



CITY OF ASHLAND



TREE COMMISSION AGENDA September 6, 2018

I. CALL TO ORDER

6:00 p.m. in the Siskiyou Room of the Community Development and Engineering Services Building located at 51 Winburn Way.

II. APPROVAL OF MINUTES

Approval of August 9, 2018 meeting minutes.

III. ANNOUNCEMENTS & LIAISON REPORTS

- Council Liaison
- Parks & Recreation Liaison
- Community Development Liaison

IV. PUBLIC FORUM

V. TYPE I REVIEWS

PLANNING ACTION: PA-TREE-2018-00023

SUBJECT PROPERTY: 154 B Street

APPLICANT/OWNER: Ashland Property Management/Jayne Dutra & Gordon Huff

DESCRIPTION: A request for a Tree Removal Permit to remove two trees from the property located at 154 B Street. Both trees are Box Elders (*acer negundo*) and are 23- to 24-inches diameter at breast height (dbh) and 45- to 50-feet tall. The application materials provided by the project arborist indicate that one tree is mostly dead with root rot and conks growing on its trunk, and the second tree is showing signs of decline and believed to have root rot as well. The application also notes that if one tree loses limbs, it would impact the power lines serving the home.

COMPREHENSIVE PLAN DESIGNATION: Low Density Multi-Family Residential;

ZONING: R-2; **ASSESSOR'S MAP:** 39 1E 09BA; **TAX LOT:** 12300

PLANNING ACTION: PA-T1-2018-00021

SUBJECT PROPERTY: 898 Morton St

APPLICANT: Kerry Kencairn

OWNER: Ryan Schnobrich

DESCRIPTION: A request for a Tree Removal Permit to remove two trees from the property located at 898 Morton Street. Both trees are Ponderosa pines between approximately 14 and 17 inches diameter at breast height (dbh) and over 40 feet tall. The property is steeply sloped and located in the Hillside Lands overlay. The trees were slated to be retained in the original subdivision approval. The application materials provided include a statement from the Fire Adapted Communities Coordinator recommending the removal of the trees because of their proximity to the existing house and deck.

COMPREHENSIVE PLAN DESIGNATION: Rural Residential; **ZONING:** RR-.5;

ASSESSOR'S MAP: 39 1E 16AC; **TAX LOT:** 421

VI. TYPE II REVIEWS

PLANNING ACTION: PA-T2-2018-00002

SUBJECT PROPERTY: 880 Park Street

APPLICANT/OWNER: Tudor Properties, LLC/Kistler Small + White, LLC (Architects)

DESCRIPTION: A request for Site Design Review approval to construct a 15-unit apartment complex consisting of six apartment buildings, a separate 221 square foot laundry facility and a 30-space parking lot for the property at 880 Park Street. The application includes requests for Exception to the Street Standards to retain the existing asphalt multi-use path along Siskiyou Boulevard and to construct a meandering sidewalk along the subject properties Park Street frontage rather than installing new city standard sidewalks and parkrow planting strips, and for a Tree Removal Permit to remove five trees greater than six-inches in diameter at breast height (d.b.h.), including two Green Ash (*Fraxinus pennsylvanica*), one Modesto Ash (*Fraxinus velutina*), and two Redwoods (*Sequoia sempervirens*) including a multi-trunked cluster with five trunks of diameters ranging from eight- to 14-inches d.b.h. Note:

An existing approximately 895 square foot shop building on the southeastern portion of the property would be demolished as part of the proposal.

COMPREHENSIVE PLAN DESIGNATION: High Density Multi-Family Residential; **ZONING:** R-3;
ASSESSOR'S MAP: 39 1E 15AD; **TAX LOT:** 3402

VII. STREET TREE REMOVAL PERMITS

None

VIII. DISCUSSION

1. Tree of the Year

IX. ADJOURNMENT

Next Meeting: October 4, 2018



CITY OF ASHLAND



TREE COMMISSION MINUTES DRAFT August 9, 2018

Commissioners Present:	Parks Liaison
Christopher John	Peter Baughman
Russell Neff	Steven Jensen - Absent
Asa Cates – Absent	Staff Present:
	Nathan Emerson

CALL TO ORDER

Chair Christopher John called the meeting to order at 6:03 p.m. in the Siskiyou Room of the Community Development and Engineering Services Building located at 51 Winburn Way.

APPROVAL OF MINUTES

Neff/John m/s to approve the minutes of July 12, 2018. Voice vote. ALL AYES. Motion passed

ANNOUNCEMENTS & LIAISON REPORTS

- **Council Liaison – Steven Jensen**
Councilor Jensen was unable to attend.
- **Parks & Recreation Liaison**
Baughman shared that over a million dollars has been donated to upgrade the Japanese Garden in Lithia Park. The garden will be receiving a significant overhaul, including trees but no specific plans as of yet.
- **Community Development Liaison**
Emerson shared that newly appointed City Councilor, Jensen was unable to attend the meeting and stressed that it was due to the hazardous levels of smoke in the valley.

PUBLIC FORUM

There was no one in the audience wishing to speak.

PLANNING ACTION: PA-TREE-2018-00014

SUBJECT PROPERTY: 1730 Greenmeadows Way

APPLICANT/OWNER: Mountain RCH Property Owner's Association

DESCRIPTION: A request for a hazard tree removal of two trees in the Mountain Ranch common area (addressed as 1730 Greenmeadows Way). The trees, both weeping willows, have a history of limb failure and recently caused damage to an adjacent property. The applicant submitted photos and an arborist report recommending removal and replacement of the trees. *The applicant submitted new material, extended this planning action, and it will be reheard by the Tree Commission.* **COMPREHENSIVE PLAN DESIGNATION:** Single-Family Residential; **ZONING:** R-1-7.5; **ASSESSOR'S MAP:** 39 1E 23BB; **TAX LOT:** 1300

Emerson gave the staff report and commented that the applicant has continued their action and returned with an additional arborist report.

Douglas Kay, HOA President, residing at 2350 Ranch Rd and Bill Stephens, member of HOA board, residing at 1400 Green Meadows Way spoke on behalf of the application. They explained their concerns, how they got to the current application, and that they brought an additional arborist report. They reported that multiple times, large limbs, of up to 12-14 inches in diameter, have fallen, including a time when a large limb damaged a fence and came within 8 feet of a home. Mr. Kay and Mr. Stephens expressed their desire to replace the trees with more appropriate specimens and believe the HOA will be liable if these trees cause damage to people or property. Mr. Stephens explained that he has a tree of the same type in his yard and it has significant limb failure despite maintenance. He went on to say that children play near the trees in question and other visitors who don't live in the neighborhood frequent this common area.

Oxendine initiated a discussion with the applicants about turning the trees into habitat trees. The Commission also discussed potential mitigation options and the impact of the federal Migratory Bird act on the timing of tree removals.

Oxendine/John m/s to **approve** PA-TREE-2018-00014 with the recommendation that the removal of the two trees be done with a 1:1 mitigation of species that will do well in the area and reach a similar mature size. The Commission also recommended that the applicant consider alternatives such as habitat trees and that removal is done after the nesting season for migratory birds has passed. Voice vote. ALL AYES. Motion passed.

PLANNING ACTION: TREE-2018-00020

SUBJECT PROPERTY: 621 Elkader St

APPLICANT: Rogue Planning & Development

OWNER: Livni Trust

DESCRIPTION: A request for a Street Tree Removal Permit to remove two non-hazardous trees blocking a private driveway that was approved in previous planning actions.

COMPREHENSIVE PLAN DESIGNATION: Single Family Residential;

ZONING: R-1-7.5

Emerson provided a short staff report along with an explanation that street tree permits do not have any criteria in Ashland Municipal Code but that city staff created a permit with some guidelines. Senior Planner Derek Severson provided additional material with background on related approvals and went on to say that the trees in question are in the public right of way and thus subject to a street tree removal permit.

The background on this project is substantial and has been subject to 11 separate Planning Actions. The lots have been approved with access taken from the proposed driveway in the current configuration. The minimization of curb cuts and additional tree removals led to the driveway setup.

John, after a short discussion with his fellow Commissioners, decided that he did not have a conflict of interest on this action and did not recuse himself. He stated that he has no work currently related to the property or applicant.

Gil Livni, the property owner, spoke on behalf of the application. There was a discussion between the Commission and Mr. Livni about the health of the trees on the property, the history of neighboring trees, and the need to water the remaining trees on the lots.

John/Oxendine m/s to **approve** TREE-2018-00020 with the recommendation that the remaining trees be watered extensively. Voice vote. ALL AYES. Motion passed.

PLANNING ACTION: TREE-2018-00022

SUBJECT PROPERTY: 793 & 802 N. Mountain Ave/802 Mountain Meadows Dr.

APPLICANT/OWNER: Mountain Meadows HOA

DESCRIPTION: A request for a Street Tree Removal Permit to remove eight *Prunus Cerasifera* (Cherry Plums) adjacent to the corner of N Mountain Ave and Mountain Meadows Drive. The trees are all approximately eight inches diameter at breast height and approximately 20 feet tall. The application asserts the trees have begun to lean and that heavy fruit production creates a slipping hazard. *This is a resubmittal of a previous application.*

COMPREHENSIVE PLAN DESIGNATION: Single-Family Residential and Healthcare Services;
ZONING: NM-R-1.5 & HC

Emerson provided a short staff report. He impressed upon the fact that a very similar request was approved on Plum Ridge in 2017.

There were no applicants present.

The Commissioners had a short discussion about why the previous application was denied. It was briefly outlined that this application did include a plan for mitigation, unlike the previous permit.

Oxendine pointed out that *Prunus Cerasifera* is not actually on the prohibited tree list, but instead on the recommended list as the flower plum.

The Commissioners discussed the problem of the excess fruit dropping on the ground and creating a slip hazard for the elderly and disabled.

Oxendine/John m/s to **approve** TREE-2018-00022 with the recommendation that the trees be replaced with Persian Perrotias or tree form Crepe Myrtles of at least 2 ½ to 3 inch caliper. Voice vote. ALL AYES. Motion passed.

PLANNING ACTION: PA-T1-2018-00018

SUBJECT PROPERTY: 365 Strawberry Lane

APPLICANT/OWNER: Regenesys/William Potts and Sarah Esterling

DESCRIPTION: A request for a Physical and Environmental Constraints Permit to implement erosion control methods, earth moving, and site drainage improvements around the residence at 365 Strawberry. **COMPREHENSIVE PLAN DESIGNATION:** Low Density Residential; **ZONING:** RR-0.5; **ASSESSOR'S MAP:** 39 1E 08AC; **TAX LOT:** 602

Emerson gave the staff report and went on to say that three of the trees are less than six inches DBH and could be removed without a permit and were not required to be addressed at all.

There was no applicant present.

The Commission had a short discussion about the plans, identifying the trees in question, and the quantity of soil that would be moved.

John/Oxendine m/s to **approve** PA-T1-2018-00018 as presented. Voice vote. ALL AYES. Motion passed.

DISCUSSION

Ashland Municipal Code clarification of vertical clearance requirements over public right of way.

Emerson gave a short report explaining that the City is interested in reconciling existing code requirements for vertical clearance in the public right of way.

John noted that his company is typically already pruning trees to this height.

Oxendine remarked that he observes frequent broken limbs along Wightman Street adjacent to campus where there is established tree canopy and heavier truck traffic.

The Commissioners as a whole, believed that the new code change would generate a substantial amount of new street closure requests. The permits, while simple, were seen as costly and they thought it might be appropriate to reduce the price or waive the fee of the permits.

The Commission was generally supportive of the proposed changes and hoped that some flexibility could be exercised not to prune young trees aggressively.

Commission Recommendations:

- Use the 14-foot standard while the trees are establishing themselves so they don't develop an imbalanced or one-sided growth habit.
- Don't prune as tightly near the curb, over on-street parking and focus more on facilitating the flow of traffic in the travel lanes.

ADJOURNMENT

The meeting was adjourned at 7:11p.m. Emerson noted that the next regular meeting would be held on Thursday, September 6, 2018 at 6:00 pm in the Siskiyou Room of the Community Development and Engineering Services Building located at 51 Winburn Way.

*Respectfully submitted by,
Regan Trapp*



RECEIVED

AUG 03 2018

City of Ashland

154 B. St.



Trees to be removed.

RECEIVED

AUG 03 2018

City of Ashland

Account Sequence	Map TL Sequence	Assessment Year <input type="text" value="2017"/>	<input type="button" value="Print Window"/>	<input type="button" value="Close Window"/>
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Assessment Info for Account 1-006551-6 Map 391E09BA Taxlot 12300
Report For Assessment Purposes Only Created July 17, 2018

Account Info		Tax Year 2017 Info			Land Info	
Account	1-006551-6	<input type="button" value="Pay Taxes Online"/>			Tax Code	5-01
Map Taxlot	391E09BA 12300	Tax Report			Acreage	0.27
Owner	HUFF JAYNE DUTRA	Tax Statement			Zoning	
	HUFF GORDON C	Cor Tax Statement			Land Class	
Situs Address		Tax History			HS 0.27 Ac	
154 B 1-4 ASHLAND	R	Tax Code 5-01			Property Class	711
Mailing Address	HUFF JAYNE DUTRA/GORDON C 1088 KRISTEN DR MEDFORD OR, 975048525	Tax Type	Due Date	Amount	Stat Class	432
Appraiser	149	Advalorem	11/15/17	\$3,288.90	Unit ID	198328-1
		Tax Rate	15.9347		Maintenance Area	2
		District Rates			Neighborhood	000
		Tax Details			Study Area	04
		Tax Rates			Account Status	ACTIVE
					Tax Status	Assessable
					Sub Type	NORMAL

Sales Data (ORCATS)

Last Sale (consideration > 0)	Sale Date	Instrument Number	Sales History
\$ 326,000	Dec 24, 2010	2011-5092	<input type="button" value="Details"/>

Value Summary Detail (For Assessment Year 2017)

Market Value Summary (For Assessment Year 2017)

Code Area	Type	Acreage	RMV	M5	MAV	AV
5-01	LAND	0.27	\$ 339,540	\$ 339,540	\$ 100,689	\$ 100,689
5-01	IMPR	0.00	\$ 140,980	\$ 140,980	\$ 105,710	\$ 105,710
Value History	<input type="button" value="Details"/>	Total:	\$ 480,520	\$ 480,520	\$ 206,399	\$ 206,399

[Value Summary Details](#)

[Value History](#)

Improvements

Building #	Code Area	Year Built	Eff Year Built	Stat Class	Description	Type	SqFt	% Complete	
1	5-01	1895	1956	432	FOURPLEX CLASS 3 UPPER LEVELS	Multi-Fmly	2502	100 %	<input type="button" value="Details"/>

Photos and Scanned Documents

Type	Item Number	Image Files	
ACCOUNT PHOTO	1	1	<input type="button" value="PDF"/>
ACCOUNT PHOTO	2	1	<input type="button" value="PDF"/>
ACCOUNT PHOTO	3	1	<input type="button" value="PDF"/>
SCANNED ASSESSOR DOCUMENTS	(See new portal)	(See new portal)	<input type="button" value="Portal"/>

[ALL IN ONE REPORT?](#)

Improvement Comments

Appraisal Maintenance

Account Comments

07/25/96: C, G, W. LARGE LOT. VEG-3. >>> 2006-04-25 UPDATED IMPROVEMENT ADJUSTMENT IN MASS. >>> 2006-05-05 CONVERSION TO 2005 FACTOR BOOK. POTENTIAL RMV CHANGE ONLY - NO EXCEPTION GENERATED DUE TO THE CONVERSION. BEGINNING YEAR VALUE ADJUSTED TO REFLECT 2005 FACTOR BOOK.>>>10/10/2006: CHANGED MULTI-FAMILY LAND VALUE SOURCE TO HOUSE SITE, NO CHANGE TO VALUE. ADDED OSD-3 ADJ. #143 >>>4/18/12 NLC #151>>>8/2/13 NLC #149>>>

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Exemptions / Special Assessments / Notations / Potential Liability

Notations

Description	Tax Amount	Year Added	Value Amount
RECALCULATION		2008	
CONVERSION TO 2005 FACTOR BOOK		2006	

Tax Notations

Tax Account	Description	Code	Date Added	Date Removed	Tax Year
1-006551-6	REFUND CHECK RETURNED	RETURNED REFUND	Jun 24, 2009		

Location Map



Close Window

Print Window

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City of Ashland

FAMILY OWNED AND OPERATED



BEAVER TREE SERVICE Inc.



