception of kitchen cooking facilities for the primary residence.
 3. The total number of guests occupying an accessory travelers' accommodation must not exceed two people per bedroom.
 4. The property must have two off-street parking spaces. The total number of guest vehicles associated with the accessory travelers' accommodation must not exceed one.
 5. Signs are not permitted in conjunction with the operation of an accessory travelers' accommodation.

CONDITIONAL USE PERMITS

18.5.4.050.A

A Conditional Use Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.

1. That the use would be in conformance with standards within the zoning district in which the use proposed to be located, and in conformance with relevant Comprehensive plan policies that are not implemented by any City, State, or Federal law or program.
2. That adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the development, and adequate transportation can and will be provided to the subject property.
3. That the conditional use will have no greater adverse material effect on the livability of the impact area when compared to the development of the subject lot with the target use of the zone, pursuant with subsection 18.5.4.050.A.5, below. When evaluating the effect of the proposed use on the impact area, the following factors of livability of the impact area shall be considered in relation to the target use of the zone.
 - a. Similarity in scale, bulk, and coverage.
 - b. Generation of traffic and effects on surrounding streets. Increases in pedestrian, bicycle, and mass transit use are considered beneficial regardless of capacity of facilities.
 - c. Architectural compatibility with the impact area.
 - d. Air quality, including the generation of dust, odors, or other environmental pollutants.
 - e. Generation of noise, light, and glare.
 - f. The development of adjacent properties as envisioned in the Comprehensive Plan.
 - g. Other factors found to be relevant by the approval authority for review of the proposed use.
4. A conditional use permit shall not allow a use that is prohibited or one that is not permitted pursuant to this ordinance.
5. For the purposes of reviewing conditional use permit applications for conformity with the approval criteria of this subsection, the target uses of each zone are as follows.
 - a. WR and RR. Residential use complying with all ordinance requirements, developed at the density permitted by chapter 18.2.5 Standards for Residential Zones.
 - b. R-1. Residential use complying with all ordinance requirements, developed at the density permitted by chapter 18.2.5 Standards for Residential Zones.
 - c. R-2 and R-3. Residential use complying with all ordinance requirements, developed at the density permitted by chapter 18.2.5 Standards for Residential Zones.
 - d. C-1. The general retail commercial uses listed in chapter 18.2.2 Base Zones and Allowed Uses, developed at an intensity of 0.35 floor to area ratio, complying with all ordinance requirements; and within the Detailed Site Review overlay, at an intensity of 0.50 floor to area ratio, complying with all ordinance requirements.
 - e. C-1-D. The general retail commercial uses listed in chapter 18.2.2 Base Zones and Allowed Uses, developed at an intensity of 1.00 gross floor to area ratio, complying with all ordinance requirements.
 - f. E-1. The general office uses listed in chapter 18.2.2 Base Zones and Allowed Uses, developed at an intensity of 0.35 floor to area ratio, complying with all ordinance requirements; and within the Detailed Site Review overlay, at an intensity of 0.50 floor to area ratio, complying with all ordinance requirements.
 - g. M-1. The general light industrial uses listed in chapter 18.2.2 Base Zones and Allowed Uses, complying with all ordinance requirements.
 - h. CM-C1. The general light industrial uses listed in chapter 18.3.2 Croman Mill District, developed at an intensity of 0.50 gross floor to area ratio, complying with all ordinance requirements.
 - i. CM-OE and CM-MU. The general office uses listed in chapter 18.3.2 Croman Mill District, developed at an intensity of 0.60 gross floor to area, complying with all ordinance requirements.
 - k. CM-NC. The retail commercial uses listed in chapter 18.3.2 Croman Mill District, developed at an intensity of 0.60 gross floor to area ratio, complying with all ordinance requirements.
 - l. HC, NM, and SOU. The permitted uses listed in chapters 18.3.3 Health Care Services, 18.3.5 North Mountain Neighborhood, and 18.3.6 Southern Oregon University District, respectively, complying with all ordinance requirements.

SITE DESIGN AND USE STANDARDS

18.5.2.050

The following criteria shall be used to approve or deny an application:

- A. Underlying Zone: The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.
- B. Overlay Zones: The proposal complies with applicable overlay zone requirements (part 18.3).
- C. Site Development and Design Standards: The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.
- D. City Facilities: The proposal complies with the applicable standards in section 18.4.6 Public Facilities and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property and adequate transportation can and will be provided to the subject property.
- E. *Exception to the Site Development and Design Standards.* The approval authority may approve exceptions to the Site Development and Design Standards of part 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.
 1. There is a demonstrable difficulty meeting the specific requirements of the Site Development and Design Standards due to a unique or unusual aspect of an existing structure or the proposed use of a site; and approval of the exception will not substantially negatively impact adjacent properties; and approval of the exception is consistent with the stated purpose of the Site Development and Design; and the exception requested is the minimum which would alleviate the difficulty.; or
 2. There is no demonstrable difficulty in meeting the specific requirements, but granting the exception will result in a design that equally or better achieves the stated purpose of the Site Development and Design Standards.

APPLICATION FOR TYPE I ACCESSORY TRAVELERS ACCOMMODATION

SITE: 220 Hargadine St

APPLICANT: Benjamin and Mia Gaskin

Project Summary and Findings

The proposed Accessory Travelers Accommodation is to be located within the existing detached Garage (see Site Plan Box Note 37). The conversion of the existing detached Garage will require a light remodel that will not exceed the existing footprint, alter the existing roof line or change patterns of access to the existing structure. Attached below is a copy of the Scope of Work provided on the Cover Sheet of the Plans:

Scope of Work:

Remodel of existing 20' x 24' Garage to convert to heated dwelling space for Accessory Traveler's Accommodation. Remodel shall include 2" furring strips on (E) walls, interior walls, replacement or addition of windows and doors, Plumbing, Electrical, wall and ceiling Insulation, Drywall, Trim, Paint, Marmoleum flooring, Carpet, and Cabinets. The (E) Garage door shall remain for access to small storage space. Attention has been directed to the location of Plumbing on exterior wall to minimize saw cuts in (E) Slab and to centralize drains. No structural impact is generated to the (E) structure other than a (N) 4 x 12 10' beam to support ceiling joists. A (N) Sub Panel will be fed from the Main Panel at the House and the trench required for the feed will be shared with Telephone, Water, and Sewer.

The findings below have been formatted to address the Staff Comments per item and are presented in *Italics*. Reference to Box Notes found on the Site Plan and Plans are provided in the findings to provide specificity.

A. **Travelers' Accommodations and Accessory Travelers' Accommodations.**

Travelers' accommodations and accessory travelers' accommodations shall meet all of the following requirements.

1. An accommodation must meet all applicable building, fire, and related safety codes at all times and must be inspected by the Fire Department before occupancy following approval of a Conditional Use Permit and periodically thereafter pursuant to AMC 15.28.
 - o See the attached Fire Department's comments. Staff suggests using a design professional familiar with the building and fire code to determine if issues such as fire sprinklers will be required. In addition, vacation rentals require additional provisions such as smoke alarms, CO alarms, fire extinguishers and emergency escape window.

The proposed remodel includes full compliance with Fire Safety Code (See Plans). A fire sprinkler system will be provided if required.

2. The business-owner of a travelers' accommodation or the property owner of an accessory travelers' accommodation must maintain a City business license

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The existing 2 standard size off-street parking spaces are compliant and have 22' of backup (see Site Plan, Box Note 42).

