

CITY OF ASHLAND

HISTORIC COMMISSION MEETING

AGENDA

May 8, 2019 at 6:00 P.M.

- I. **REGULAR MEETING - CALL TO ORDER:** 6:00 p.m. – SISKIYOU ROOM in the Community Development/Engineering Services Building, located at 51 Winburn Way
- II. **APPROVAL OF MINUTES:** Historic Commission regular meeting of April 3, 2019
- III. **PUBLIC FORUM:** Business from the audience not included on the agenda. (Total time allowed for Public Forum is 15 minutes. Speakers are limited to 5 minutes or less, depending on the number of individuals wishing to speak.)
- IV. **COUNCIL LIAISON REPORT:**
Rich Rosenthal
- V. **DISCUSSION ITEMS:**
 - Info on Water Treatment Plant – Granite Street (Kevin Caldwell, Public Works Dept)
- VI. **PLANNING ACTION REVIEW:**

PLANNING ACTION: PA-T1-2019-00052
SUBJECT PROPERTY: 533 Rock Street
OWNER/APPLICANT: Anne Marie Avegno
DESCRIPTION: A request for Modification to the approved Planning Action #2018-00013 to add a 160 square-foot second-story above the approved 220 square-foot Accessory Residential Unit. This application also includes a Variance to the rear setback requirement in order to build up, rather than out, and save the existing large Cedar tree. **COMPREHENSIVE PLAN DESIGNATION:** Low Density, Multi-Family Residential; **ZONING:** R-2; **ASSESSOR'S MAP:** 39 1E 05DA; **TAX LOT:** 5400.
- VII. **NEW ITEMS:**
 - Review board schedule.
 - Project assignments for planning actions.
 - Historic Preservation Week
- VIII. **COMMISSION ITEMS NOT ON AGENDA:**
- IX. **OLD BUSINESS:**
- X. **ADJOURNMENT:**

ASHLAND HISTORIC COMMISSION

DRAFT Meeting Minutes

April 3, 2019

Community Development/Engineering Services Building – 51 Winburn Way – Siskiyou Room

CALL TO ORDER:

Skibby called the meeting to order at 6:02pm in the Siskiyou Room at the Community Development and Engineering Offices located at 51 Winburn Way, Ashland OR 97520.

Commissioners Present:	Council Liaison:
Skibby	Rich Rosenthal - Absent
Babin	Staff Present:
Hovenkamp	Fotini Kaufman; Planning Dept.
Emery	Regan Trapp; Secretary
Swink	
Giordano	
Von Chamier	
Commissioners Absent:	Whitford
	Shostrom

APPROVAL OF MINUTES:

Emery motioned to approve minutes for March 6, 2019. Babin seconded. Voice vote. ALL AYES. Motion passed.

PUBLIC FORUM:

There was no one in the audience wishing to speak.

COUNCIL LIAISON REPORT:

Rosenthal was absent so no report was given.

PLANNING ACTION REVIEW:

PLANNING ACTION: PA-T1-2019-00050

SUBJECT PROPERTY: 346 Scenic Drive

OWNER/APPLICANT: Robert & Elizabeth Bestor/Vadim Agakhanov

DESCRIPTION: A request for Site Design Review to construct a 765 square-foot detached residential unit to the north of the existing single-family residence. **COMPREHENSIVE PLAN DESIGNATION:** Single-Family Residential; **ZONING:** R-1-7.5; **ASSESSOR'S MAP:** 39 1E 05DD; **TAX LOT:** 8300

Swink indicated that he knows the property owners but it that it wouldn't affect any decisions on the project.

Kaufman gave the staff report for PA-T1-2019-00050.

The applicants were not present.

Skibby opened the discussion to the Commission for their comments.

Emery motioned to approve PA-T1-2019-00050 with recommendations. Hovenkamp seconded. Voice vote. ALL AYES. Motion passed.

RECOMMENDATIONS:

- Matching finishes to the existing house.

NEW ITEMS:

- Review board schedule
- Project assignments for planning actions
- Historic Preservation Week
 - Kaufman announced that SOU will be celebrating Terry Skibby on May 21, 2019 from 4-6 at Hannon Library.
 - Location has changed for HP awards to Pioneer Hall.
 - All blurbs and photos needed by May 6, 2019.

DISCUSSION ITEMS:

- Map project – Kaufman gave update.

COMMISSION ITEMS NOT ON AGENDA:

Kaufman reported that Velocity is in the process of being repaired due to vandalism.

OLD BUSINESS:

There were no items to discuss.

Review Board Schedule

April 4 th	Terry, Keith, Beverly
April 11 th	Terry, Piper, Dale
April 18 th	Terry, Sam, Beverly
April 25 th	Terry, Beverly, Bill
May 2 nd	Terry, Sam, Ellen
May 9 th	Terry, Keith, Bill

Project Assignments for Planning Actions

PA-2016-00847	252 B Street – Close to complete	Whitford
PA-2016-02095	563 Rock St – Work has started	Whitford
PA-2017-00235	114 Granite/ 9 Nutley – Work has started	Shostrom
PA-2017-00200	165 Water – Extension to PA submitted	ALL
PA-2017-01294	128 Central– Work has started	Emery & Swink
PA-2017-01417	228 B Street – No building permit	Whitford
PA- 2017-02005	533 Fairview(aka 100 Union) Work has started	Emery
PA-2017-02351/ 00026	549 E. Main – Permit issued, work started	Swink & Emery
PA-T1-2018-00015	70 N. Third Street – Work has started	Swink
PA-T1-2018-00023	75 Lithia Way	Von Chamier & Babin
PA-T1-2018-00029	128/130 Bush Street – Permit issued	Hovenkamp & Whitford
PA-T1-2018-00033	160 Helman – No building permit	Shostrom
PA-T1-2018-00038	111 Bush – No building permit	Whitford
PA-T1-2019-00050	346 Scenic Drive	Emery

ANNOUNCEMENTS & INFORMATIONAL ITEMS:

Next meeting is scheduled May 8th, 2019 at 6:00pm

There being no other items to discuss, the meeting adjourned at 6:30 pm

Respectfully submitted by Regan Trapp



NOTICE OF APPLICATION

PLANNING ACTION: PA-T1-2019-00052

SUBJECT PROPERTY: 533 Rock Street

OWNER/APPLICANT: Anne Marie Avegno

DESCRIPTION: A request for Modification to the approved Planning Action #2018-00013 to add a 160 square-foot second-story above the approved 220 square-foot Accessory Residential Unit. This application also includes a Variance to the rear setback requirement in order to build up, rather than out, and save the existing large Cedar tree. **COMPREHENSIVE PLAN DESIGNATION:** Low Density, Multi-Family Residential; **ZONING:** R-2; **ASSESSOR'S MAP:** 39 1E 05DA; **TAX LOT:** 5400.

NOTE: The Ashland Historic Commission will also review this Planning Action on **Wednesday, May 8, 2019 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTICE OF COMPLETE APPLICATION: April 24, 2019

DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS: May 8, 2019



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.5.1.050.G)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact **Fotini Kaufman** at 541-488-5305.

MINOR MODIFICATIONS

18.5.6.040

- C. *Minor Modification Approval Criteria.*** A Minor Modification shall be approved only upon the approval authority finding that all of the following criteria are met.
1. Minor Modification applications are subject to the same approval criteria used for the initial project approval, except that the scope of review is limited to the modification request. For example, a request to modify a commercial development's parking lot shall require Site Design Review only for the proposed parking lot and any changes to associated access, circulation, etc. Notice shall be provided in accordance with chapter 18.5.1.
 2. A modification adding or altering a conditional use, or requiring a variance, administrative variance, or exception may be deemed a Major Modification and/or may be subject to other ordinance requirements.
 3. The approval authority shall approve, deny, or approve with conditions the application, based on written findings; except that conditions of approval do not apply, and findings are not required, where the original approval was approved through a Ministerial review.

SITE DESIGN AND USE STANDARDS

18.5.2.050

The following criteria shall be used to approve or deny an application:

- A. Underlying Zone: The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.
- B. Overlay Zones: The proposal complies with applicable overlay zone requirements (part 18.3).
- C. Site Development and Design Standards: The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.
- D. City Facilities: The proposal complies with the applicable standards in section 18.4.6 Public Facilities and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property and adequate transportation can and will be provided to the subject property.
- E. *Exception to the Site Development and Design Standards.* The approval authority may approve exceptions to the Site Development and Design Standards of part 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.
 1. There is a demonstrable difficulty meeting the specific requirements of the Site Development and Design Standards due to a unique or unusual aspect of an existing structure or the proposed use of a site; and approval of the exception will not substantially negatively impact adjacent properties; and approval of the exception is consistent with the stated purpose of the Site Development and Design; and the exception requested is the minimum which would alleviate the difficulty.; or
 2. There is no demonstrable difficulty in meeting the specific requirements, but granting the exception will result in a design that equally or better achieves the stated purpose of the Site Development and Design Standards.

VARIANCE

18.5.5.050

1. The variance is necessary because the subject code provision does not account for special or unique physical circumstances of the subject site, such as topography, natural features, adjacent development, or similar circumstances. A legal lot determination may be sufficient evidence of a hardship for purposes of approving a variance.
2. The variance is the minimum necessary to address the special or unique physical circumstances related to the subject site.
3. The proposal's benefits will be greater than any negative impacts on the development of the adjacent uses and will further the purpose and intent of this ordinance and the Comprehensive Plan of the City.
4. The need for the variance is not self-imposed by the applicant or property owner. For example, the variance request does not arise as result of a property line adjustment or land division approval previously granted to the applicant.





