



CITY OF ASHLAND



TREE COMMISSION AGENDA February 6, 2020

- I. **CALL TO ORDER**
6:00 p.m. in the Siskiyou Room of the Community Development and Engineering Services Building located at 51 Winburn Way.

- II. **APPROVAL OF MINUTES**
 - A. **Approval of January 9, 2019 regular meeting minutes.**

- III. **PUBLIC FORUM**
 - Mike Bartlett – Best practices for working around wildlife during tree removal and pruning.

- IV. **LIAISON REPORTS**
 - Council Liaison
 - Parks & Recreation Liaison
 - Community Development Liaison

- V. **TYPE I REVIEWS**
 - A. **PLANNING ACTION:** PA-TREE-2020-00093
SUBJECT PROPERTY: 470 Applegate Way
OWNER: Applegate Industrial Arts
APPLICANT: Bill Robertson
DESCRIPTION: A request to remove three Raywood Ash trees along a sidewalk. The applicant states that the species selection and location are inappropriate as these trees are causing uplift on the sidewalk. The applicant submitted a brief narrative prepared by Casey Roland Tree Care.
COMPREHENSIVE PLAN DESIGNATION: Employment; **ZONING:** E-1; **ASSESSOR'S MAP:** 39 1E 13 BB; **TAX LOT:** 800

 - B. **PLANNING ACTION:** PA-TREE-2020-00094
SUBJECT PROPERTY: 1825 Siskiyou Blvd.
OWNER: June Mikkelsen & James Douglass
APPLICANT: Casey Roland
DESCRIPTION: A request to remove one hazard tree which is identified as a white oak. The applicant submitted a brief narrative prepared by Casey Roland Tree Care.
COMPREHENSIVE PLAN DESIGNATION: Multifamily Residential; **ZONING:** R-3; **ASSESSOR'S MAP:** 39 1E 15 AD; **TAX LOT:** 1801

 - C. **PLANNING ACTION:** PA-T1-2019-00083
SUBJECT PROPERTY: 1320 Oregon St.
OWNER/APPLICANT: Verity Construction
DESCRIPTION: A request for Physical and Environmental Constraints Review Permit for Hillside Development to build a new 2,062 square foot single family home at 1320 Oregon Street. The application includes a request for a variance to side-yard setback based on the narrow property configuration, an exception to street standards to seek relief from the installation of park row and sidewalk, and an exception to the hillside design standards. The application includes a requires to remove one 8-inch DBH pine tree that is in the building envelope. The application includes a report prepared by a geotechnical engineer with demonstrable expertise in development of Hillside Lands.
COMPREHENSIVE PLAN DESIGNATION: Single Family Residential; **ZONING:** R-1-7.5; **MAP:** 39 1E 15 BB; **TAX LOT:** 8700

VI. **TYPE II REVIEWS** - None

VII. **STREET TREE REMOVAL PERMITS**

A. **PLANNING ACTION:** PA-TREE-2020-00092

SUBJECT PROPERTY: 310 Granite St. (Lithia Park)

OWNER: City of Ashland

APPLICANT: APRC

DESCRIPTION: A request to remove an approximately 35' tall and Sixteen-inch DBH green mountain sugar maple (*Acer saccharum*) in the park row along Lithia way at the entrance to Lithia Park. The tree has been declining for several years. Last year the top third of the canopy died and was removed. It has been determined by Parks arborists that it is time to remove this tree based on its advanced disease. **COMPREHENSIVE PLAN DESIGNATION:** Downtown / Single Family Residential; **ZONING:** C-1-D & R-1-7.5; **ASSESSOR'S MAP:** 39 1E 09; **TAX LOT:** 100

B. **PLANNING ACTION:** PA-TREE-2020-00095

SUBJECT PROPERTY: 802 Mountain Meadows Dr.

OWNER: Lewis Living Trust Et. Al

APPLICANT: Mt. Meadows HOA

DESCRIPTION: A request to remove an 8" DBH 20' tall cherry plum tree (*Prunus cerasifera*). The tree is prohibited by the adopted street tree guide and creates a slipping hazard from excess fruit that falls on the sidewalk. **COMPREHENSIVE PLAN DESIGNATION:** Healthcare; **ZONING:** HC; **ASSESSOR'S MAP:** 39 1E 04 AD; **TAX LOT:** 229

VIII. **DISCUSSION ITEMS**

- Earth Day – Potential share with wildfire
- Tree of the Year – Nominations.

IX. **ADJOURNMENT**

Next Meeting: March 5, 2020



CITY OF ASHLAND



Ashland Tree Commission
Draft Minutes
01/09/2020
Audio Recording

Call to Order

Commission Chair Chris John called the meeting to order at 6:00 pm in the Siskiyou Room at the Community Development and Engineering Offices located at 51 Winburn Way, Ashland, Oregon, 97520.

Commissioners Present:	Council Liaison
Christopher John	Stephen Jensen - Absent
Asa Cates	
Russell Neff	Park Liaison
Eric Simpson	Peter Baughman - Absent
Cat Gould	
	Staff Present:
	Aaron Anderson: Associate Planner

Approval of Minutes

Commissioners Eric Simpson/Asa Cates m/s to approve the minutes of December 5, 2019 as amended to reflect Cat Gould Absent. Voice Vote: All Ayes. Motion passed

Public Forum

Jim Falkenstien- gave a brief presentation of drone photographs that he has taken of pending application demonstrating the benefit of having drone photos. He also spoke about a map that was created of fruit trees in public rights of way and advocated distributing maps so people can harvest the fruit.

Huelz Gutchin – spoke about CEAP and ‘counting carbons’

Liaison reports

Council Liaison - None

Parks & Recreation Liaison – None

Community Development Liaison – Aaron Anderson gave a brief update on TREE OF THE Year.

TYPE I REVIEWS

PLANNING ACTION: PA-TREE-2019-00091

SUBJECT PROPERTIES: 1005 C St.

OWNER/ APPLICANT: Micah Lieberman

DESCRIPTION: This is a request for a tree removal permit to remove two trees that were previously identified for protection during planning action for additional development of three cottages (see file PA-T1-2018-00039). The two trees in question are a box elder and an apple tree. During the excavation process to form the foundation it was determined that the box elder, due to a drafting error, was not on the plan, and that the location of the apple tree was erroneous.

COMPREHENSIVE PLAN DESIGNATION: Multi-Family Residential; **ZONING:** R-3 **MAP:** 39 1E 09 AD; **TAX LOT:** 2000

[Chris John Recused] Staff presented a brief overview of the application and the development that has caused the damage to the trees that had been determined to be protected. Micah Lieberman was present to address the TC and explained the process that he went through during his planning action approval. He discussed the species selection and his desire to plant better trees. He is also requesting to remove to other box elders that are on the property along the fence line.

The TC deliberated. Asa seemed to think that neither the apple or the box elder would die ultimately based on the damage that has been done. The applicant said that both trees (the box elder and apple) will conflict with the proposed development. Asa made a motion to allow the removal of the two large trees. Motion died. Cat suggested that the error was made in good faith and believed that approving the application

Gould/Neff M/S to approve the application as submitted with the requirement that the final landscaping include at least two mitigation trees of superior species selection. 3-1 Gould, Neff, Simpson in favor; Asa Cates opposed; John recused.

TYPE II REVIEWS

PLANNING ACTION: PA-T2-2019-00012
SUBJECT PROPERTIES: 945 Tolman Creek Road
OWNER/APPLICANT: Sean Darrell/Rogue Planning & Development
DESCRIPTION: The application is request for a three-unit/four-lot Outline and Final Plan subdivision approval and Site Design Review permit to allow the construction of a three-unit Cottage Housing Development for the property at 945 Tolman Creek Road. The existing structure is proposed to be divided into two units, and a third 400 square foot cottage unit is to be constructed at the rear of the property.
COMPREHENSIVE PLAN DESIGNATION: Single Family Residential; **ZONING:** R-1-5; **ASSESSOR'S MAP:** 39 1E 14CA; **TAX LOT:** 800

Amy Gunter presented on behalf of the application along with Sean Darrell the property owner. She acknowledged that the existing trees would need to be pruned to comply with the wildfire ordinance but would like to wait until the construction has been conducted. They are not requesting to remove either tree, but looking for the tree commission to approve the tree protection fencing

John/Cates M/S to approve the application with the conditions of approval that the pruning of the pine be conducted prior to C of O, and additional disclaimers regarding prohibited activities in the tree protection zone. 5-0

STREET TREE REMOVAL PERMITS

PLANNING ACTION: PA-TREE-2019-00089
SUBJECT PROPERTY: 537 Prim St.
OWNER/APPLICANT: Scott Mowry
DESCRIPTION: A request for Street Tree removal of two pines that are growing very close to a third tree. One of the two pines that is requested for removal has a significant lean over the roadway.
COMPREHENSIVE PLAN DESIGNATION: Single Family Residential; **ZONING:** R-1-7.5; **MAP:** 39 1E 05 CA; **TAX LOT:** 905

Staff briefly presented the facts, summarizing the TC disposition from last months meeting and turned it over to the applicant. Scott showed some additional photos and reviewed the statement that was provided to him from his project arborist. It was the arborists opinion that the largest of the three pines would be healthier with only the most mature. The applicant also alleged that the two smaller pines were depriving the larger pine from access to sunlight. The applicant made clear that he was willing to mitigate with appropriate trees.

Following the presentation by the applicant the Tree commission deliberated. Chair John discussed the change in arborist orthodoxy regarding grouping of trees. John mentioned that the smallest of the pines which is leaning is not a healthy tree and felt that it was appropriate for removal. There was general agreement that the pine that was leaning ought to be removed.

Gould/Simpson M/S to approve the removal of the smaller pine that is leaning only. 5-1

PLANNING ACTION: PA-TREE-2019-00090
SUBJECT PROPERTY: 642/644 E Main
OWNER/APPLICANT: Ashland Condo Assoc.
DESCRIPTION: A request for Street Tree removal of two dead maples.
COMPREHENSIVE PLAN DESIGNATION: Commercial; **ZONING:** C-1; **MAP:** 39 1E 09 AC; **TAX LOT:** 90000

There was no representation from the applicant. Staff briefly discussed the application and turned it over to the TC for their deliberation.

John/Cates M/S to approve the application as submitted with the condition of approval that appropriate small stature tree(s) appropriate for below powerline be selected at the direction of the project arborist. 5-0

TYPE I continued

PLANNING ACTION: PA-T1-2019-00085
SUBJECT PROPERTY: 468 Helman Street
APPLICANT: Kerry KenCairn, KenCairn Landscape Architecture
OWNER: Lynne Scionti
DESCRIPTION: A request for a Land Partition to create two lots from the property located at 468 Helman Street. The application also includes a request for Tree Removal Permits for the removal of four trees – a group of three Cedar trees (Trees #1-#3) at the outer edge of the Helman Street right-of-way, and a 30-inch diameter Oak tree (Tree #4) near the existing garage. The project landscape architect notes that the Cedars are in poor condition and overgrown and that the Oak is in poor condition and challenged by the impacts of previous construction and paving.
COMPREHENSIVE PLAN DESIGNATION: Single Family Residential; **ZONING:** R-1-5; **ASSESSOR’S MAP:** 39 1E 04CA; **TAX LOT:** 3600

There was no representation from the applicant. Staff briefly discussed the application and turned it over to the TC for deliberation. There was debate about the health of the cedar trees, and if they were appropriate to remove. The project arborist states that the three cedars are simultaneously overgrown and unhealthy. Cates remarked that these trees have no impact on the proposed development.

Gould/ M/S to approve the removal of the Oak only (and not the cedar trees), with the condition of approval that a mitigation tree be planted prior to the recording of the final plat. 4-1 (Simpson abstain)

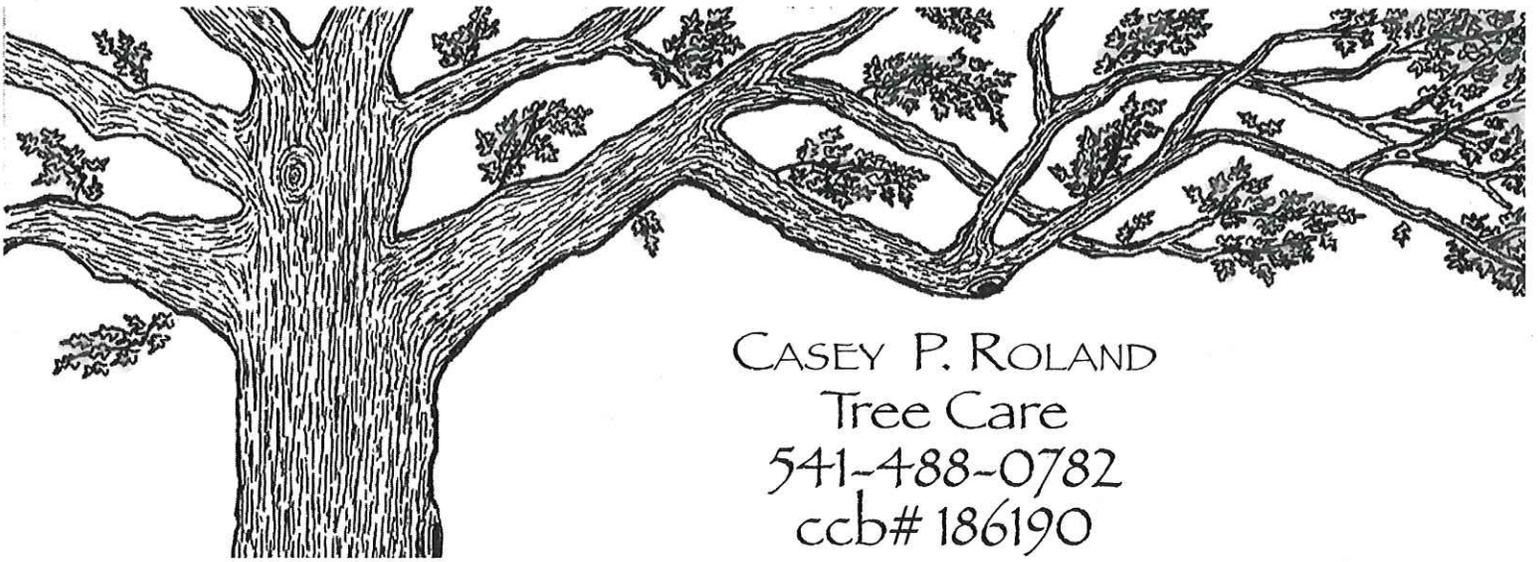
Discussion Items

PLANNING ACTION: PA-A-2019-00088
SUBJECT PROPERTIES: The Ashland Village Subdivision
OWNER/ APPLICANT: AVHHOA
DESCRIPTION: The purpose of this ministerial planning action is to memorialize the current state of street trees in the Ashland Village Subdivision, to identify trees that need to be planted, and to reiterate that any future tree removals would be required to receive the appropriate permits. What we are hoping to achieve with this administrative acknowledgment is to document the current situation, while providing flexibility moving forward for any removals that may be required in the future and ensuring that appropriate species are selected for mitigation.
COMPREHENSIVE PLAN DESIGNATION: Single-Family Residential; **ZONING:** R-1-5
MAP: 39 1E 09 AA; **TAX LOT:** 5600 & 5500
and
MAP: 39 1E 09 BB; **TAX LOT:** 3700 thru 3746

- Plant 3 trees...
- Conditions – remove root barrier
- Crab apple, black tupalow, selcova, maple, little leaf linden...
- At least one black birch cluster.
- Cut back any vines crawling
- Water bags shall be used in appropriate

Adjournment: Meeting adjourned at 8:11p.m. **Next Meeting:** February 6, 2020

Respectfully submitted by Liz Hamilton



CASEY P. ROLAND
Tree Care
541-488-0782
ccb# 186190

Billing Address

Job Site Address

Applegate Industrial Arts
470 Applegate way
Ashland, OR 97520

Scope of Work

To whom it may concern:

I WAS CONTACTED BY Bill Robertson to assess 3 Raywood ash trees located at the left entrance driveway @ 470 Applegate way.