5. Signs are not permitted in conjunction with the operation of an accessory travelers' accommodation.

Noted.

18.5.4.050 Conditional Use Permit Approval Criteria

1. That the use would be in conformance with all standards within the zoning district in which the use is proposed to be located, and in conformance with relevant Comprehensive plan policies that are not implemented by any City, State, or Federal law or program.

Noted.

2. That adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the development, and adequate transportation can and will be provided to the subject property.

- **Frontage Improvements:** The Conditional Use Permit and Site Design Review approval criteria require a demonstration of compliance with city street standards, and would typically require the installation of street frontage improvements or sidewalks. The city has typically not required these improvements for accessory travelers' accommodation and has instead simply had applicants sign agreements in favor of future proportional participation in a local improvement district (LID) should one ever be formed to install sidewalks in the neighborhood.

- According to City maps, there is approximately five feet between the curb and the front property line that is public property in the form of the street right-of-way for Hargadine St.

Noted. Applicant will sign agreements in favor of future proportional participation in a local improvement district (LID) should one ever be formed to install sidewalks in the neighborhood.

- **Vegetation Overhanging Pedestrian Walkway:** The hedge along the front retaining wall intrude into the Hargadine right-of-way, making it difficult to walk in front of the property. The Ashland Municipal Code requires properties adjacent to the public street right-of-way to keep the right-of-way and pedestrian areas clear of vegetation.

Noted. The existing Lavender Bushes overhanging the retaining wall adjacent the pedestrian walkway shall be maintained to keep the right of way and pedestrian areas clear of vegetation (see Site Plan, Box Note 19).

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proposed use.

Noted.

4. A conditional use permit shall not allow a use that is prohibited or one that is not permitted pursuant to this ordinance.

Noted.

5. For the purposes of reviewing conditional use permit applications for conformity with the approval criteria of this subsection, the target uses of each zone are as follows.

- c. *R-2 and R-3.* Residential use complying with all ordinance requirements, developed at the density permitted by chapter 18.2.5 Standards for Residential Zones.

Noted.

SITE DESIGN REVIEW

The application must address the following criteria and standards from Ashland Municipal Code (AMC) 18.5.2.050 for a Site Design Review approval for residential development.

A. Underlying Zone. The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.

The property is zoned Low Density Multiple Family (R-2) and the application must demonstrate that the site and proposed accessory residential unit meet the requirements of AMC 18.2.5.030. For example, the application must include lot coverage calculations which is limited to 65% coverage in the R-2 zone.

The proposed improvements to the existing detached Garage represent no change in the current lot coverage calculations. The existing detached Garage and SFR total 1360 sq. ft. which represents 12% lot coverage.

Nonconforming Structure: The existing garage appears to be a "nonconforming structure" because it does not meet the standard rear yard requirement of ten feet between the building and the rear property line.

The existing detached Garage appears to be 7.5' from the rear property line and is a "nonconforming structure."

Conditional Use Permit: A conditional use permit is required to alter (reconstruct, enlarge or modify) a nonconforming structure unless the structure is not changed in size or shape (footprint, roof shape, height), and no more than 40 percent of any exterior wall and more than 50 percent of the building floor is permanently removed (see AMC 18.1.4.030). If a case is made that it is exempt, the owner has to submit a

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Historic District Design Standards: Staff suggests meeting with the Historic Review Board once preliminary elevations are prepared for their feedback on meeting the Historic District Design Standards.

The applicant has met with the Historic Review Board to present and review the proposed Elevations. The Historic Review Board had no objections.

The property is located in the Hillside Lands overlay. City maps show an area behind the home that has slopes that are 25% and greater. If this area is disturbed as part of the construction process, a Physical Constraints Review Permit in accordance with AMC 18.3.10 may be required.

The proposed improvements generate no impact or disturbance to the area behind the house (see Site Plan).

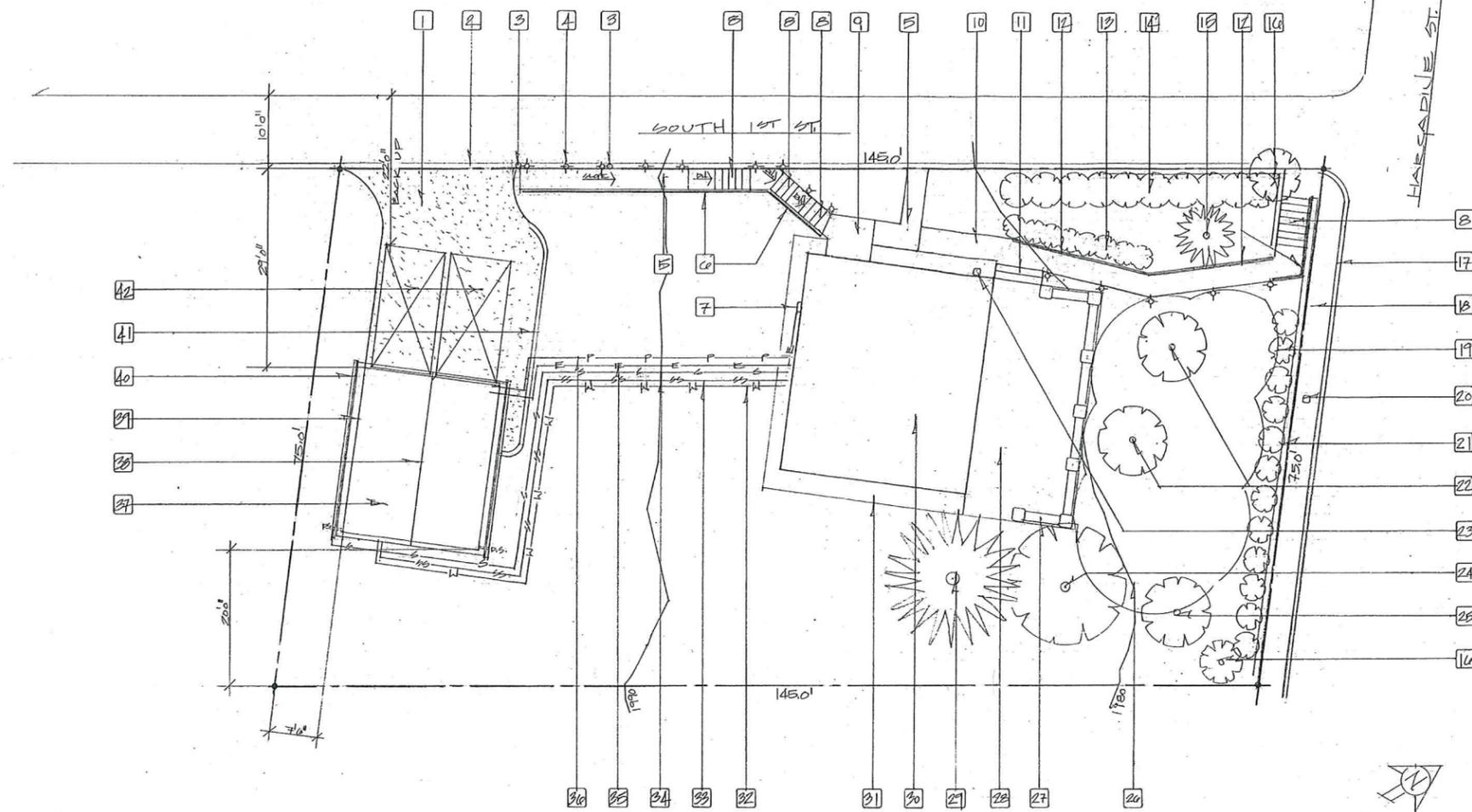
C. Site Development and Design Standards. The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.