W.B. Clausen
Structural Engineers

1727 64TH Street
Emeryville, California 94608
Ph: 510.655.4144
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www.clausenengineers.com

PROJECT NAME:

AVEGNO RESIDENCE ADU ADDITION

535 ROCK STREET
ASHLAND, OREGON

STAMP:



DATES ISSUED:

DATE	DESCRIPTION
05-20-18	ISSUE FOR PERMIT

REVISIONS:

NO.	DATE	DESCRIPTION
1	10-08-18	PLAN CHECK
2	01-27-19	New Roof & Bedroom Revision

DRAWING TITLE:

FLOOR PLAN



DRAWN: ELH
CHECKED: ELH

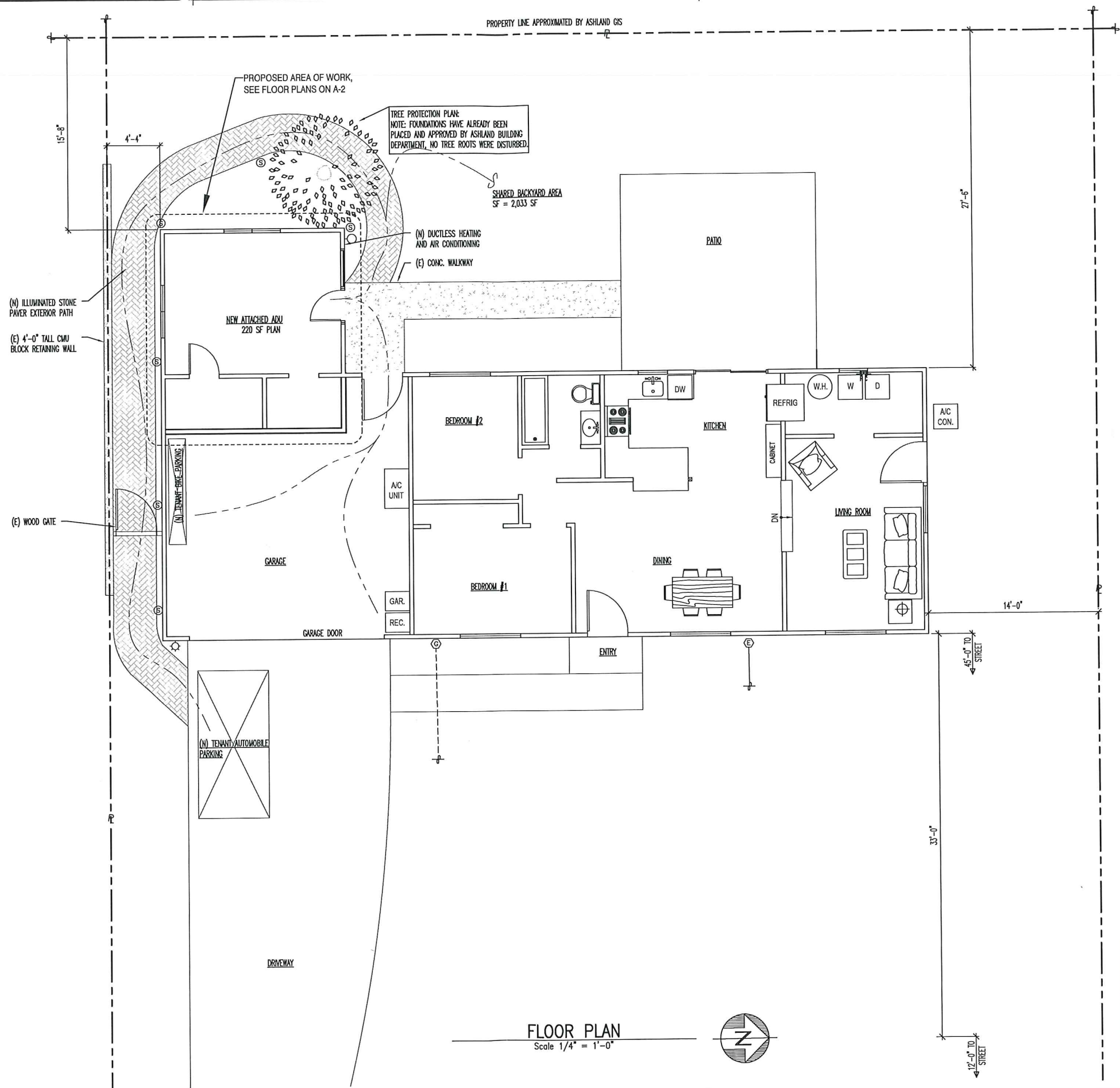
SHEET NO:

A-1

PROJECT NO: 535_ROCK

CAD FILE: DATE MODIFIED: 01/04/19

All drawings or a written material appearing herein constitute the original and unaltered work of Clausen Engineers and the same may not be duplicated, used, or disclosed without the written consent of Clausen Engineers.

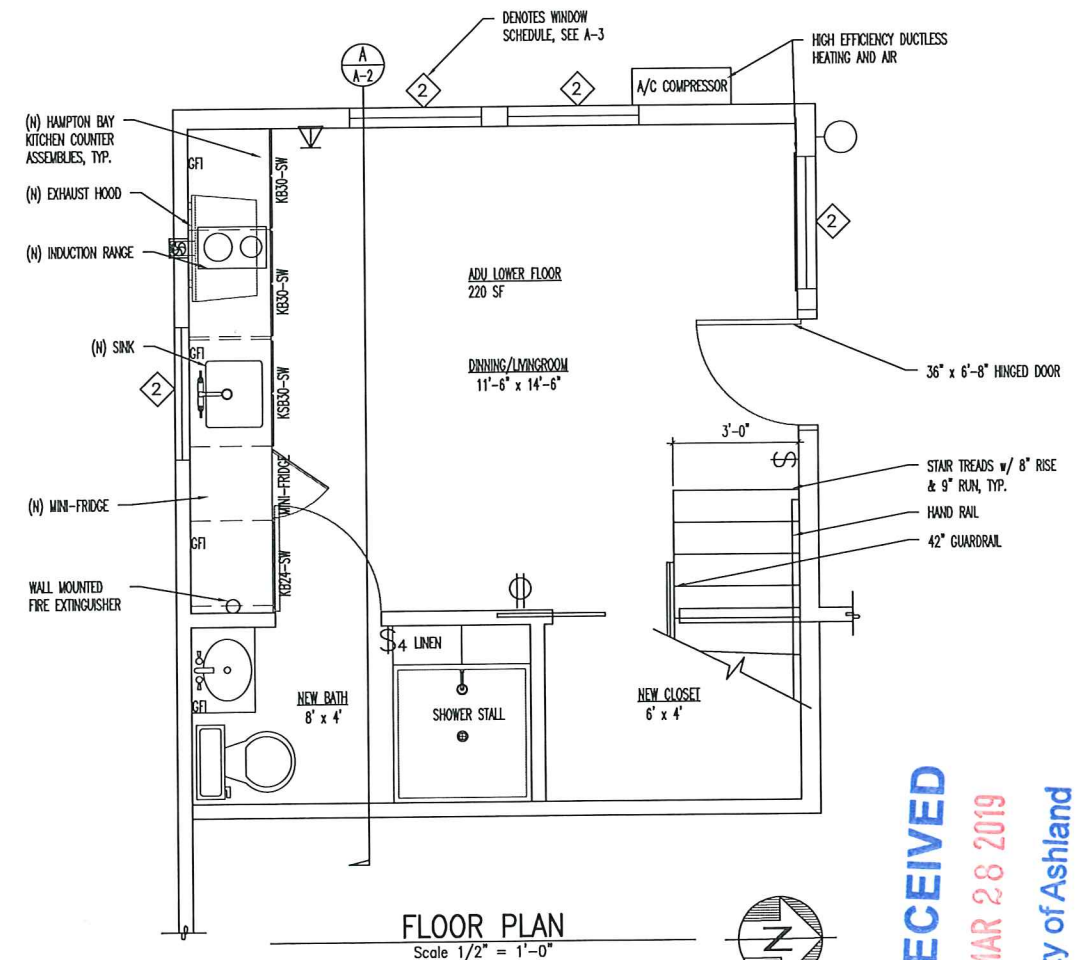
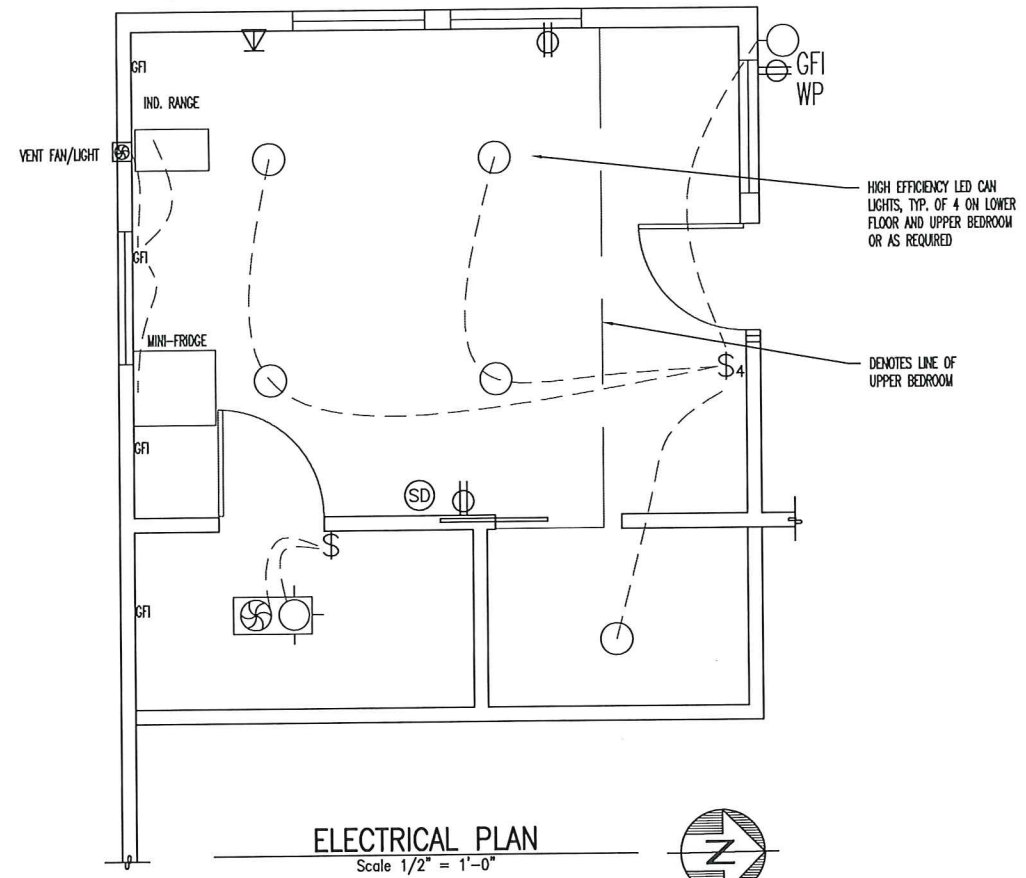
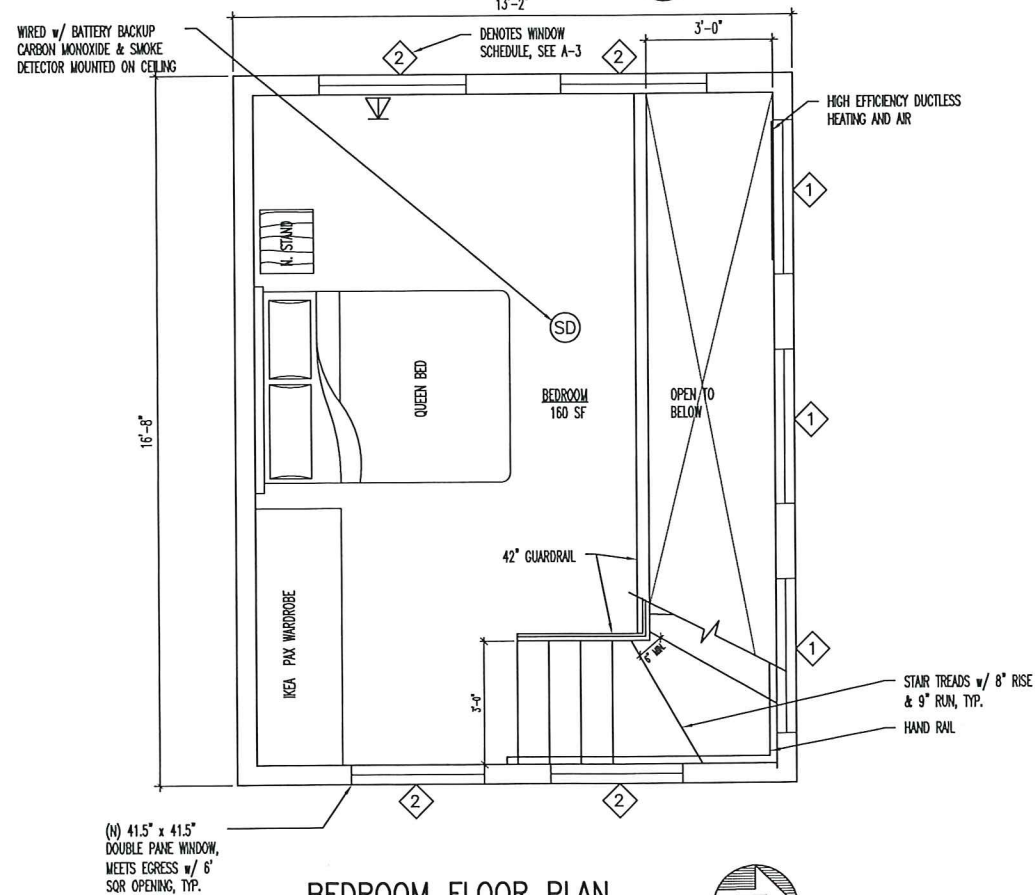
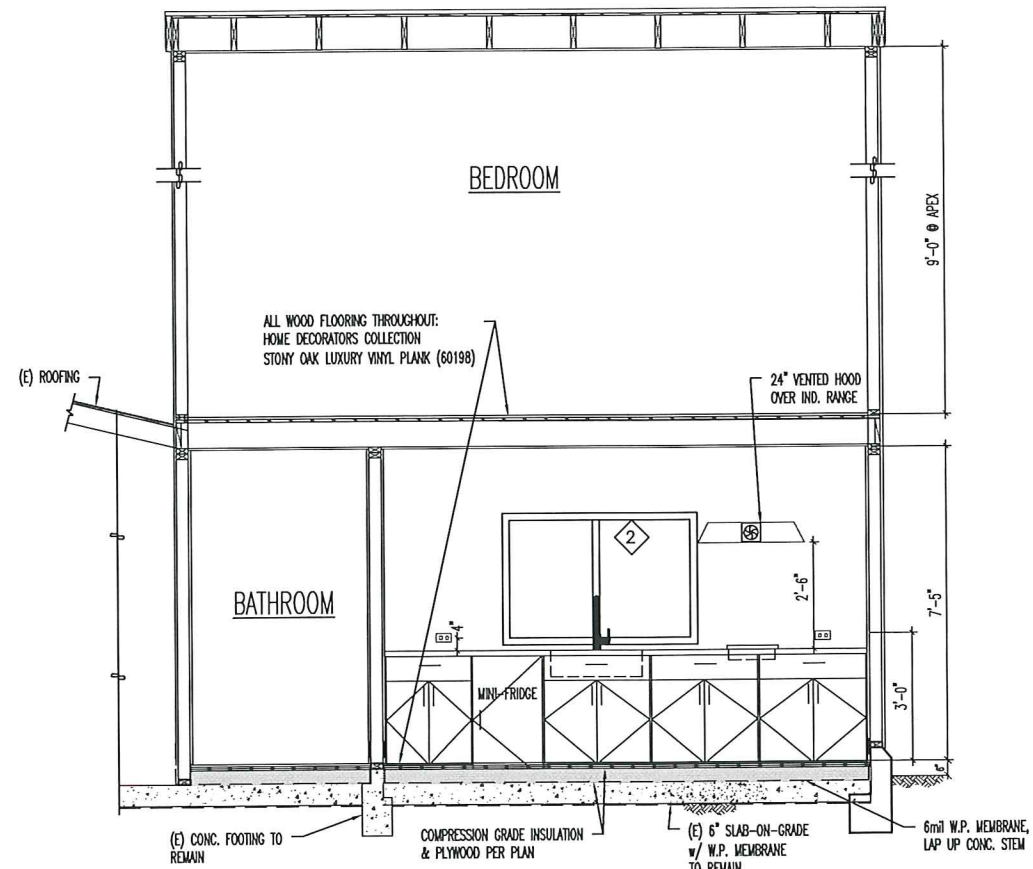