These trees were incorrectly placed within 2'-3' from existing sidewalk/curb.

Heaving of sidewalk is evident and future damage to landscape is certain.

I recommend removal of these trees to be replaced with similar statured species.

The owner desired to replace the trees on site with appropriate species selection

feel free to contact me with any concerns.

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TOTAL :

3x Raymond Ash



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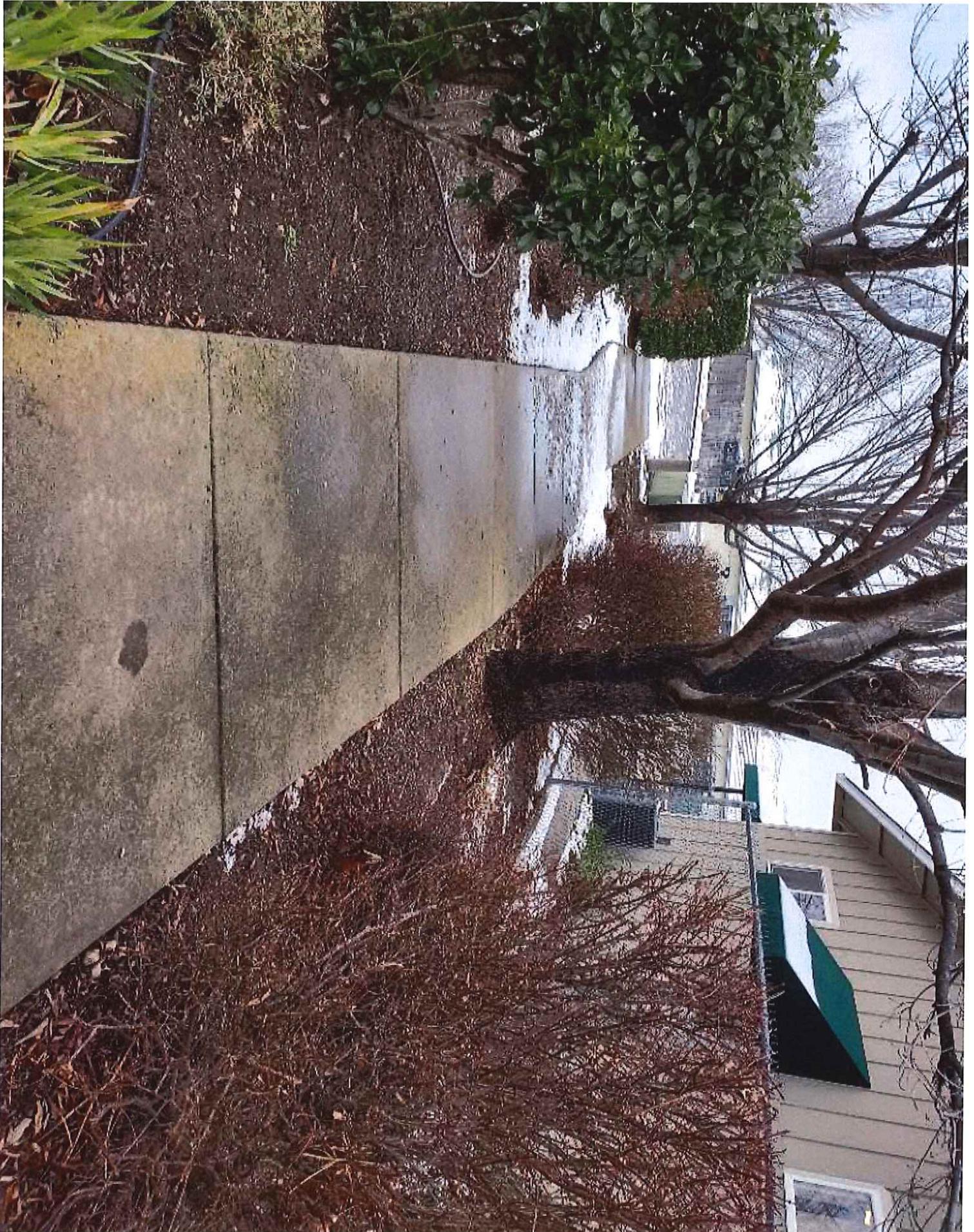
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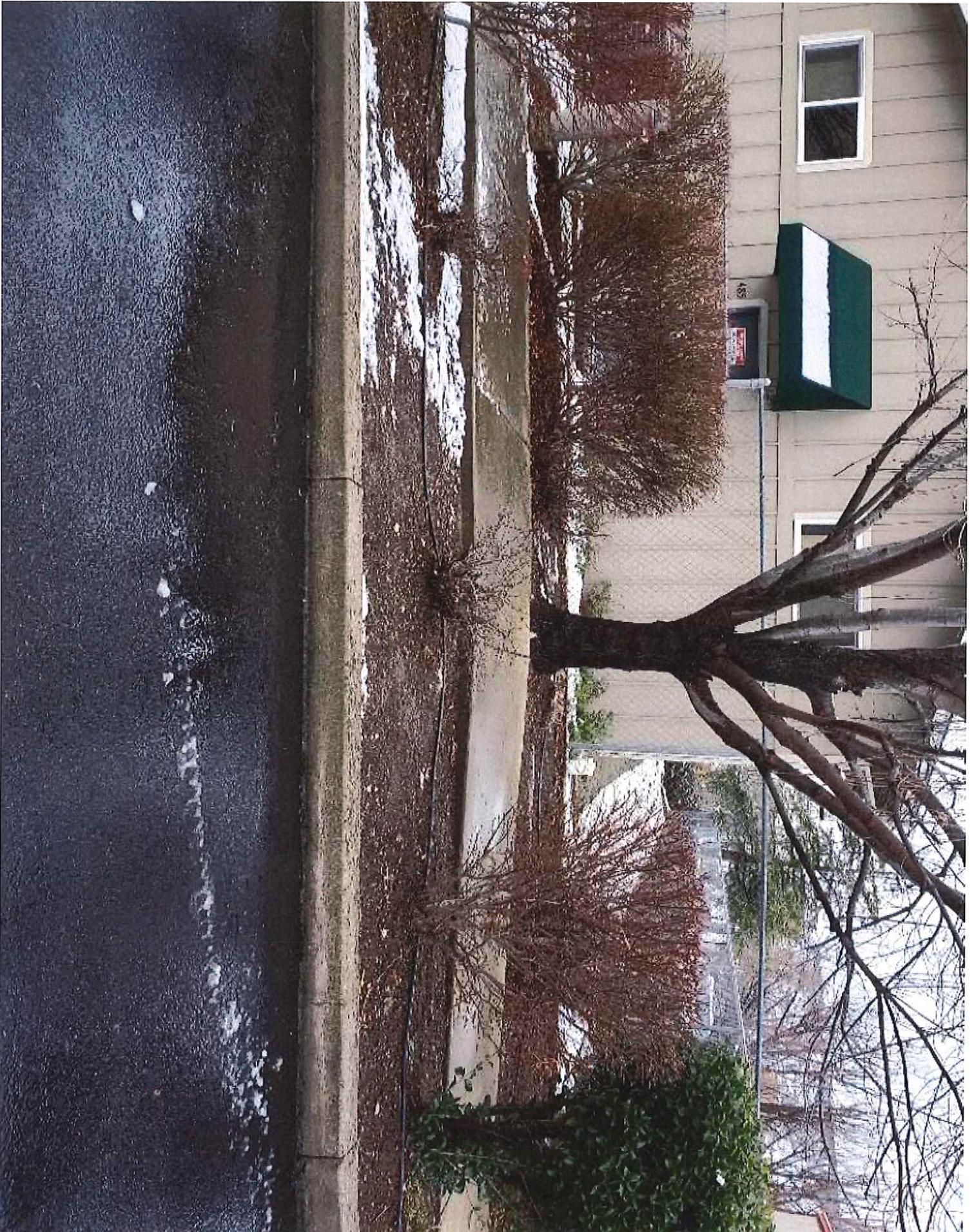
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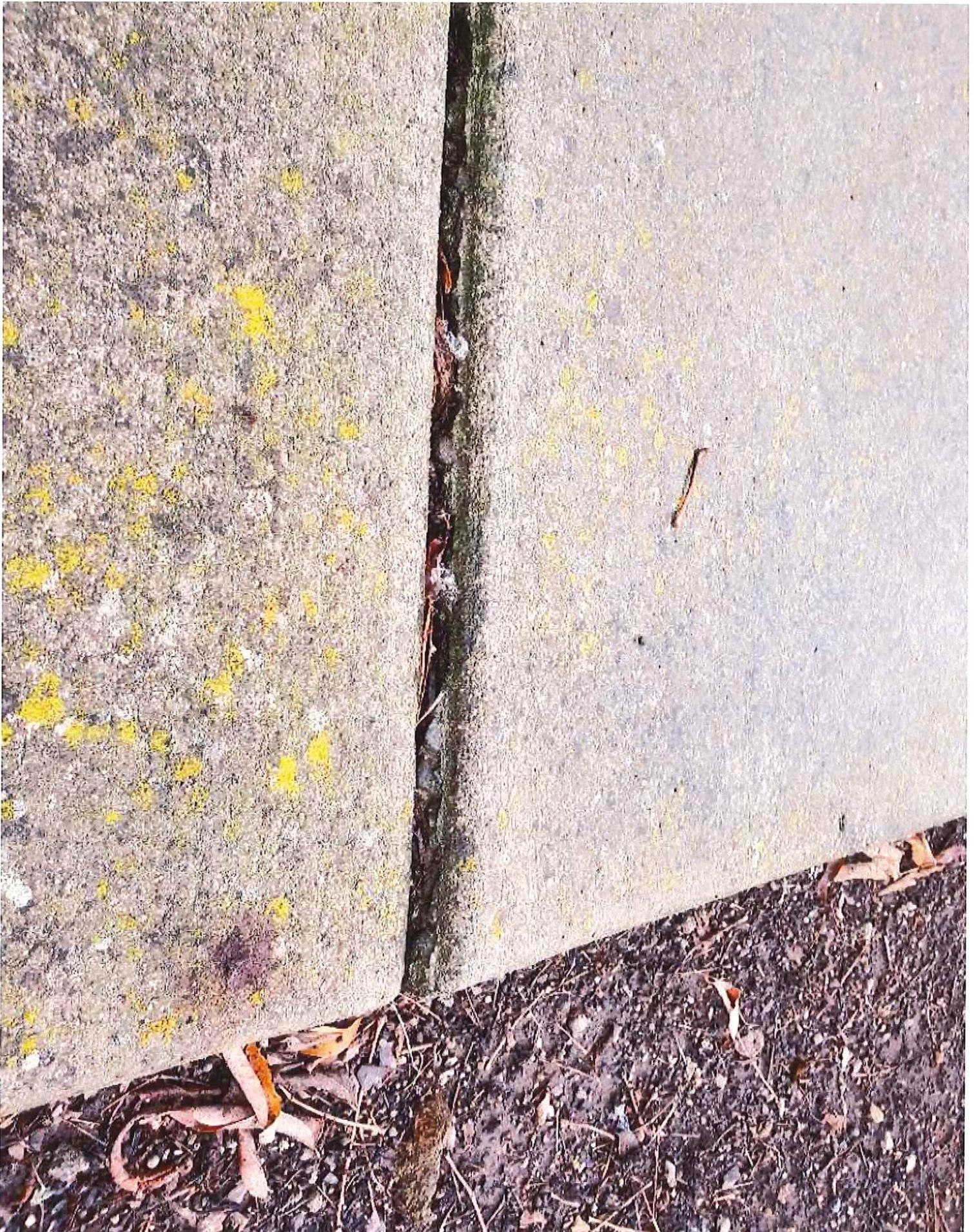
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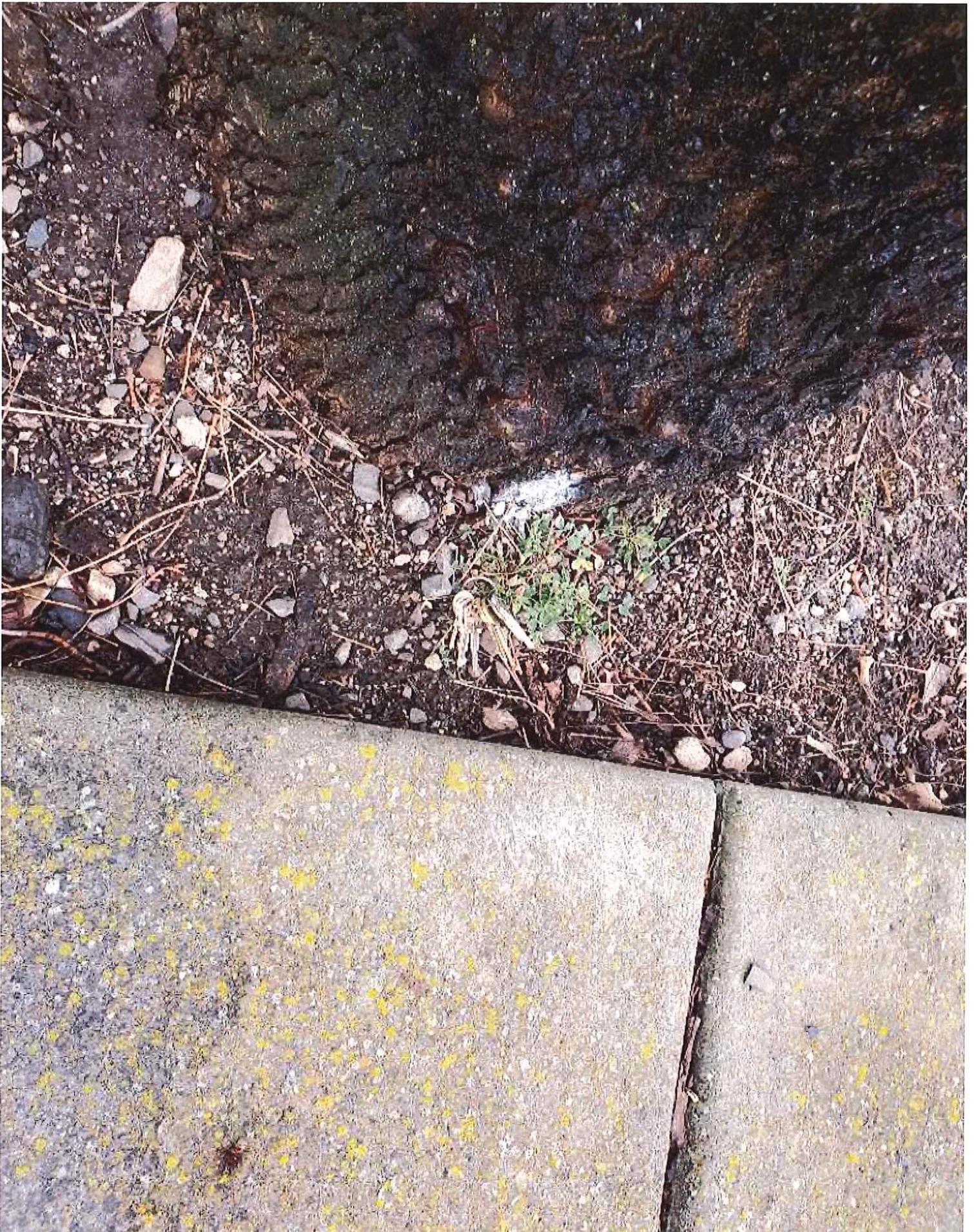