- **Landscaping:** The property is required to meet the landscape standards of AMC 18.4.4.030. It appears the area behind the home has mature landscaping. As a result, the landscape plan could focus on the area between the home and the front property line.
 - Landscape areas are required to have plant coverage of not less than 50% within one year and 90% coverage within five years of planting.
A thorough existing Landscape Plan of the front yard has been provided on the Site Plan to document that this requirement is fulfilled (see Site Plan Box Notes 13,14,15,16,19,22,24,25,26,29).
 - One tree is required to shade the new parking spaces.
No new parking spaces are proposed (see Site Plan Box Notes 1,42).
 - An irrigation plan is required at the time of submittal of the building permit.
A thorough existing Landscape Plan of the front yard has been provided on the Site Plan to document that this requirement is fulfilled (see Site Plan Box Notes 13,14,15,16,19,22,24,25,26,29).
- **Street Trees:** Street trees will be required to be planted behind the sidewalk on Hargadine St. and irrigated. One street tree is required for each 30 feet of frontage.
Two irrigated street trees currently exist (see Site Plan Box Note 16).
- **Tree Preservation/Protection:** All planning actions are required to include a

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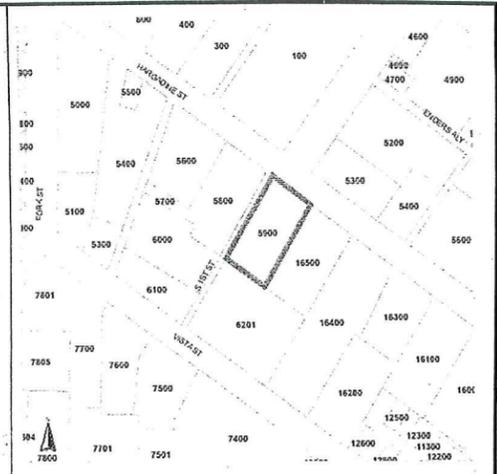
City of Ashland



SITE PLAN
1" = 10'0"

Site Plan Box Notes

- | | | |
|--|--|---|
| 1 (E) Gravel Parking Area (asphalt curb preventing tracking of gravel) | 15 (E) 6" Ponderosa Pine (irrigated) | 21 (E) 24" Cedar |
| 2 (E) Asphalt Curb (preventing tracking of gravel) | 16 (E) Flowering Cherry (irrigated) | 20 (E) Single Family Residence |
| 3 (E) Utility Pole | 17 (E) Curb | 21 (E) D. G. Path (3'0" wide) |
| 4 (E) Landscape Path Lighting Typ. | 18 (E) D. G. Path | 22 (N) Water (1" line) |
| 5 (E) Brick Path (3'0" wide) | 19 (E) Lavender Bushes (irrigated, mature) | 23 (N) Sanitary Sewer (4" line) |
| 6 (E) Wood Railing | 20 (E) Water Meter | 24 (N) Storm Sewer (4" line) |
| 7 (E) Electrical Panel | 21 (E) 48" high Retaining Wall (CMU) | 25 (N) Electric Line (60 amp, conduit) |
| 8 (E) Brick Stairs (3'0" wide) | 22 (E) 6" Black Locust (irrigated) | 26 (N) Phone Line (conduit) |
| 9 (E) Concrete Patio (back door access) | 23 (E) Natural Gas Meter | 27 (E) 20'0" x 24'0" Garage (convert to Accessory Traveler's Accommodation) |
| 10 (E) Stone Path (3'0" wide) | 24 (E) 14" Maple (irrigated, mature) | 28 (E) Ridge |
| 11 (E) Wood Framed Steps (front door access) | 25 (E) Holly (irrigated) | 29 (E) Face of Building |
| 12 (E) Steel Railings | 26 (E) Lawn (irrigated, established) | 30 (E) Gutter |
| 13 (E) Boxwood Shrubs (irrigated, mature) | 27 (E) Bench | 31 (E) Retaining Wall (30" high max., Keystone Block) |
| 14 (E) Laurel Shrubs (irrigated, mature) | 28 (E) Wood Framed Deck | 32 (E) Standard Parking Spaces |



Proximity Map (not to scale)

Project Information

OWNERS: Ben and Mia Gaskin
 PROJECT ADDRESS: 220 Hargadine St. Ashland, Oregon
 LEGAL DESCRIPTION: 39 1E 09 BC T.L. 5900
 ACREAGE: .25
 ZONING: R-2
 DESIGNER: Nautilus Design Studio
 Brint Borgilt, Principal
 13350 Hwy 66
 Ashland, OR 97520
 (541) 261-6349 (541) 488-0822
 BUILDER:
 NOTE: (E) = Existing
 (N) = New

Scope of Work:

Remodel of existing 20' x 24' Garage to convert to heated dwelling space for Accessory Traveler's Accommodation. Remodel shall include 2" furring strips on (E) walls, interior walls, replace or add windows and doors, Plumbing, Electrical, wall and ceiling Insulation, Drywall, Trim, Paint, Marmoleum, Carpet, and Cabinets. The (E) Garage door shall remain for access to small storage space.
 Attention has been directed to the location of Plumbing on exterior wall to minimize saw cuts in (E) Slab and to centralize drains.
 No structural impact is generated to the (E) structure other than a (N) 4x12 10' beam to support ceiling joists. A (N) Sub Panel will be fed from the Main Panel at the House and the trench required for the feed will be shared with Telephone, Water, and Sewer.

REVISIONS	BY

Nautilus Design Studio
 13350 Hwy. 66
 Ashland, OR 97520 (541) 261-6349 (541) 488-0822
 www.nds-homes.com

Site Plan, Landscaping Plan

Gaskin Residence Garage Remodel
 for Accessory Traveler's Accommodation
 220 Hargadine St. Ashland, Or.

Date	5-23-17
Scale	1" = 10'
Drawn	BWB
Job	
Sheet	COVER
Of	1 Sheets

Sheet Index	
Cover	Site Plan, Landscape Plan
1	Floor Plan, Ceiling Framing Plan and Elevations