LIGHTING SYMBOLS

- MOTION SENSORED LIGHTING
- WALL LIGHT
- CEILING LIGHT
- RECESSED COMBO LIGHT/EXHAUST FAN
- SOLAR LIGHT

ELECTRICAL SYMBOLS

- FIRE EXTINGUISHER
- JUNCTION BOX
- THERMASTAT
- 110V OUTLET
- EXHAUST FAN
- SMOKE & C.M. DETECTOR
- GROUND FAULT INTERRUPTER
- WATERPROOF
- SINGLE POLE SWITCH
- DOUBLE POLE SWITCH
- THERMASTAT
- GAS METER @ LINE IN
- ELECTRIC METER @ LINE IN



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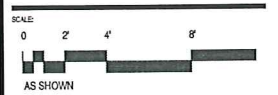
STAMP:



DATE	DESCRIPTION
05-20-18	ISSUE FOR PERMIT

NO.	DATE	DESCRIPTION
1	10-08-18	PLAN CHECK
2	01-27-19	New Roof & Bedroom Revision

ADU FLOOR PLAN & SECTION



AS SHOWN

DRAWN: ELH
CHECKED: ELH

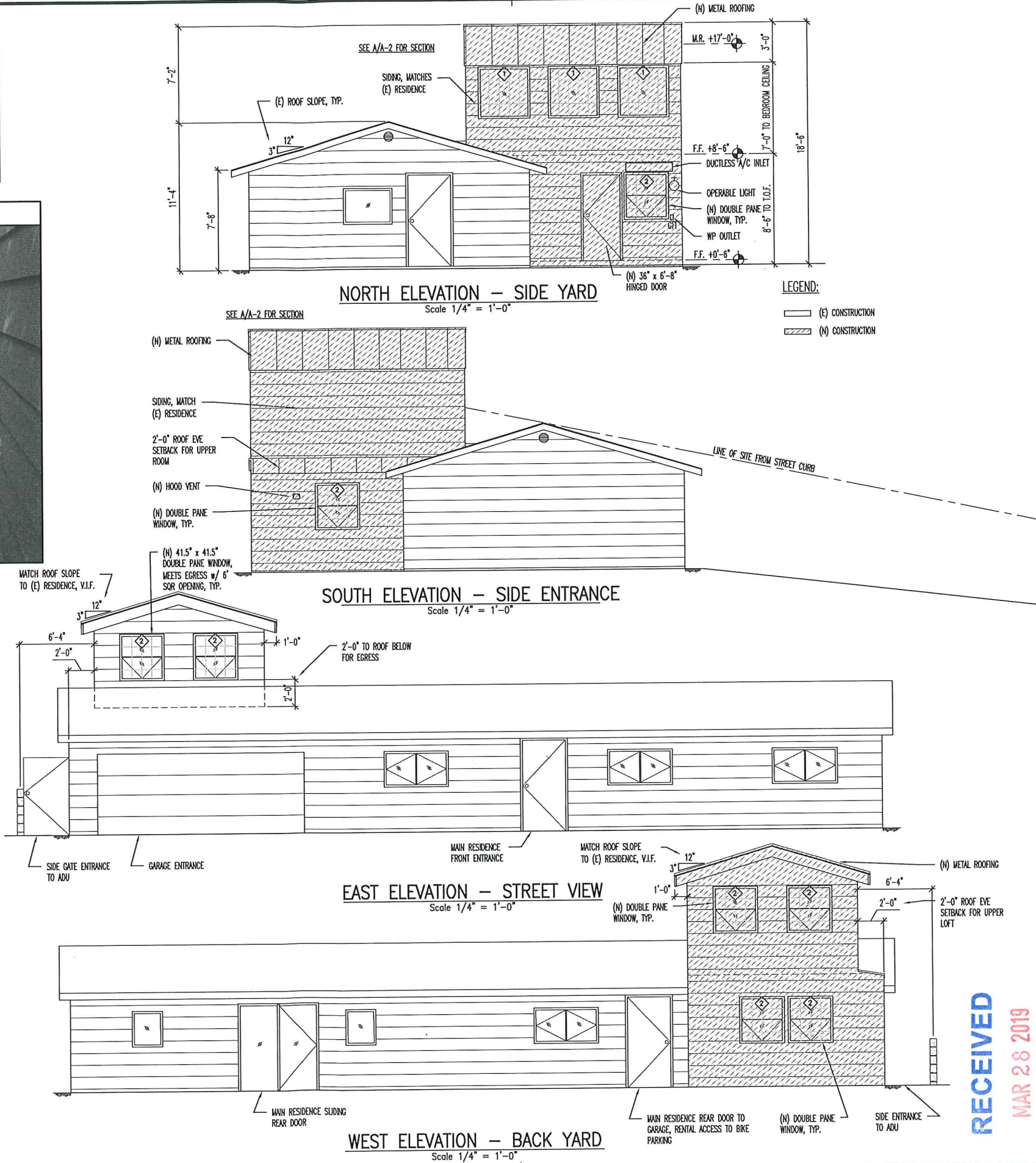
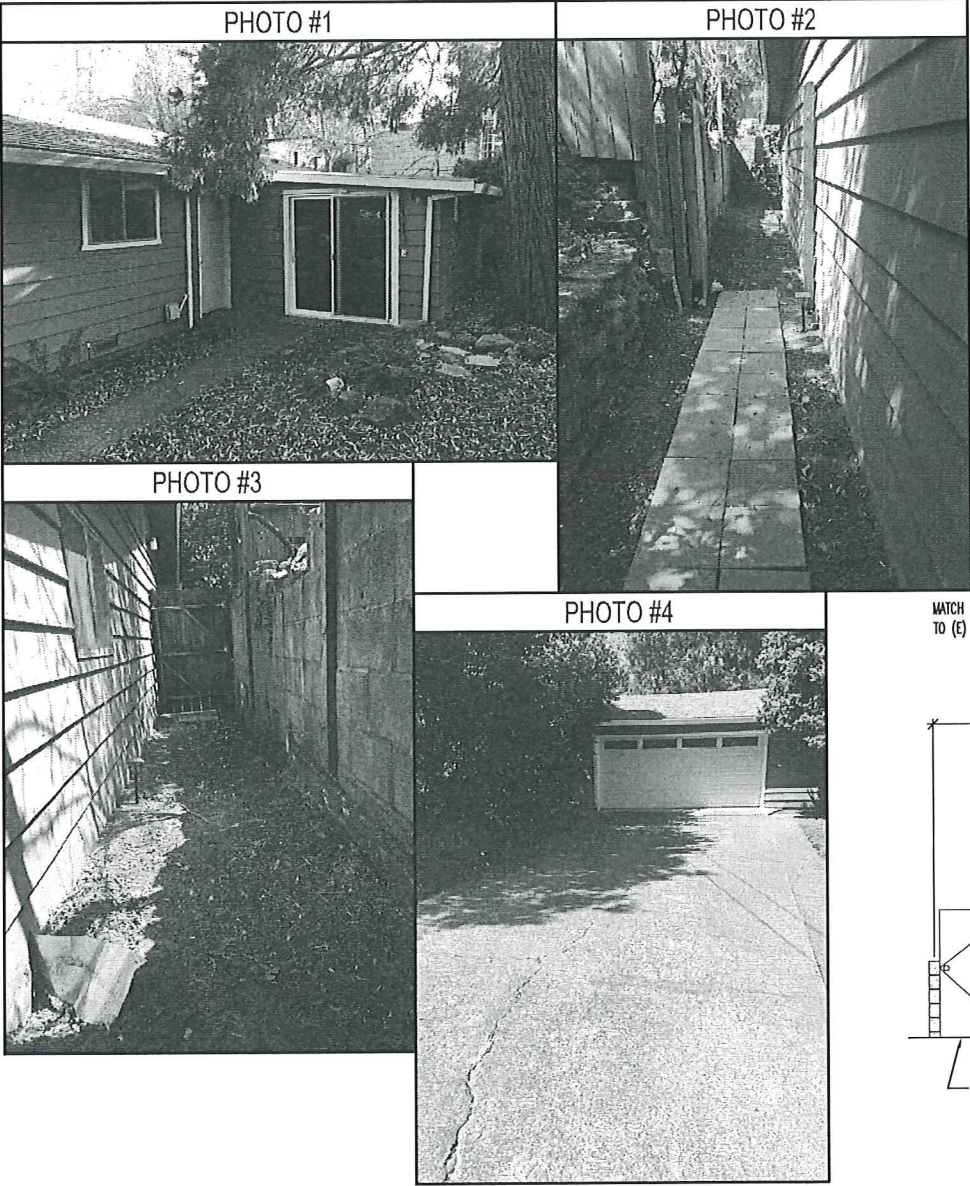
A-2