PROMPT PROFESSIONAL TREE CARE SINCE 1984

RECEIVED
JUL 16 2018

July 17, 2018

BY:

City of Ashland
51 Winburn Way
Ashland, OR. 97520

Attn: Planning Dept.

Trees: 2 Box Elders (*Acer negundo*) located at 154 B. Street Ashland. This property is managed by Ashland Property Management. Tree #1 has a dbh of 24" and approximately 45' tall. Tree #2 has a dbh of 23" and approximately 50' tall.

Evaluation: Tree #1 is 75% dead and has root rot and has conks growing on the trunk. Tree #2 is a few feet away from tree #1. It is showing signs of decline, most likely this is from the root rot. Root rot is a fungus that travels through the soil. Roots from both of these trees would be interconnected because of their close proximity of each other. The property owner would like permission to remove these two trees and plan two other trees that are more appropriate for the site.

Recommendation: I would recommend removal of both trees. If tree #1 loses limbs it will take out the service line (power).

Sincerely,

Clarence V. Wangle
President and Certified
Arborist. Beaver Tree Service Inc.
ISA #PN0518A

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AUG 03 2018

City of Ashland

Beaver Tree Service Inc.
CCB # 173614
Tax ID # 20-5639553
info@beavertree.net

Portland Metro Office:
7085 SW 175th Ave
Beaverton, OR 97007
joel@beavertree.net
(503) 224-1338

Corporate Office:
270 Wilson Rd.
Central Point, OR 97502
suzie@beavertree.net
(541) 779-7072

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City of Ashland



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AUG 03 2018

City of Ashland



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AUG 03 2018

City of Ashland



PLANNED
MAY 03 2010
City of...



RECEIVED

2018 03 06

City of Ashland

July 25, 2018

To Whom It May Concern:

On June 6, 2016, Ashland Fire & Rescue performed a free Firewise Assessment of 898 Morton Street. During this assessment, it was noted that two ponderosa pine trees growing close to the house were recommended to be removed due to their proximity to the deck and house. It was also noted that it is imperative for homes within that neighborhood maintain at least a 10 foot spacing between conifer tree branches and the structures.

898 Morton Street is within the Park Estates Home Owners Association which became Firewise USA recognized in 2017. Recognized Firewise USA neighborhoods are actively working to reduce their wildfire through a grassroots approach. Ashland Fire & Rescue supports proactive wildfire reduction work in this neighborhood.

Please find the attached assessment from 2016 and let me know if you have any questions.

Best,
Alison

Fire Adapted Communities Coordinator
Ashland Fire & Rescue
alison.lerch@ashland.or.us

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City of Ashland



ASHLAND FIRE & RESCUE

455 Siskiyou Boulevard
Ashland, OR 97520
(541) 482-2770 • Fax (541) 488-5318
TTY: 800-735-2900



ASHLAND FIRE & RESCUE HOME IGNITION ZONE ASSESSMENT

Date of Assessment: 6/6/2016 Resident Name: Risa Littman & Ryan Schnobrich

Property Address: 898 Morton Street Phone Number: 805-660-2900

Property Owner: SAME Email Address: risalittman@gmail.com

ASSESSMENT ITEMS	MITIGATION RECOMMENDATIONS
1. OVERVIEW OF SURROUNDINGS	
How is the structure positioned in relationship to severe fire behavior?	The house is situated in the Wildfire Hazard Zone on a hillside adjacent to a heavily wooded drainage. Homes have overlapping Home Ignition Zones (100 ft apart)
Type of construction:	Multi story house with composite siding
Address visible?	Yes
2. CHIMNEY TO EAVES:	
Inspect the roof – noncombustible? Shingles missing? Shingles flat with no gaps? Pitch?	Roof is in great condition.
Gutters – present? Noncombustible?	Present and noncombustible.
Litter on roof, in gutters, and crevices? Tree limbs pruned away from roof?	Trees are pruned away from the roof, however there are several large Ponderosa pine trees whose stumps are within 5-15 feet of the structure.
3. EAVES TO FOUNDATION:	
Attic, eave, soffit vents, and crawl spaces:	All areas are vented.
Inspect windows and screen – metal screens? Multi-paned windows? Picture windows facing vegetation?	Windows and screens are in good condition.
Walls and attachments: noncombustible? Will they collect litter? Planters and hose reels?	Non-combustible walls made of composite siding.
Decks – combustible materials?	½ TREX decking ½ Wood construction.
Fences:	No fences.

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City of Ashland



Flammable material next to or under the structure:	The area next to or under the house is mostly free of flammable material. Keep the area underneath the 2 nd story deck free of anything flammable and you will be in good shape.
Combustible materials near or on the structure where walls meet roof or decking surfaces:	There are needles/leaves underneath the deck/stairs near the front door. Although the space is small, it is recommended to put small 1/8 inch screening underneath decks to keep debris out and the potential of embers to get trapped.
Nooks and crannies and other small spaces – condition? Protected?	Protected.
4. FOUNDATION TO IMMEDIATE LANDSCAPED AREA (within 30ft of home):	
Landscaped/managed vegetation – separation distances, maintenance, plant selection? Firewise landscaping zones? Sprinklers recessed in lawn?	The house is free of hazardous ladder fuels like blackberry. However, there are several mature Ponderosa pine trees that are leaning towards the house. It is recommended to remove 2 of the Ponderosa pines that are leaning over the deck and are within 10 feet. In addition, removal all dead trees on the property. A few smaller conifer trees that were planted close to the house are also recommended to be removed. Landowner can revegetate with fire resistant species if looking for a privacy screen from the neighbors. Some of these trees are on the border of the neighbor’s property line.
Propane tanks?	If a grill is present, keep propane tank in off position unless in use. If an evacuation is in order, remove the propane tank from the grill and leave it as far away from your house as possible.
Vehicle and RV use and parking, lawnmowers, etc.:	N/A
5. IMMEDIATE LANDSCAPED AREA TO EXTENT OF THE HOME IGNITION ZONE (within 100ft – 200ft of home):	
Inspect vegetation clearance and crown separation:	The neighborhood is within a mature Ponderosa pine and Douglas fir stand. The continuation of vegetation poses a threat to the homes in the event of a wildfire. Maintaining at least 30 feet of defensible space with no ladder fuels and conifer tree branches pruned at least 10 feet from the home will aid to the homes survivability.
Wood piles at appropriate distance? Dead plants and brush?	No wood piles currently present. If a pile is to be created, keep it at least 30 feet away from the home.
Driveway trimmed and cleared for 14ft?	Driveway is trimmed to 14ft, however it is short. There is a fire hydrant at the turn to the driveway.
Adjacent homes and yards:	Adjacent neighbors are good stewards to their yard.

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AUG 01 2018

City of Ashland

TOPOGRAPHIC SITE SURVEY

LOCATED AT
 898 Morton Street
 Ashland, Oregon

LYING SITUATE WITHIN
 NORTHEAST QUARTER OF SECTION 16,
 TOWNSHIP 39 SOUTH, RANGE 1 EAST, W.M.
 CITY OF ASHLAND, JACKSON COUNTY, OREGON

FOR
 Ryan Schnobrich
 898 Morton Street
 Ashland, Oregon 97520

LEGEND

	SURVEY CONTROL POINT, AS DESCRIBED
	IRON PIN MONUMENT
	BRASS CAP MONUMENT
	SUBJECT PROPERTY LINE
	BOUNDARY LINE
	CENTERLINE
	BASEMENT LINE
	FENCE LINE
	WATER LINE
	BURIED NATURAL GAS LINE
	BURIED TELEPHONE LINE
	BURIED CABLE TV LINE
	BURIED IRRIGATION LINE
	STORM DRAIN LINE
	SANITARY SEWER LINE
	OVERHEAD POWER LINE
	BURIED POWER LINE
	ROCK WALL
	CONTOUR LINE
	GUY ANCHOR
	POWER POLE
	POWER TRANSFORMER
	POWER PEDESTAL/CABINET
	ELECTRIC METER
	HEAT PUMP
	AREA LIGHT
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	CATCHBASIN
	CURB INLET
	STORM SEWER MANHOLE
	SANITARY SEWER MANHOLE
	CLEANOUT
	TELEPHONE PEDESTAL
	GAS METER
	GAS VALVE
	IRRIGATION BOX
	CONCRETE SURFACE
	ASPHALT SURFACE
	BUILDING
	COMPOSITE DECKING
	CONIFER TREE (AS DESCRIBED)
	DECIDUOUS TREE (AS DESCRIBED)

SURVEY NOTES

THE BASIS OF VERTICAL CONTROL FOR THIS SURVEY IS SURVEY CONTROL POINT 10, BEING A CONCRETE NAIL IN ASPHALT 20' WESTERLY OF THE NORTHWEST PROPERTY CORNER AT 898 MORTON STREET, HAVING AN ASSUMED ELEVATION OF 1023.05'.

EXPOSED UTILITY STRUCTURES SHOWN HEREON WERE FIELD LOCATED DURING THE PERFORMANCE OF THIS SURVEY. BURIED UTILITY LOCATIONS WERE DETERMINED BY UTILIZING A COMBINATION OF FIELD SURVEYED PAINT MARKS AND "AS-BUILT" RECORD DRAWINGS FURNISHED BY THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, ARE APPROXIMATE AND SHOWN HEREON FOR GRAPHIC PURPOSES ONLY. FIELD VERIFICATION OF ALL BURIED UTILITIES MUST BE PERFORMED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.

REGISTERED
 PROFESSIONAL
 LAND SURVEYOR

ELECTRONIC
 OREGON
 MAY 14, 1998
 SHAWN KAMPMANN
 2013 15

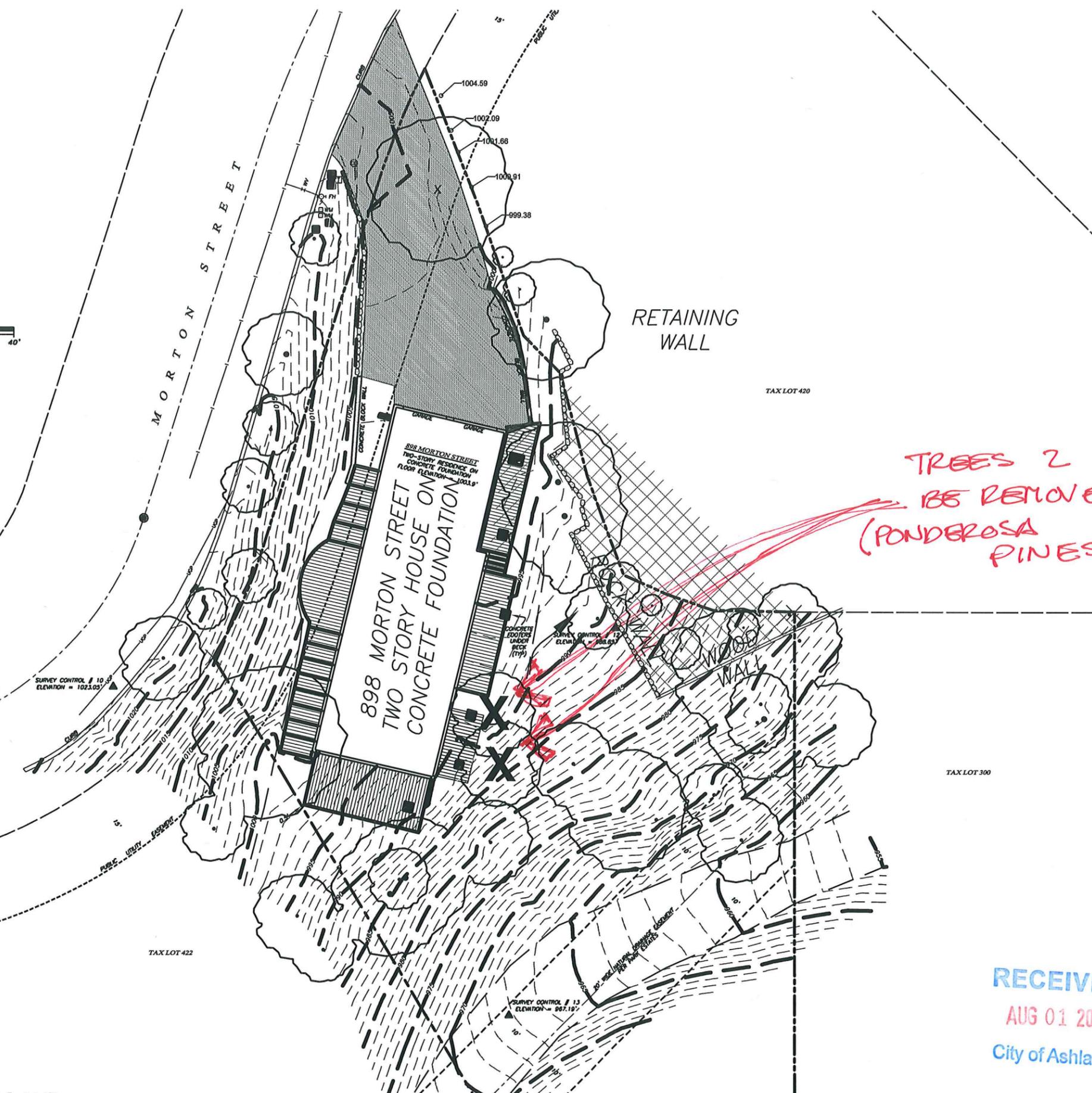
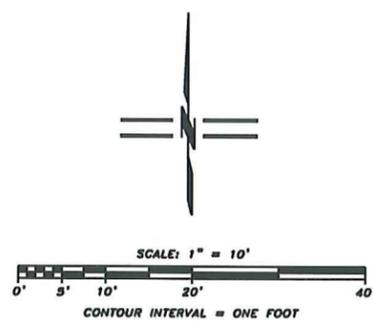
RENEWAL DATE: 6/30/2019

SURVEYED BY:
POLARIS LAND SURVEYING LLC
 P.O. BOX 459
 ASHLAND, OREGON 97520
 (541) 482-8008

DATE: DECEMBER 20, 2017
 PROJECT NO. 1045-16

RECEIVED
 AUG 01 2018
 City of Ashland

POLARIS LAND SURVEYING



Assessor's Map No. 39 1E 16 AC, Tax Lot 421

Nathan Emerson

From: Kerry KenCairn <kerry@kencairnlandscape.com>
Sent: Wednesday, August 22, 2018 10:26 AM
To: Nathan Emerson
Subject: RE: 898 Morton St Hazard Tree Removal Information

Sur both trees are between 14 and 17 dbh and over 40 feet in height.

From: Nathan Emerson [mailto:nathan.emerson@ashland.or.us]
Sent: Wednesday, August 22, 2018 10:07 AM
To: kerry@kencairnlandscape.com
Subject: 898 Morton St Hazard Tree Removal Information

Hello Kerry,

I'm prepping the notice for the 898 Morton Street Tree removal application.

Can you tell me the approximate DBH and height of the two Ponderosa pines proposed for removal?

Thanks,

Nathan Emerson
Assistant Planner
City of Ashland, Community Development Department
20 E. Main St., Ashland, OR 97520
541.552.2052 Tel 800.735.2900 TTY

This email transmission is official business of the City of Ashland and it is subject to Oregon Public Records Law for disclosure and retention. If you have received this message in error, please contact me at (541) 552-2052. Thank you.



Applicant's Statement of Completeness

(To be completed by the Applicant and returned to the City of Ashland)

Re: PA-T2-2018-00002, 880 Park Street

Date Application Expires: December 26, 2018

Date Received
RECEIVED
AUG 14 2018
City of Ashland
(to be completed by staff) 

Pursuant to an Incompleteness Determination, I, the undersigned applicant or agent for the applicant, elects one of the three options below by initialing:

(MJS) 1. **Submit All of the Missing Information**

(Initial if elected)

I am submitting all of the information requested in the Incompleteness Determination letter.