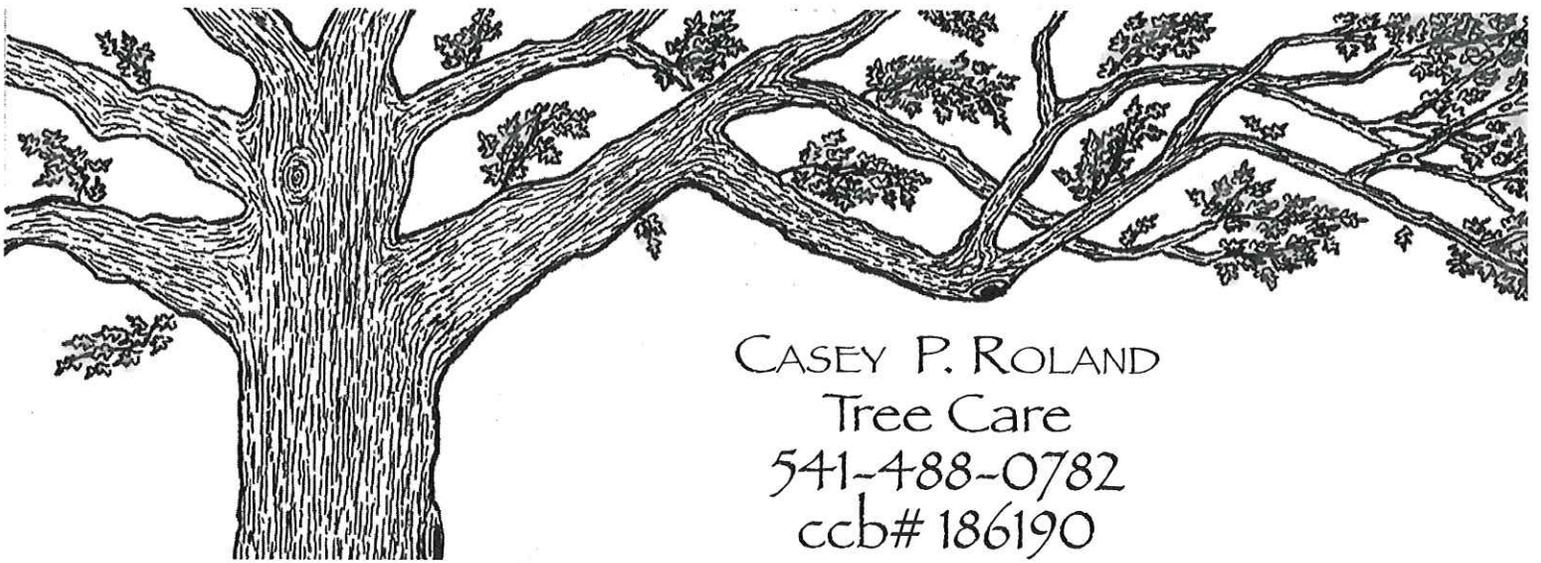












CASEY P. ROLAND
Tree Care
541-488-0782
ccb# 186190

Billing Address

Job Site Address

1825 SISKIYOU BLVD
Ashland, OR. 97520

Scope of Work

TO WHOM IT MAY CONCERN:

I WAS CONTACTED BY JUNE MIKKELSON TO ASSESS THE CONDITION OF AN OREGON WHITE OAK LOCATED IN FRONT OF 1825 SISKIYOU BLVD, ASHLAND, OR. 97520.

THE OAK IS APPROX 22" DBH. THE ENTIRE COLUMN OF XYLEM IS DECAYED WITH A REMAINING 3/4" SHELL OF WOOD SUPPORTING THE TREE.

DUE TO FREQUENT (EVERYDAY) FOOT TRAFFIC WITHIN THE STRICE ZONE SHOULD THE TREE FAIL, I RECOMMEND REMOVAL OF THIS TREE AS SOON AS POSSIBLE.

THIS TREE MEETS THE CRITERIA OF A HAZARD TREE.

FEEL FREE TO CONTACT ME IF YOU HAVE ANY QUESTIONS OR CONCERNS.

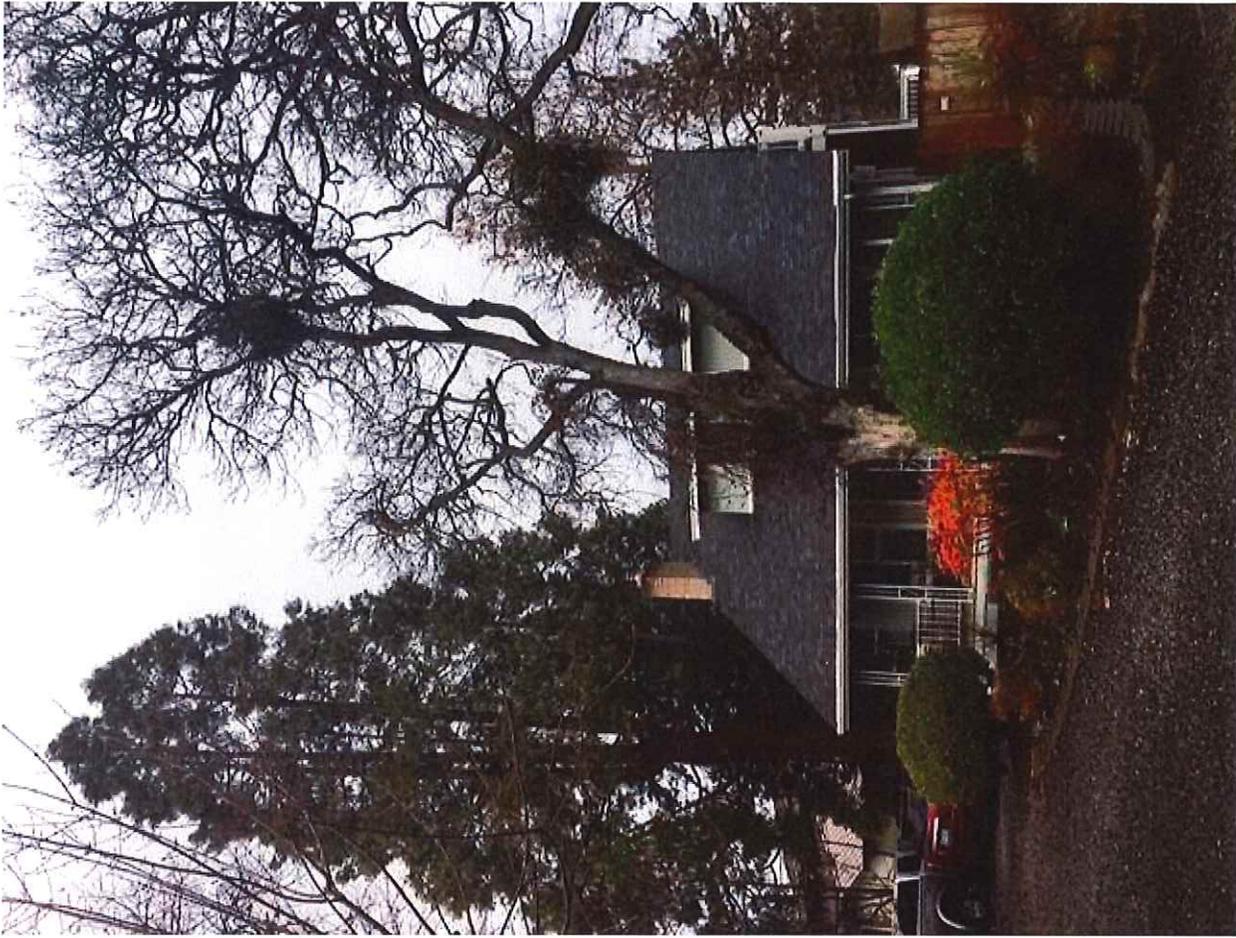
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Ashland



November 11, 2019

**Physical Constraints Review Permit for Hillside Development
Variance to Side Yard Setbacks**

Property Address: 1320 Oregon Street

Map and Tax Lot: 39 1E 15BB; 8700

Property Owner: Verity Construction
PO BOX 1507
Medford, OR 97501

Building Design: Designs 2
Barbara Rust
PO BOX 3408
Central Point, OR 97502

Landscape Architect: Terrain Landscape Architecture
174 Hidden Lane
Ashland, OR 97520

Engineering and Geotech: Marquess and Associates
PO BOX 490
Medford, OR 97501

Planning Consultant: Rogue Planning & Development Services
Amy Gunter
33 N Central Avenue, Suite 213
Medford, OR 97501

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Request:

The request is for Physical and Environmental Constraints Review Permit for the construction of a new single-family residential home on the vacant lot at 1320 Oregon Street. The narrow lot requires a variance to side yard setbacks. The lot has slopes of more than 25 percent, the public right-of-way behind the curb and in front of the property has more than 35 percent slope.

Property Details:

Comprehensive

- Plan Designation:** Single Family
- Zoning:** R-1-7.5
- Overlays:** Physical and Environmental Constraints
Severe Constraints
Wildfire Hazards Zone

The subject property is a vacant, .08-acre (3,484 square foot) lot located on the south side of Oregon Street Road, south of the intersection of Monroe and Oregon Street, mid-block between Leonard Street and Palmer Road.

The property is a non-conforming, legal lot of record. The property was created via prior to April 1964. The property obtained a Legal Lot Determination by the City of Ashland in 2018 (PA-2018-00513). The property and the adjacent properties are part of the Fairview Addition, a 1910 Subdivision.



The property has 35-feet of frontage on Oregon Street and extends approximately 120-feet to the south. The property is just over 3,703 square feet (.08 acres).

The property and the directly adjacent properties are zoned single family residential (R-1-7.5). Properties to the northeast are zoned Southern Oregon (SO) and to the south above Prospect Street, the properties are zoned R-1-10.



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There is an existing driveway curbcut on the east side of the property. There is also an overhead power pole near the driveway.

The property is vacant, steeply sloping, parcel. There is a steep uphill from the curblineline to the south. Along the frontage of the property, a road cut that exceeds 35 percent just behind the curb and for the first few feet of the property. The majority of the property slopes at over 25 percent slopes uphill away from Oregon Street with areas of more than 27 percent slope at the rear of the property.

There are 15 trees, greater than six-inches in diameter at breast height on the subject property and directly adjacent to the properties. An eight-inch DBH Ponderosa Pine tree is proposed to be removed.

The trees on the adjacent properties are proposed to be protected through the installation of protective fencing along the property lines.

Oregon Street is a neighborhood street that lacks sidewalk and parkrow due to the narrow right-of-way and the steep slopes uphill on the south side of the street and steep downhill slopes on the north side of the street. An exception to street standards is requested to not improve the street to city standards.

Project Proposal:

The request is for Physical and Environmental Constraints Review for the development of the property with a 2,062 square foot, two-story, with basement, single-family residence. The residence proposes a below grade, 280 square foot garage within the basement footprint. The non-conforming lot has a very narrow width of 35-feet at the street and narrows to 27-feet at the rear of the property.

This limited width necessitates a variance to the side yard setbacks to construct a narrow and small footprint residence. The request includes a variance to the east and west side yards to reduce the setback from six-feet to three-feet, one-half inches on the west side. The setback on the east side of the structure is proposed to be reduced to three feet, nine- and one-half inches. The narrow width of the lot, the overlapping ordinance requirements of on-site parking, limits of parking area allowed in front yard, tree preservation, limited slope disturbance into steeper areas of the property on the south side of the lot, all contribute to the requested variances and exceptions.

The proposed residence has footprint of only 768 square feet. The proposed shed roof style without downhill gable that utilizes below grade construction reduces the height and the mass of the residence.

The proposed structure is setback 20-feet from the street. Though the slope would allow for a reduced front yard, the on-site parking requirement of two vehicle spaces for single family residences necessitates a greater front yard setback. In the event that an encroachment permit allows for surface

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parking space encroach into the right-of-way for Oregon Street, the front yard could be reduced. Design to this effect has been rendered but not proposed as part of this request.

There are portions of the right-of-way along the frontage of the property that have more than a 35 percent slopes. The construction of the driveway, front entry steps and necessary structural retaining walls, encroach into these areas. Encroachment permit approval is requested to allow for the construction within the right-of-way.

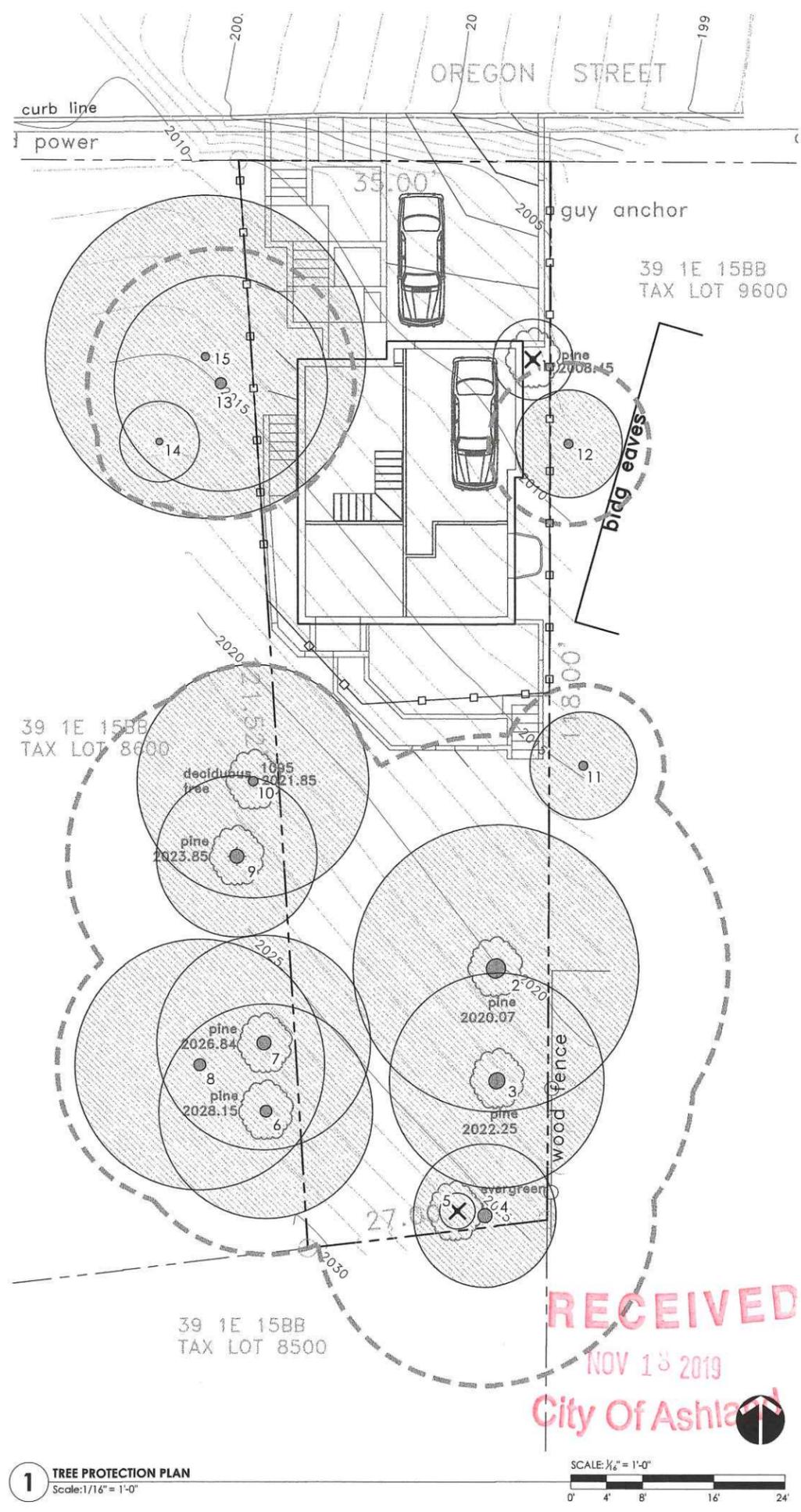
The proposal retains the majority of the trees on the site, even when considering the small area of the property. There is an 8-inch ponderosa pine tree within the building envelope that will require removal in order to development the site. The trees on the adjacent parcels cannot be removed to accommodate construction of the subject property. Trees on the adjacent properties will have tree protection fencing installed at the edge of the property.