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 City of Ashland

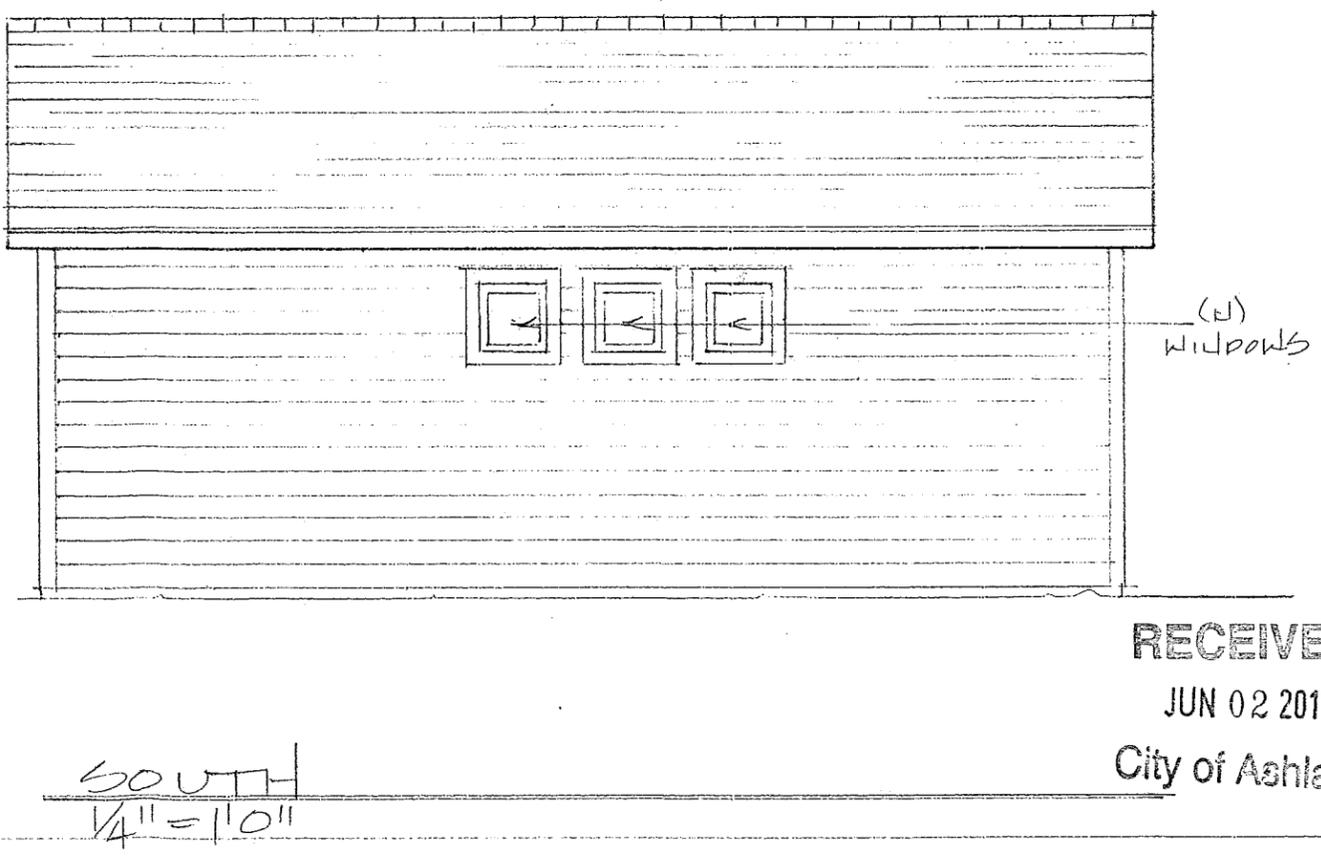
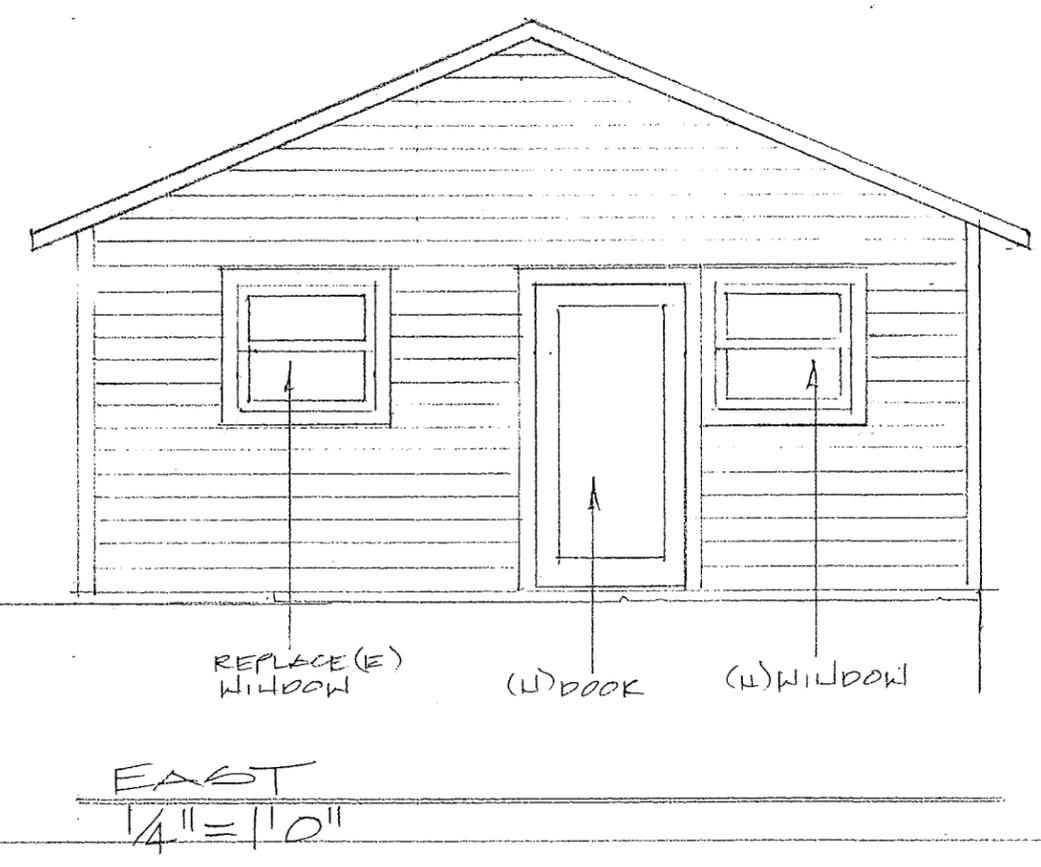
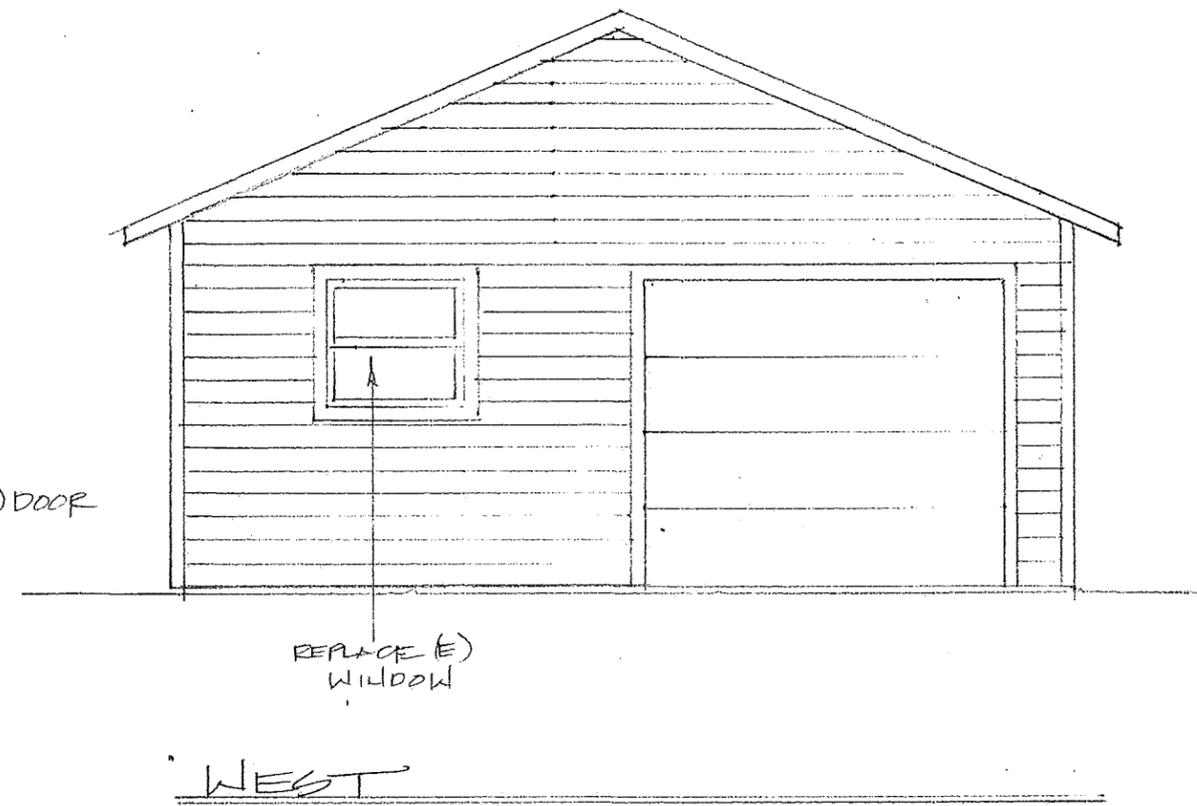
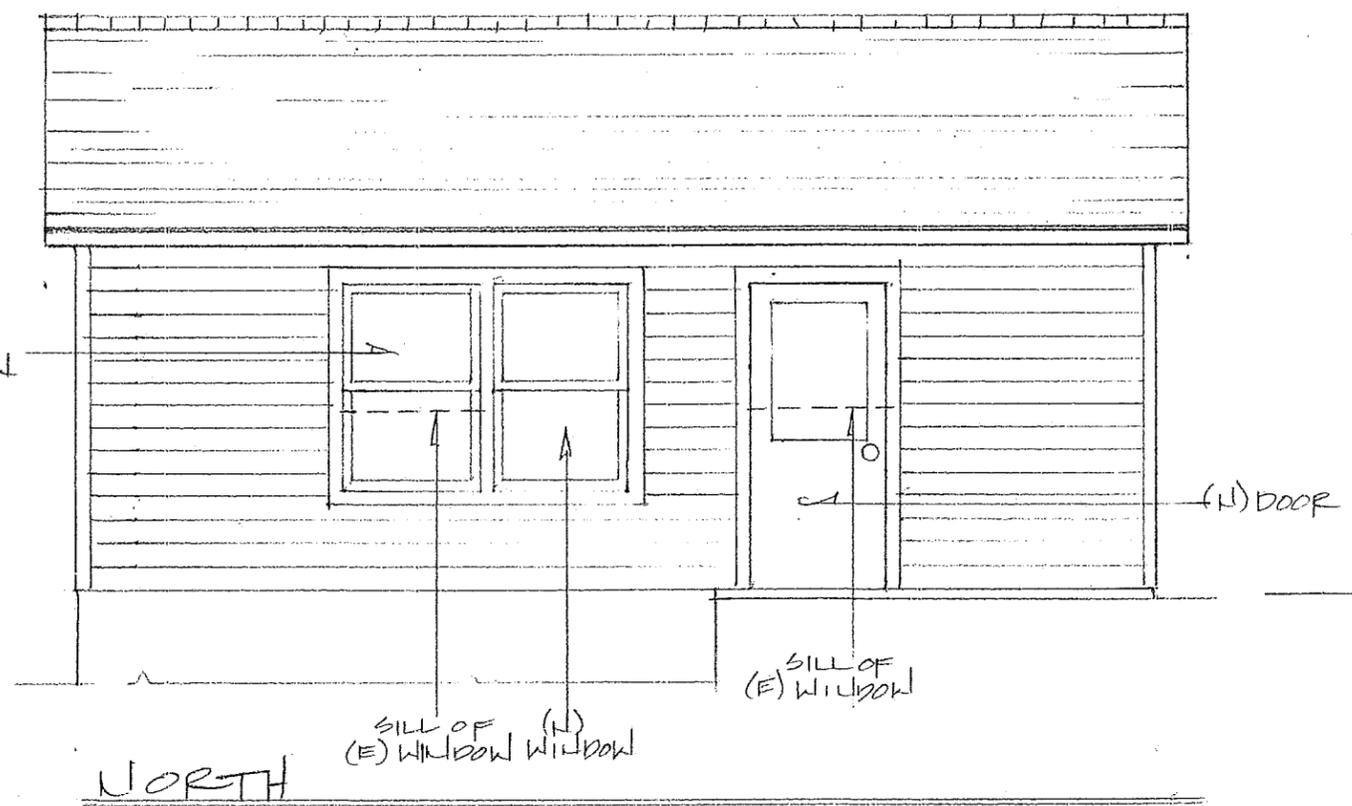
Nautilus Design Studio
 13350 Hwy. 66 Ashland, OR 97520
 (541) 261-6349 (541) 488-0822
 www.nds-homes.com