Unless checked below, I am requesting that the City of Ashland Planning Division review this additional information within 30 days of submission to determine whether the application is complete. I understand that this 30-day review for completeness period for the new information preserves my opportunity to submit additional materials, should it be determined that the application is still incomplete after the second review. **(Note: The 120-day period for the City of Ashland's final determination of compliance with applicable criteria does not commence until the additional review for completeness period is completed.)**

Check if desired



I waive further review of the information submitted for completeness and direct review of the information submitted for compliance with the Community Development Code criteria, regardless of whether the application is, in fact, later determined by the staff to be incomplete.

I understand that by checking the above statement the application will be evaluated based upon the material submitted and no further notice of any missing information will be given. If material information is missing from the application, the application may fail to meet the burden of showing that all criteria are met, and the application could be denied.



City of Ashland Planning Department
Attn: Derek Severson, Senior Planner
Ashland, OR 97520

August 13, 2018

Incompleteness Determination for PA-T2-2018-00002
Park Square Apartments/880 Park Street

Dear Mr. Severson,

Please find attached our response to the above referenced Incompleteness Determination for the Park Square Apartments. We have selected to revise our submittal to address the concerns as outlined in your Incompleteness letter dated July 189, 2018. Revisions to the Findings of Fact are in ***bold, italicized and underlined*** text. Revised drawings are dated August 1, 2018. Please note the following responses to your comments:

- ***Plans Drawn to Scale:*** A graphic scale has been added to all the submitted architectural drawings. See attached drawings.
- ***Tree Removal Permit Findings:*** The Findings of Fact have been revised to include findings specific to this AMC Chapter/Section. Also, other pertinent chapters/sections of the AMC have been revised to better address the proposed tree removal. An Arborist's Report has been completed and is included with this resubmittal. See attached revised Findings of Fact and Arborist's Report.
- ***Tree Protection Plan:*** Revised to include existing plants in the southeast corner of the site.
- ***Exception to the Street Design Standards for Park Street:*** In discussions with Dave Tygerson of the City of Ashland Electric Department the new poles are required to be placed as shown in the Site Plan, thus necessitating the jogs in the proposed sidewalk. In addition, please note that there is an existing electrical cabinet located in the same line requiring a jog in the sidewalk.
- ***Open Space/Recreation Area:*** The Recreation Area has been revised and recalculated. See revised Site Plan and Findings of Fact.
- ***City Facilities:*** The Findings of Fact have been revised to better respond to this request. See attached revised Findings of fact.
- ***Continuous Walkway System:*** The proposed concrete sidewalk located at the northeast corner of the proposed parking area has been extended to the neighboring property. See attached revised Site Plan.
- ***Vehicle Area Design:*** The parking area has been revised to address this requirement. Revisions include changing the finish surface of the parking area to a porous concrete material. See attached revised Findings of Fact.
- ***Unenclosed Porch Allowance for Reduced Front Setback:*** The balconies and the porches are not enclosed as mentioned. Please review the attached Exterior Elevations for clarification.
- ***Height/Story Limit:*** Scalable drawings have been added to the submittal. See attached drawings.
- ***Synth Lawn:*** The proposed synthetic lawn is permeable, allowing water to infiltrate into the soil below and therefore can be excluded from the impervious calculations for the site. That being said, the area of the proposed synthetic lawn is minimal and if calculated as impervious the project still falls within acceptable percentages for impervious surfaces allowed.

Thank you for your consideration of this response and we look forward to moving forward to the Planning Commission in September. Please contact me with questions or concerns.

Sincerely,
Matt Small

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August 1, 2018

A. PROJECT NARRATIVE

APARTMENT RENTALS: The project includes the construction of (6) multi-family apartment buildings, a separate 221 square foot laundry facility, a (30) space parking area and extensive landscaping, including a 2,746 square foot recreational area. The laundry facility is proposed for the use by the on-site tenants only. The six multi-family buildings include (3) three story buildings and (3) two story buildings. Each story contains (1) four-bedroom dwelling unit equaling a total of (15) four-bedroom dwelling units and a total of (60) single bedrooms.

The layout of the apartment unit is designed to allow for an array of different rental options. In a similar design next door to this facility, the Owners have rented an entire four-bedroom unit to a single family as well as each bedroom separately to four individuals sharing the kitchen and (2) baths. In this case the monthly rent can be very affordable. It is worth noting that this new facility will be providing (60) additional and affordable bedrooms to the extremely stretched Ashland rental market.

BUILDING DESIGN: The proposed buildings offer an efficient design with simple gable roof forms spanning a rectangular box accentuated with decks, roof overhangs and recessed entry ways creating deep shadows and relief on the building's elevations. The detailing is minimal reflecting a more contemporary approach to the project's design. The exterior envelope consists of a standing seam metal roof, painted, cementitious composite siding applied as a horizontal lap and as a panel w/ metal control/reveal joints, concrete block and metal stairs/railing. Architectural features have been added to the building elevations facing Siskiyou Boulevard and Park Street to better address the street. The architectural features serve to reduce the overall scale of the buildings and are intended to present a more traditional main entry into a residence. The features include a prominent, main entry stairway centered on the building/porch, a single wood door in place of the sliding patio doors (first floor), wider posts at the porches, additional posts at the lower porch and a different window configuration at the lower level.

PROJECT DENSITY: The allowable density is (14.8) units. We propose to achieve a density bonus of (1) unit by increasing the recreational area on site. The recreation area includes a large open yard in the center of the project and a patio adjacent to the laundry facility. The patio will include a fire pit, a gas fueled bar-b-que, picnic table and seating. The laundry, recreational and patio spaces are near the parking area and on the primary pedestrian access onto the site. In addition, the resident mailboxes will be in this area, with the overall goal of increasing the activity, and thereby the safety, in this public space and encourage more use of these amenities.

EXISTING SITE CONDITIONS and TREE RETENTION: The existing site slopes downward from the south to the north roughly 9 feet over the overall length of the site. It is a barren field except for the (7) existing trees on site – (5) 12-inch diameter deciduous, (1) redwood clump and (1) 30-inch redwood. The Applicant proposes to remove (3) of the deciduous trees, the clump of redwoods and the 30-inch redwood. The Applicant is reluctant to remove the 30-inch redwood, however, given the site's restrictions and the very large protection area required for the redwood, was unable to do so. The Applicant is proposing a significant landscape design that will, with time, create an inviting environment with ample shade and plants accentuating the site's use as an apartment complex. An arborist's report is attached.

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B. PROJECT INFORMATION

Project Information:

- A. Project Name: Park Square Apartments
- B. Property Owner/Developer: Tudor Properties, LLC
- C. Architect: Kistler Small + White, LLC
- D. Contractor: Outlier Construction Co.
- E. Structural Engineer: ACE Engineering, LLC
- F. HVAC Design/Build: Advanced Air + Metal
- G. Electrical Design/Build: Precision Electric, LLC
- H. Plumbing Design/Build: Van Row Mechanical, LLC
- I. Civil Engineer: Marquess + Associates, Inc.
- J. Landscape Design/Build: Eric Simpson Landscaping

Zoning Information:

- A. Base Zone: Multi-Family Residential – R3
- B. Overlay Zones: None
- C. Special Districts: None

Site Information:

- A. Address: 880 Park Street
- B. Map + Tax Lot: 39 1E 15AD TL 3402
- C. Acreage: 0.74 acres (32,199 square feet)
- D. Percentage of Coverage:
 - a. Buildings: 21%
 - b. Parking: 25%
 - c. Open Areas: 8.3%
 - d. **Recreation Area: 8.2%**
 - e. Landscaping: 34%

Building Information:

- A. Building Area/Stories/# of Units:

a. Building A: 3,345 square feet	(3) stories	(3) units
b. Building B: 3,345 square feet	(3) stories	(3) units
c. Building C: 3,345 square feet	(3) stories	(3) units
d. Building D: 2,230 square feet	(2) stories	(2) units
e. Building E: 2,230 square feet	(2) stories	(2) units
f. Building F: 2,230 square feet	(2) stories	(2) units
g. Laundry Building: 221 square feet	(1) story	(0) units
- B. Total Building Square Footage: 16,946 square feet
- C. Total # of Units: (15) four-bedroom units
- D. Total # of Bedrooms: (60) bedrooms
- E. # of Accessible Units: (6). The ground-floor units of buildings A, B, C, D, E and F.

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C. APPLICABLE CHAPTERS OF THE ALUO

ALUO 18.5.2.050 Approval Criteria:

A. UNDERLYING ZONE:

a. **ALUO PART 18.2 – Zoning Regulations**

i. *ALUO TABLE 18.2.2 – Base Zones and Allowed Uses:*

1. Finding: Multi-family permitted in an R3 zone.

ii. *ALUO CHAPTER 18.2.5 – Standards for Residential Zones:*

1. *ALUO Table 18.2.5.030.A – Standards for Urban Residential Zones:*

a. Finding:

- i. Minimum Density: The proposed project meets the minimum density standard as follows: The minimum density for the site is 11.84 units. The proposed density for the project is 15 units.
- ii. Maximum Density: The proposed project meets the maximum density standard as follows:
 1. The base density for more than three units is 20 dwelling units per acre. Allowable base density for the project equals: $20 \times .74 \text{ acres} = 14.8 \text{ units (14 units)}$.
 2. Density Bonus for Outdoor Recreation Space: 1 additional unit as follows:
 - a. Minimum Requirement: 8% of site area. $8\% \times .74 \text{ acres} = .059 \text{ acres (2,579 sq. ft.)}$
 - b. Proposed: 8.2% of site area. $8.2\% \times .74 \text{ acres} = 2,640 \text{ sq. ft. (.2\% beyond the minimum)}$.**
 - c. $1.02\% \times 14.8 \text{ units} = 15.10 \text{ units (15)}$.**
 3. The proposed density for the project is 15 units.
- iii. Lot Area: Meets base density standard of 20 units per acre. See Maximum Density narrative above.
- iv. Lot Width: The proposed 154.9 ft lot width exceeds the minimum width of 50 ft.
- v. Lot Depth:
 1. Minimum: The proposed 260 ft and 157.3 ft lot depth exceeds the minimum depth of 80 ft.
 2. Maximum: $250\% \text{ of } 80 \text{ ft.} = 385.725 \text{ ft.}$ The proposed 260 ft and 157.3 ft lot depth is less than the maximum allowable lot depth of 385.725 ft.

vi. Standard Yards – Minimum:

1. Front – Standard: 15 ft. Meets standard. Proposed setback along Siskiyou Boulevard is 15 ft.
2. Front – Unenclosed Porch: 8 ft. Meets standard. Proposed setback along Siskiyou Boulevard at porches is 8 ft. The proposed porches along the front yard are 6 ft. deep and exceed the minimum 8 ft. width.
3. Front – Garage Opening: N/A
4. Side – Standard: 6ft. Meets standard. Proposed setback along the east property line is 6 ft.

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5. Side – Corner Lot: 10ft. Meets standard. Proposed setback along Park Street is 10 ft.
 6. Rear – Single Story Building: 10 ft. Meets standard. Proposed setback at the proposed laundry facility along the south property line is 10 ft.
 7. Rear – Multi-Story Building: 10 ft/bld'g story; 2 stories X 10 ft = 20 ft. Meets standard. Proposed setback along the south property line for Building 'F' (closest to property line) is 52 ft.
- vii. Building Separation, On Same Site – Minimum: 12 ft. Meets standard. All buildings on site are separated by a minimum of 12 ft.
 - viii. Building Height – Maximum: 35 ft or 2 ½ stories. Meets standard. Due to a sloping site with varying finish grades at each building the building heights vary from roughly 19'-2" at the lowest two-story building to roughly 25'-7" at the highest three-story building. In addition, the maximum number of stories is 2 ½ (buildings A, B and C) when considering the daylight basement as a half story.
 - ix. Lot Coverage – Maximum: 75%.
 1. Meets standard. 66% of the lot is covered with impervious surfaces including buildings (21%), parking lot (25%), sidewalks (15%) and patio area (5%).
 2. **Clarification: The area shown on the Landscape Site Plan indicated as "SYNLAWN" is in fact a pervious area. "SYNLAWN" is an artificial grass that functions like real grass, allowing total water infiltration/percolation into the soil. "SYNLAWN" does not require thatching or aerating nor does it require fertilizers – a lack of thatching/aerating will reduce the permeability of real grass and the use of fertilizers will over time harden the soils with salts, further reducing the permeability of real grass. In addition, this area is roughly 3.6% of the site. Adding this to the current calculation of impervious surface area (66%) would create an impervious surface area of 69.6%, below the maximum of 75%.**
 3. **Clarification: It is also important to note that the parking lot is proposed as a porous concrete which would also allow natural drainage into the soil beneath the parking area and presumably not be counted as an impervious surface.**
 - x. Landscape Area – Minimum: 25%. Meets standard. Roughly 34% of the site is covered in proposed landscaping.
 - xi. Outdoor Recreation Space – Minimum (% of site area): 8%. Meets standard. **The proposed recreation area is 8.2%.**

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B. OVERLAY ZONES:

a. ALUO PART 18.3 – Special Districts and Overlay Zones

- i. Finding: The subject property is not located in a Special District or Overlay Zone, thereby exempt from compliance to this part of the ALUO.

C. SITE DEVELOPMENT and DESIGN STANDARDS:

a. ALUO PART 18.4 – Site Development and Design Standards

i. **ALUO TABLE 18.4.1.020 – Applicability of Design Standards to Planning Approvals and Permits:**

1. Finding: The following standards apply for the proposed Site Design Review Action:

- a. ALUO 18.4.2 – Buildings
- b. ALUO 18.4.3 – Parking, Access + Circulation
- c. ALUO 18.4.4 – Landscape + Screening
- d. ALUO 18.4.5 - Trees
- e. ALUO 18.4.6 – Public Facilities
- f. ALUO 18.4.7 – Signs

ii. **ALUO CHAPTER 18.4.2 – Building Placement, Orientation and Design**

1. Finding:

a. **ALUO Section 18.4.2.030 – Residential Development:**

i. **ALUO 18.4.2.030.A - Purpose and Intent:**

1. **Crime Prevention and Defensible Space:**

- a. **Parking Layout:** Meets standard. The parking area is easily visible from buildings D, E, F and the laundry facility as well as from the recreation area adjacent to the laundry facility. Well lighted sidewalks are proposed leading tenants from the parking area to their apartment buildings.
- b. **Orientation of Windows:** Meets standard. Windows are placed on every elevation of each building, providing views into all areas of the site.
- c. **Service and Laundry Areas:** The laundry facility and mail boxes are located adjacent to the parking lot and the proposed recreation area. It is anticipated that the area will be busy with tenants parking, retrieving mail, doing laundry and enjoying the recreation area creating a safe environment. Large windows and a well lighted space are proposed for the laundry building.
- d. **Hardware:** Meets standard. See responses above.
- e. **Lighting:** Meets standard. Proposed site lighting includes pole lighting at the parking lot and shorter pole lighting along the sidewalks to the apartment buildings.

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- f. *Landscaping*: Meets standard. Low shrubs and high canopy trees have been used throughout the project as well as open recreation areas.
- 2. *ALUO 18.4.2.030.B - Applicability*: Meets standard.
- 3. *ALUO 18.4.2.030.C - Building Orientation*:
 - a. *Building Orientation to Street*: Meets standard. Buildings A, B and C front Siskiyou Boulevard and buildings F and E front Park Street. The primary entrances for these buildings (on all the proposed buildings) occurs from the interior side of the site, opposite the streets, and is accessed from an exterior stair. Architectural features have been added to the building elevations facing Siskiyou Boulevard and Park Street to better address the street. The features are intended to present a more traditional/residential entry and include a prominent stairway centered on the building and porch, a single wood door in place of the sliding patio doors, wider posts at the patios, additional posts at the lower patio and a different window configuration at the lower level. These entries are connected to the street rights-of-way via sidewalks.
 - b. *Limitation on Parking Between Primary Entrance and Street*: Meets standard. There are no proposed vehicle circulation or parking between the buildings and the streets. Parking is located to allow direct access from the street, minimizing on site vehicle circulation and is in the rear yard of the site.
 - c. *Build-to Line*: N/A
- 4. *ALUO 18.4.2.030.D - Garages*: N/A
- 5. *ALUO 18.4.2.030.E - Building Materials*: Meets standard. The proposed buildings offer an efficient design with simple gable roof forms spanning a rectangular box accentuated with decks, roof overhangs and recessed entry ways creating deep shadows and relief on the building's elevations. The detailing is minimal reflecting a more contemporary approach to the project's design. The exterior envelope consists of a standing seam metal roof, cementitious composite siding applied as a horizontal lap and as a panel w/ metal control/reveal joints, clear finished concrete block and painted metal stairs/railing. Proposed colors are intended to blend well with the surrounding area.