PROJECT NO: 535_ROCK
DATE MOVED: 01/04/18

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RECEIVED
MAR 28 2019
City of Ashland

WINDOW SCHEDULE					
NO.	SIZE: W x H	TYPE	MANUFACTURER & MODEL	FINISH	GLAZING
1	47.5" x 47.5"	PICTURE	JELD-WEN V-2500 (THDJW141600044)	WHITE VINYL	DUAL PANE ARGON
2	41.5" x 41.5"	SINGLE HUNG	JELD-WEN V-2500 (THDJW143800685)	WHITE VINYL	DUAL PANE ARGON



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DATES ISSUED:		
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ELEVATIONS & PHOTOS

SCALE: 0 2' 4' 8'

AS SHOWN

DRAWN: ELH

CHECKED: ELH

SHEET No: **A-3**

PROJECT No: 535_ROCK

DATE MOVED: 01/04/18

RECEIVED
MAR 28 2019
City of Ashland

All drawings and written material appearing herein constitute the original and copyrighted work of Clausen Engineers and the same may not be duplicated, used, or disclosed without the written consent of Clausen Engineers.

STRUCTURAL NOTES

01000 GENERAL

1. MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF THE OREGON STRUCTURAL CODE, 2014 EDITION (BC 2012 AMENDED), ASCE 7-10, AND ALL LOCAL ORDINANCES.

2. GRAVITY DESIGN IS BASED UPON THE REFERENCED CODE, 2013 EDITION ASCE 7-10 USING AN ALLOWABLE STRESS LOADS AS FOLLOWS:
ROOF DEAD LOAD OF 12 PSF
ROOF LIVE LOAD OF 20 PSF

3. SEISMIC DESIGN IS BASED UPON THE REFERENCED CODE AND ASCE 7-10 USING EQUIVALENT LATERAL FORCE PROCEDURES, ASSUMING OCCUPANCY CATEGORY II, SITE CLASS D, WITH IMPORTANCE FACTOR OF 1, R FACTOR OF 6.5, (WOOD SHEAR WALLS) SHORT PERIOD ACCELERATION OF 0.618, ONE SECOND ACCELERATION OF 0.318, C1 FACTOR OF 0.02, BUILDING HEIGHT IS 15 FEET, AND REDUNDANCY FACTOR OF 1.
 $V = 1.3 \times 0.08 \times W = 0.10 W$

4. THE CONTRACTOR SHALL VERIFY EXISTING JOB CONDITIONS, REVIEW ALL DRAWINGS AND SPECIFICATIONS AND VERIFY DIMENSIONS PRIOR TO CONSTRUCTION. ANY DEVIATIONS BETWEEN DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO SUBMITTING BID PROPOSAL.

5. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR PROJECT SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY.

6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE BRACING AND SUPPORT OF ALL TEMPORARY CONSTRUCTION AND PARTIALLY COMPLETED PORTIONS OF THE WORK. SUCH BRACING, SHORING, AND SUPPORT SHALL INSURE THE SAFETY OF THE STRUCTURE AND ALL PERSONS WHO COME IN CONTACT WITH THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING, BRACING, AND DEMOLITION PROCEDURES.

7. INFORMATION REGARDING EXISTING CONSTRUCTION IS BASED ON ORIGINAL CONTRACT DRAWINGS. THIS INFORMATION IS BELIEVED TO BE CORRECT BUT IS NOT GUARANTEED. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS, AND FIELD VERIFY ALL DIMENSIONS, AND EXISTING JOB CONDITIONS AND CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF EXISTING JOB CONDITIONS AND/OR CONSTRUCTION IS NOT AS SHOWN ON THE DRAWINGS.

8. ALL WORK SHALL CONFORM TO THESE NOTES AND DRAWINGS IN ALL RESPECTS. NO CHANGES SHALL BE ALLOWED WITHOUT WRITTEN AUTHORITY FROM THE ENGINEER, AND APPROVAL OF THE BUILDING DEPARTMENT.

9. ALL DEMOLITION MATERIAL SHALL BE REMOVED FROM THE SITE. ALL HAZARDOUS MATERIALS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL EPA, STATE AND LOCAL STANDARDS AND ORDINANCES.

10. CONTRACTOR SHALL COORDINATE ALL METHODS OF OPERATIONS AND THE TIME IN WHICH WORK SHALL BE PERFORMED WITH THE OWNER PRIOR TO STARTING PROJECT.

02000 SITE PREPARATION

1. EXISTING UTILITY SERVICES EXIST. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING, PROTECTING, AND/OR REPAIRS, IF NEEDED DUE TO DAMAGE WHILE ON SITE.

2. FOOTING SHALL BEAR ON FIRM UNDISTURBED SOIL, USING 1,500 PSF BEARING PRESSURE, OR ON ENGINEERED FILL HAVING A MINIMUM RELATIVE COMPACTION OF 90 PERCENT BASED UPON ASTM D1557 LABORATORY COMPACTION TEST PROCEDURE.

3. FOOTING EXCAVATIONS SHALL BE RELATIVELY DRY AND FREE OF ALL LOOSE CUTTINGS OR SLOUGH PRIOR TO PLACING REINFORCING AND CONCRETE.

4. THE OWNER SHALL EMPLOY A SPECIAL INSPECTOR AS INTENDED BY OF THE LATEST EDITION OF THE UNIFORM BUILDING CODE. A "SPECIAL INSPECTION AND TESTING AGREEMENT" SHALL BE COMPLETED, SIGNED AND ACCEPTED BY THE CITY BUILDING DEPARTMENT PRIOR TO ISSUING A BUILDING PERMIT OR AS OTHERWISE AGREED TO BY THE CITY BUILDING DEPARTMENT. THE CONTRACTOR SHALL COORDINATE ALL INSPECTION AND INSURE THAT ALL SUB-CONTRACTORS ARE AWARE OF THE FULL INTENT OF THE REQUIRED INSPECTIONS AND THE COORDINATION ASSOCIATED WITH THE TASK. ONLY EXPERIENCED INSPECTORS QUALIFIED IN THE DISCIPLINE SHALL BE EMPLOYED. THE FOLLOWING WORK SHALL HAVE SPECIAL INSPECTION:

- CONCRETE REINFORCING & FORMWORK PLACEMENT FOR QUALITY ASSURANCE.

03000 CONCRETE

1. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 40 FOR #3 BARS AND GRADE 60 FOR #4 BARS AND LARGER. ALL REINFORCING TO BE WELDED SHALL CONFORM TO ASTM A706. REINFORCEMENT SHALL BE FABRICATED WITH BENDS AND HOOKS CONFORMING TO ACI 315, AND AS INDICATED, AND TOLERANCES CONFORMING TO ACI 301. REINFORCING SHOWN OR NOTED AS BEING "CONTINUOUS" SHALL RUN IN AS LONG OF LENGTHS AS IS PRACTICAL. LAP BARS AS FOLLOWS: (STAGGER LAPS FOR 50% AT ANY ONE LOCATION), REGULAR BARS: #6 AND SMALLER, 70 DIAMETERS; #7 AND LARGER, 86 DIAMETERS; TOP BARS: #6 AND SMALLER, 92 DIAMETERS, #7 AND LARGER, 114 DIAMETERS. WIRE MESH TO CONFORM TO ASTM A185. BARS SHALL BE DOMESTIC MANUFACTURED WITH ADEQUATE IDENTIFYING MARKINGS OF GRADE AND MANUFACTURE.

2. REINFORCEMENT SHALL BE PLACED TO TOLERANCES CONFORMING TO ACI 301 AND BE HELD SECURELY IN PLACE AND SUPPORTED ON PLASTIC OR GALVANIZED CHAIRS CONFORMING TO WCRS. WIRE THE ALL INTERSECTIONS. CONCRETE DOBIES MAY BE USED TO SUPPORT REINFORCING CAST AGAINST EARTH.

3. MINIMUM CONCRETE COVER OVER REINFORCEMENT WHERE NOT INDICATED ON THE PLANS SHALL BE: 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH, 2" FOR #6 BARS AND LARGER FOR FORMED SURFACES EXPOSED TO EARTH OR WEATHER, 1.5" FOR #5 BARS AND SMALLER FOR FORMED SURFACES EXPOSED TO EARTH OR WEATHER, 1.5" FOR FORMED BEAM AND COLUMN SURFACES NOT EXPOSED TO EARTH OR WEATHER, 1.5" FOR #14 BARS AND LARGER FOR FORMED SLAB AND WALL SURFACES NOT EXPOSED TO EARTH OR WEATHER, AND 0.75" FOR #11 BARS AND SMALLER FOR FORMED SLAB AND WALL SURFACES NOT EXPOSED TO EARTH OR WEATHER. IN ALL CASES THE MINIMUM CONCRETE COVER OVER REINFORCEMENT SHALL BE EQUAL TO TWO BAR DIAMETERS.

4. AT THE TIME OF CONCRETE PLACEMENT ALL REINFORCING SHALL BE FREE AND CLEAN OF ALL DIRT, OIL, SCALE, RUST, AND OTHER MATERIALS AND SUBSTANCES THAT MIGHT PREVENT THE COMPLETE BONDING OF THE REINFORCING WITH THE CONCRETE.