The request includes an exception to street standards to not install street improvements including park row and sidewalk along the frontage of the property. Oregon Street is a steeply sloped, narrow street with limited vehicular traffic. There are no sidewalks on this section of upper Oregon Street. Near the SOU campus there are sidewalks found on Oregon Street to accommodate the pedestrians near the university. Installation of a sidewalk on the subject property and the adjacent properties, in the requires substantial amount of excavation or fill site work to install a safe pedestrian sidewalk. This would require tree removals and large areas of disturbance that appears to have a greater negative impact on the property and adjacent properties than the sidewalk would provide as a benefit.

Rick Swanson, P.E. at Marquess and Associates has provided geotechnical oversight. Mr. Swanson has reviewed the grading, erosion control, drainage and retaining wall plans that have been designed by himself and others with demonstrable expertise in the development of Hillside Lands.

Findings addressing the approval criteria for Physical and Environmental Constraints Review for Hillside Development and Wildfire Overlay, exception to hillside design standards, variance to setbacks, exception to street standards and tree removal permit are addressed below.

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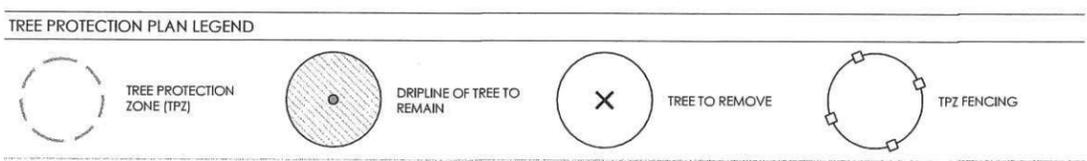
TREE PROTECTION AND REMOVAL NOTES

- PRIOR TO DELIVERING EXCAVATION EQUIPMENT OR COMMENCING ANY CONSTRUCTION ACTIVITIES ON THE SITE, THE GENERAL CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR A PRE-CONSTRUCTION MEETING WITH THE LANDSCAPE ARCHITECT AND EXCAVATION SUPERVISOR PRIOR TO COMMENCING ANY WORK ON THE SITE. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED BY THE CONTRACTOR 48 HRS. IN ADVANCE FOR ALL SITE VISITS REQUESTED. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE THAT CONSTRUCTION MAY BEGIN AFTER ALL OF THE DESCRIBED FENCING IS IN PLACE. FENCING SHALL REMAIN IN PLACE UNTIL THE PROJECT IS COMPLETED.
- FENCES MUST BE ERECTED TO PROTECT TREES TO BE PRESERVED AS SHOWN IN DIAGRAM. FENCING SHALL BE 6' TALL TEMPORARY CHAIN LINK PANELS INSTALLED WITH METAL CONNECTIONS TO ALL PANELS AREA INTEGRATED. THESE FENCES SHALL BE INSTALLED SO THAT IT DOES NOT ALLOW PASSAGE OF PEDESTRIANS AND/OR VEHICLES THROUGH IT. FENCES DEFINE A SPECIFIC PROTECTION ZONE FOR EACH TREE OR GROUP OF TREES. FENCES ARE TO REMAIN UNTIL ALL SITE WORK HAS BEEN COMPLETED. FENCES MAY NOT BE RELOCATED OR REMOVED WITHOUT THE PERMISSION OF THE LANDSCAPE ARCHITECT.
- CONSTRUCTION TRAILERS, TRAFFIC AND STORAGE AREAS MUST REMAIN OUTSIDE FENCED TREE PROTECTION ZONES AT ALL TIMES. SEE DETAIL #1 "TREE PRESERVATION FENCING" FOR ADDITIONAL REQUIREMENTS.
- ALL PROPOSED UNDERGROUND UTILITIES AND DRAIN OR IRRIGATION LINES SHALL BE ROUTED OUTSIDE THE TREE PROTECTION ZONE. IF LINES MUST TRANSVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE ROOTS. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY PROJECT PLANS CONFLICT WITH THIS REQUIREMENT.
- NO MATERIALS, EQUIPMENT, SPOIL, OR WASTE OR WASHOUT WATER MAY BE DEPOSITED, STORED, OR PARKED WITHIN THE TREE PROTECTION ZONE (FENCED AREA).
- NOTIFY THE LANDSCAPE ARCHITECT IF TREE PRUNING IS REQUIRED FOR CONSTRUCTION CLEARANCE.
- IF INJURY SHOULD OCCUR TO ANY TREE DURING CONSTRUCTION, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. ALL DAMAGE CAUSED BY CONSTRUCTION TO EXISTING TREES SHALL BE COMPENSATED FOR BY THE OFFENDING PARTY, BEFORE THE PROJECT WILL BE CONSIDERED COMPLETE.
- WATERING SCHEDULE: WATERING PROTECTED TREES SHALL FOLLOW THESE STANDARDS, HOWEVER PERIODS OF EXTREME HEAT, WIND, RAINFALL OR DROUGHT MAY REQUIRE MORE OR LESS WATER THAN RECOMMENDED IN THESE NOTES.
 - MOST SPECIES: 1 TIME PER MONTH DURING IRRIGATION SEASON (USUALLY MARCH THROUGH SEPTEMBER)
 - QUERCUS/OAK: DEEP WATER IN MAY AND SEPTEMBER, DO NOT WATER DURING OTHER MONTHS. FOR OAKS ALREADY IN THE VICINITY OF IRRIGATED CONDITIONS, AUTOMATIC SPRINKLERS OR REGULAR WATERING SHALL NOT BE ALLOWED TO SPRAY ON OR WITHIN 3 FEET OF THE TRUNK. THE WATER SHALL NOT BE ALLOWED TO POOL OR DRAIN TOWARDS THE TRUNK.
 - WATERING METHOD: HAND WATERING SYSTEMS, RECOMMENDED FOR TREES THAT ARE PART OF A DEVELOPMENT PROJECT THAT MUST BE WATERED TO INSURE TREE SURVIVAL DURING THE COURSE OF CONSTRUCTION UNTIL AUTOMATIC IRRIGATION IS INSTALLED.
- EROSION CONTROL DEVICES SUCH AS SILT FENCING, DEBRIS BASINS, AND WATER DIVERSION STRUCTURES SHALL BE INSTALLED ON THE UPHILL SIDE OF THE TREE PROTECTION ZONE TO PREVENT SILTATION AND/OR EROSION WITHIN THE TREE PROTECTION ZONE.
- BEFORE GRADING, PAD PREPARATION, OR EXCAVATION FOR THE FOUNDATIONS, FOOTINGS, WALLS, OR TRENCHING, ANY TREES WITHIN THE SPECIFIC CONSTRUCTION ZONE SHALL BE ROOT PRUNED 1 FOOT OUTSIDE THE TREE PROTECTION ZONE BY CUTTING ALL ROOTS CLEANLY AT A 90 DEGREE ANGLE TO A DEPTH OF 24 INCHES. ROOTS SHALL BE CUT BY MANUALLY DIGGING A TRENCH AND CUTTING EXPOSED ROOTS WITH A SAW, VIBRATING KNIFE, ROCK SAW, NARROW TRENCHER WITH SHARP BLADES, OR OTHER APPROVED ROOT-PRUNING EQUIPMENT.
- ANY ROOTS DAMAGED DURING GRADING OR CONSTRUCTION SHALL BE EXPOSED TO SOUND TISSUE AND CUT CLEANLY AT A 90 DEGREE ANGLE TO THE ROOT WITH A SAW. PLACE DAMP SOIL AROUND ALL CUT ROOTS TO A DEPTH EQUALING THE EXISTING FINISH GRADE WITHIN 4 HOURS OF CUTS BEING MADE.
- IF TEMPORARY HAUL OR ACCESS ROADS MUST PASS OVER THE ROOT AREA OF TREES TO BE RETAINED, A ROAD BED OF 6-8 INCHES OF WOOD MULCH OR GRAVEL SHALL BE CREATED TO PROTECT THE SOIL. THE ROAD BED MATERIAL SHALL BE REPLENISHED AS NECESSARY TO MAINTAIN A MIN. 6 INCH DEPTH.
- SPOIL FROM TRENCHES, BASEMENTS, OR OTHER EXCAVATIONS SHALL NOT BE PLACED WITHIN THE TREE PROTECTION ZONE, EITHER TEMPORARILY OR PERMANENTLY.
- NO BURN PILES OR DEBRIS PILES SHALL BE PLACED WITHIN THE TREE PROTECTION ZONE. NO ASHES, DEBRIS, OR GARBAGE MAY BE DUMPED OR BURIED WITHIN THE TREE PROTECTION ZONE.
- MAINTAIN FIRE-SAFE AREAS AROUND FENCED AREA. ALSO, NO HEAT SOURCES, FLAMES, IGNITION SOURCES, OR SMOKING IS ALLOWED NEAR MULCH OR TREES.
- DO NOT RAISE THE SOIL LEVEL WITHIN THE DRIP LINES TO ACHIEVE POSITIVE DRAINAGE, EXCEPT TO MATCH GRADES WITH SIDEWALKS AND CURBS, AND IN THOSE AREAS, FEATHER THE ADDED TOPSOIL BACK TO EXISTING GRADE AT APPROXIMATELY 3:1 SLOPE.
- REMOVE THE ROOT WAD FOR EACH TREE THAT IS INDICATED ON THE PLAN AS BEING REMOVED.
- EXCEPTIONS TO THE TREE PROTECTION SPECIFICATIONS MAY ONLY BE GRANTED IN EXTRAORDINARY CIRCUMSTANCES WITH WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY WORK COMMENCING.
- AS A PROTECTIVE MEASURE TO COMPENSATE FOR CONSTRUCTION IMPACTS, TWO TO SIX WEEKS PRIOR TO CONSTRUCTION, ALL RETAINED TREES SHOWN ON THIS PLAN SHALL RECEIVE AN APPLICATION OF MYCOAPPLY ALL PURPOSE SOLUBLE PER MANUFACTURER'S INSTRUCTIONS. THIS MYCORRHIZAE PRODUCT IS A SPECIALLY FORMULATED NATURAL ROOT BIOSTIMULANT WHICH ENHANCES THE ABSORPTIVE SURFACE AREA OF THE TREES' ROOT SYSTEMS. THIS PROMOTES AND IMPROVES NUTRIENT AND WATER UPTAKE CAPABILITIES OF THE REMAINING ROOT STRUCTURE. DISTRIBUTE MYCOAPPLY EVENLY WITHIN THE ACTIVE ROOT ZONE OF RETAINED TREES. APPLY 30 GALS. OF SOLUTION PER TREE 6" DBH AND GREATER, A MINIMUM OF 4" BELOW SOIL SURFACE IN QUANTITIES OF 1/2 GALLON AT EACH POINT OF APPLICATION. LOCATE THE ACTIVE ROOT ZONES WITH LANDSCAPE ARCHITECT PRESENT. MYCOAPPLY IS AVAILABLE FROM MYCORRHIZAL APPLICATION, INC., PHONE (541) 476-3985.

TREE LEGEND

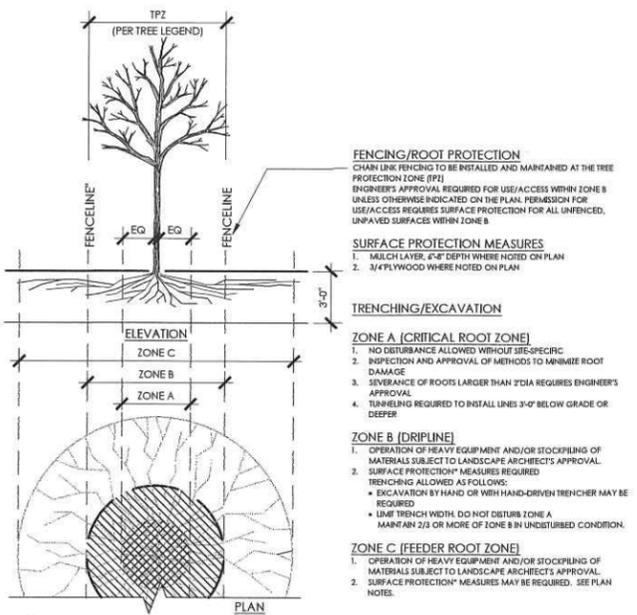
#	BOTANICAL	COMMON	TRUNK DIAMETER (IN)	CROWN RADIUS (FT)	HEIGHT (FT)	CONSTRUCTION TOLERANCE	TPZ RADIUS (FT)	CONDITION	NOTES
1	Pinus ponderosa	PONDEROSA PINE	8	45	35	N/A	N/A	4	REMOVE, IN BLDG ENVELOPE
2	Pseudotsuga menziesii	DOUGLAS FIR	26	16	50	MODERATE	312.0000	4	
3	Pseudotsuga menziesii	DOUGLAS FIR	22	6	50	MODERATE	264.0000	4	
4	Cedrus atlantica	ATLAS CEDAR	19	8	40	MODERATE	228.0000	2	TWIG + BRANCH DIEBACK
5	Metasequoia	DAWN REDWOOD	7	2	25	MODERATE	84.0000	1	DEAD; REMOVE
6	Cedrus atlantica	ATLAS CEDAR	16	12	40	MODERATE	192.0000	4	ADJ PROPERTY
7	Cedrus atlantica	ATLAS CEDAR	19	12	45	MODERATE	228.0000	4	ADJ PROPERTY
8	Cedrus atlantica	ATLAS CEDAR	16	14	45	MODERATE	192.0000	4	ADJ PROPERTY
9	Quercus kelloggii	CALIFORNIA BLACK OAK	19	9	40	MODERATE	228.0000	1	ADJ PROPERTY, MAJOR DEAD
10	Pseudotsuga menziesii	DOUGLAS FIR	13	13	45	MODERATE	156.0000	4	ADJ PROPERTY
11	Pinus ponderosa	PONDEROSA PINE	12	6	45	GOOD	108.0000	4	ADJ PROPERTY
12	Pinus ponderosa	PONDEROSA PINE	12	6	45	GOOD	108.0000	4	ADJ PROPERTY
13	Quercus kelloggii	CALIFORNIA BLACK OAK	15	12	40	MODERATE	180.0000	4	ADJ PROPERTY
14	Quercus garyana	WHITE OAK	9	9	30	GOOD	81.0000	3	ADJ PROPERTY
15	Quercus kelloggii	CALIFORNIA BLACK OAK	11	18	40	MODERATE	132.0000	4	ADJ PROPERTY

THE TREE PROTECTION ZONE FOR EACH TREE IS BASED ON THE GUIDELINES ESTABLISHED BY: Matheny, N. & Clark, J. 1998. *Trees and Development: A Technical Guide to Preservation of Trees During Land Development*. p. 72.