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6. *ALUO 18.4.2.030.F - Streetscape*: Meets standard. See landscape plans.
 7. *ALUO 18.4.2.030.G - Landscaping and Recycle/Refuse Disposal Areas*: Meets standard. See response to Chapter 18.4.4 below.
 8. *ALUO 18.4.2.030.H - Open Space*:
 - a. *Recreation Area*: **Meets standard. Project includes dedicated areas of 8.2% for recreational use.**
 - b. *Surfacing*: Meets standard.
 - c. *Decks and Patios*: Meets standard.
 - d. *Play Areas*: Meets standard. No playground facilities are proposed for the project although a large open area is provided for the intended use of play and gathering.
- iii. *ALUO CHAPTER 18.4.3 – Parking, Access and Circulation*
1. Finding:
 - a. *ALUO Section 18.4.3.030 General Automobile Parking Requirements and Exceptions*
 - i. *18.4.3.030.A – Minimum Number of Off-Street Parking Spaces*: Meets standard. The required number of off-street parking spaces will be determined using the Standard Ratios for Automobile Parking, Table 18.4.3.040.
 - ii. *18.4.3.030.B – Maximum Number of Off-Street Automobile Parking Spaces*: Meets standard. The number of spaces proposed does not exceed the number of spaces required by this chapter of the ALUO.
 - iii. *18.4.3.030.C – Downtown Zone*: N/A.
 - iv. *18.4.3.030.D – North Mountain Plan District*: N/A.
 - b. *ALUO Table 18.4.3.040 – Automobile Parking Spaces by Use*
 - i. *Multifamily.d – 3 bedroom or greater units*: Meets standard. 2.00 parking spaces are required per unit. There are 15 proposed 4-bedroom units. $15 \times 2 = 30$ parking spaces required.
 1. Proposed: 30 on-site parking spaces.
 - c. *ALUO Section 18.4.3.050 – Accessible Parking Spaces*: Meets standard. One accessible parking space and aisle are proposed meeting the OSSC requirements.
 - d. *ALUO Section 18.4.3.060 – Parking Management Strategies*
 - i. *ALUO 18.4.3.060.A – On Street Parking Credit*: N/A.
 - ii. *ALUO 18.4.3.060.B – Alternative Vehicle Parking*: N/A
 - iii. *ALUO 18.4.3.060.C – Mixed Uses*: N/A.
 - iv. *ALUO 18.4.3.060.D – Joint Use of Facilities*: N/A.
 - v. *ALUO 18.4.3.060.E – Off-Site Shared Parking*: N/A.
 - vi. *ALUO 18.4.3.060.F – TDM Plan Credit*: N/A.
 - vii. *ALUO 18.4.3.060.G – Transit Facilities Credit*: N/A.
 - e. *ALUO Section 18.4.3.070 – Bicycle parking*
 - i. *ALUO 18.4.3.070.A – Applicability and Minimum Requirement*: Meets standard.

- ii. *ALUO 18.4.3.070.B – Calculation: Meets standard.*
- iii. *ALUO 18.4.3.070.C – Bicycle Parking for Residential Uses:*
 - 1. *Multi-Family Residential: Meets standard. 2 sheltered parking spaces are required per 4-bedroom unit. 15 units X 2 = 30 spaces. The Applicant proposes 4 covered parking spaces at each 2-story building and 6 covered spaces at each 3-story building located at the entry side of each building for a total of 30 bicycle parking spaces.*
- iv. *ALUO 18.4.3.070.D – H: N/A.*
- v. *ALUO 18.4.3.070.I – Bicycle Parking Design Standards*
 - 1. Meets standard. Spaces are located on the ground level adjacent to the primary entries into each unit.
 - 2. Meets standard. Spaces include an approved inverted 'U' shaped steel rack located underneath an awning.
 - 3. Meets standard. Spaces are located on ground level adjacent to the primary dwelling entries with direct access to on-site sidewalks.
 - 4. Meets standard. Spaces will be well lighted and located in a public area, visible from many directions.
 - 5. Meets standard. Spaces will include a concrete surface similar to the adjacent sidewalks.
 - 6. Meets standard.
 - 7. Meets standard. N/A.
 - 8. Meets standard.
 - 9. Meets standard.
 - 10. Meets standard. Spaces are covered.
 - 11. Meets standard.
 - 12. Meets standard.
- vi. *ALUO 18.4.3.070.J – Bicycle Parking Rack Standards*
 - 1. 1 – 4: Meets standard. Applicant proposes an inverted 'U' shaped rack to be securely anchored to a concrete slab.
- f. *ALUO Section 18.4.3.080 – Vehicle Area Design*
 - i. *ALUO 18.4.3.080.A – Parking Location*
 - 1. N/A.
 - 2. Meets standard. Vehicle parking is not proposed to occur within a side or front yard setback.
 - 3. N/A.
 - ii. *ALUO 18.4.3.080.B – Parking Area Design*
 - 1. Meets standard. Proposed vehicle parking spaces are 9 ft. wide X 18 ft. deep.
 - 2. Meets standard. Of the proposed 30 on-site parking spaces 15 spaces are designated as compact parking spaces. The dimensions for the compact spaces are 8 ft. wide X 16 ft. deep. Each space will be designated as a compact space with the words "Compact Cars Only" painted on the pavement.

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3. Meets standard. A 22 ft. back-up maneuvering aisle is provided in the parking lot.
 4. N/A.
 5. Meets standard.
 - a. The Applicant proposes to meet this standard by using a porous concrete (a porous solid surface) throughout the parking area. In addition, the Applicant proposes landscaped planters with trees that will provide shading on portions of the proposed parking area.
 - b. The proposed porous concrete will also serve to treat the storm water before it drains into the detention pond/pre-treatment area located in the northwest corner of the site. The storm water will drain to the proposed detention/treatment area via an underground 18" diameter storm pipe.
- iii. ALUO 18.4.3.080.C – Vehicular Access and Circulation
1. *Applicability:* Applies.
 2. *Site Circulation:* Meets standard. See ALUO Section 18.4.090 below. ALUO Section 18.4.3.080.B.4 does not apply.
 3. *Intersection and Driveway Separation:* Meets standard. The proposed driveway is roughly 240 ft. south of the nearest intersection (Siskiyou Boulevard).
 4. *Shared Use of Driveways:* N/A.
 5. *Alley Access:* N/A.
- iv. ALUO 18.4.3.080.D – Driveways and Turn-Around Design
1. N/A.
 2. N/A.
 3. Meets standard. The proposed driveway approach is 22 ft. wide with appropriate curb flairs on each corner of the approach.
 4. Meets standard.
 5. Meets standard. The Applicant proposes only one driveway and one curb cut at park Street.
 6. Meets standard.
 7. Meets standard.
 8. Meets standard. Parking lot grades do not exceed 20%.
 9. Meets standard.
 10. N/A.
- v. ALUO 18.4.3.080.E – Parking and Access Construction
1. *Paving:* Meets standard. The proposed parking area and driveway will be a porous concrete surface constructed to the City of Ashland standards.
 2. *Drainage:* Meets standard. The proposed, porous concrete parking area will allow stormwater to percolate through the finish surface and collect in an

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underground storm drain that will direct the runoff to a detention pond in the northwest corner of the site.

3. *Driveway Approaches:* Meets standard. The proposed driveway approach will be paved per City Engineer requirements.
4. *Marking:* Meets standard. Proposed parking area will be marked with painted stripes indicating each parking space, hdcp accessible aisles and compact car locations.
5. *Wheel Stops:* Meets standard. **The Applicant proposes to use wheel stops as shown in the attached Site Plan.**
6. *Walls and Hedges:*
 - a. Meets standard. A hedge is proposed along the west end of the parking lot between the lot and the new sidewalk.
 - i. Meets standard. The area between the hedge and the street will be landscaped.
 - ii. Meets standard.
 - iii. Meets standard. An irrigation system is proposed for the entire landscaped area.
 - iv. Meets standard.
 - b. Meets standard. An existing wood fence along the south property line adjacent to the proposed parking lot is scheduled to remain.
 - i. Meets standard.
 - ii. N/A
 - iii. Meets standard. The existing fence will be a minimum of 2 ft. from vehicles parking in the lot.
 - iv. Meets standard.
 - v. Meets standard.
7. *Landscaping:* Meets standard.
8. *Lighting:* Meets standard.
- vi. *ALUO 18.4.3.090 – Pedestrian Access and Circulation*
 1. *ALUO 18.4.3.090.B - Standards*
 - a. *Continuous Walkway System:* Meets standard. A concrete sidewalk is proposed throughout the site connecting the buildings, parking lot and recreation areas. The proposed on-site walks also connect to sidewalks in the public right-of-way along Park Street and Siskiyou Boulevard. In addition, a portion of the on-site sidewalk will extend to the adjacent multi-family development to the east.

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- b. *Safe, Direct and Convenient:*
 - i. Meets standard.
 - ii. Meets standard.
 - iii. N/A.
 - iv. Meets standard.
- c. *Connections within Developments:*
 - i. Meets standard.
 - ii. Meets standard.
 - iii. N/A.
- d. *Walkway Design and Construction*
 - i. *Vehicle/Walkway Separation:* Meets standard. The proposed sidewalk along the parking lot is raised 6 inches above the finish grade of the parking lot and separated with an integral concrete curb.
 - ii. *Crosswalks:* Meets standard. **The proposed crosswalk will be striped, contrasting with the concrete surface of the parking area.**
 - iii. *Walkway Surface and Width:* Meets standard. Proposed sidewalks are 5 ft. wide concrete sidewalks.
 - iv. *Accessible Routes:* Meets standard.
 - v. *Lighting:* Meets standard. See finding for ALUO Chapter 18.4.4 below.
 - vii. *ALUO 18.4.3.100 – Construction:* Meets standard.
 - viii. *ALUO 18.4.3.110 – Availability of Facilities:* Meets standard.
- iv. *ALUO CHAPTER 18.4.4 – Landscaping, Lighting and Screening*
 - 1. *ALUO Section 18.4.4.020 – Applicability*
 - a. *ALUO 18.4.4.020.A – Landscaping and Screening:* Meets standard.
 - b. *ALUO 18.4.4.020.B – Recycling and Refuse:* Meets standard.
 - c. *ALUO 18.4.4.020.C – Outdoor Lighting:* Meets standard.
 - d. *ALUO 18.4.4.020.D – Fences and Walls:* Meets standard. The Applicant proposes a concrete block wall to screen the proposed recycling/refuse area to comply with Section 18.4.4.040.
 - e. *ALUO 18.4.4.020.E – Exceptions and Variances:* N/A. No exceptions or variances are requested.
 - 2. *ALUO Section 18.4.4.030 – Landscaping and Screening*
 - a. *ALUO Section 18.4.4.030.B – Minimum Landscape Area and Coverage:* Meets standard. The proposed landscape coverage is 34%, 9% more than the ALUO requirement.

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- b. *ALUO Section 18.4.4.030.C – Landscape Design and Plant Selection:*
- i. *Tree and Shrub Retention:* There are 7 existing trees on site as follows: (5) 12-inch diameter deciduous trees, (1) redwood clump and (1) 30-inch redwood. See survey for location. The Applicant proposes to remove (3) deciduous trees, the clump of redwoods and the 30" redwood. All others will be retained. An arborist has reviewed the existing trees and the tree protection plan. **See attached Arborists Report dated July 17, 2018.**
 - ii. *Plant Selection:*
 - 1. Meets standard. Based strictly on Ashland Code for initial & future coverage, screening and water conservation and drought tolerance.
 - 2. Meets standard.
 - 3. Meets standard.
 - 4. Meets standard.
 - 5. Meets standard.
 - iii. *Water Conserving Landscaping:* Meets standard.
 - iv. *Hillside Lands and water Resources:* N/A
 - v. *Screening:*
 - 1. Meets standard. Evergreen shrubs are used where screening is required.
 - 2. Meets standard. Screening shall be planted with sufficient density to achieve coverage standard.
 - vi. *Plant Sizes:*
 - 1. Meets or exceeds initial size requirements to achieve future coverage specifications.
 - 2. Meets standard.
- c. *ALUO Section 18.4.4.030.D - Tree Preservation, Protection and Removal:* Meets standard.
- d. *ALUO Section 18.4.4.030.E - Street Trees:*
- i. *Location of Street Trees:* Meets standard for tree placement and root barriers where required.
 - ii. *Spacing and Placement of Street trees:*
 - 1. Meets standard. Based strictly on spacing distances in City of Ashland Code.
 - 2. Meets standard. Trees are placed to avoid curbs, paved and impervious surfaces per Ashland City Code.
 - 3. Meets standard.
 - 4. Meets standard.
 - 5. Meets standard.
 - iii. *Pruning:* Meets standard. The Applicant acknowledges their responsibility to maintain the health of the street trees and to comply with the clearance requirements.
 - iv. *Replacement of Street Trees:* N/A. No existing street trees are scheduled to be removed by the Applicant.
- e. *ALUO Section 18.4.4.030.F – Parking Lot Landscaping and Screening:*
- i. *Landscaping:*
 - 1. Meets required number of trees.

2. Tree selection meets standard for tree selection. Large canopied Zelkova serrata were selected from the City of Ashland Recommended Street Tree Guide.
3. No tree is scheduled to be planted within two feet of curbs or paved spaces.
4. Meets standard. Landscape areas are distributed throughout the parking area.
5. Meets standard.

ii. Screening:

1. Meets or exceeds Ashland City Codes.
2. Meets standard.
3. Meets standard.
 - a. Meets standard for sight obstructing hedge screening.
 - b. Meets / exceeds standard. Plants exceed minimum requirements.
 - c. Meets screening requirement by use of plant materials.
 - d. N/A

f. ALUO Section 18.4.4.030.G – Other Screening Requirements:

- i. *Recycle and Refuse Container Screen:* Meets standard.
- ii. *Outdoor Storage:* N/A
- iii. *Loading Facilities and Service Corridors:* N/A
- iv. *Mechanical Equipment:*

1. *Roof Mounted Equipment:* N/A
2. *Other Mechanical Equipment:* Meets standard.

g. ALUO Section 18.4.4.030.H – Irrigation: Meets standard. An irrigation system is proposed throughout.

h. ALUO Section 18.4.4.030.I – Water Conserving Landscaping:

i. Landscaping Design Standards:

1. *Landscaping Coverage:* Meets & exceeds standard for minimum coverage.
2. *Plant selection:* Meets standard for drought tolerant plant selection.
3. *Screening:* Plants of appropriate size are selected to meet standard.
4. *Mulch:* Meets / exceeds standard. 3" mulch scheduled for placement. Exceeds 2" required minimum.
5. *Turf and Water Areas:* N/A
6. *Fountains:* N/A.
7. *Turf Location:* N/A.
8. *Berms and Raised Beds:*
 - a. Meets standard. Berms not scheduled for project. Raised beds do not exceed maximum allowed.
 - b. N/A
 - c. Meets standard. Drip irrigation will be installed throughout.