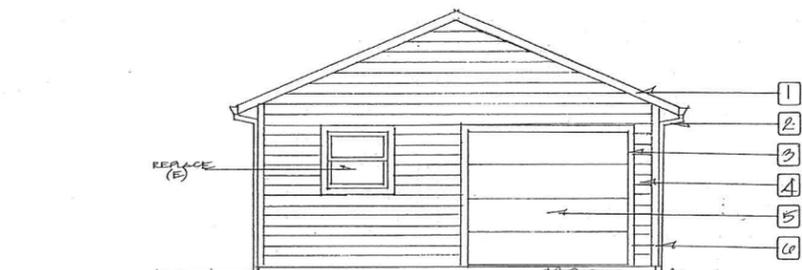
Elevations

Gaskin Residence 220 Hargadine
 Ashland, Or.

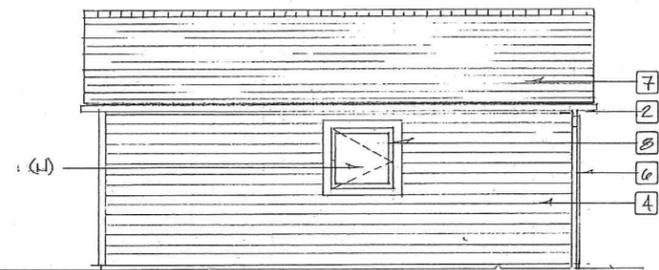
DATE:
 5-5-17

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WEST
1/4" = 1'0"