RELATIVE TREE CONDITION - FACTORS CONSIDERED

CONDITION RATING	OVERALL VIGOR	CANOPY DENSITY	AMOUNT OF DEADWOOD	HISTORY OF FAILURE	PESTS	EXTENT OF DECAY
1	SEVERE DECLINE	<20%	LARGE, MAJOR SCAFFOLD	MORE THAN ONE SCAFFOLD	INFESTED	MAJOR - CONKS/CAVITIES
2	DECLINING	20%-60%	TWIG AND BRANCH DIEBACK	SCAFFOLD BRANCHES	INFESTATION OF SIGNIFICANT PESTS	ONE TO A FEW CONKS; SMALL CAVITIES
3	LOW	60%-90%	SMALL TWIGS	SMALL BRANCHES	MINOR	PRESENT AT PRUNING WOUNDS
4	GOOD	90%-100%	LITTLE OR NONE	NONE	MINOR	PRESENT AT PRUNING WOUNDS
5	EXCELLENT	100%	NONE	NONE	NONE	NONE OR INSIGNIFICANT



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CUT/FILL ANALYSIS PLAN KEY			
SYMBOL	DESCRIPTION	TOTAL AREA (FT)	PERCENT
2001	EXISTING CONTOUR		
	PROPOSED CUT (FEET)	1,790	48.34%
	PROPOSED FILL (FEET)	60	1.62%
	UNDISTURBED (25% + 25% = 50% REQUIRED)	1,853	50.04%

CUT/FILL ANALYSIS	
MAXIMUM CUT OUTSIDE BUILDING FOOTPRINT	-10.0 FT
MAXIMUM FILL OUTSIDE BUILDING FOOTPRINT	+1.0 FT
ALL CUTS AND FILLS AS SHOWN ON PLAN ALL CUT MATERIAL TO BE STORED OFF-SITE AT APPROVED LOCATION	



VERITY CONSTRUCTION
1307 OREGON STREET
ASHLAND, OR, 97520

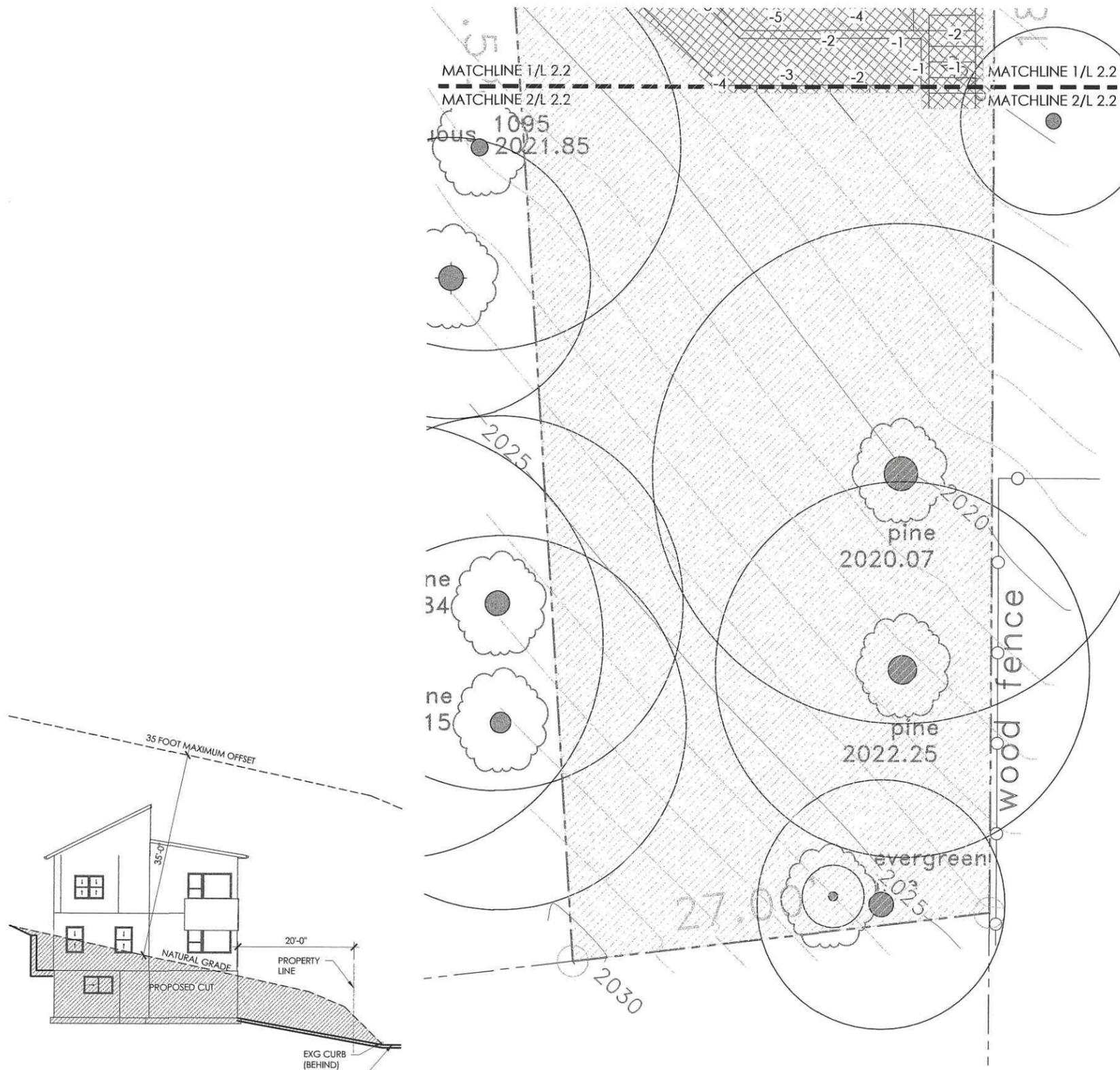
REVISIONS	
#	DATE DESCRIPTION

P&E PACKET

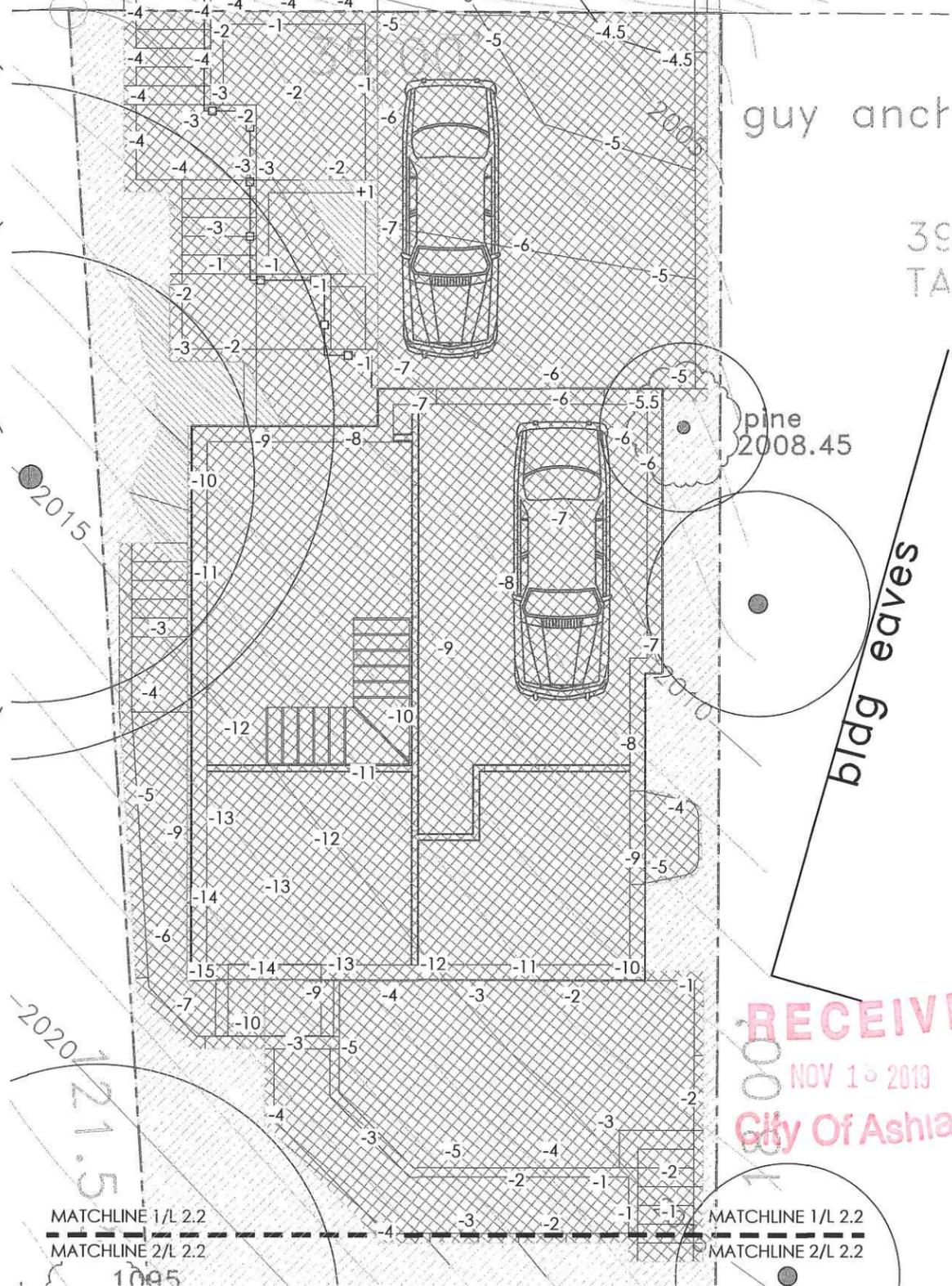
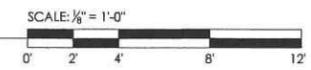
CUT/FILL ANALYSIS PLAN

L2.2

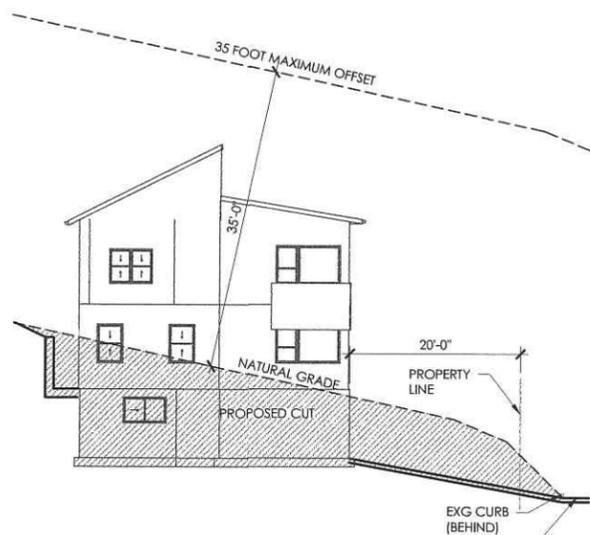
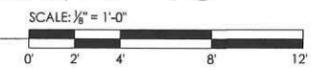
PROJECT NO. 1943
NOVEMBER 7, 2019
TEAM: SB



2 CUT/FILL ANALYSIS PLAN
Scale: 1/8" = 1'-0"



1 CUT/FILL ANALYSIS PLAN
Scale: 1/8" = 1'-0"



3 SECTION: NATURAL GRADE RELATIONSHIP
Scale: 3/32" = 1'-0"

OREGON STREET

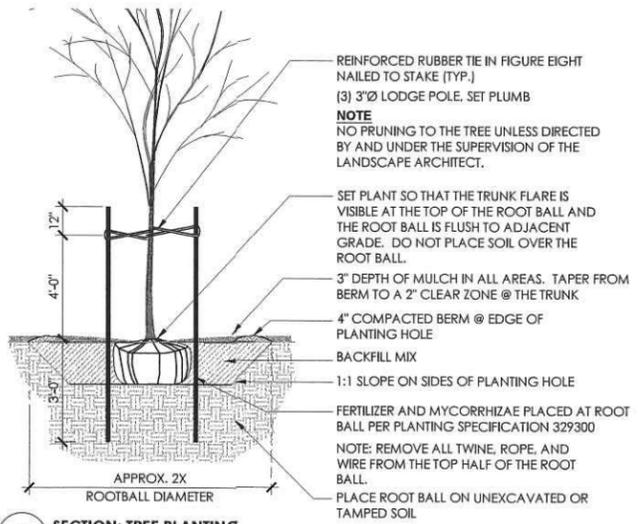
guy anch

39 TA

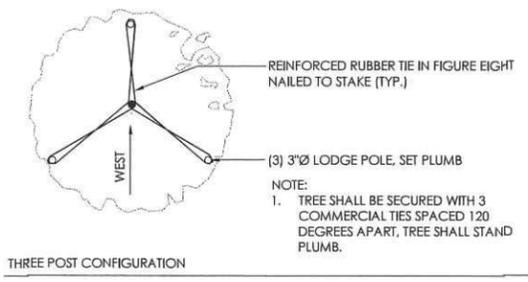
pine 2008.45

blg eaves

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1 SECTION: TREE PLANTING
 Scale: 1/2" = 1'-0"