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- 9. *Soil Quality:*
 - a. Meets standard.
 - b. Soil tests will be performed, and soil quality measures will be performed.
 - c. Meets standard according to Rogue Valley Stormwater Design Manual.
- ii. *Irrigation System Design Standards:*
 - 1. N/A. Drip irrigation scheduled throughout.
 - 2. N/A. Drip irrigation scheduled throughout.
 - 3. Meets standard. Pressure compensating emitters schedule throughout.
 - 4. Meets standard. Irrigation system is hydrozoned.
 - 5. N/A. Drip irrigation scheduled throughout.
 - 6. Meets standard. Check valves schedule for each lateral to PVC connection.
 - 7. Meets standard. Drip irrigation is scheduled throughout.
 - 8. Meets standard.
 - 9. Meets standard. Regulating devices are scheduled throughout.
 - a. Exceeds standard. 'Smart Controller' is scheduled for installation.
 - b. Meets/exceeds standard for control capability.
- iii. *Exceptions: N/A.*
 - i. *ALUO Section 18.4.4.030.J – Maintenance:* Meets standard.
- 3. *ALUO Section 18.4.4.040 – Recycling and Refuse Disposal Areas*
 - a. *ALUO 18.4.4.040.A – Recycling:*
 - i. *Residential:*
 - 1. N/A
 - 2. Meets standard. The Applicant proposes a new Recycling and Refuse Area located adjacent to and accessible from the proposed paved parking lot. The area will be screened from view by a concrete block wall.
 - ii. *Commercial: N/A.*
 - b. *ALUO 18.4.4.040.B – Service Areas:* Meets standard. The proposed Recycling/Refuse Area is located adjacent to and accessible from the proposed parking lot and is not located in a required front yard or required landscape area.
 - c. *ALUO 18.4.4.040.C – Screening:* Meets standard. The Applicant proposes a concrete block wall.
- 4. *ALUO Section 18.4.4.050 – Outdoor Lighting:*
 - a. *ALUO 18.4.4.050.B - Applicability:* Meets standard.
 - b. *ALUO 18.4.4.050.C – Standards:*
 - i. Meets standard.
 - ii. Meets standard.
 - iii. Meets standard.
 - iv. Meets standard.

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- v. Meets standard.
 - vi. N/A.
 - c. *ALUO 18.4.4.050.D – Maintenance*: Meets standard.
 - 5. *ALUO Section 18.4.4.060 – Fences and Walls*: Meets standard. There is one existing wood fence along the south property line that will remain. In addition, the Applicant proposes a new concrete block wall to screen the proposed Recycling/Refuse Area meeting the ALUO 18.4.4.040 requirements.
- v. *ALUO CHAPTER 18.4.5 – Tree Preservation and Protection*
- 1. *ALUO Section 18.4.5.020 – Applicability*
 - a. *ALUO 18.4.5.020.A*: Meets standard.
 - b. *ALUO 18.4.5.020.B*: Meets standard. The Applicant acknowledges that any tree protection measure shall be in place prior to construction start.
 - c. *ALUO 18.4.5.020.C*: Meets standard. The Applicant acknowledges the need for a tree removal permit prior to removing any trees.
 - 2. *ALUO Section 18.4.5.030 – Tree Protection*
 - a. *ALUO 18.4.5.030.A – Tree Protection Plan*: Meets standard. A Tree Protection Plan is included in the Site Review submittal package. **The Tree Protection Plan includes plants within (15) feet of the site as well as those trees located on the site.**
 - b. *ALUO 18.4.5.030.B – Tree Protection Plan Submission Requirements*: Meets standard. See Tree Protection Plan included in this Site Review submittal.
 - c. *ALUO 18.4.5.030.C – Tree Protection Measures Required*: Meets standard. See Tree Protection Plan included in this Site Review submittal.
 - d. *ALUO 18.4.5.030.D – Inspection*: Meets standard. The Applicant acknowledges the requirement for an inspection of the installed tree protection measures prior to the construction start.
 - 3. *ALUO Section 18.4.5.040 – Performance Security*: Meets standard. The Applicant acknowledges the possibility of a Performance Security requirement.
 - 4. *ALUO Section 18.4.5.050 – Verification Permit*
 - a. *ALUO 18.4.5.050.A*: Meets standard. Applicant acknowledges the Verification Permit process.
 - b. *ALUO 18.4.5.050.B*: Meets standard.
 - 5. *ALUO Section 18.4.5.060 – Heritage Trees*: N/A.
- vi. *ALUO CHAPTER 18.4.6 – Public Facilities*
- 1. *ALUO Section 18.4.6.020 – Applicability*
 - a. *ALUO 18.4.6.020.A – Applicability*: Meets standard.
 - b. *ALUO 18.4.6.020.B – Exceptions and Variances*:
 - i. Siskiyou Boulevard: The Applicant seeks an exception to the Street Standards along Siskiyou Boulevard. The request is to forego installing a new park row and a new sidewalk. The request is based upon the following: The existing conditions include a large storm drainage swale adjacent to the street and a wide, multi-use, asphalt paved pathway. The swale is intermittent along Siskiyou while the pathway continuous the

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length of Siskiyou Boulevard. The swale and the pathway are in excellent condition and replacement of them would be inconsistent with the remainder of Siskiyou Boulevard.

- ii. **Park Street: The Applicant seeks an exception to the Street Standards along Park Street. The request is to install a modified park row and sidewalk where a portion of new sidewalk jogs around new power poles and an existing electrical cabinet. The new power poles are sited in the most feasible location per Dave Tygerson (City of Ashland Electric Department). This placement conflicts with the placement of a standard park row and sidewalk. Therefore, the proposed modified park row and sidewalk will include a mix of new park row and new sidewalk that meet standards with a portion of new sidewalk that jogs to avoid the power poles and cabinet. Where the new sidewalk jogs, the park row will be momentarily interrupted as a portion of new sidewalk will need to extend to the street curb.**

2. **ALUO Section 18.4.6.030 – General Requirements:**

- a. **ALUO 18.4.6.030.A – Public Improvement Requirement:** Meets standard.
- b. **ALUO 18.4.6.030.B – Waiver of Right to Remonstrate and Consent to Participate in Costs of Improvements:** The Applicant acknowledges the intent of this general requirement.
- c. **ALUO 18.4.6.030.C – Permit Approval:** The Applicant acknowledges the intent of this general requirement.
- d. **ALUO 18.4.6.030.D – Easements:** The Applicant acknowledges the intent of this general requirement.
- e. **ALUO 18.4.6.030.E – Performance Guarantee Required:** The Applicant acknowledges the intent of this general requirement.
- f. **ALUO 18.4.6.030.F – Determination of Sum:** The Applicant acknowledges the intent of this general requirement.
- g. **ALUO 18.4.6.030.G – Agreement:** The Applicant acknowledges the intent of this general requirement.
- h. **ALUO 18.4.6.030.H – Failure to Perform:** The Applicant acknowledges the intent of this general requirement.

3. **ALUO Section 18.4.6.040 – Street Design Standards:**

- a. **ALUO 18.4.6.040.G – Standards Illustrated**
 - i. **Boulevard:** Siskiyou Boulevard is designated as a 2-lane Boulevard. The existing conditions do not include the required park row or sidewalk. The Applicant seeks an exception to having to improve the Siskiyou Boulevard frontage to the city standards. The request is based upon the following: The existing conditions include a large storm drainage swale adjacent to the street and a wide, multi-use, asphalt paved pathway. The swale is intermittent along Siskiyou while the pathway extends the length of Siskiyou Boulevard. The swale and the pathway are in excellent condition and replacement of them would be inconsistent with the remainder of Siskiyou Boulevard.

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- ii. Neighborhood Street: Meets standard. Park Street is designated as a Residential Neighborhood Street. The existing conditions along the Park Street frontage do not include a park row or sidewalk meeting current city standards. The Applicant proposes a new 7-foot-wide park row with approved street trees spaced according to city standards and a new 5-foot-wide concrete sidewalk.
- 4. *ALUO Section 18.4.6.050 – Street and Greenway Dedications:* N/A.
- 5. *ALUO Section 18.4.6.060 – Public Use Areas:* N/A.
- 6. *ALUO Section 18.4.6.070 – Sanitary Sewer and Water Service Improvements*
 - a. *ALUO 18.4.6.070.A – Sewer and water Mains Required:* The Applicant acknowledges the intent of this general requirement.
 - b. *ALUO 18.4.6.070.B – Sewer and water Plan Approval:* The Applicant acknowledges the intent of this general requirement.
 - c. *ALUO 18.4.6.070.C – Over-Sizing:* The Applicant acknowledges the intent of this general requirement.
 - d. *ALUO 18.4.6.070.D – Inadequate Facilities:* The Applicant acknowledges the intent of this general requirement.
- 7. *ALUO Section 18.4.6.080 – Storm Drainage and Surface Water Management Facilities*
 - a. *ALUO 18.4.6.080.A – Storm Drainage Plan Approval:* The Applicant acknowledges the intent of this general requirement.
 - b. *ALUO 18.4.6.080.B – Accommodation of Upstream Drainage:* The Applicant acknowledges the intent of this general requirement.
 - c. *ALUO 18.4.6.080.C – Effect on Downstream Drainage:* The Applicant acknowledges the intent of this general requirement.
 - d. *ALUO 18.4.6.080.D – Over-Sizing:* The Applicant acknowledges the intent of this general requirement.
 - e. *ALUO 18.4.6.080.E – Existing Watercourse:* The Applicant acknowledges the intent of this general requirement.
- 8. *ALUO Section 18.4.6.090 – Utilities*
 - a. *ALUO 18.4.6.090.A – General Provision:* The Applicant acknowledges the intent of this general requirement.
 - b. *ALUO 18.4.6.090.B – Height:* The Applicant acknowledges the intent of this general requirement.
 - c. *ALUO 18.4.6.090.C – Underground Utilities:*
 - i. *General Requirement:* The Applicant acknowledges the intent of this general requirement.
 - ii. *Partitions and Subdivisions:* N/A.
 - d. *ALUO 18.4.6.090.D – Exception to Underground Requirement:* N/A.
- vii. *ALUO CHAPTER 18.4.7 – Signs*
 - 1. *ALUO Section 18.4.7.020 – Applicability*
 - a. *ALUO 18.4.7.020.A:* Meets standard.
 - b. *ALUO 18.4.7.020.B – Permitting:*
 - i. *ALUO 18.4.7.020.B.1.a:* Meets standard. A new free-standing monument sign is proposed for the northwest corner of the site. Applicant acknowledges a permit is required.

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- ii. *ALUO 18.4.7.020.B.2*: Meets standard. Applicant acknowledges the permit submission requirements.
 - iii. *ALUO 18.4.7.020.B.3*: Meets standard. Applicant acknowledges the permit fee requirements.
 - c. *ALUO 18.4.7.020.C – Temporary Signs for New Business*: N/A.
 - d. *ALUO 18.4.7.020.D – Exceptions and Variances*: N/A.
- 2. *ALUO Section 18.4.7.030 – General Sign Regulations*
 - a. *ALUO 18.4.7.030.A – Bulletin Board or Reader Board*: N/A.
 - b. *ALUO 18.4.7.030.B – Placement of Signs*:
 - i. *Near Residential*: Meets standard. The proposed monument sign is placed facing Park Street.
 - ii. *Near Street Intersections*: Meets standard. No proposed signs are located within the vision clearance area adjacent to the Park Street and Siskiyou Boulevard intersection.
 - iii. *Near Driveways*: Meets standard.
 - iv. *Future Street Right-of-Way*: N/A.
 - c. *ALUO 18.4.7.030.C – Obstruction by Signs*: Meets standard.
 - d. *ALUO 18.4.7.030.D – Unsafe or Illegal Signs*: Meets standard. Applicant acknowledges these consequences of installing Unsafe or Illegal Signs.
 - e. *ALUO 18.4.7.030.E – Abatement of Nuisance Signs*: N/A.
- 3. *ALUO Section 18.4.7.040 – Exempted Signs*: N/A.
- 4. *ALUO Section 18.4.7.050 – Prohibited Signs*: N/A.
- 5. *ALUO Section 18.4.7.060 – Residential and North Mountain Sign Regulations*:
 - a. *ALUO 18.4.7.060.A – Special Provisions*:
 - i. Meets standard.
 - ii. Meets standard. No internally illuminated signs are proposed.
 - iii. Meets standard. No “Home Occupation” signs are permitted within the development.
 - b. *ALUO 18.4.7.060.B – Types of Signs Permitted*:
 - i. *Neighborhood Identification Signs*: Meets standard.
 - ii. *Conditional Uses*: N/A.
 - iii. *Retail and Traveler’s Accommodation Uses*: N/A.
 - iv. *North Mountain Neighborhood District (NM) Signs*: N/A.
- 6. *ALUO Section 18.4.7.070 – Section 18.4.7.090*: N/A.
- 7. *ALUO Section 18.4.7.100 – Construction and Maintenance Standards*
 - a. *ALUO 18.4.7.100.A – Materials of Construction*:
 - i. *Single and Multi-Family Residential Zones*: Meets standard.
 - ii. *Commercial and Industrial Zones*: N/A.
 - iii. *Non-Treated Signs*: Meets standard. All proposed signs will be less than 20 square feet in area.
 - iv. *Real Estate and Construction Signs*: Meets standard. All proposed signs will be of fire restrictive material.
 - v. *Directly Illuminated Signs*: N/A. Illuminated signs will not be used.
 - vi. *Glass*: N/A. Glass signs will not be used.
 - vii. *Wood*: Meets standard. Proposed wood sign components in contact with the ground will be a “foundation-grade” species of wood.

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- b. ALUO 18.4.7.100.B – Construction Methods:
 - i. Meets standard.
 - ii. Meets standard.
 - iii. Meets standard.
- 8. ALUO Section 18.4.7.110 thru Section 18.4.7.130: N/A.
- viii. **ALUO CHAPTER 18.5.7 – Tree Removal Permits**
 - 1. **ALUO Section 18.5.7.040.B.2 – Tree That is Not a Hazard:**
 - a. **Meets standard: There are several factors that limit the design options for placing a multi-family development on this site. Not one individual limitation results in the proposed removal of the existing redwood however, the culmination of them all makes it difficult to keep it. The limiting factors include:**
 - i. **Long Term Tree Health: It is questionable that a design could be achieved that would result in keeping the large redwood healthy over the long term. Given the tree’s location and its large protection zone it is certain that it would be impacted during construction. Also, it is likely that the foundation of at least one of the structures will negatively impact the tree’s root system no matter the final layout of the buildings.**
 - ii. **Parking: A primary limitation is locating the required parking area. An appropriate design calls for the parking area to be located at the south end of the site, a safe distance away from the Siskiyou Boulevard intersection and out of sight from this main thoroughfare. An efficient design requires a straight/limited length/two-way entry into the parking area. Given the number of spaces required, the parking area uses the entire width of the south end of the site. Placing the parking in this area eliminates the potential use of this area for buildings.**
 - iii. **Density: Given the housing market in Ashland it is incumbent upon a multi-family development to maximize the number of units that can be reasonably provided on any given site – the proposed design accomplishes that objective.**
 - iv. **Building Orientation: Our site fronts two streets (South Park and Siskiyou) and, per code, any building within 20 feet of a street must have a primary entry facing the street. This requirement precludes having a building’s side elevation facing either street, further constraining the options when placing the buildings on the site and making it more difficult to avoid removing the redwood tree.**
 - b. **Meets standard: The removal of the proposed trees will not impact erosion of the site, soil stability, flow of surface waters, the protection of adjacent trees or existing windbreaks.**
 - c. **Meets standard: The proposed removal of trees on site will not impact surrounding properties. The trees proposed for removal are stand alone trees with no noticeable relation/connection to adjacent trees and/or properties. They do not belong to a larger group of trees nor do their canopies extend into adjacent properties.**

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- d. There is no question that retaining the large redwood will significantly limit the design options for this site, including possibly the reduction of residential units.
- e. Meets standard: The Applicant is proposing a significant landscape plan that includes a wide variety of plant species. The number and variety of the proposed landscaping far exceeds that currently on site. Should it be determined that the proposed landscape design is inadequate in mitigating the loss of the existing trees, the Applicant is open to reasonable suggestions from Staff and/or the Tree Commission.