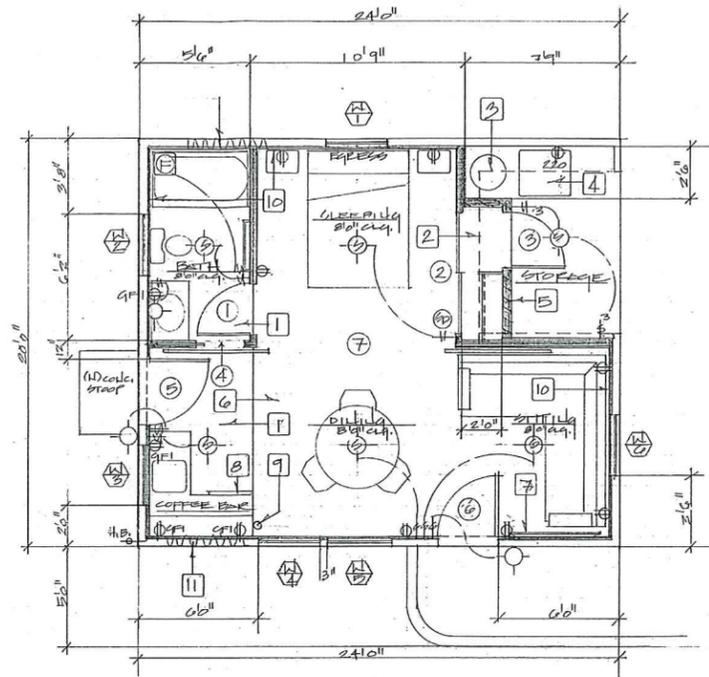
SOUTH
1/4" = 1'0"



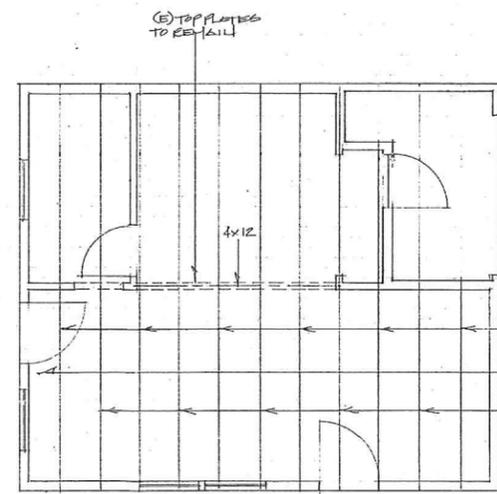
NORTH
1/4" = 1'0"



EAST
1/4" = 1'0"



FLOOR PLAN
1/4" = 1'0"



CEILING FRAMING PLAN
1/4" = 1'0"

Floor Plan Box Notes

- 1 Marmoleum
- 2 Edge of Garage Door when open
- 3 Electric Water Heater
- 4 Stack Washer/Dryer
- 5 Frame Wall and Closet Ceiling below Garage Door track
- 6 Carpet
- 7 Flat Screen
- 8 24" Mini Refrigerator
- 9 Fire Extinguisher
- 10 2" Furring Strips
- 11 R-21 Batt Insulation

Elevation Box Notes

- 1 (E) 2x4 Gable board (white)
- 2 (E) Gutter w/ Down Spouts
- 3 (E) 1x4 Casing (white)
- 4 (E) Horizontal Siding (pale yellow)
- 5 (E) Garage Door (white)
- 6 (E) 1x4 Corner Trim (white)
- 7 (E) Composition Roofing
- 8 (N) 1x4 Casing (white, match existing)

Door Schedule

	Size	Style	Type	Swing	Jam
1	2'6" x 6'8" x 1 3/8"	Panel	Privacy	L	4 9/16"
2	6'0" x 6'8" x 1 3/8"	Panel	Bypass		4 9/16"
3	2'8" x 6'8" x 1 3/4"	Panel	Entry	R	6 9/16"
4	2'4" x 6'8" x 1 3/8"	Panel	Pocket		4 9/16"
5	3'0" x 6'8" x 1 3/4"	Full Light	Entry	L	6 9/16"
6	3'0" x 6'8" x 1 3/4"	Half Light	Entry	R	6 9/16"
7	(2) 5'4" x 6'8" x 1 1/2"	Barn	Slider		N/A

Window Schedule

	Size	R. O.	Type	Quan.	Header Height	Notes
1	3'0" x 3'0"	3'0" x 3'0"	C.	1	6'8"	(N) Egress
2	3'0" x 2'8"	3'0" x 2'8"	S.H.	1	6'8"	Replace (E)
3	3'0" x 2'8"	3'0" x 2'8"	S.H.	1	6'8"	(N)
4	3'0" x 4'6"	3'0" x 4'6"	S.H.	1	6'8"	Replace (E)
5	3'0" x 4'6"	3'0" x 4'6"	S.H.	1	6'8"	(N)
6	3'0" x 2'8"	3'0" x 2'8"	S.H.	1	6'8"	Replace (E)

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Floor Plan, Ceiling Plan,
 and Elevations

Gaskin Residence Garage Remodel
 for Accessory Travelers Accommodation
 220 Hargadine St. Ashland, Or.

Date	5-23-17
Scale	1/4" = 1'0"
Drawn	SWB
Job	
Sheet	
Of	Sheets



NOTICE OF APPLICATION

PLANNING ACTION: PA-2017-00969

SUBJECT PROPERTY: 244 Hargadine Street

OWNER/APPLICANT: Elisa Fox/Tim Plankenhorn

DESCRIPTION: A request for a Site Design Review and Conditional Use Permit approval to operate a two-unit Accessory Traveler’s Accommodation including one detached guest unit and one owner’s unit in the existing home for the property located at 244 Hargadine Street. **COMPREHENSIVE PLAN DESIGNATION:** Low Density, Multi-Family Residential; **ZONING:** R-2; **ASSESSOR’S MAP:** 39 1E 09BD; **TAX LOT #:** 16500.

NOTE: The Ashland Historic Commission will also review this Planning Action on **Wednesday June 7, 2017 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTICE OF COMPLETE APPLICATION: May 31, 2017

DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS: June 14, 2017



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff’s decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.5.1.050.G)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

SITE DESIGN AND USE STANDARDS

18.5.2.050

The following criteria shall be used to approve or deny an application:

- A. Underlying Zone: The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.
- B. Overlay Zones: The proposal complies with applicable overlay zone requirements (part 18.3).
- C. Site Development and Design Standards: The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.
- D. City Facilities: The proposal complies with the applicable standards in section 18.4.6 Public Facilities and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property and adequate transportation can and will be provided to the subject property.
- E. *Exception to the Site Development and Design Standards.* The approval authority may approve exceptions to the Site Development and Design Standards of part 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.
 1. There is a demonstrable difficulty meeting the specific requirements of the Site Development and Design Standards due to a unique or unusual aspect of an existing structure or the proposed use of a site; and approval of the exception will not substantially negatively impact adjacent properties; and approval of the exception is consistent with the stated purpose of the Site Development and Design; and the exception requested is the minimum which would alleviate the difficulty.; or
 2. There is no demonstrable difficulty in meeting the specific requirements, but granting the exception will result in a design that equally or better achieves the stated purpose of the Site Development and Design Standards.