PRELIMINARY PLANT LEGEND

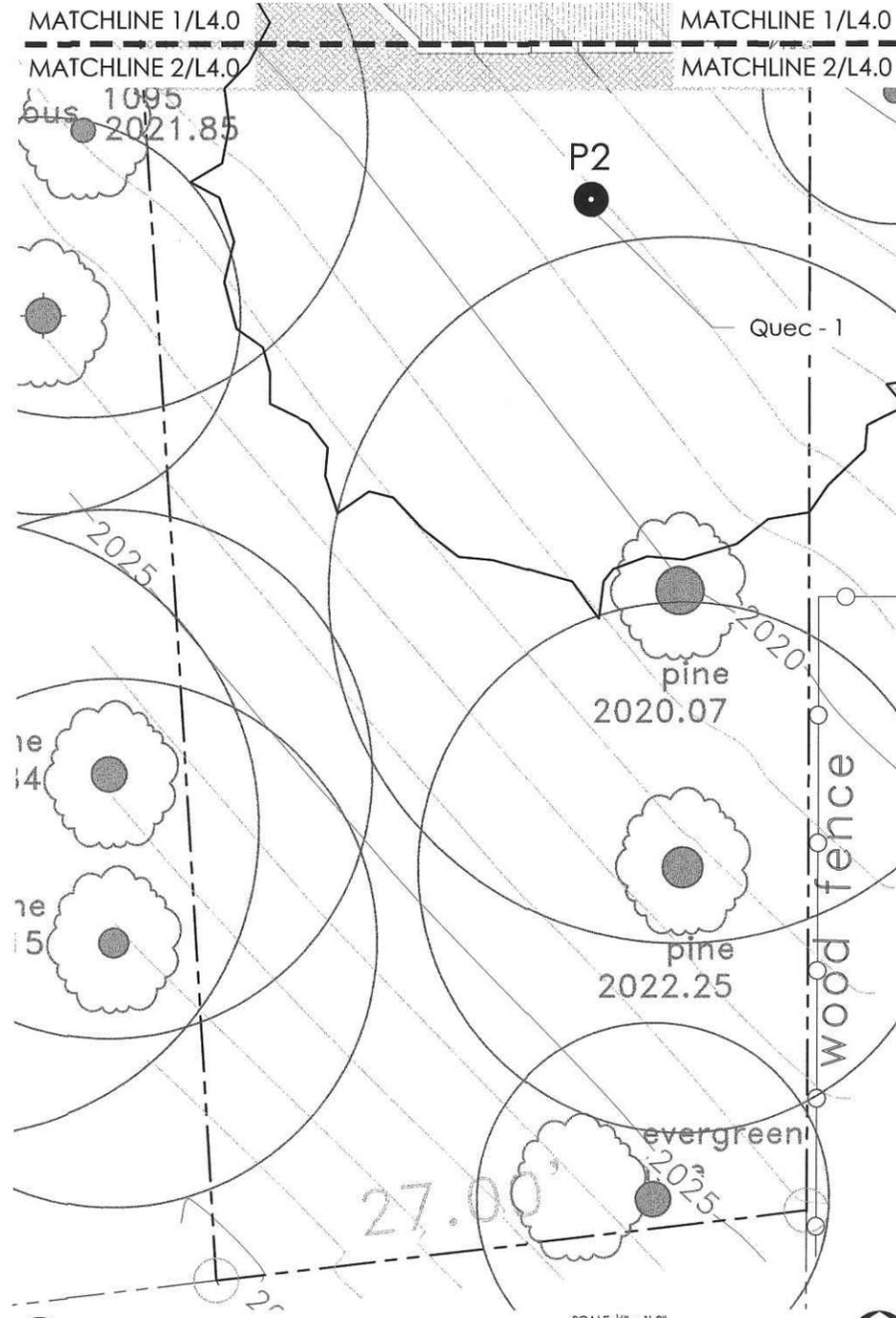
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
Acec	Acer circinatum	VINE MAPLE	1-3/4" cal
Quec	Quercus coccinea	SCARLET OAK	1-3/4" cal

SYMBOL DESCRIPTION

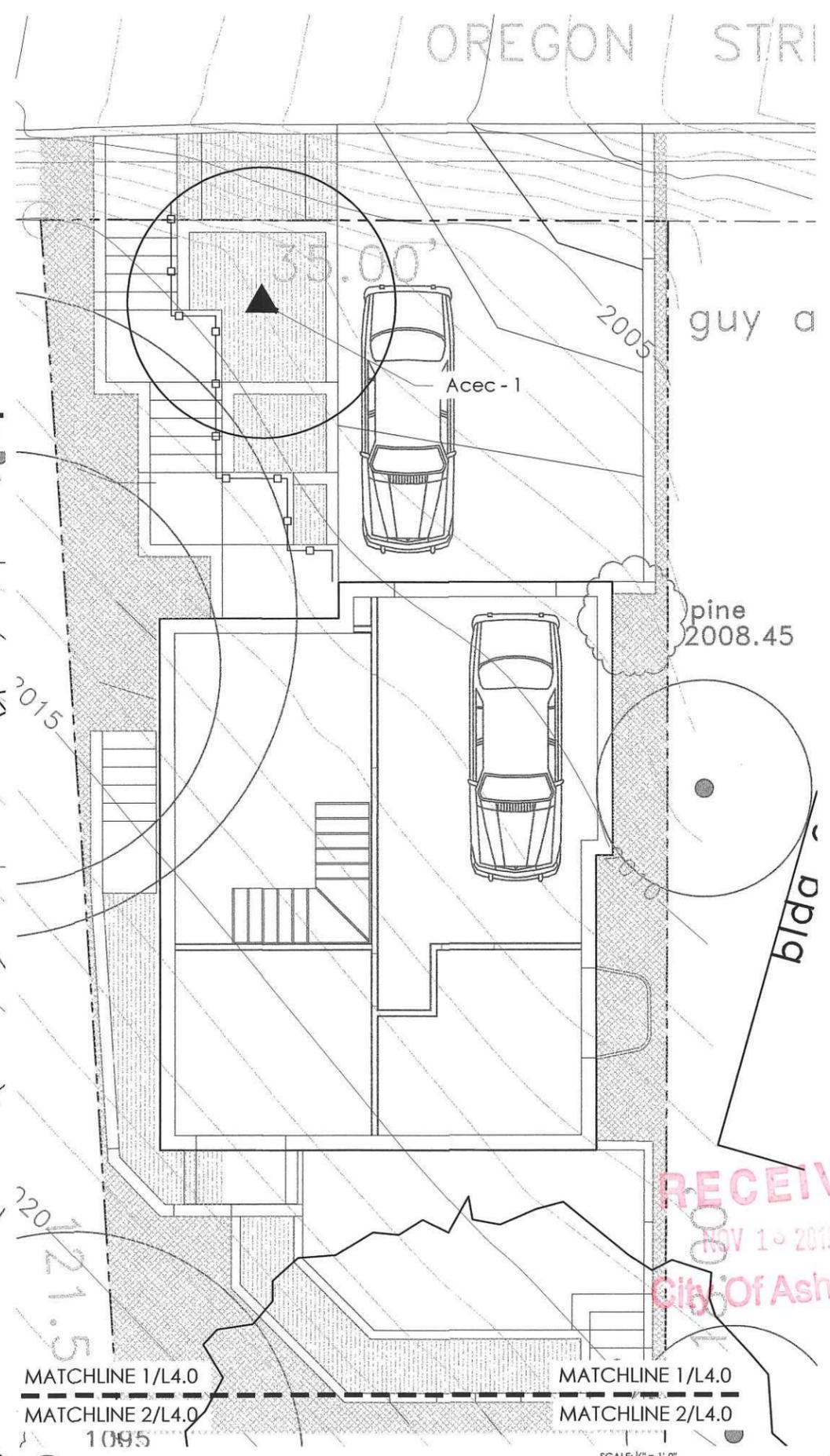
PERMANENT HYDROSEED AREAS STANDARD HYDROSEED MIX:
 Hard Fescue, Micro Clover, Tall Fescue, White Yarrow, tackifier, slow-release fertilizer, & mycorrhizal inoculant

ORNAMENTAL LANDSCAPE - FIREWISE PLANTS AS DEFINED BY CITY OF ASHLAND

- PRELIMINARY LANDSCAPE NOTES**
- All landscape planting areas shall receive clean, sandy loam topsoil to a minimum depth of 12" or as noted on the plan.
 - All planting areas shall receive 3" of unsettled organic mulch, except within 5'-0" of the proposed building, addition, or combustible manmade and natural materials.
 - All planting areas shall be served by a designated domestic water meter and a City of Ashland approved backflow prevention device.
 - The proposed irrigation system will consist of a fully automatic smart irrigation controller.
 - The proposed irrigation system will consist of low volume distribution.
 - All vegetation will be native or similar species, as per 18.3.10.090.B.4.d.
 - Maintenance of trees shall be the responsibility of the property owner. Any tree that dies within 5 years of the initial planting must be replaced within 30 days, after which a new 5 year replacement period shall begin.
 - All vegetation to be Firewise Plants as defined by the City of Ashland.



2 LANDSCAPE PLANTING PLAN
 Scale: 1/8" = 1'-0"



1 LANDSCAPE PLANTING PLAN
 Scale: 1/8" = 1'-0"



VERITY CONSTRUCTION
 1307 OREGON STREET
 ASHLAND, OR, 97520

REVISIONS

#	DATE	DESCRIPTION



P&E PACKET

PRELIMINARY PLANTING PLAN

L4.0

PROJECT NO. 1943
 NOVEMBER 7, 2019
 TEAM: SB

#	BOTANICAL	COMMON	NOTES
1	Pinus ponderosa	PONDEROSA PINE	REMOVE IN BLDG ENVELOPE - PROHIBITED FLAMMABLE PLANT
2	Pseudotsuga menziesii	DOUGLAS FIR	PROHIBITED FLAMMABLE PLANT
3	Pseudotsuga menziesii	DOUGLAS FIR	PROHIBITED FLAMMABLE PLANT
4	Cedrus atlantica	ATLAS CEDAR	TWIG + BRANCH DIEBACK - PROHIBITED FLAMMABLE PLANT
5	Metasequoia	DAWN REDWOOD	DEAD; REMOVE - PROHIBITED FLAMMABLE PLANT
6	Cedrus atlantica	ATLAS CEDAR	ADJ PROPERTY - PROHIBITED FLAMMABLE PLANT
7	Cedrus atlantica	ATLAS CEDAR	ADJ PROPERTY - PROHIBITED FLAMMABLE PLANT
8	Cedrus atlantica	ATLAS CEDAR	ADJ PROPERTY - PROHIBITED FLAMMABLE PLANT
9	Quercus kelloggii	CALIFORNIA BLACK OAK	ADJ PROPERTY, MAJOR DEAD
10	Pseudotsuga menziesii	DOUGLAS FIR	ADJ PROPERTY - PROHIBITED FLAMMABLE PLANT
11	Pinus ponderosa	PONDEROSA PINE	ADJ PROPERTY - PROHIBITED FLAMMABLE PLANT
12	Pinus ponderosa	PONDEROSA PINE	ADJ PROPERTY - PROHIBITED FLAMMABLE PLANT
13	Quercus kelloggii	CALIFORNIA BLACK OAK	ADJ PROPERTY
14	Quercus garryana	WHITE OAK	ADJ PROPERTY
15	Quercus kelloggii	CALIFORNIA BLACK OAK	ADJ PROPERTY

#	BOTANICAL	COMMON	NOTES
P1	Acer circinatum	VINE MAPLE	
P2	Quercus coccinea	SCARLET OAK	

SYMBOL DESCRIPTION

PERMANENT HYDROSEED AREAS STANDARD HYDROSEED MIX:
Hard Fescue, Micro Clover, Tall Fescue,
White Yarrow, tackifier, slow-release fertilizer, & mycorrhizal inoculant

ORNAMENTAL LANDSCAPE - FIREWISE PLANTS AS DEFINED BY CITY OF ASHLAND

EXISTING VEGETATION TO REMAIN

FIRE PREVENTION AND CONTROL LEGEND

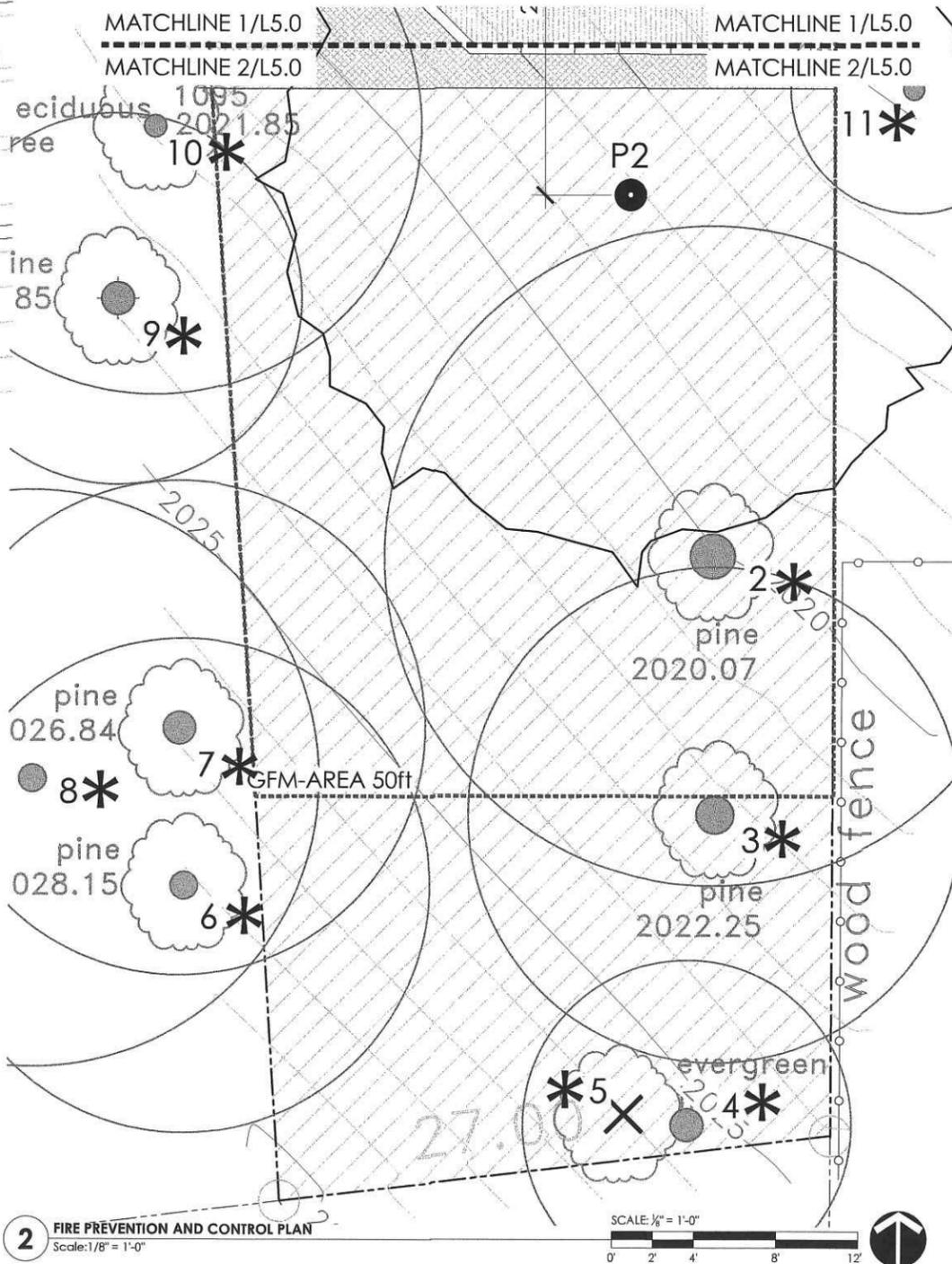
- SYMBOL DESCRIPTION
- GENERAL FUEL MODIFICATION AREA (GFM-AREA):
50ft = (30ft + 20ft)[AVERAGE SLOPE 25%]
 - 5 FOOT BUILDING OFFSET
 - PROHIBITED FLAMMABLE PLANT - SEE FIRE PREVENTION AND CONTROL NOTES
 - EXISTING TREE TO BE REMOVED