D. CITY FACILITIES:

a. *ALUO Chapter 18.4.6 – Public Facilities*

i. Finding:

- 1. Storm Water System: The site storm water pre-treatment and detention requirements per city of Ashland will be met by draining the onsite storm water into a proposed storm pond system at the corner of Park Street and Siskiyou Boulevard. The pond will drain into an existing roadside ditch along Siskiyou Boulevard then into an existing, underground 18" storm drain pipe. The site is too steep to allow for a proper design of a drainage swale per RVSS requirements.
- 2. Sanitary Sewer: The proposed sanitary lines will tie into an existing 8" diameter pipe located in Siskiyou Boulevard.
- 3. Water Service: The proposed water service (fire sprinkler system and domestic water) will connect to an existing 6" water line in Park Street. There is an existing fire hydrant located on the west side of Park Street near the intersection of Siskiyou Boulevard that will remain.
- 4. Electrical Service: There is overhead power running onsite on the east side of Park Street on the project side of the road. Power can be dropped down from this existing power poles to serve the site. Representatives of the Applicant have met with Dave Tygerson of the Ashland Electric Department. With Mr. Tygerson's assistance they have determined that there is adequate power to serve the proposed project and have incorporated his design comments.

ii. Finding: See responses to ALUO Chapter 18.4.6 above.

E. EXCEPTION to the SITE DEVELOPMENT and DESIGN STANDARDS:

- a. Exception 1: Finding: The Applicant seeks an exception to the Street Standards along Siskiyou Boulevard. The request is to forego installing a new park row and a new sidewalk. The request is based upon the following: The existing conditions include a large storm drainage swale adjacent to the street and a wide, multi-use, asphalt paved pathway. The swale and pathway extend the length of Siskiyou Boulevard. The swale and the pathway are in excellent condition and replacement of them would be inconsistent with the remainder of Siskiyou Boulevard. See request in response above.
- b. Exception 2: Finding: The Applicant seeks an exception to the Street Standards along South Park Street. The request is to install a modified park row and sidewalk where a portion of new sidewalk jogs around new power poles and an existing electrical cabinet. The new power poles are sited in the most feasible location per Dave Tygerson (City of Ashland Electric Department). This placement conflicts with the placement of a standard park row

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and sidewalk. Therefore, the proposed modified park row and sidewalk will include a mix of new park row and new sidewalk that meet standards with a portion of new sidewalk that jogs to avoid the power poles. Where the new sidewalk jogs, the park row will be momentarily interrupted as a portion of new sidewalk will need to extend to the street curb.

Attachments: Zoning Permit Application, Survey, Proposed Site Plan, Site Analysis Map, Exterior Elevations, Rendered Exterior Elevations, Floor Plans, Preliminary Grading + Drainage Plan, Erosion Control Plan, Landscape Plan, Irrigation Plan, *Tree Protection Plan*, Preliminary Utility Site Plan, *Arborist's Report*

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CANOPY LLC

The Care of Trees

canopyarborcare.com

157 Max Loop

Talent, OR 97540

(541) 631-8000



July 17, 2018

City of Ashland
Planning Department
51 Winburn Way
Ashland, OR 97520

RE: Trees at 880 Park Street

I have inspected the site and trees at 880 Park Street per the request of Eric Simpson Landscaping.

Below is a list of the trees, my measurements of them, and considerations for their removal or preservation. They are referenced by the numbering system as designated on the landscaping plan, L3.0.

Tree #1

Green Ash, *Fraxinus pennsylvanica*. 12" DBH. Well within the area of the proposed bioswale. This bioswale will necessitate the excavation to a depth of over 36" inches will within the critical root zone of the tree, most likely compromising its stability and health. Recommend removal.

Tree #2

Green Ash, *Fraxinus pennsylvanica*. 6" DBH. The plan calls for the preservation of this tree.

Tree #3

Modesto Ash, *Fraxinus velutina*. 12.5" DBH. Trunk of the tree and a great deal of the root zone is within the building footprint. Recommend removal.

Tree #4

Green Ash, *Fraxinus pennsylvanica*. 10" DBH. The plan calls for the preservation of this tree.

Tree #5

Green Ash, *Fraxinus pennsylvanica*. 11" DBH. This tree is well within the building footprint. Recommend removal.

Tree #6

Redwood, *Sequoia sempervirens*. 35" DBH. This is a large, healthy tree, but as the project is now designed, well within the building footprint and would need to be removed. I do not see options for preservation of this tree short of a project re-design.

Tree #7

Redwood *Sequoia sempervirens*. Multiple trunks measuring: 11, 8, 10, 12, and 14 inches DBH. The plan calls for the removal of this tree. The tree does not appear to fall within the building footprint. It seems feasible that this tree could be preserved through tree protection measures, but would require adjustment of landscaping plans.

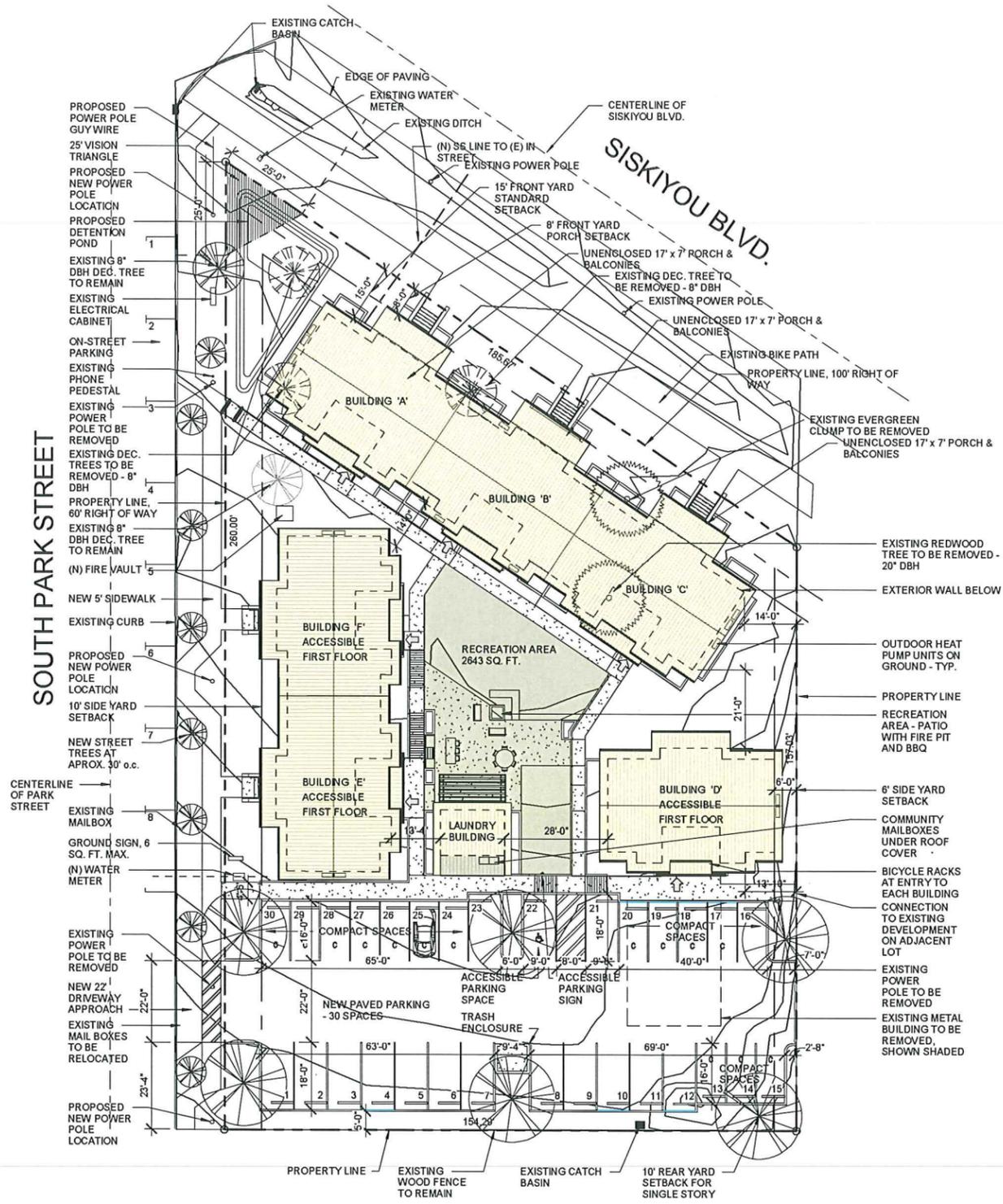
When considering the redwood trees (#6 and #7) for preservation I recommend some due diligence in addressing how these coniferous trees may be treated with the potential adoption of a new City wildfire ordinance. If preserved, they would both be within 30 feet from the building, but I am unclear if this would necessitate their removal, or if they are of a

size large enough that fuels reduction pruning would suffice. If preserved, I recommend that an official more familiar with the new ordinance be consulted.

I have reviewed the tree protection plan articulated in the landscaping plan and find it to be adequate and adhering to industry standards. I would reiterate the need for supplemental watering of any trees preserved, especially during the summer months. I also recommend that the trees on the neighboring property to the South be addressed, especially the large deodar cedar near the southeast corner. The tree protection plan should extend to these trees as well.

Please feel free to get in touch if there are any further questions regarding these findings.

Christopher John
Arborist, Canopy LLC
ISA Certification #WE-9504A
Tree Risk Assessor Qualified (TRAQ)



VEHICLE PARKING PROVIDED	
PARKING STALL TYPE	COUNT
(ASHLAND ADA) 9' x 18'	1
(ASHLAND COMPACT) 8' x 18'	15
(ASHLAND STANDARD) 9' x 18'	14
TOTAL	30

PER ASHLAND LAND USE ORDINANCE, TABLE 18.4.3.040, MULTI-FAMILY: 3-BEDROOM OR GREATER UNITS REQUIRES 2.00 SPACES PER UNIT.

ZONING INFORMATION

BASE ZONE: MULTI-FAMILY RESIDENTIAL - (R-3)
OVERLAY ZONES: NONE
SPECIAL DISTRICTS: NONE
MAP & TAX LOT: 39 1E 15AD 3402
ACERAGE: 0.74 ACRES (32,199 SF)

BUILDING INFORMATION

BUILDING AREA/STORIES:	BUILDING	AREA	STORIES	ADA
	BUILDING A	3345	3	Y
	BUILDING B	3345	3	Y
	BUILDING C	3345	3	Y
	BUILDING D	2230	2	Y
	BUILDING E	2230	2	Y
	BUILDING F	2230	2	Y
	LAUNDRY BUILDING	221	1	Y

TOTAL BUILDING SQUARE FOOTAGE: 16,946 ZF
NUMBER OF DWELLING UNITS: 15 FOUR-BEDROOM
 NOTE: ADA ACCESSIBILITY APPLIES TO GROUND FLOOR UNITS ONLY.

SITE INFORMATION

PERCENTAGE OF COVERAGE:	PERCENTAGE
BUILDINGS	21%
PARKING	25%
SIDEWALK	15%
PATIO	5%
OPEN AREAS	8.3%
RECREATION AREAS	8.2%
LANDSCAPING	34%

PERCENTAGE OF IMPERVIOUS SURFACE: 66%

UNIT ACCESSIBILITY

ACCESSIBLE UNITS: 6 ACCESSIBLE TYPE B UNITS ARE PROVIDED PER SECTION 1107

LEGEND

- PROPOSED BUILDING
- PROPOSED RECREATION AREA

PROPOSED SITE PLAN 1

24 X 36: 1" = 20'-0"
 11 X 17: 1" = 40'-0"

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ZONING INFORMATION

BASE ZONE: MULTI-FAMILY RESIDENTIAL - (R-3)
OVERLAY ZONES: NONE
SPECIAL DISTRICTS: NONE
MAP & TAX LOT: 39 1E 15AD 3402
ACERAGE: 0.74 ACRES (32,199 SF)

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VICINITY MAP
NTS (2)

R-3

157.03'

R-3

SISKIYOU BLVD.

CENTERLINE OF SISKIYOU BLVD.

EXISTING POWER POLE
EXISTING DITCH

EDGE OF EXISTING PAVING

2070'
2071'

EXISTING WATER METER

EXISTING CATCH BASINS

EXISTING 12' DEC. TREE TO BE REMOVED

EXISTING 12' DEC. TREE TO BE REMOVED

EXISTING 12' DEC. TREE TO REMAIN

EXISTING 12' DEC. TREE TO REMAIN

EXISTING PHONE PEDESTAL

EXISTING POWER POLE TO BE REMOVED

EXISTING ELECTRICAL CABINET

EXISTING DRIVEWAY CURB CUT TO BE REMOVED

185.67'

EXISTING BIKE PATH

EXISTING EVERGREEN CLUMP TO BE REMOVED

EXISTING 30' REDWOOD TREE TO BE REMOVED

EXISTING 12' DEC. TREE TO BE REMOVED

2073'

2074'

2075'

2076'

2077'

2078'

2079'

2080'

2081'

SOUTH PARK STREET

260.00'

EXISTING CURB

EXISTING MAIL BOX

PROPERTY LINE, 60' RIGHT OF WAY

EXISTING MAIL BOXES TO BE RELOCATED

EXISTING DRIVEWAY CURB CUT TO BE REMOVED

R-1-7.5

154.29'

PROPERTY LINE

EXISTING WOOD FENCE TO REMAIN

EXISTING CATCH BASIN TO BE REMOVED

EXISTING METAL BUILDING TO BE REMOVED

EXISTING POWER POLE TO BE REMOVED

2082'

2083'

PARK SQUARE - NEW APARTMENTS

SITE REVIEW
8.01.18

kistler+small+white architects

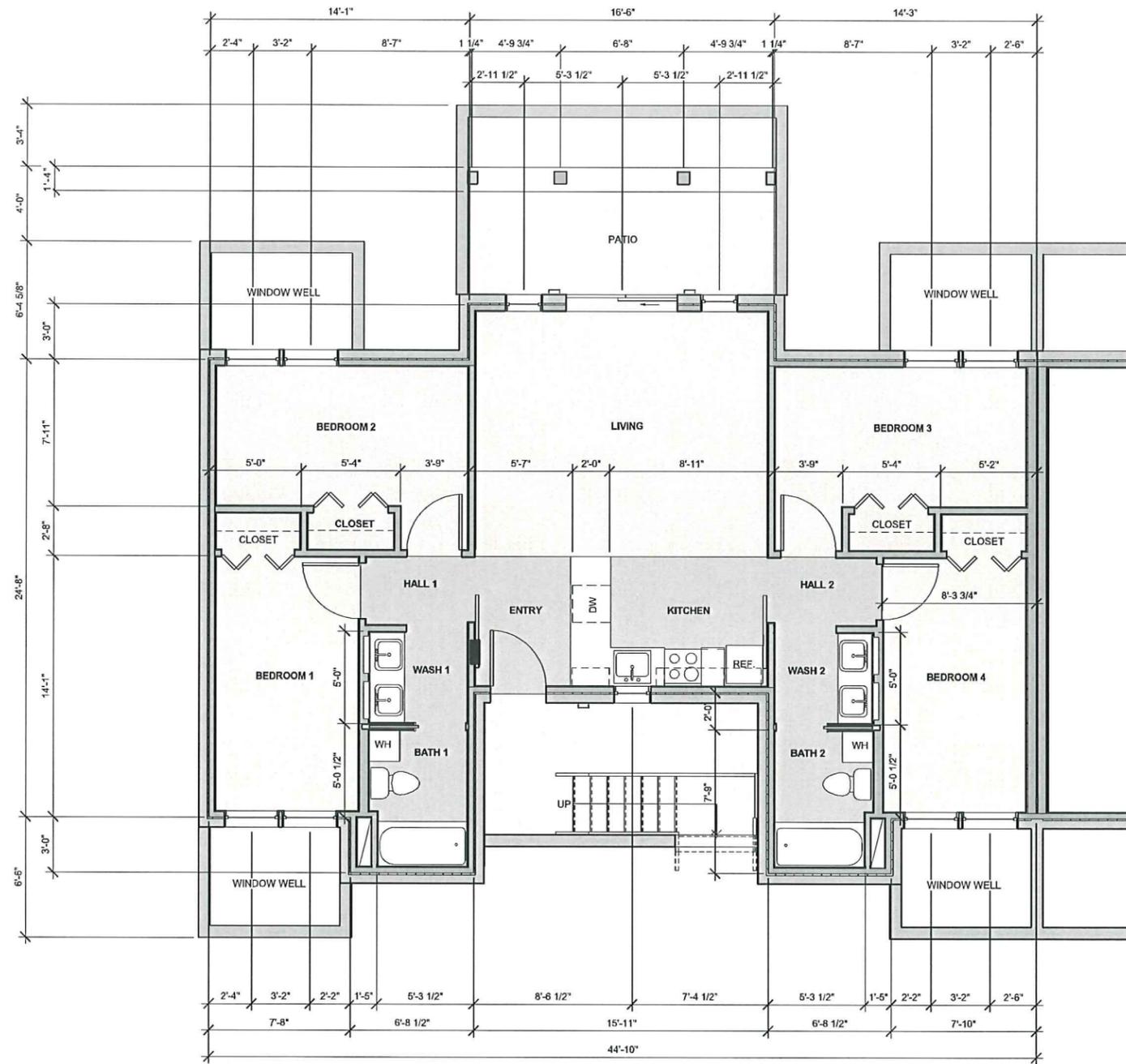


SITE - ANALYSIS MAP (1)