CONDITIONAL USE PERMITS

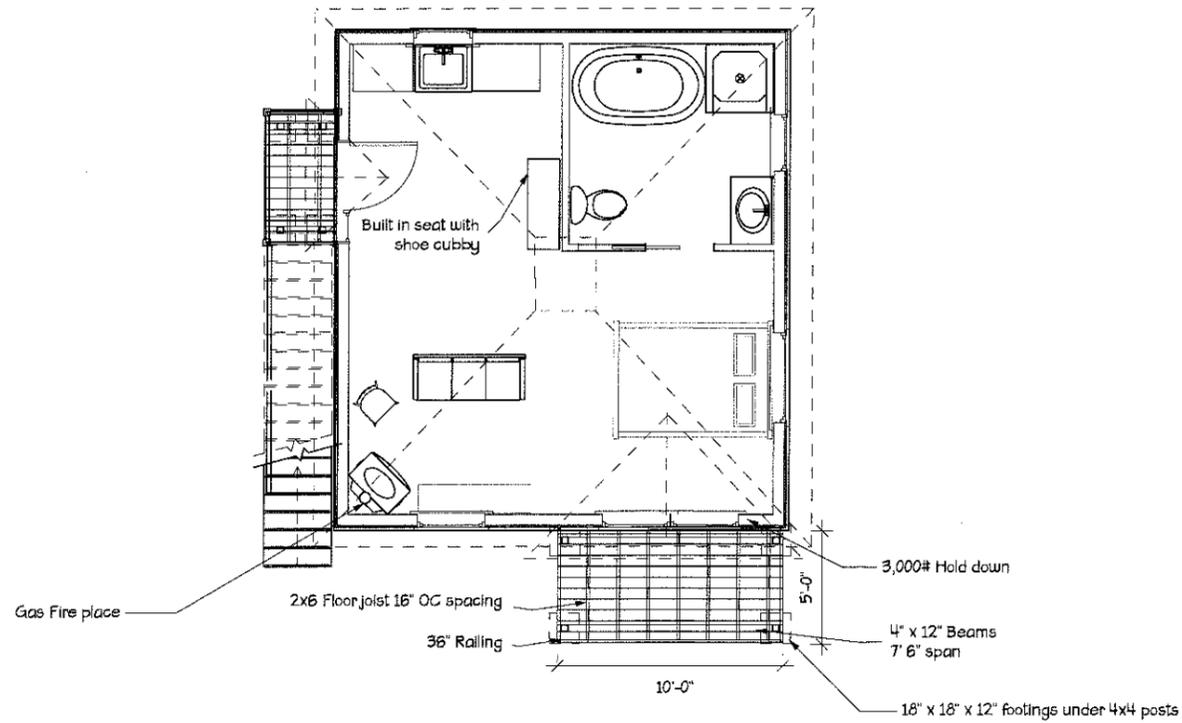
18.5.4.050.A

A Conditional Use Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.

1. That the use would be in conformance with all standards within the zoning district in which the use is proposed to be located, and in conformance with relevant Comprehensive plan policies that are not implemented by any City, State, or Federal law or program.
2. That adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the development, and adequate transportation can and will be provided to the subject property.
3. That the conditional use will have no greater adverse material effect on the livability of the impact area when compared to the development of the subject lot with the target use of the zone, pursuant with subsection 18.5.4.050.A.5, below. When evaluating the effect of the proposed use on the impact area, the following factors of livability of the impact area shall be considered in relation to the target use of the zone.
 - a. Similarity in scale, bulk, and coverage.
 - b. Generation of traffic and effects on surrounding streets. Increases in pedestrian, bicycle, and mass transit use are considered beneficial regardless of capacity of facilities.
 - c. Architectural compatibility with the impact area.
 - d. Air quality, including the generation of dust, odors, or other environmental pollutants.
 - e. Generation of noise, light, and glare.
 - f. The development of adjacent properties as envisioned in the Comprehensive Plan.
 - g. Other factors found to be relevant by the approval authority for review of the proposed use.
4. A conditional use permit shall not allow a use that is prohibited or one that is not permitted pursuant to this ordinance.
5. For the purposes of reviewing conditional use permit applications for conformity with the approval criteria of this subsection, the target uses of each zone are as follows.
 - a. WR and RR. Residential use complying with all ordinance requirements, developed at the density permitted by chapter 18.2.5 Standards for Residential Zones.
 - b. R-1. Residential use complying with all ordinance requirements, developed at the density permitted by chapter 18.2.5 Standards for Residential Zones.
 - c. R-2 and R-3. Residential use complying with all ordinance requirements, developed at the density permitted by chapter 18.2.5 Standards for Residential Zones.
 - d. C-1. The general retail commercial uses listed in chapter 18.2.2 Base Zones and Allowed Uses, developed at an intensity of 0.35 floor to area ratio, complying with all ordinance requirements; and within the Detailed Site Review overlay, at an intensity of 0.50 floor to area ratio, complying with all ordinance requirements.
 - e. C-1-D. The general retail commercial uses listed in chapter 18.2.2 Base Zones and Allowed Uses, developed at an intensity of 1.00 gross floor to area ratio, complying with all ordinance requirements.
 - f. E-1. The general office uses listed in chapter 18.2.2 Base Zones and Allowed Uses, developed at an intensity of 0.35 floor to area ratio, complying with all ordinance requirements; and within the Detailed Site Review overlay, at an intensity of 0.50 floor to area ratio, complying with all ordinance requirements.
 - g. M-1. The general light industrial uses listed in chapter 18.2.2 Base Zones and Allowed Uses, complying with all ordinance requirements.
 - h. CM-C1. The general light industrial uses listed in chapter 18.3.2 Croman Mill District, developed at an intensity of 0.50 gross floor to area ratio, complying with all ordinance requirements.
 - i. CM-OE and CM-MU. The general office uses listed in chapter 18.3.2 Croman Mill District, developed at an intensity of 0.60 gross floor to area, complying with all ordinance requirements.
 - k. CM-NC. The retail commercial uses listed in chapter 18.3.2 Croman Mill District, developed at an intensity of 0.60 gross floor to area ratio, complying with all ordinance requirements.
 - l. HC, NM, and SOU. The permitted uses listed in chapters 18.3.3 Health Care Services, 18.3.5 North Mountain Neighborhood, and 18.3.6 Southern Oregon University District, respectively, complying with all ordinance requirements.

Accessory Travelers' Accommodations. In addition to the standards in section 18.2.3.220.A, accessory travelers' accommodations shall meet all of the following requirements.

1. The operator of the accessory travelers' accommodation must be the property owner and the property must be the operator's primary residence. The operator must be present during operation of the accessory travelers' accommodation.
2. The property is limited to having one accessory travelers' accommodation unit, covered under a single reservation and consisting of two or fewer bedrooms. Meals are not provided and kitchen cooking facilities are not permitted with an accessory travelers' accommodation, with the exception of kitchen cooking facilities for the primary residence.
3. The total number of guests occupying an accessory travelers' accommodation must not exceed two people per bedroom.
4. The property must have two off-street parking spaces. The total number of guest vehicles associated with the accessory travelers' accommodation must not exceed one.
5. Signs are not permitted in conjunction with the operation of an accessory travelers' accommodation.



GENERAL NOTES

No.	REVISION/ISSUE	DATE

ORIENTATION	STAMP

ALL DRAWINGS ARE THE PROPERTY OF TIM PLANKENHORN AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF TIM PLANKENHORN.
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.