FIRE PREVENTION AND CONTROL NOTES

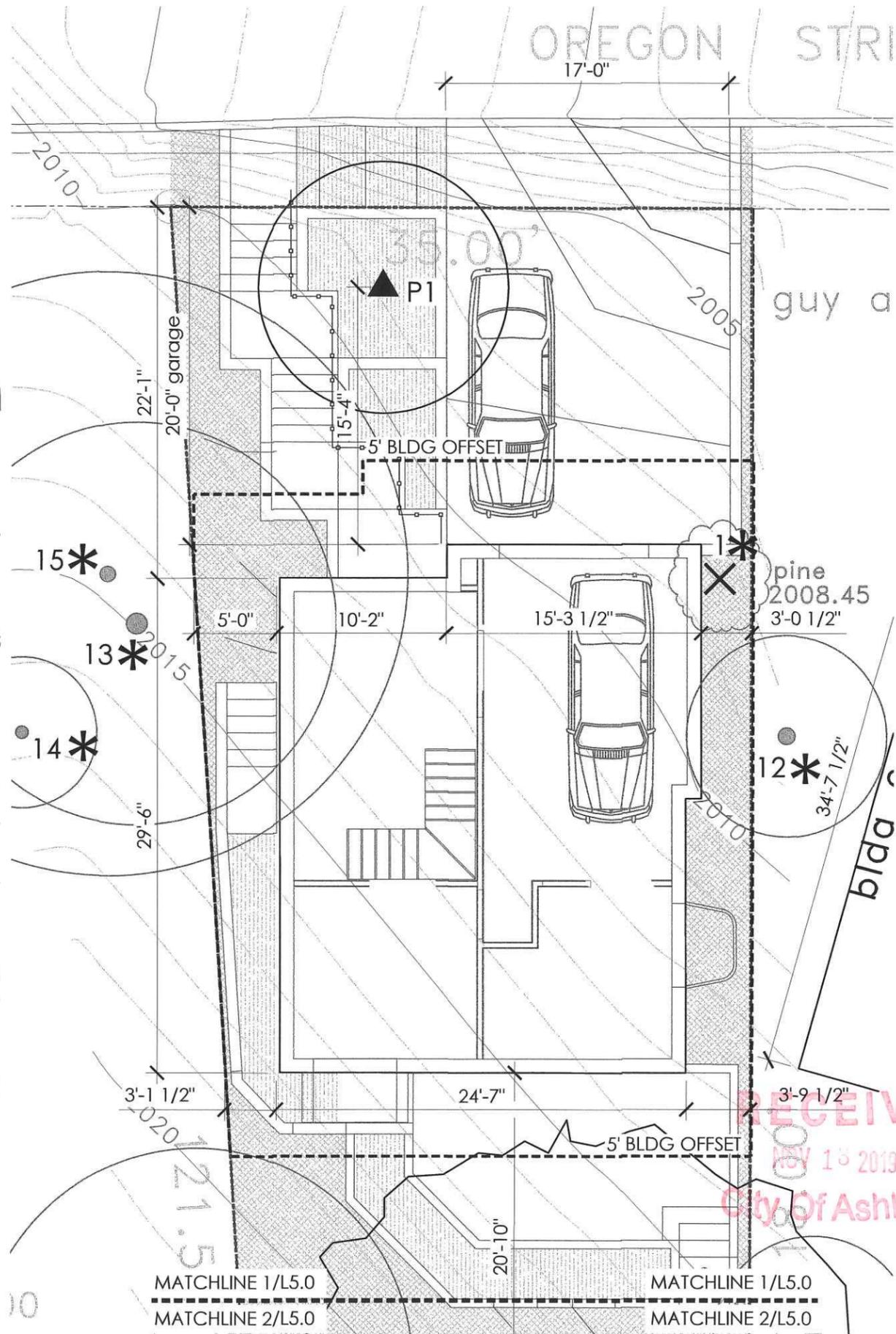
- ALL PROHIBITED FLAMMABLE TREES ARE TO BE PRUNED TO MAINTAIN A MIN 10'-0" CLEARANCE AT PROPOSED STRUCTURE, BOTH HORIZONTAL AND VERTICAL - ONLY ALTER LIMBS ABOVE OWNER'S PROPERTY UNLESS PROVIDED WRITTEN PERMISSION BY ADJACENT PROPERTY OWNER.
- EXISTING TREES WHICH ARE IDENTIFIED ON THE CITY'S PROHIBITED FLAMMABLE PLANT LIST SHALL BE PRUNED TO PROVIDE A GROUND CLEARANCE OF A MINIMUM EIGHT FEET ABOVE THE GROUND, OR ONE-THIRD OF THE TREE HEIGHT, WHICHEVER IS LESS.
- WITHIN FIVE FEET OF A NEW BUILDING, ADDITION, OR DECK, COMBUSTIBLE MANMADE AND NATURAL MATERIALS ARE PROHIBITED, INCLUDING BUT NOT LIMITED TO BARK MULCH, STORED WOOD, AND ACCUMULATION OF DRY LEAVES AND NEEDLES.
- WITHIN FIVE FEET OF A NEW BUILDING, ADDITION, OR DECK, EXISTING VEGETATION LISTED ON THE CITY'S PROHIBITED FLAMMABLE PLANT LIST SHALL BE REMOVED, WITH THE EXCEPTIONS OF SIGNIFICANT TREES.
- ALL STANDING DEAD AND DYING VEGETATION SHALL BE REMOVED FROM THE PROPERTY.
- CANOPY SPACING OF THE OUTERMOST LIMBS OF TREES ON THE CITY'S PROHIBITED FLAMMABLE PLANT LIST SHALL BE SEPARATED BY AT LEAST TEN FEET AT MATURE SIZE, UNLESS IN IMMEDIATE PROXIMITY TO EACH OTHER.
- ALL PROPOSED TREE LIMBS SHALL BE PRUNED TO ENSURE THEY DO NOT TOUCH ANY PART OF A STRUCTURE INCLUDING BUT NOT LIMITED TO ROOFS, EAVES, AND DECKS.
- THE VERTICAL CLEARANCE BETWEEN THE TOP OF UNDERSTORY VEGETATION WITHIN THE DRIP LINE OF A TREE AND THE LOWEST TREE LIMBS SHALL BE AT LEAST THREE TIMES THE HEIGHT OF VEGETATION WHERE EITHER THE TREE OR VEGETATION IS LISTED ON THE CITY'S PROHIBITED FLAMMABLE PLANT LIST.

FIRE PREVENTION AND CONTROL SCHEDULE

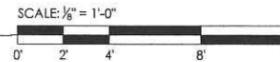
- ALL GENERAL FUEL MODIFICATION REQUIREMENTS ARE TO BE COMPLETED PRIOR TO COMBUSTIBLE MATERIALS BEING BROUGHT ONTO THE PROPERTY.
- NEW PLANTINGS TO BE INSTALLED AT APPROPRIATE TIMES DURING THE SPRING OR FALL TO MAXIMIZE PLANT ESTABLISHMENT.



2 FIRE PREVENTION AND CONTROL PLAN
Scale: 1/8" = 1'-0"



1 FIRE PREVENTION AND CONTROL PLAN
Scale: 1/8" = 1'-0"



VERITY CONSTRUCTION
1307 OREGON STREET
ASHLAND, OR, 97520

REVISIONS	#	DATE	DESCRIPTION

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MAY 13 2019
City of Ashland
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FIRE PREVENTION AND CONTROL PLAN
L5.0
PROJECT NO. 1943
NOVEMBER 7, 2019
TEAM: SB



Planning Division
51 Winburn Way, Ashland OR 97520
541-488-5305 Fax 541-488-6006

STREET TREE REMOVAL PERMIT

A tree that is located in any public street right-of-way or other public property may not be removed until a Street Tree Removal Permit has been submitted according to the Application Submission Requirements, below, and reviewed and approved by the City of Ashland.

An application for street tree removal must demonstrate that the tree is an emergency, hazard, or dead tree as outlined below in the Application Submission Requirements.

Application Submission Requirements. An application for a street tree removal permit shall include all of the following information.

- Application Form and Fee.** The application must include the information requested on the Street Tree Removal Permit form provided by the City of Ashland and the permit application fee. Only those property owners of a lot adjoining the street tree location or homeowners' associations responsible for street trees in their development or subdivision may apply to remove an adjoining street tree. If a tree is located in front of more than one property, each property owner or homeowners' association official must sign the Street Tree Removal Permit form.
- Site Plan.** A site plan of the property drawn to scale containing the following information. The scale of the site plan must be at least one inch equals 50 feet or larger.
 - North arrow and scale.
 - Property boundaries including dimensions of all lot lines and driveway locations.
 - Location and width of all public streets, planting strips, and sidewalks adjoining the site.
 - Size, species, and location of the tree(s) proposed to be removed.
- Written Statement.** A written statement explaining how the proposed street tree removal satisfies one of the following approval criteria. The Community Development director may require additional information to demonstrate that the proposed removal satisfies one of the following approval criteria including: 1) a written statement to be prepared by an arborist licensed by the State of Oregon Landscape Contractors Board of Construction Contractors Board and certified by the International Society of Arboriculture or American Society of Consulting Arborists; and 2) an International Society of Arboriculture (ISA) Basic Tree Risk Assessment Form to be completed by an arborist.

Street Tree Removal Approval Criteria

- Emergency Tree Removal.** The tree presents an immediate danger of collapse and represents a clear and present hazard to persons or property. Immediate danger of collapse is defined as a tree that may already be leaning, with the surrounding soil heaving, and/or there is a significant likelihood that the tree will topple or otherwise fall and cause damage before a tree removal permit could be obtained through the non-emergency process.
- Hazard Tree Removal.** The tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. A hazard tree is a tree that is physically damaged to the degree that it is clear the tree is likely to fall and injure persons or property. A hazard tree may also include a tree that is located within a public right-of-way and is causing damage to existing public or private facilities or services and such facilities or services cannot be relocated.
- Dead Tree.** The tree is dead. A dead tree is lifeless. Such evidence of lifelessness may include unseasonable lack of foliage, brittle dry branches, or lack of any growth during the growing season.

Replacement and Stump Removal. Applicants for approved Street Tree Removal Permits are required to remove any stumps and replace the tree. Stump removal and replacements for approved street tree removals shall meet the following requirements.

- Any street tree removed shall be removed at ground level or lower. If a tree is removed below ground level, the surface must be restored to finish grade and any regrowth which occurs shall be promptly removed.
- All street trees shall be an appropriate species selected from and planted according to the City of Ashland Recommended Street Tree List.
- The minimum size for a replacement tree is eight feet in height or one inch in caliper measured at 12 inches above the root crown.
- Applicants for a Street Tree Removal Permit may be required to replace the tree or trees being removed with a tree or trees of comparable value.
- If a street tree is determined to be dead or dying, then the replacement need be no larger than the minimize size described above.

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JAN 15 2020
City of Ashland

Type of Tree(s) Green Mountain Sugar Maple (Acer saccharum 'Green Mountain')
 Approximate Diameter at breast height 16.5" Height 35' Canopy 40'
 Location of Tree Front of Lithia Park on parkrow along Winburn way, across from Gateway Real Estate.
 Reason for Request Tree has been declining for several years. Last year the top third of the canopy died and was removed.
 Are there underground utility lines and/or overhead power lines present? Possibly underground.
 If yes, please list which lines are present Will request locates before removing stump.
 Is there sidewalk damage? NO If yes, has a Public Works permit been issued? _____

OVER ►►

DESCRIPTION OF PROPERTY

Street Address Lithia Park, jct. of Winburn Way and N. Main St.

Assessor's Map No. 39 1E _____ Tax Lot(s) _____

Zoning _____ Comp Plan Designation _____

PROPERTY OWNER

Name Ashland Parks & Rec. Comm. Phone 541-488-5340 E-Mail _____

Address 340 S. Pioneer St. City Ashland Zip 97520

Name _____ Phone _____ E-Mail _____

Address _____ City _____ Zip _____

PROFESSIONAL PERFORMING THE TREE REMOVAL (e.g., tree service)

Name Ashland Parks & Rec. Phone _____ E-Mail _____

Address _____ City _____ Zip _____

ARBORIST, LANDSCAPE ARCHITECT, OTHER

Title Arborist Name Peter Baughman Phone 541-840-6473 E-Mail peter.baughman@ashland.or.us

Address 340 S. Pioneer St. City Ashland Zip 97520

Title _____ Name _____ Phone _____ E-Mail _____

Address _____ City _____ Zip _____

As owner of the property involved in this request, I have read and understood the complete application and its consequences to me as a property owner. I hereby certify that the statements and information contained in this application are in all respects, true and correct. I further understand that if this request is subsequently contested, the burden will be on me to establish:

- 1) that I produced sufficient factual evidence to support this request;
- 2) that the information contained in this application are adequate; and further
- 3) that all trees, structures, or improvements are properly located on the ground.

Peter L. Baughman (APRC)
Property Owner's Signature (required)

1-15-20
Date

STAFF DECISION:

Permit is hereby (circle one): Approved Approved with Conditions Denied

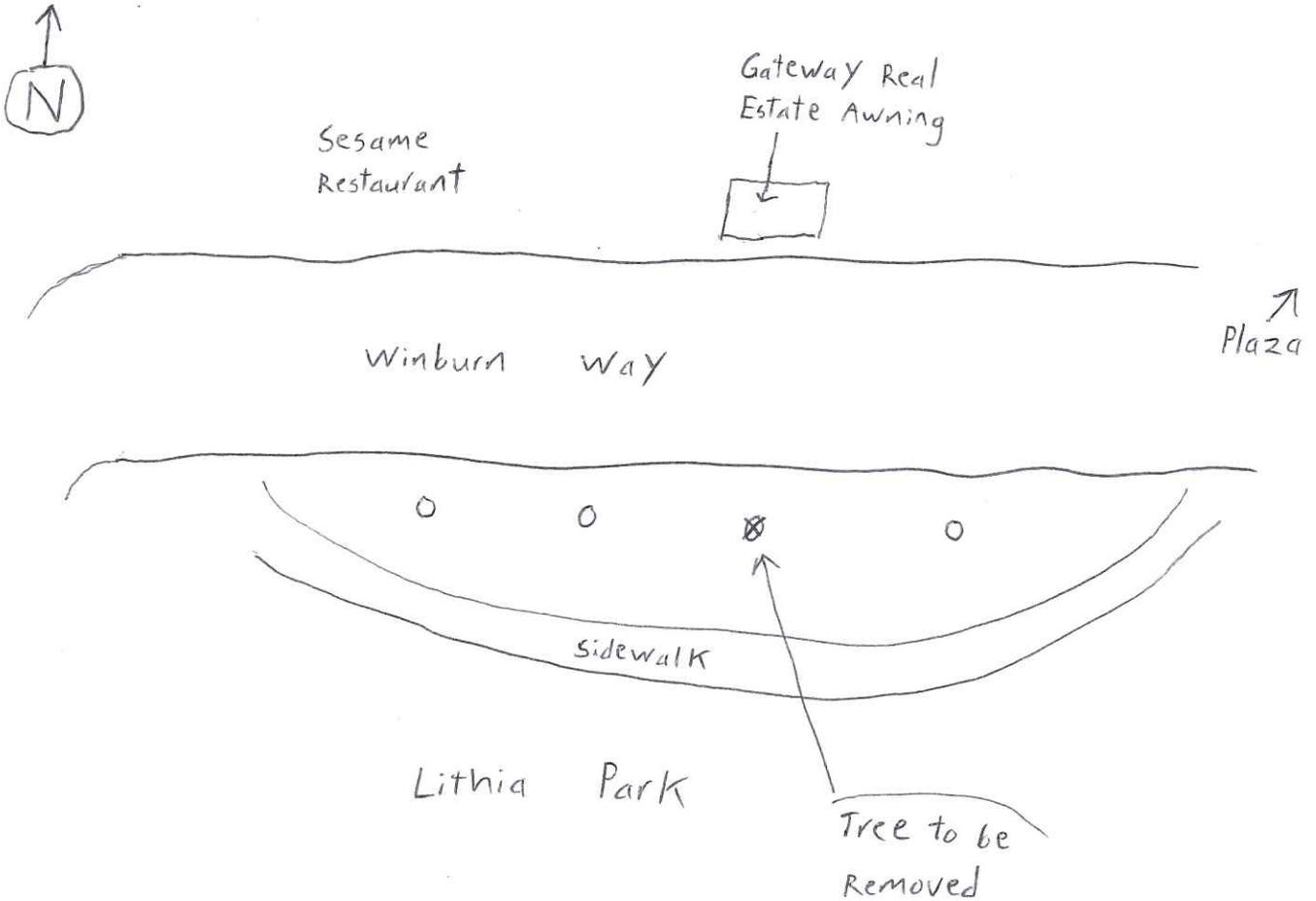
Conditions of Approval _____

Is the tree 18" d.b.h or greater? NO YES Has the City Administrator has been notified: NO YES

Community Development Director/Planning Manager Signature Date

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JAN 15 2020
City Of Ashland

SITE PLAN



When counting from west to east, the tree proposed for removal is the third of four trees in the planting bed at the front of Lithia Park along Winburn Way, across from the Gateway Real Estate awning.