24 X 36: 1" = 10'-0"
11 X 17: 1" = 20'-0"

SITE ANALYSIS

A0.3

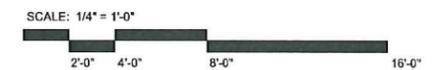


BELOW GRADE PLAN 1

24 X 36: 1/4" = 1'-0"
11 X 17: 1/8" = 1'-0"

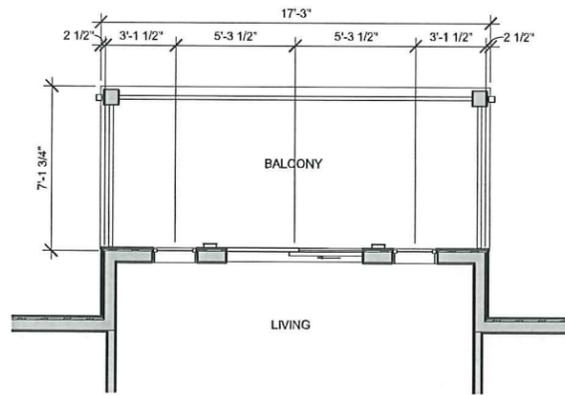


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BELOW GRADE PLAN

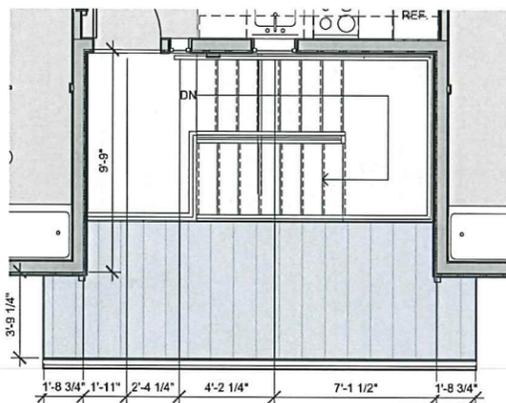
A3.1



3 STORY BLD'G. REAR BALCONY
AT THIRD STORY

24 X 36: 1/4" = 1'-0"
11 X 17: 1/8" = 1'-0"

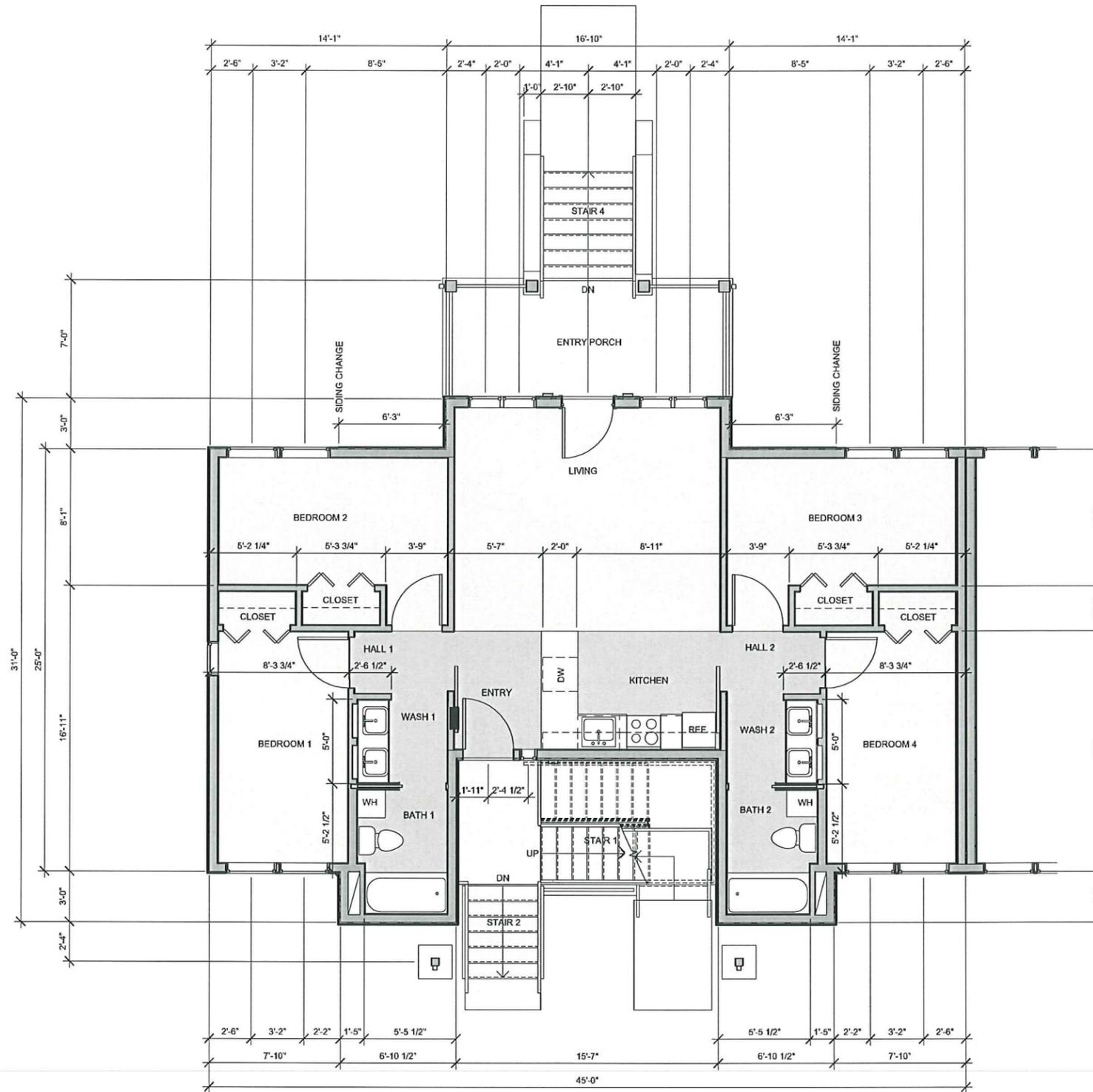
2



3 STORY BLD'G. TOP OF STAIR

24 X 36: 1/4" = 1'-0"
11 X 17: 1/8" = 1'-0"

3



3 STORY BLD'G. - SECOND FLOOR PLAN

THIRD FLOOR PLAN SIM., SEE ENTRY AND BALCONY PLANS AT LEFT

24 X 36: 1/4" = 1'-0"
11 X 17: 1/8" = 1'-0"

1

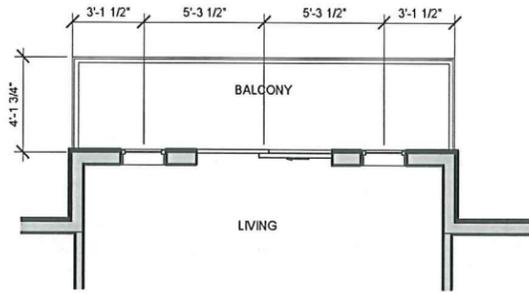
REFERENCE NORTH

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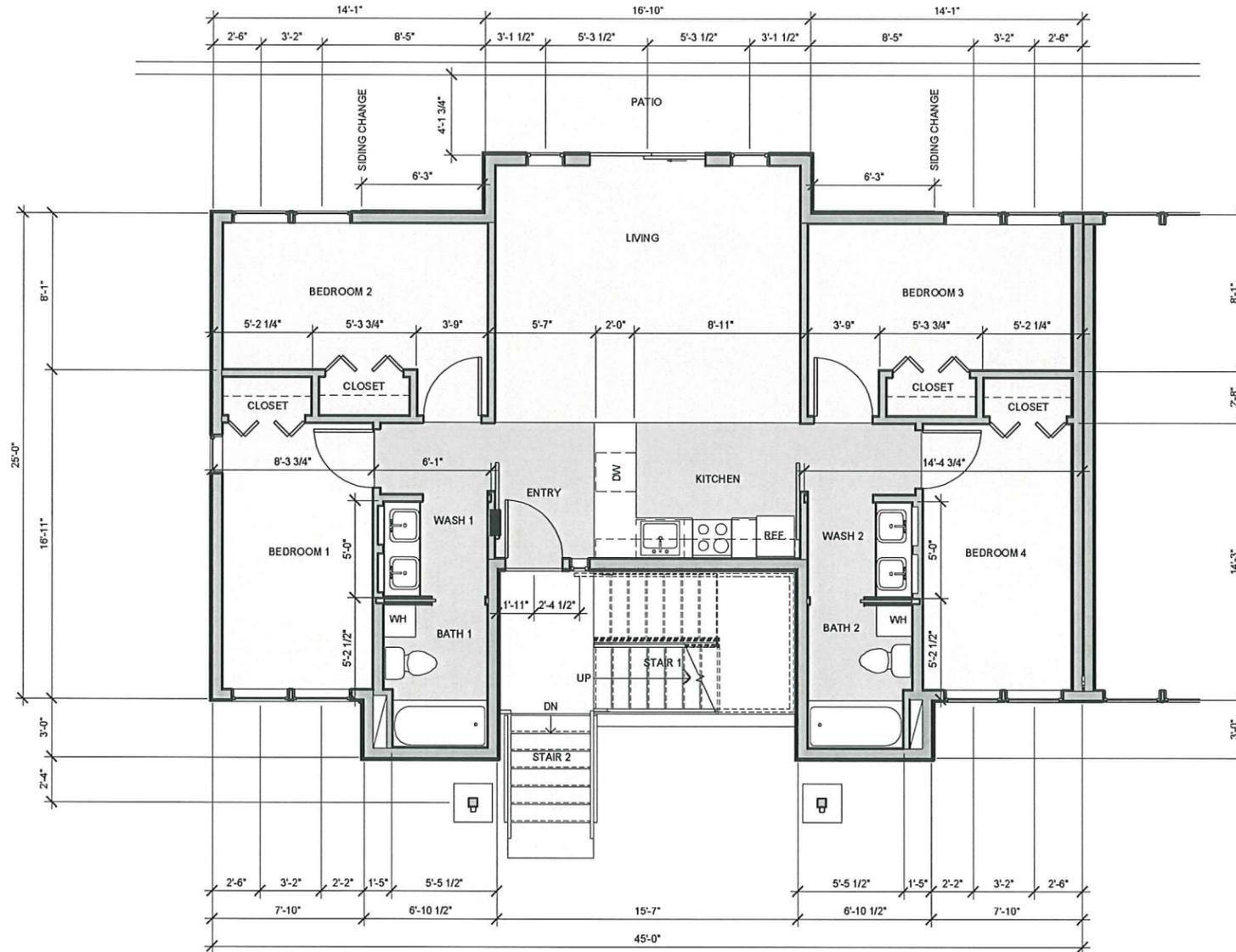
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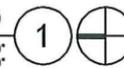
2 STORY BLD'G. REAR BALCONY
AT SECOND STORY

24 X 36: 1/4" = 1'-0"
11 X 17: 1/8" = 1'-0"



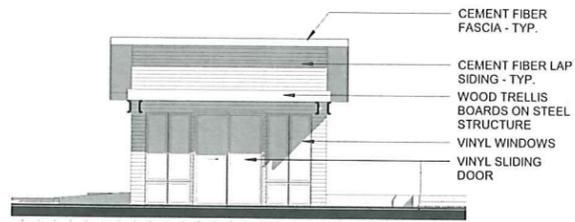
2 STORY BLD'G. REAR PATIO
AT FIRST STORY

24 X 36: 1/4" = 1'-0"
11 X 17: 1/8" = 1'-0"



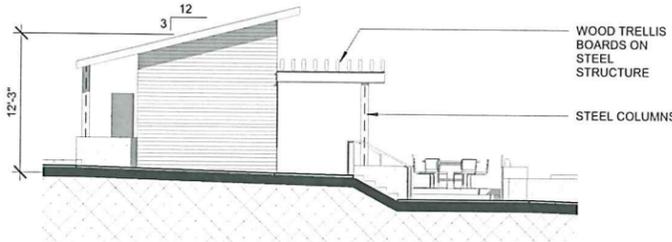
REFERENCE
NORTH

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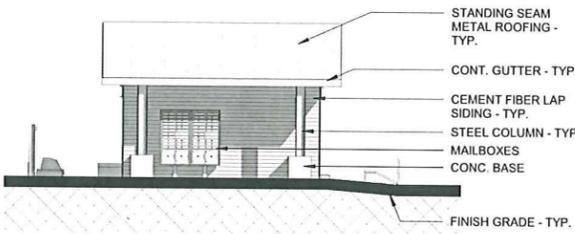
LAUNDRY NORTH 5
 24 X 36: 1/8" = 1'-0"
 11 X 17: 1/16" = 1'-0"

- CEMENT FIBER FASCIA - TYP.
- CEMENT FIBER LAP SIDING - TYP.
- WOOD TRELLIS BOARDS ON STEEL STRUCTURE
- VINYL WINDOWS
- VINYL SLIDING DOOR



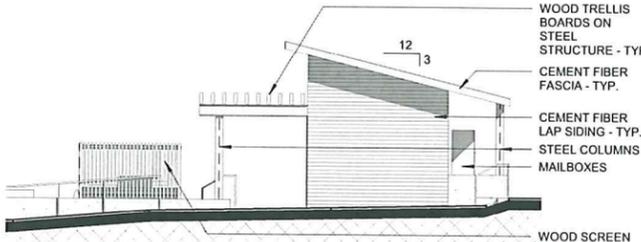
LAUNDRY EAST 6
 24 X 36: 1/8" = 1'-0"
 11 X 17: 1/16" = 1'-0"

- WOOD TRELLIS BOARDS ON STEEL STRUCTURE
- STEEL COLUMNS



LAUNDRY SOUTH 7
 24 X 36: 1/8" = 1'-0"
 11 X 17: 1/16" = 1'-0"

- STANDING SEAM METAL ROOFING - TYP.
- CONT. GUTTER - TYP.
- CEMENT FIBER LAP SIDING - TYP.
- STEEL COLUMN - TYP.
- MAILBOXES
- CONC. BASE
- FINISH GRADE - TYP.