5. CONCRETE SHALL BE PLANT MIXED, TRANSPORTED, PROPORTIONED, BATCHED AND MIXED IN ACCORDANCE WITH ACI SPECIFICATION ASTM C-94. CALCIUM CHLORIDE SHALL NOT BE USED. PEA GRAVEL MIXES SHALL NOT BE USED. COARSE AGGREGATE SHALL BE 1" x 4" ASTM C33. CONCRETE SHALL NOT HAVE MORE THAN 34 GALS WATER (280 LBS) / CU. YD. NO ADDITIONAL WATER SHALL BE ADDED IN THE FIELD WITHOUT WRITTEN CONSENT FROM CONCRETE SUPPLIER AND THE ENGINEER. SUBMIT MIX DESIGN, METHOD OF CURING AND JOINTING PROCEDURE TO ENGINEER FOR APPROVAL.

A. GRADE BEAMS, SLABS ON GRADE, & FOOTINGS:
5.50 SACKS ASTM C150, TYPE I, CEMENT/CU.YD., 3/4 INCH TO 1 INCH COARSE ASTM C33 TABLE 2 AGGREGATES, 15-25% FLY ASH, W/C RATIO = 0.50, SLUMP 3 1/2" ± 3/4" AND ACHIEVE 2,500 PSI AT 28 DAYS.

6. CONCRETE EMBEDS ARE SPECIFIED AFTER THE STRUCTURAL NOTES FOR WOOD.

7. CONCRETE SHALL BE PLACED AS CLOSE TO FINAL RESTING POINT AS POSSIBLE AND NOT ALLOWED TO FREE FALL OR SEPARATE. ALL CONCRETE SHALL BE VIBRATED IN PLACE. CONCRETE SHALL BE CURED BY APPLYING CURING COMPOUND, WET CURE, COVERED WITH CURING BLANKET, OR REMAIN IN FORMS FOR 7 DAYS MINIMUM.

8. CUTTING OF EXISTING CONCRETE SHALL BE DONE BY POWER SAW IN NEAT AND SHARP MANNER. NO OVERSIZE CUT AT ANY CORNER.

9. SUBMITTALS/ SHOP DRAWINGS ARE REQUIRED FOR THE FOLLOWING:
CONCRETE MIXES

06000 WOOD

1. WOOD JOIST, STRUCTURAL BLOCKING, AND STRUCTURAL FRAMING SHALL BE "NO. 1" GRADE, DOUGLAS FIR LARCH, $F_b = 1000$ PSI AND ADJUSTED WITH PERMITTED FACTORS. ALL FLOOR FRAMING, SILLS, PLATES AND 4" AND LESS IN THICKNESS HEADERS, SUPPORTING FLOORS SHALL BE GRADE MARKED "S-DRY" OR "MC-15". STUDS AND NON-STRUCTURAL FRAMING SHALL BE "NO. 2" OR BETTER GRADE, DOUGLAS FIR-LARCH, $F_b = 900$ PSI AND ADJUSTED WITH PERMITTED FACTORS. ALL 2 X AND 4 X LUMBER SHALL BE VISUALLY GRADED PER WMPA OR WCLUB AGENCY RULES. WOOD SILL PLATES AND WOOD LEDGERS ALONG SIDE FOUNDATIONS SHALL BE PRESSURE TREATED LUMBER. ALL LUMBER AND TIMBER PRODUCTS DELIVERED TO PROJECT SITE SHALL BEAR GRADE AND TRADEMARK CERTIFICATION OF COMPLIANCE, AND SHALL REMAIN WITH MAIN FRAMING MEMBERS WITHIN THE BUILDING. ALL FRAMING UNLESS NOTED OTHERWISE SHALL BE FURNISHED S4S, AND SIZES SHOWN ARE NOMINAL CONFORMING TO NATIONAL DESIGN SPECIFICATION.

2. NOTE: AS OF JAN. 1, 2004 THE EPA HAS BANNED CCA PRESSURE TREATED LUMBER. THE REPLACEMENT PRESSURE TREATING IS ACQ OR CBA, WHICH HAVE A HIGH COPPER CONTENT. THE COPPER IN THE NEW PRESSURE TREATED LUMBER IS HIGHLY CORROSIVE. ALL CONNECTORS AND FASTENERS, INCLUDING NAILS, BOLTS, SCREWS, PLATES, WASHERS, STRAPS, HANGERS, ETC, SHALL BE CORROSION RESISTANT WHEN USED WITH PRESSURE TREATED LUMBER PRODUCTS.

3. PROVIDE SOLID WOOD BLOCKING AND BACKING FOR VARIOUS FIXTURES, RAILINGS, HANDRAILS, ACCESSORIES, AND EQUIPMENT. ALL SUCH BLOCKING SHALL BE FASTENED TO STUDS AND JOIST WITH MINIMUM 4 - 16d END NAILS, EACH END, AND HAVE STRENGTH EQUIVALENT TO 250# ACTING IN ALL THREE PLANES TO THE BLOCK. SAWN WOOD MEMBERS USED FOR BLOCKING, BACKING, OR OTHER SIMILAR USE SHALL NOT BE SPLIT OR BE OF SUCH QUALITY THAT WILL REDUCE THE EFFECTIVENESS OF ITS INTENDED USE.

4. BORING HOLES THRU FLOOR AND ROOF FRAMING MEMBERS WILL BE PERMITTED USING THE FOLLOWING GUIDELINES. MAXIMUM SUPERIMPOSED DIAMETER HOLES APPLIED TO THE FACE OF THE MEMBER WILL BE UP TO 30 PERCENT OF THE DEPTH OF THE MEMBER, AND NO REMOVAL OF WOOD WILL BE PERMITTED IN THE TOP AND BOTTOM 25 PERCENT OF THE MEMBER'S DEPTH, OR IN 8 INCH DEEP OR SHALLOWER MEMBERS, WITHIN THE TOP AND BOTTOM 2 INCH OF THE MEMBER. HOLES WILL BE PERMITTED WITHIN THE CENTER 50 PERCENT OF SPAN UNLESS WRITTEN APPROVAL FOR SPECIFIC LOCATIONS IS OBTAINED FROM THE ENGINEER. BORING HOLES THROUGH STUDS SHALL BE LIMITED TO 40 PERCENT OF THE STUDS WIDTH AND IN NO CASE SHALL EDGE OF HOLE BE CLOSER THAN 5/8 INCH TO THE EDGE OF STUD. BORING HOLES THRU NON BEARING STUDS SHALL BE LIMITED TO 60 PERCENT OF THE STUDS WIDTH WITH MINIMUM EDGE CLEARANCE AS STATED. NOTCHES IN LUMBER IS NOT PERMITTED UNLESS DEFINED ON THE DRAWINGS. ALL SUBCONTRACTORS ON THE PROJECT SHALL BE MADE AWARE OF THIS GUIDELINE. ANY DEVIATION FROM THIS CRITERIA SHALL BE WITH WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.

5. ALL TIMBER FRAMING AND DECKING EXPOSED TO WEATHER OR PROLONGED DAMPNESS SHALL BE PRESSURE TREATED WITH "ACZA" AT RATE OF 0.25 POUNDS PER CUBIC FOOT IN ACCORDANCE WITH AWPA SPECIFICATION LP22 OR BE WOOD OF NATURAL RESISTANCE TO DECAY. AN ULTRA VIOLET SCREEN SUCH AS THOMPSON'S WATER SEAL OR APPROVED EQUAL SHALL BE APPLIED TO ALL WOOD SURFACES EXPOSED TO THE SUN.

06000 ANCHORS

1. ANCHOR BOLTS SHALL BE FABRICATED FROM STEEL CONFORMING TO ASTM A36, F1554, OR EQUIVALENT AND BE CLEANED AND FREE OF ALL GREASE AND OTHER FOREIGN MATERIAL THAT WOULD PREVENT COMPLETE BONDING TO CONCRETE. ANCHOR BOLTS SHALL NOT BE WELDED UNLESS CONFORMING TO ASTM A1554, GRADE 55 WELDABLE.

NAILING SCHEDULE

CONNECTION	NAILING
1. JOIST TO SILL OR GROSS, TOWAL	3-8d
2. BRACING TO JOIST, TOWAL EXCH END	2-8d
3. 1" x 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d
4. WIDER THAN 1" x 6" SUBFLOOR TO EACH JOIST, FACE NAIL	3-8d
5. 2" SUBFLOOR TO JOIST OR GROSS, BLIND AND FACE NAIL	2-16d
6. SOLE PLATE TO JOIST OR BLOCKING, TYPICAL FACE NAIL SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANELS	16d @ 16" O.C. 3-16d PER 16"
7. TOP PLATE TO STUD, END NAIL	2-16d
8. STUD TO SOLE PLATE	4-8d, TOWAL OR 2-16d, END NAIL
9. DOUBLE STUDS, FACE NAIL	16d @ 24" O.C.
10. DOUBLE TOP PLATES, TYPICAL FACE NAIL DOUBLE TOP PLATES, LAP SPICE	16d @ 16" O.C. 8-16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOWAL	3-8d
12. RIM JOIST TO TOP PLATE, TOWAL	8d @ 6" O.C.
13. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16
14. CONTINUOUS HEADER, TWO PIECES	16d @ 16" O.C. ALONG EACH EDGE
15. CEILING JOIST TO PLATE, TOWAL	3-8d
16. CONTINUOUS HEADER TO STUD, TOWAL	4-8d
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
19. RAFTER TO PLATE, TOW NAIL	3-8d
20. 1" BRICE TO EACH STUD AND PLATE, FACE NAIL	2-8d
21. 1" x 6" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8d
22. WIDER THAN 1" x 6" SHEATHING TO EACH BEARING, FACE NAIL	3-8d
23. BUILT-UP CORNER STUDS	16d @ 24" O.C.
24. BUILT-UP GROSS AND BEAMS	20d @ 32" O.C. AT TOP AND BOTTOM AND STAGGERED 2-20d AT ENDS AND AT EACH SPICE
25. 2" PLANKS	2-16d AT EACH BEARING

EMBEDMENT LENGTH IN INCHES

CONCRETE STRENGTH	2000	2500	3000	4000
CASE	TOP BARS	OTHER BARS	TOP BARS	OTHER BARS
3	13	10	12	9
4	28	21	24	18
5	33	25	30	23
6	39	30	35	27
7	46	35	41	32
8	52	40	47	36
9	59	45	53	41
10	65	50	59	45

NOTES:

- WHERE ON CENTER SPACE BETWEEN BARS AT ANY SECTION IS LESS THAN 2.5 BAR DIAMETERS OR COVER IS LESS THAN 1 BAR DIAMETER, MULTIPLY EMBEDMENT LENGTH BY 1.5
- TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12 INCH OF CONCRETE CAST BELOW THE BARS.
- DEVELOPMENT LENGTHS ARE BASED ON GRADE 60 REINFORCING STEEL EXCEPT FOR #3 BARS.
- TABLE VALUES ARE BASED ON STRAIGHT BARS.
- MULTIPLY LENGTHS BY 1.3 FOR LIGHTWEIGHT CONCRETE.
- MULTIPLY LENGTHS BY 1.5 FOR EPOXY COATED REBAR.