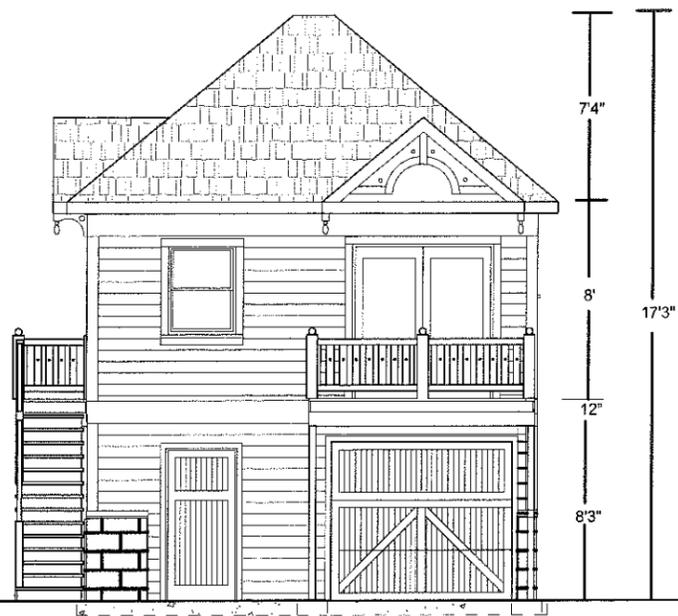
PROJECT NAME:
Accessory Travelers Accommodation
244 Hargadine Ashland
OR 97520

CLIENT:
Elisa Fox

DRAWING:
FLOOR PLAN

SCALE: 1/4" = 1'-0" DATE: March 7th, 2017

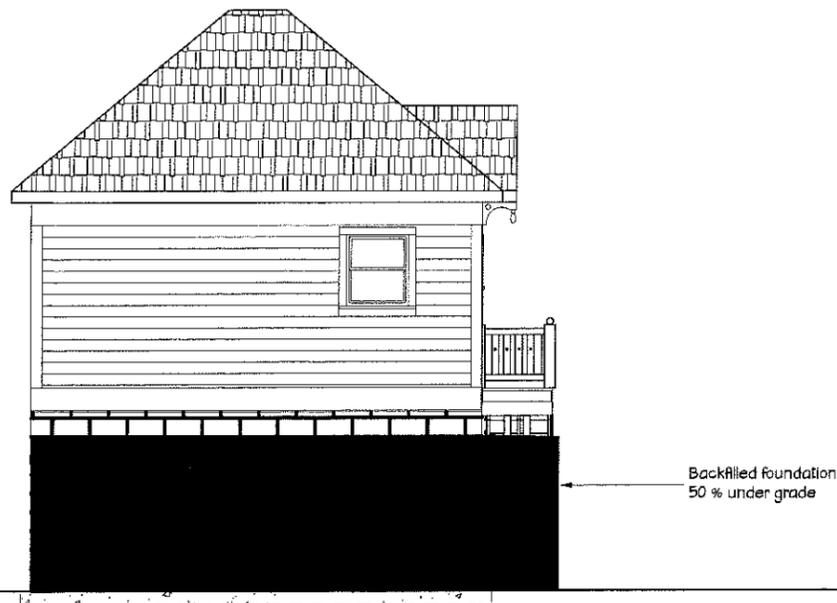
DRAWN BY: Tim Plankenhorn	SHEET: A2.2
CHECKED BY:	
APPROVED BY:	



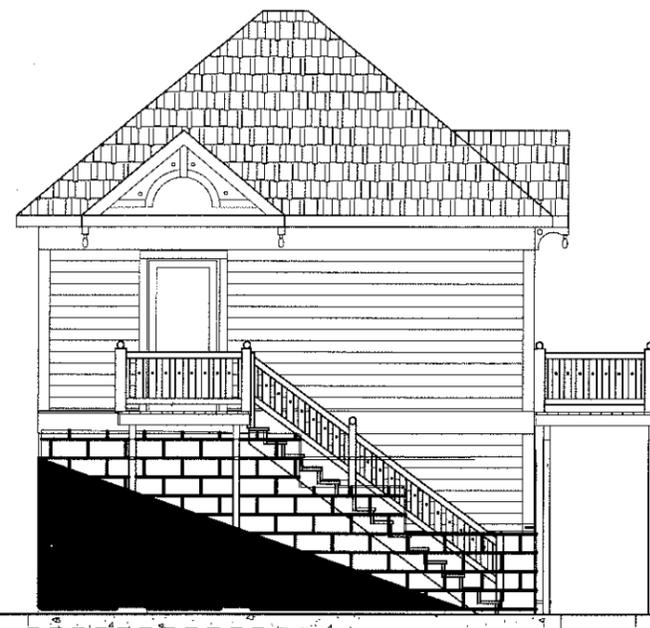
Front Elevation



Right Elevation



Back Elevation



Left Elevation

GENERAL NOTES

- Siding, exterior paint and roof to match Primary residence
- R311.7 Stairways.
Stairs: Maximum riser 8 inches
Min. tread : 9 inches
Min. width: 36 inches
Handrails: Min. 30 inches to Max 38 inches
At least one side if more than three risers.
Minimum headroom: 6 feet 8 inches.
A nosing is not required where the tread depth is min. 10 inches

No.	REVISION/ISSUE	DATE

ORIENTATION	STAMP

ALL DRAWINGS ARE THE PROPERTY OF TIM PLANKENHORN AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF TIM PLANKENHORN.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.



1046 Shafer LN.
Medford, OR 97501

PROJECT NAME:
Accessory Travelers Accommodation
244 Hargadine Ashland
OR 97520

CLIENT:
Elisa Fox

DRAWING:
DRAWING NAME
DRAWING SUB NAME

SCALE: 1/4" = 1'-0" DATE: March 7th, 2017

DRAWN BY: Tim Plankenhorn	SHEET: A2.3
CHECKED BY:	
APPROVED BY:	

PROJECT ASSIGNMENTS FOR PLANNING ACTIONS

PA-2014-00710	143 Nutley	Swink & Whitford
PA-2014-02206	485 A Street	Whitford
PA-2015-00878	35 S. Pioneer	Leonard
PA-2015-01695	399 Beach	Skibby
PA-2016-00847	252 B Street	Whitford
PA-2016-01027	276 B Street	Shostrom & Leonard
PA-2016-02103	133 Alida	Swink
PA-2016-02095	563 Rock St.	Whitford
PA-2016-02114	556 B	Von Chamier
PA-2017-00013	15, 35, 44 & 51 S. Pioneer Street	ALL
PA-2017-00235	114 Granite	Leonard
PA-2017-00325	746 C Street	Von Chamier
PA-2017-00200	165 Water	ALL
PA-2017-00707	550 E. Main	No one assigned
PA-2017-00838	250 Alta Ave	No one assigned

July 2017



Ashland Historic Review Board Schedule Meet at 3:00pm, Lithia Room*

July 6th	Terry, Keith, Piper
July 13th	Terry
July 20th	Terry
July 27th	Terry
August 3rd	Terry

*Call 541-488-5305 to verify there are items on the agenda to review



ASHLAND HISTORIC COMMISSION Membership List

Commissioner's Name	Term Expiration	Mailing Address	Home Phone	Work Phone	E-Mail Address
Dale Shostrom Chairman	4-30-2018				shobro@jeffnet.org
Keith Swink	4-30-2018				kswink@mind.net
Sam Whitford	4-30-2018				skwhippet@mind.net
Terry Skibby	4-30-2018				terryskibby321@msn.com
Tom Giordano	4-30-2017				tomarch@charter.net
Bill Emery	4-30-2017				bill@ashlandhome.net
Taylor Leonard	4-30-2019				tttaylor1@yahoo.com
Piper Von Chamier	4-30-2019				piper@kencairnlandscape.com
Rich Rosenthal Council Liaison					rich@council.ashland.or.us
Maria Harris		City of Ashland Planning Dept.		552-2045	maria.harris@ashland.or.us
Regan Trapp Admin. Staff		City of Ashland Planning Dept.		552-2233	regan.trapp@ashland.or.us