RECEIVED
JAN 15 2020
City Of Ashland

Aaron Anderson

From: Peter Baughman
Sent: Wednesday, January 15, 2020 12:05 PM
To: Aaron Anderson
Subject: Fw: Street Tree Removal Request for Front of Lithia Park
Attachments: IMG_0382.JPG

Hello Aaron,

I am writing to you in support of a Street Tree Removal Permit which I will be submitting to your office in hard copy later today. Ashland Parks and Rec. would like to remove a Green Mountain Sugar Maple (*Acer saccharum* 'Green Mountain') that is in the planting strip along Winburn Way at the front of Lithia Park. The tree is the third of four trees in the planting strip, when counting from west to east, and directly across from the Gateway Real Estate awning.

The reason we want to remove the tree is because it has been in decline for several years and is not showing any signs of recovery. Last year we removed the top third of the canopy, which was dead. Attached is a photograph of the tree taken today.

We plan to grind the stump and replace it with another Green Mountain Sugar Maple. The replacement tree will be of large caliper (at least 3").

Thank you for your help.

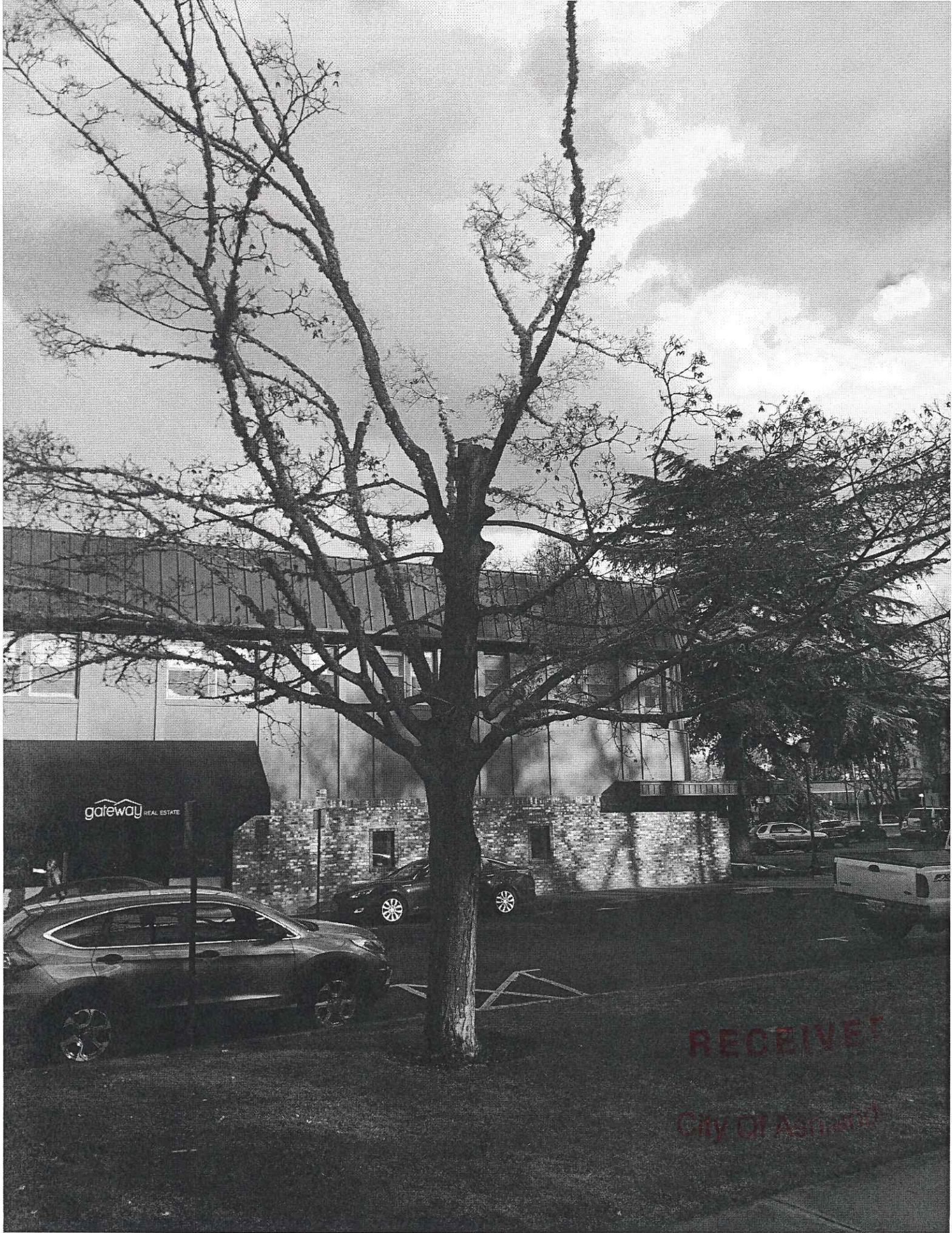
Pete Baughman
Park Tech III/Arborist
Ashland Parks & Recreation Commission
340 S. Pioneer Street
Ashland, OR 97520
Main: (541) 488-5340
Lithia Park Shop: (541) 488-6093

This email transmission is official business of the City of Ashland, and is subject to Oregon public records law for disclosure and retention. If you have received this email in error, please contact me at (541) 488-5340. Thank you.

From: Peter Baughman <peter.baughman@ashland.or.us>
Sent: Wednesday, January 15, 2020 10:28 AM
To: Peter Baughman <peter.baughman@ashland.or.us>
Subject:

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JAN 15 2020
City Of Ashland



gateway REAL ESTATE

RECEIVED

City of Ashland



Planning Division
51 Winburn Way, Ashland OR 97520
541-488-5305 Fax 541-488-6006

STREET TREE REMOVAL PERMIT

A tree that is located in any public street right-of-way or other public property may not be removed until a Street Tree Removal Permit has been submitted according to the Application Submission Requirements, below, and reviewed and approved by the City of Ashland.

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2. **Site Plan.** A site plan of the property drawn to scale containing the following information. The scale of the site plan must be at least one inch equals 50 feet or larger.
 - a. North arrow and scale.
 - b. Property boundaries including dimensions of all lot lines and driveway locations.
 - c. Location and width of all public streets, planting strips, and sidewalks adjoining the site.
 - d. Size, species, and location of the tree(s) proposed to be removed.
3. **Written Statement.** A written statement explaining how the proposed street tree removal satisfies one of the following approval criteria. The Community Development director may require additional information to demonstrate that the proposed removal satisfies one of the following approval criteria including: 1) a written statement to be prepared by an arborist licensed by the State of Oregon Landscape Contractors Board of Construction Contractors Board and certified by the International Society of Arboriculture or American Society of Consulting Arborists; and 2) an International Society of Arboriculture (ISA) Basic Tree Risk Assessment Form to be completed by an arborist.

Street Tree Removal Approval Criteria

- a) **Emergency Tree Removal.** The tree presents an immediate danger of collapse and represents a clear and present hazard to persons or property. Immediate danger of collapse is defined as a tree that may already be leaning, with the surrounding soil heaving, and/or there is a significant likelihood that the tree will topple or otherwise fail and cause damage before a tree removal permit could be obtained through the non-emergency process.
- b) **Hazard Tree Removal.** The tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. A hazard tree is a tree that is physically damaged to the degree that it is clear the tree is likely to fall and injure persons or property. A hazard tree may also include a tree that is located within a public right-of-way and is causing damage to existing public or private facilities or services and such facilities or services cannot be relocated.
- c) **Dead Tree.** The tree is dead. A dead tree is lifeless. Such evidence of lifelessness may include unseasonable lack of foliage, brittle dry branches, or lack of any growth during the growing season.

Replacement and Stump Removal. Applicants for approved Street Tree Removal Permits are required to remove any stumps and replace the tree. Stump removal and replacements for approved street tree removals shall meet the following requirements.

1. Any street tree removed shall be removed at ground level or lower. If a tree is removed below ground level, the surface must be restored to finish grade and any regrowth which occurs shall be promptly removed.
2. All street trees shall be an appropriate species selected from and planted according to the City of Ashland Recommended Street Tree List.
3. The minimum size for a replacement tree is eight feet in height or one inch in caliper measured at 12 inches above the root crown.
4. Applicants for a Street Tree Removal Permit may be required to replace the tree or trees being removed with a tree or trees of comparable value.
5. If a street tree is determined to be dead or dying, then the replacement need be no larger than the minimize size described above.

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Type of Tree(s) PRUNUS CERASIFERA (1)

Approximate Diameter at breast height 8" Height 20' Canopy 20' DIAMETER

Location of Tree 802 MOUNTAIN MEADOWS DRIVE (PARKWAY)

Reason for Request TREES ARE LEANING AND CAN BE MOVED IN THE GROUND BY HAND. HEAVY FRUIT PRODUCTION IS CAUSING SLIPPING HAZARDS. TREES ARE PROHIBITED ON ASHLAND'S TREE LIST PAGE 71.

Are there underground utility lines and/or overhead power lines present? NO

If yes, please list which lines are present _____

Is there sidewalk damage? NO If yes, has a Public Works permit been issued? _____

OVER ►►

DESCRIPTION OF PROPERTY

Street Address SEE ATTACHED MAP
Assessor's Map No. 39 1E _____ Tax Lot(s) _____
Zoning _____ Comp Plan Designation _____

PROPERTY OWNER

Name MOUNTAIN MEADOWS OWNERS ASSOC Phone 541 482 1806 E-Mail Kmiramontez@rcmanagementllc.com
Address 855 MOUNTAIN MEADOWS DRIVE City ASHLAND Zip 97520
Name _____ Phone _____ E-Mail _____
Address _____ City _____ Zip _____

PROFESSIONAL PERFORMING THE TREE REMOVAL (e.g., tree service)

Name SO TREE Phone 541 772 0404 E-Mail info@so-tree-care.com
Address PO BOX 5140 City CENTRAL POINT Zip 97502

ARBORIST, LANDSCAPE ARCHITECT, OTHER

Title OWNER Name WILLIE GINNG Phone 541.772.0404 E-Mail info@so-tree-care.com
Address PO BOX 5140 City CENTRAL POINT Zip 97502
Title _____ Name _____ Phone _____ E-Mail _____
Address _____ City _____ Zip _____

As owner of the property involved in this request, I have read and understood the complete application and its consequences to me as a property owner. I hereby certify that the statements and information contained in this application are in all respects, true and correct. I further understand that if this request is subsequently contested, the burden will be on me to establish:

- 1) that I produced sufficient factual evidence to support this request;
- 2) that the information contained in this application are adequate; and further
- 3) that all trees, structures, or improvements are properly located on the ground.

C/O MT MEADOWS OWNERS ASSOC [Signature] 01.22.20
Property Owner's Signature (required) _____ Date _____

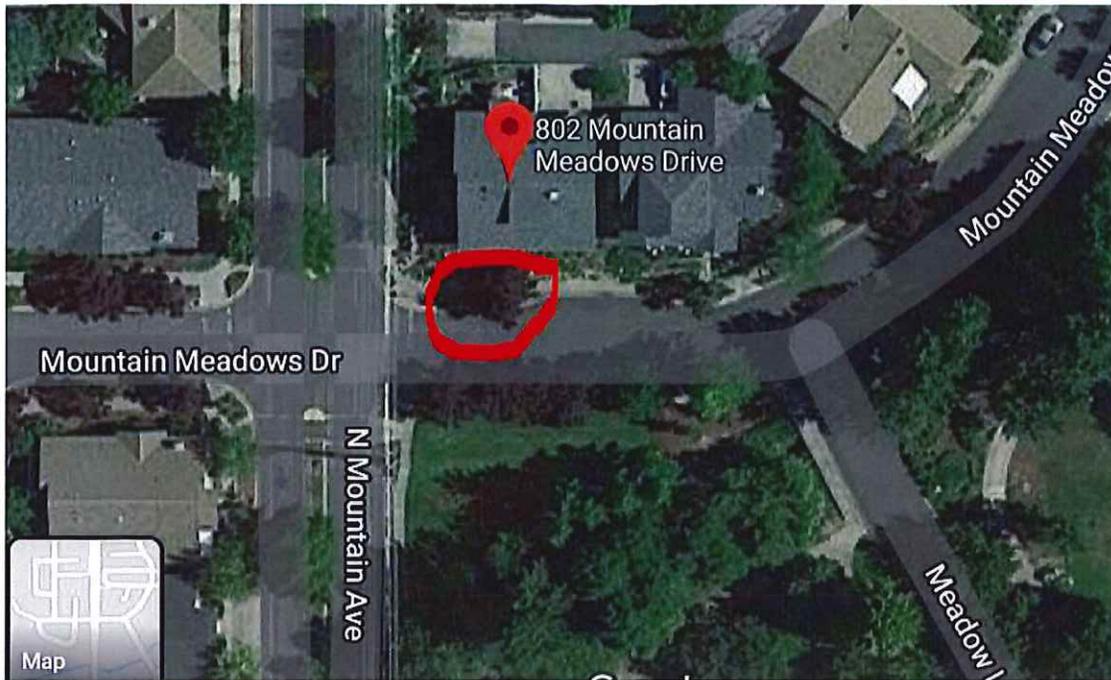
STAFF DECISION:

Permit is hereby (circle one): Approved Approved with Conditions Denied
Conditions of Approval _____

Is the tree 18" d.b.h or greater? NO YES Has the City Administrator has been notified: NO YES

Community Development Director/Planning Manager Signature _____ Date _____

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