MINIMUM CONCRETE COVER

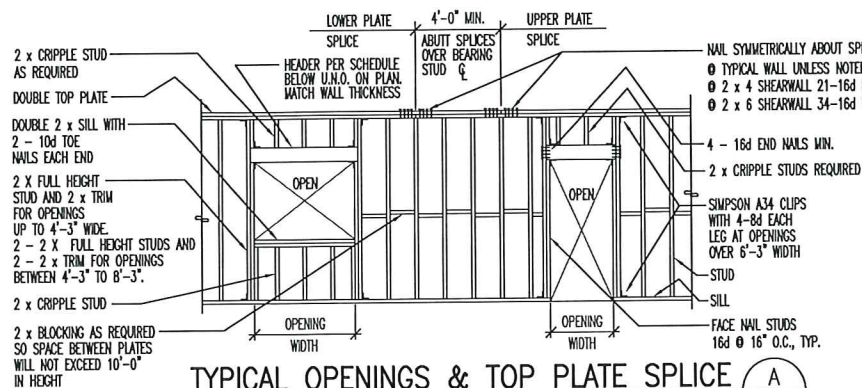
1. CONCRETE CAST AGAINST EARTH	3"
2. CONCRETE EXPOSED TO EARTH OR WEATHER #6 THRU #18 BARS #5 BARS, #31 OR D31 WIRE, AND SMALLER	2" 1 1/2"
3. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND SLABS, WALLS, JOISTS #14 AND #18 BARS #11 BARS AND SMALLER BEAMS AND COLUMNS	1 1/2" 3/4" 1 1/2"

LAP SPICE LENGTH IN INCHES

CONCRETE STRENGTH	2000	2500	3000	4000
CASE	TOP BARS	OTHER BARS	TOP BARS	OTHER BARS
3	17	13	15	12
4	34	27	31	24
5	43	33	38	30
6	51	40	46	35
7	60	46	53	41
8	68	52	61	47
9	77	59	69	53
10	85	65	76	59

NOTES:

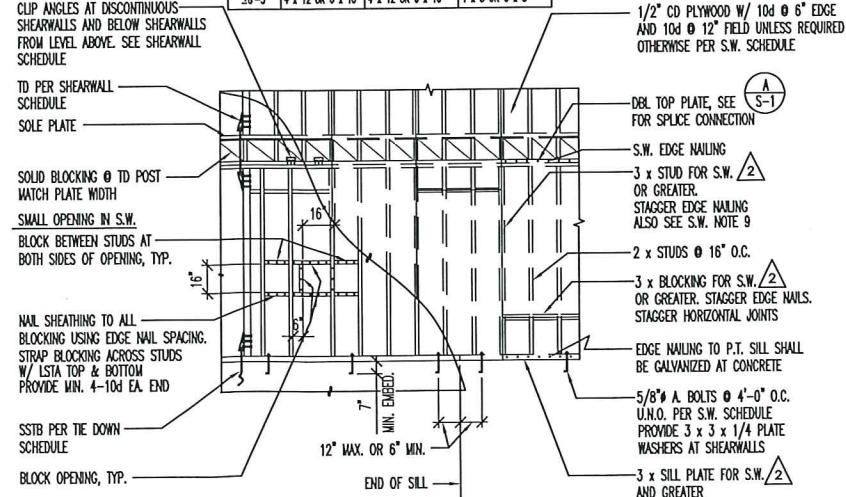
- UNLESS INDICATED OTHERWISE USE THE TABULATED CLASS "B" SPLICES LISTED ABOVE (NO MORE THAN 50% OF BARS LAPPED AT ANY ONE LOCATION) MULTIPLIED BY APPLICABLE FACTOR(S) LISTED BELOW.
- ADJACENT SPLICES SHALL NOT BE CLOSER THAN THE MINIMUM OF 1.5 TIMES THE TABULATED VALUES OR 24".
- WHERE ON CENTER SPACING BETWEEN BARS LAP SPICES AT ANY SECTION IS LESS THAN 2.5 BAR DIAMETERS OR COVER IS LESS THAN 1 BAR DIAMETER, MULTIPLY LAP LENGTH BY 1.5
- TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12 INCH OF CONCRETE CAST BELOW THE BARS.
- SPLICES ARE BASED ON GRADE 60 REINFORCING STEEL EXCEPT FOR #3 BARS.
- MULTIPLY LENGTHS BY 1.3 FOR LIGHTWEIGHT CONCRETE.
- MULTIPLY LENGTHS BY 1.5 FOR EPOXY COATED REBAR.



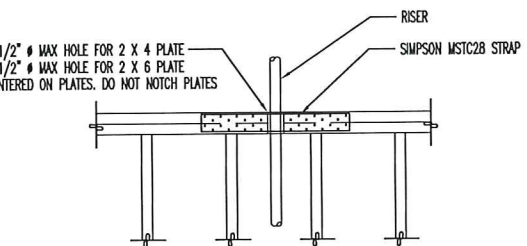
TYPICAL OPENINGS & TOP PLATE SPICE A S-1

HEADER SCHEDULE, U.N.O.

OPENING SIZE	EXT. WALLS @ LOWER LEVELS	INT. BRG. & EXT. WALL @ UPPER/ROOF LEVEL	INTERIOR NON-BEARING
≤ 4'-3"	4 x 12 OR 6 x 10	4 x 8 OR 6 x 6	4 x 4 OR 4 x 6 PLAT
≤ 8'-3"	4 x 12 OR 6 x 10	4 x 10 OR 6 x 8	4 x 6 OR 6 x 6
≤ 8'-3"	4 x 12 OR 6 x 10	4 x 12 OR 6 x 10	4 x 8 OR 6 x 8



TYPICAL WALL FRAMING B S-1

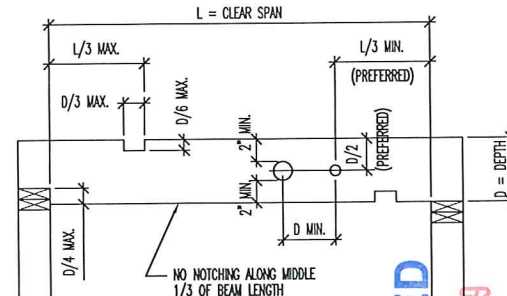


NOTES:

- WHEN VENT DIAMETER IS GREATER THAN 2 1/2" IN 2 x 4 PLATES AND 3 1/2" IN 2 x 6 PLATES, USE THE STRAPS ON BOTH SIDES.
- CONSULT ENGINEER WHERE RISER HOLE EXCEEDING 1/3 OF PLATE WIDTH OCCURS AT A SHEARWALL LOCATION

TOP PLATE SPICE C S-1

Scale 3/4" = 1'-0"



NOTES:

- HOLES OVER 2" DIA. ARE NOT PERMITTED UNLESS SPECIFICALLY DETAILED ON DRAWINGS. DIAMETER SHALL NOT EXCEED D/3
- CONSULT ENGINEER FOR VARYING CONDITIONS.

HOLES & NOTCHES IN BEAMS D S-1

Scale 3/4" = 1'-0"



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PROJECT NAME:

AVEGNO RESIDENCE
ADU ADDITION

535 ROCK STREET
ASHLAND, OREGON

STAMP:



DATE	DESCRIPTION
05-20-18	ISSUE FOR PERMIT

NO.	DATE	DESCRIPTION
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DRAWING TITLE:

STRUCTURAL NOTES
& STANDARD DETAILS



DRAWN: ELH CHECKED: ELH

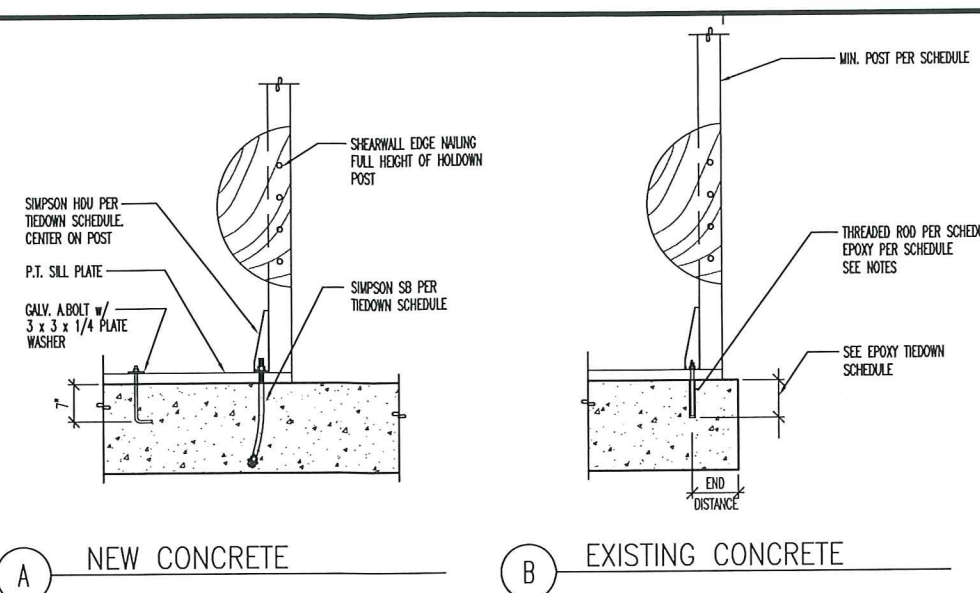
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PROJECT NO. 535_ROCK

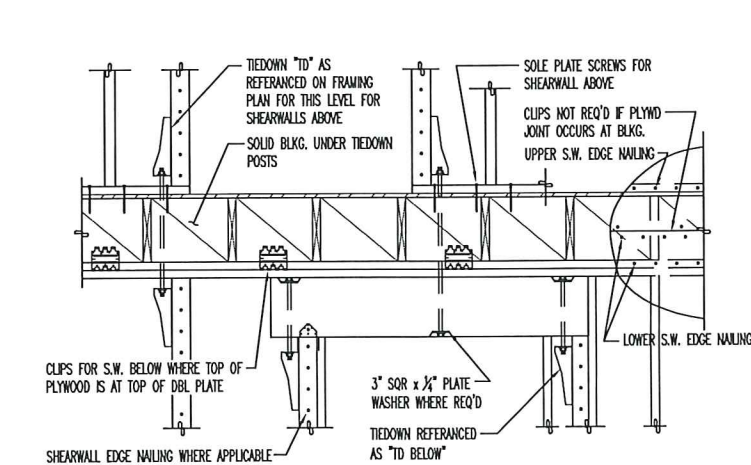
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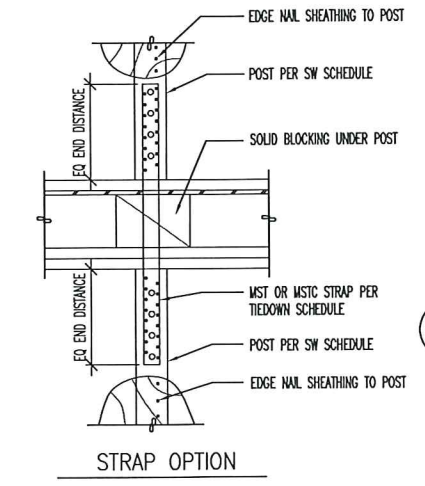


TYPICAL HOLDOWN DETAIL
Scale 3/4" = 1'-0"

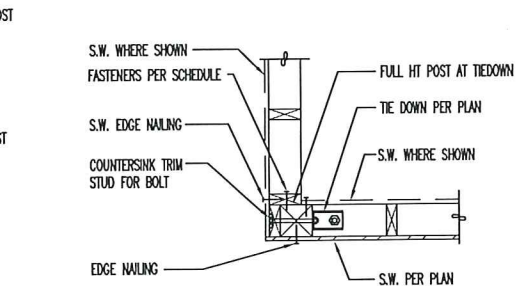
- EPOXY TIEDOWN CONNECTION NOTES**
1. THE FOLLOWING ADHESIVE ANCHOR SYSTEM IS ACCEPTABLE FOR USE IN SOLID BASE MATERIAL. IF VOIDS ARE ENCOUNTERED CONTACT ENGINEER. (SIMPSON SET-AP ADHESIVE 100 CSR-2508).
 2. HOLES FOR ADHESIVE CONNECTIONS SHALL BE DRILLED WITH ROTO-HAMMER EXCEPT AT MASONRY WALLS. HOLE DIAMETER SHALL BE PER MFR'S. SPECIFICATIONS.
 3. HOLES FOR ADHESIVE CONNECTIONS SHALL BE THOROUGHLY CLEANED WITH THE FOLLOWING PROCEDURE:
A. BLOW OUT ALL DUST AND LOOSE MATERIAL WITH COMPRESSED AIR & EXTENSION NOZZLE PLACED AT BOTTOM OF HOLE.
B. CLEAN HOLE SURFACE WITH A WIRE BRUSH WHICH IS SLIGHTLY LARGER THAN THE HOLE DIAMETER.
C. BLOW OUT HOLE WITH COMPRESSED AIR PER 3A.
D. REPEAT A THROUGH C AS REQUIRED UNTIL ALL SURFACES ARE CLEAN AND DUST FREE.
E. CONTACT ENGINEER FOR SPECIAL INSPECTION. ENGINEER WILL REQUIRE A 24 HOUR NOTICE.
 4. AFTER ARRIVAL OF SPECIAL INSPECTION INSPECTOR CONTRACTOR WILL DEMONSTRATE THAT ALL HOLES ARE CLEAN AND DUST FREE BY INSERTING WIRE BRUSH, THEN BLOWING THE HOLE OUT WITH COMPRESSED AIR PER 3A.
 5. ADHESIVE SHALL BE INSTALLED TO THE END OF THE HOLE (UNLESS OTHERWISE REQUIRED BY THE SPECIAL INSPECTION INSPECTOR) WITH A GUN NOZZLE OR OTHER APPROVED PROCEDURE PRIOR TO INSTALLATION OF ANCHOR.
 6. ITEMS EMBEDDED IN ADHESIVE SHALL BE CLEAN AND FREE OF ANY RUST, OR DELETERIOUS MATERIAL PER ADHESIVE MFR'S. RECOMMENDATIONS.
 7. ANCHOR SHALL NOT BE MOVED OR LOADED BEFORE CURING TIME IS REACHED (SEE MFR'S. SPECIFICATIONS).



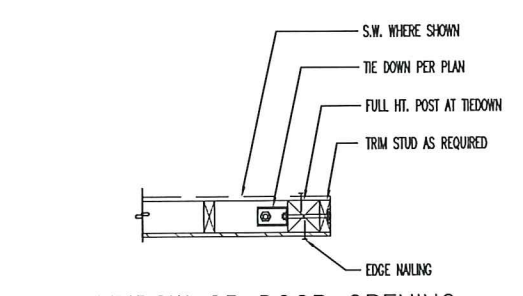
TYPICAL TIEDOWN DETAIL BETWEEN FLOORS
Scale 3/4" = 1'-0"



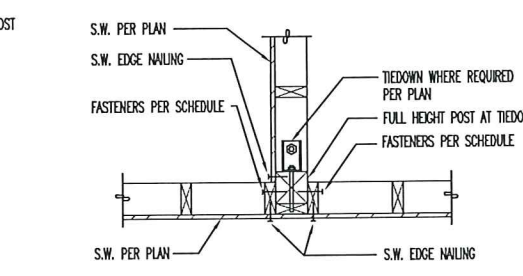
STRAP OPTION



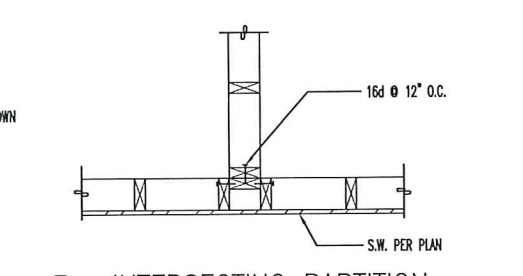
A OUTSIDE CORNER



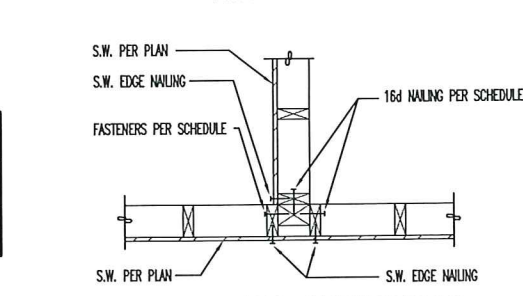
B WINDOW OR DOOR OPENING



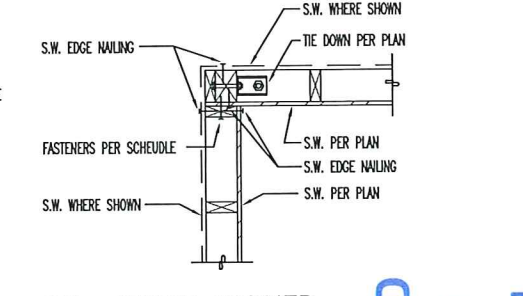
C INTERSECTING SHEARWALLS WITH TIEDOWN



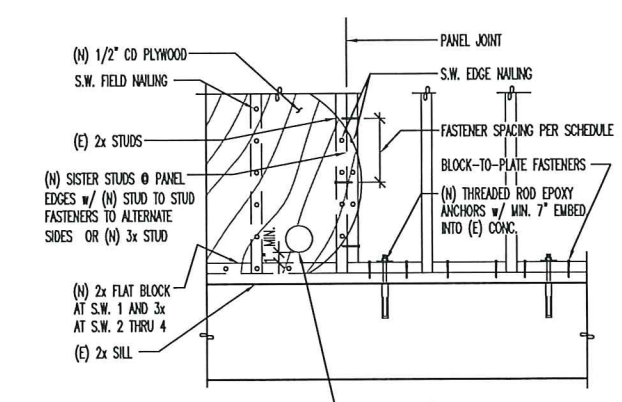
D INTERSECTING PARTITION



E INTERSECTING SHEARWALLS WITHOUT TIEDOWN



F INSIDE CORNER



RETROFIT SILL SCHEDULE					
SHEARWALL	CAPACITY (PLF)	PANEL EDGE NAILING	5/8" EPOXY ANCHOR IN MUD SILL PLATE	BLOCK-TO-PLATE SCREWS	STUD TO STUD SCREWS
△	310	10d @ 6" CENTERS	48" O.C.	2 - SDS 1/4 x 3 1/2" PER BLOCK	SISTER STUD NOT REQ'D
△	460	10d @ 4" CENTERS	48" O.C.	2 - SDS 1/4 x 4 1/2" PER BLOCK	SDS 1/4 x 3 1/2" @ 12" CENTERS

- NOTES: 1. ALL SHEATHING SHALL BE 1/2" 5-PLY CD PLYWOOD OR OSB.
2. EPOXY ANCHORS SHALL BE INSTALLED WITH 3" x 3" x 1/4" PLATE WASHERS.
3. EXISTING ANCHOR BOLTS (UNDER-SIZED) ACCORDING TO SCHEDULE TO BE ABANDONED.
4. SEE SHEAR WALL SCHEDULE FOR FURTHER INFORMATION.
5. NEW 3x5 MAY BE USED AT PANEL JOINTS IN LIEU OF SISTERING 2x STUDS IF DESIRED.
6. ASSUMES (E) 2x ROUGH REDWOOD SILLS.

SILL RETROFIT DETAIL
Scale 3/4" = 1'-0"

SHEARWALL TYPE	STUD FASTENERS IN 2 x
△	16d @ 6"
△	16d @ 4" OR SDS 1/4 x 3 @ 12"

SHEARWALLS IN PLAN VIEW
Scale 3/4" = 1'-0"

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AVEGNO RESIDENCE
ADU ADDITION

535 ROCK STREET
ASHLAND, OREGON

PROJECT NAME:

STAMP:

DATES ISSUED:

DATE	DESCRIPTION
05-20-18	ISSUE FOR PERMIT

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:

STANDARD DETAILS

SCALE:

AS SHOWN

DRAWN: ELH
CHECKED: ELH

SHEET NO:

S-1.1

PROJECT NO: 535_ROCK

CAD FILE: DATE MODIFIED: 01/14/18

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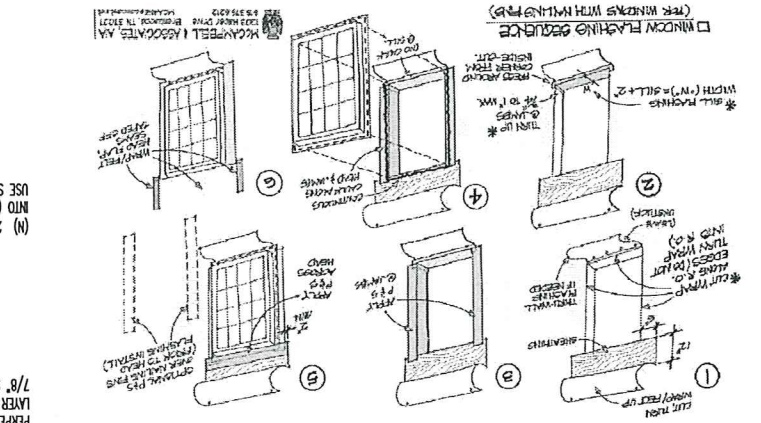
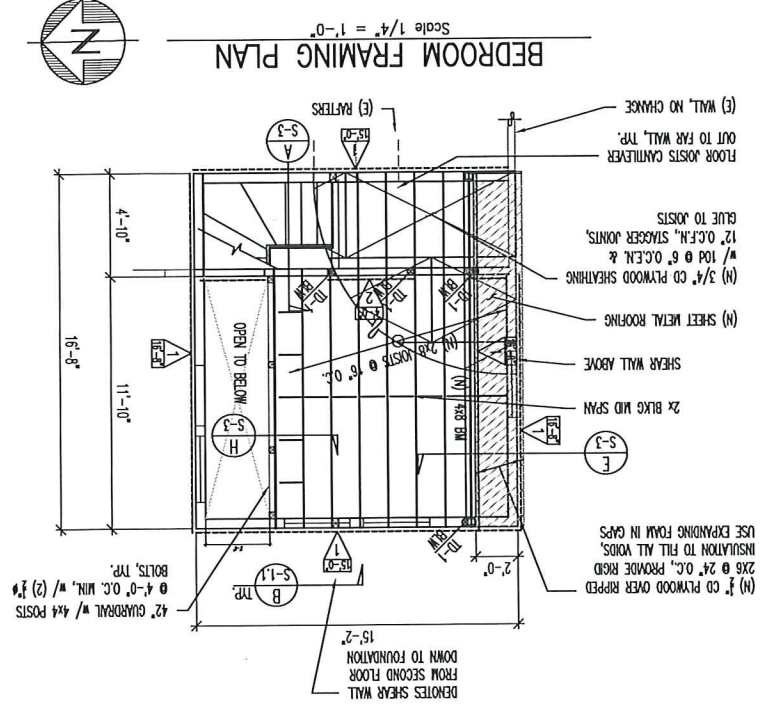
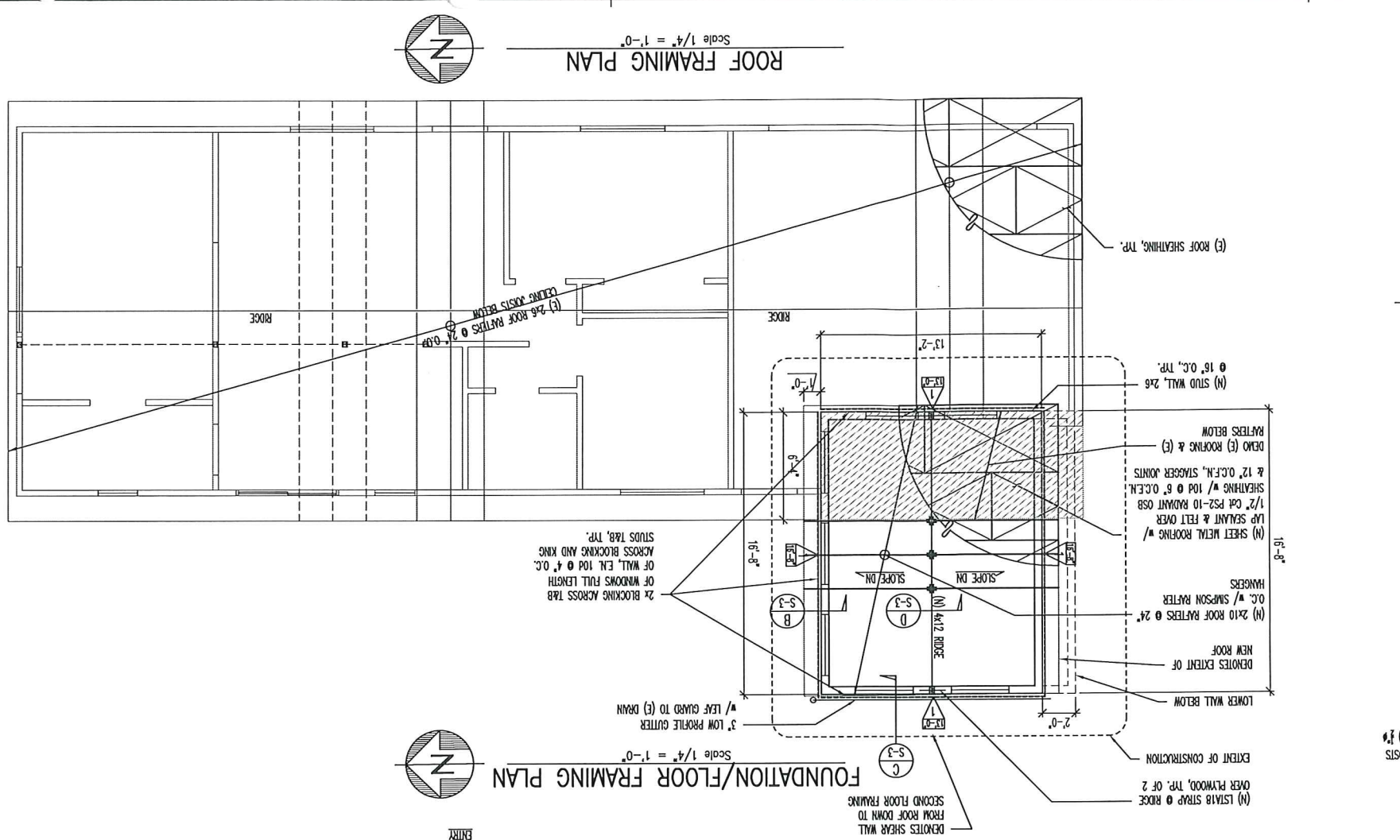
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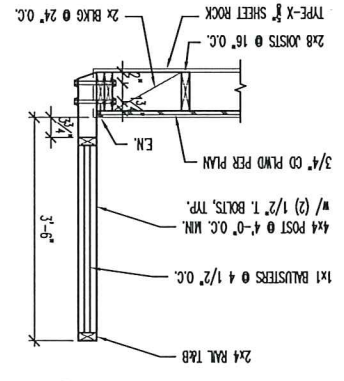
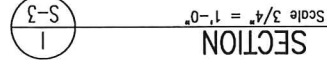
FOUNDATIONS & FRAMING PLAN

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PROJECT NO.: 635-ROCK
 DATE RECEIVED: 01/03/18



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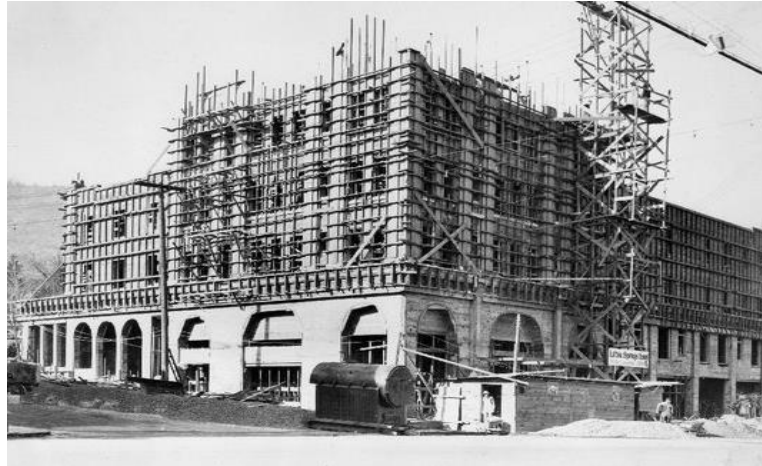


01/04/18



CITY OF ASHLAND

“CELEBRATE PRESERVATION MONTH” “PastForward”



You are invited to join your friends and neighbors as we celebrate **National Preservation Month**. National Preservation Month is an outreach program of the National Trust for Historic Preservation, honoring and promoting historic preservation, acknowledging the mission we share with communities across the country to cultivate a love of historic places.

Each May Ashland spends a week recognizing the outstanding contributions of individuals and organizations to preservation in Ashland. The year, Ashland will be spending the week of **May 19th – 25th** celebrating preservation. Preservation Month offers the community an opportunity to educate the public about historic preservation in the community by planning a variety of public events including tours, exhibits and an awards ceremony.

The Historic Preservation Award winners have been selected as a way to honor the people and building projects that have contributed to the preservation of our City's historic districts and to recognize the commitment of local citizens in the furtherance of historic preservation and the protection of cultural resources over the past year.

The following events and walking tours are being planned this year during Historic Preservation Week:

- **Terry Skibby: A Life With Camera** – The Southern Oregon Digital Archives is recognizing Historic Commissioner and photographer Terry Skibby for his lifetime of photography here in Ashland and to celebrate the launch of the Terry Skibby Photographic Collection in the Southern Oregon Digital Archives. The archives are available at <https://soda.sou.edu/stories>. The event will take place from 4-6PM, on Tuesday May 21st at the Hannon Library on the Southern Oregon University Campus.
- **Ashland Historic Preservation Awards Ceremony**, hosted by Mayor John Stromberg, will take place on Wednesday May 22nd at 12:30 at Pioneer Hall, located at 73 Winburn Way.
- **Ashland Memorial Mausoleum** at Mountain View Cemetery will be open for “self-guided” tours on Thursday May 23rd from 8:30 – 4PM, with a “special tour” given at 2PM by Ellen Babin of the Ashland Historic Commission. The Mausoleum is located on the east side of Ashland Street and Normal Avenue.
- On Friday May 24th from 2 - 3:30 pm, Terry Skibby will lead a **tour of the Railroad District**. Please meet at the gazebo on ‘A’ Street at the Railroad Park.

Please call City of Ashland's Community Development Department for more information at
(541) 488-5305.

PROJECT ASSIGNMENTS FOR PLANNING ACTIONS

May 2019

PA-2016-00847	252 B Street – Close to complete	Whitford
PA-2016-02095	563 Rock St – Work has started	Whitford
PA-2017-00235	114 Granite/ 9 Nutley – Work has started	Shostrom
PA-2017-00200	165 Water – Extension to PA submitted	ALL
PA-2017-01294	128 Central– Work has started	Emery & Swink
PA-2017-01417	228 B Street – No building permit	Whitford
PA- 2017-02005	533 Fairview(aka 100 Union) Work has started	Emery
PA-2017-02351/ 00026	549 E. Main – Permit issued, work started	Swink & Emery
PA-T1-2018-00015	70 N. Third Street – Permit issued	Swink
PA-T1-2018-00023	75 Lithia Way	Von Chamier & Babin
PA-T1-2018-00029	128/130 Bush Street – Permit issued	Hovenkamp & Whitford
PA-T1-2018-00033	160 Helman – No building permit	Shostrom
PA-T1-2018-00038	111 Bush – No building permit	Whitford

May 2019



Ashland Historic Review Board Schedule Meet at 3:00pm, Lithia Room*

May 9th	Terry, Keith, Bill (Sam backup)
May 16th	Terry
May 23rd	Terry
May 30th	Terry
June 6th	Terry

*Call 541-488-5305 to verify there are items on the agenda to review



ASHLAND HISTORIC COMMISSION Membership List

Commissioner's Name	Term Expiration	Mailing Address	Home Phone	Work Phone	E-Mail Address
Dale Shostrom Chairman	4-30-2021				shobro@jeffnet.org
Keith Swink	4-30-2022				kswink@mind.net
Sam Whitford	4-30-2021				skwhippet@mind.net
Terry Skibby	4-30-2022				terryskibby@gmail.com
Tom Giordano	4-30-2020				tomgiordanoarch@gmail.com
Bill Emery	4-30-2020				bill@ashlandhome.net
Piper Von Chamier	4-30-2022				piper@kencairnlandscape.com
Beverly Hovenkamp	4-30-2021				revbev549@gmail.com
Ellen Babin	4-30-2021				cm_ellen@yahoo.com
Rich Rosenthal Council Liaison					rich@council.ashland.or.us
Fotini Kaufman Planning Dept.				552-2044	Fotini.kaufman@ashland.or.us
Regan Trapp Admin. Staff		City of Ashland Planning Dept.		552-2233	regan.trapp@ashland.or.us