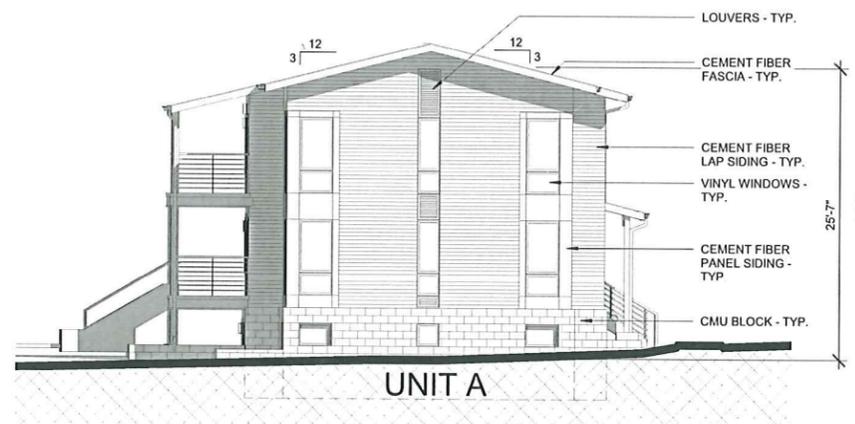
LAUNDRY WEST 8
 24 X 36: 1/8" = 1'-0"
 11 X 17: 1/16" = 1'-0"

- WOOD TRELLIS BOARDS ON STEEL STRUCTURE - TYP.
- CEMENT FIBER FASCIA - TYP.
- CEMENT FIBER LAP SIDING - TYP.
- STEEL COLUMNS
- MAILBOXES
- WOOD SCREEN AT BBQ



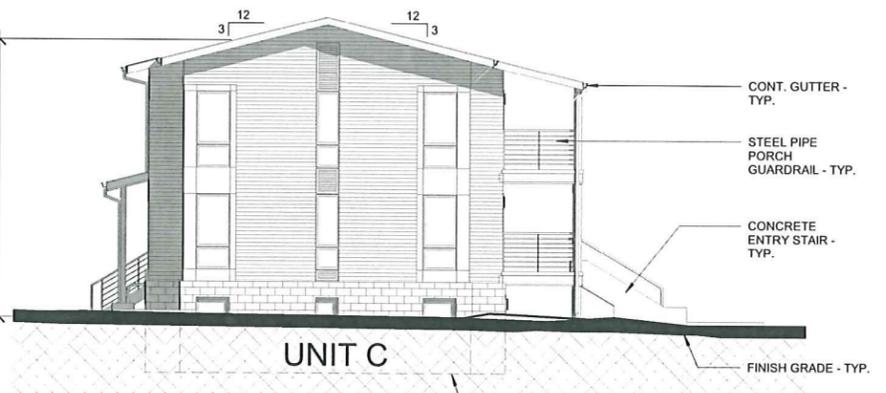
3 STORY NORTH / FRONT ELEVATION 1
 24 X 36: 1/8" = 1'-0"
 11 X 17: 1/16" = 1'-0"

- STANDING SEAM METAL ROOFING - TYP.
- CONT. GUTTER - TYP.
- CEMENT FIBER LAP SIDING - TYP.
- STEEL PIPE PORCH GUARDRAIL - TYP.
- WOOD ENTRY DOOR - TYP.
- VINYL WINDOWS - TYP.
- WOOD COLUMN - TYP.
- CONCRETE ENTRY STAIR - TYP.
- WINDOW WELL - TYP.
- FINISH GRADE - TYP.
- FINISH FLOOR OF LOWER LEVEL - TYP.



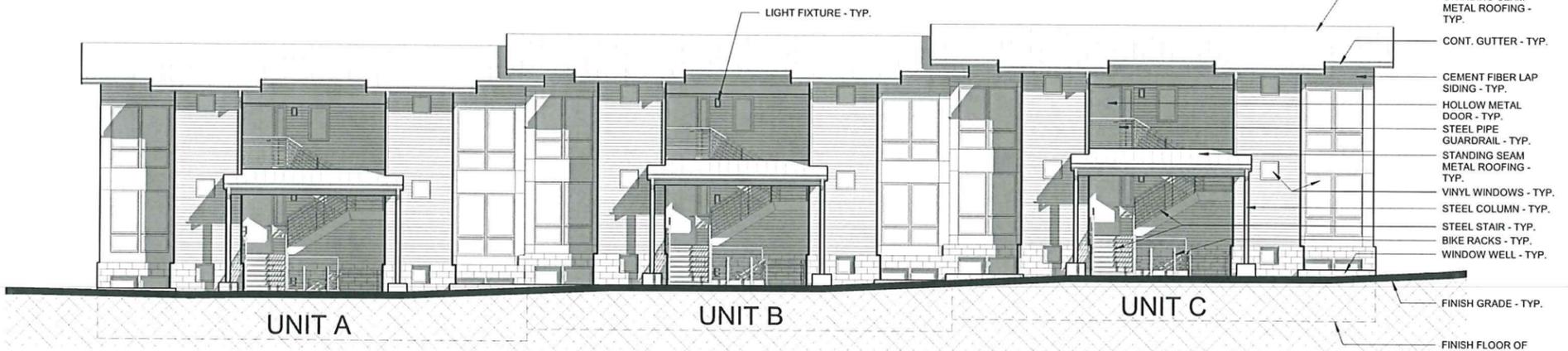
3 STORY WEST / RIGHT ELEV 3
 24 X 36: 1/8" = 1'-0"
 11 X 17: 1/16" = 1'-0"

- LOUVERS - TYP.
- CEMENT FIBER FASCIA - TYP.
- CEMENT FIBER LAP SIDING - TYP.
- VINYL WINDOWS - TYP.
- CEMENT FIBER PANEL SIDING - TYP.
- CMU BLOCK - TYP.



3 STORY EAST / LEFT ELEV 2
 24 X 36: 1/8" = 1'-0"
 11 X 17: 1/16" = 1'-0"

- CONT. GUTTER - TYP.
- STEEL PIPE PORCH GUARDRAIL - TYP.
- CONCRETE ENTRY STAIR - TYP.
- FINISH GRADE - TYP.
- FINISH FLOOR OF LOWER LEVEL - TYP.



3 STORY SOUTH / REAR ELEVATION 4
 24 X 36: 1/8" = 1'-0"
 11 X 17: 1/16" = 1'-0"

- STANDING SEAM METAL ROOFING - TYP.
- CONT. GUTTER - TYP.
- CEMENT FIBER LAP SIDING - TYP.
- HOLLOW METAL DOOR - TYP.
- STEEL PIPE GUARDRAIL - TYP.
- STANDING SEAM METAL ROOFING - TYP.
- VINYL WINDOWS - TYP.
- STEEL COLUMN - TYP.
- STEEL STAIR - TYP.
- BIKE RACKS - TYP.
- WINDOW WELL - TYP.
- FINISH GRADE - TYP.
- FINISH FLOOR OF LOWER LEVEL - TYP.

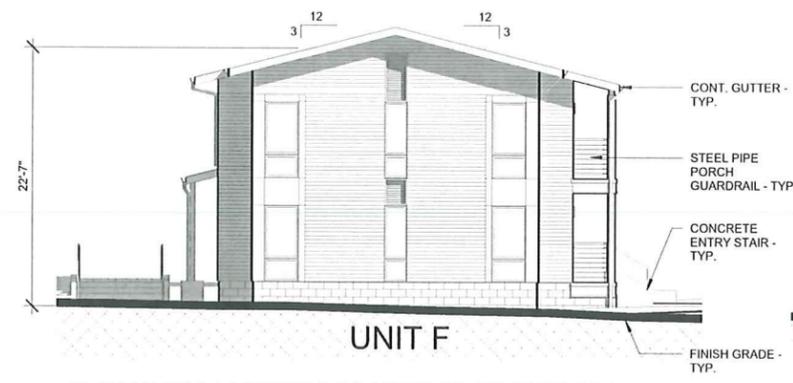
LAUNDRY BUILDING ELEVATIONS
PARK SQUARE - NEW APARTMENTS

SITE REVIEW
 8.01.18

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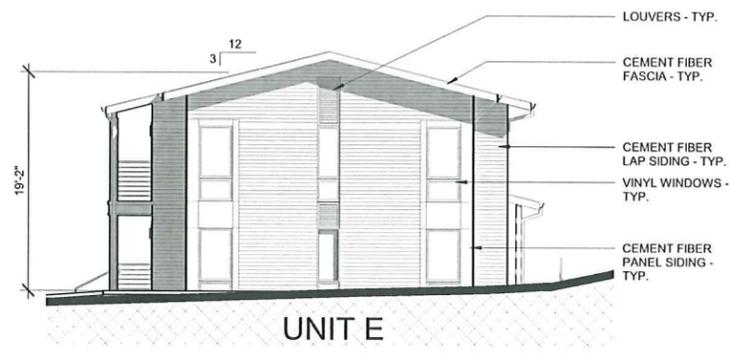
EXTERIOR ELEVATIONS



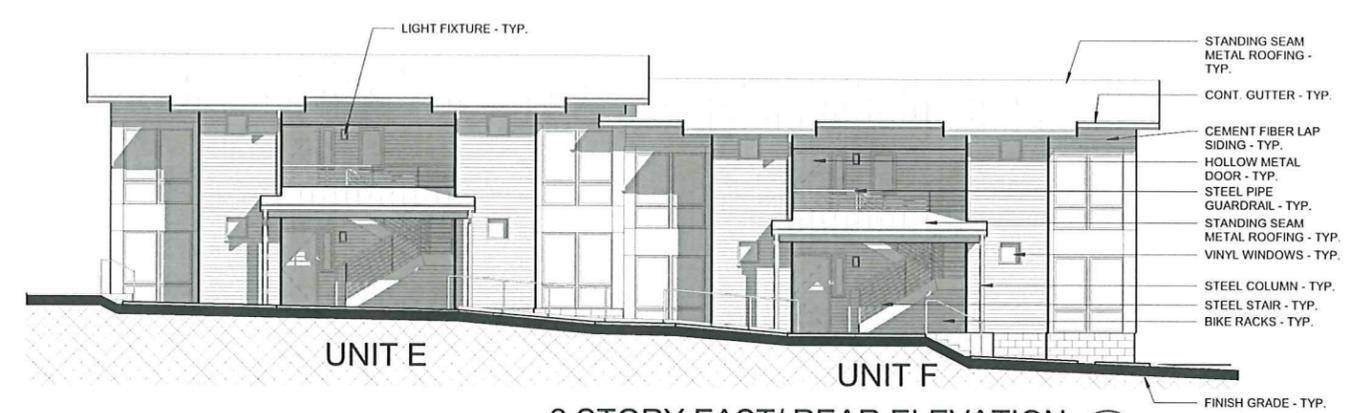
UNIT F
2 STORY NORTH / LEFT ELEVATION ②
24 X 36: 1/8" = 1'-0"
11 X 17: 1/16" = 1'-0"



UNIT F UNIT E
2 STORY WEST / FRONT ELEVATION ①
24 X 36: 1/8" = 1'-0"
11 X 17: 1/16" = 1'-0"

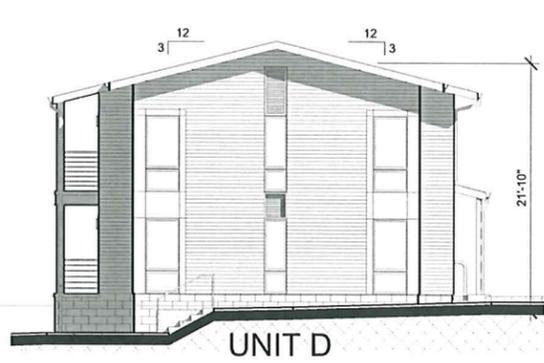


UNIT E
2 STORY SOUTH / RIGHT ELEVATION ④
24 X 36: 1/8" = 1'-0"
11 X 17: 1/16" = 1'-0"

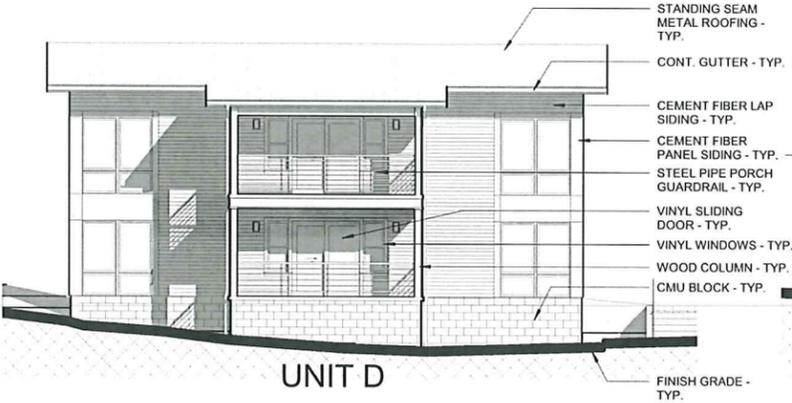


UNIT E UNIT F
2 STORY EAST / REAR ELEVATION ③
24 X 36: 1/8" = 1'-0"
11 X 17: 1/16" = 1'-0"

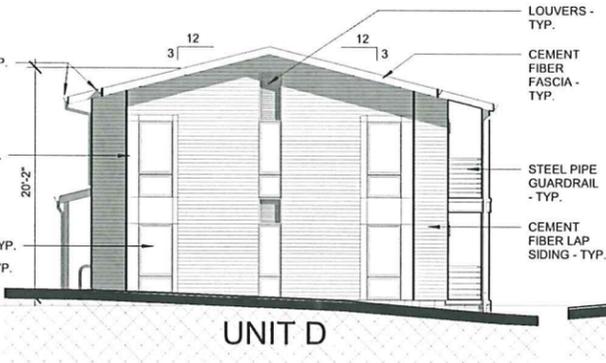
2 STORY DOUBLE BUILDING ELEVATIONS



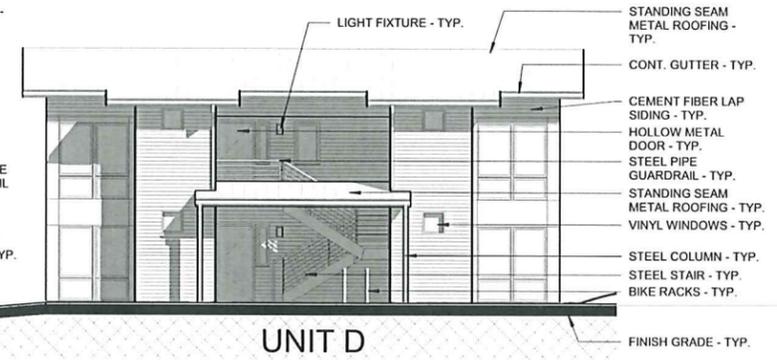
UNIT D
2 STORY WEST / LEFT ELEVATION ⑧
24 X 36: 1/8" = 1'-0"
11 X 17: 1/16" = 1'-0"



UNIT D
2 STORY NORTH / REAR ELEVATION ⑦
24 X 36: 1/8" = 1'-0"
11 X 17: 1/16" = 1'-0"



UNIT D
2 STORY EAST / RIGHT ELEVATION ⑥
24 X 36: 1/8" = 1'-0"
11 X 17: 1/16" = 1'-0"

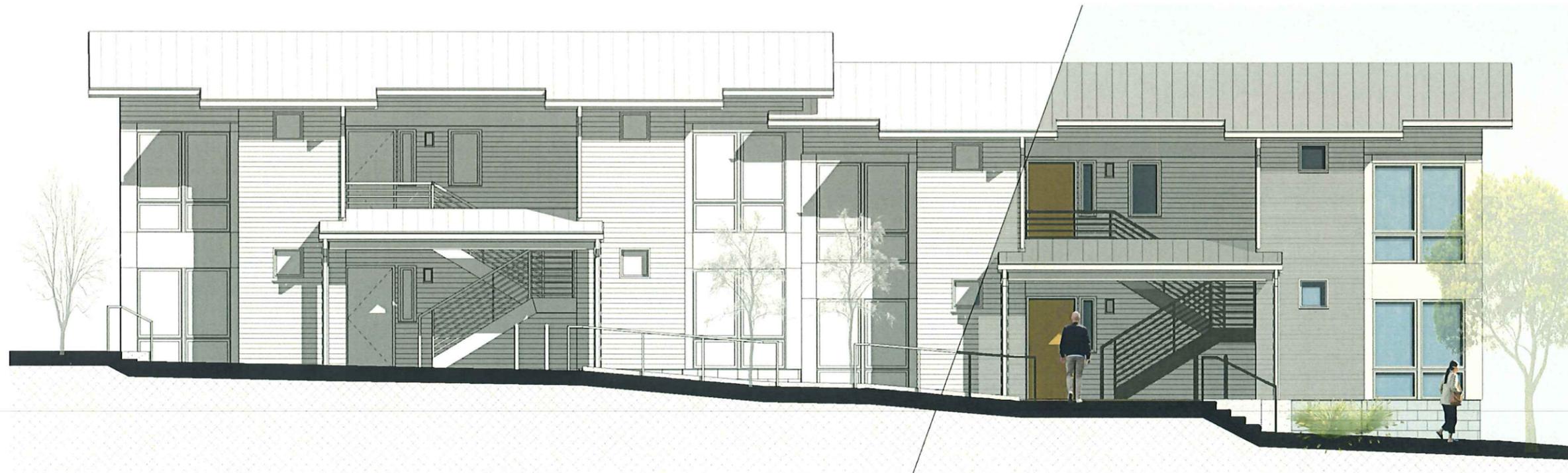


UNIT D
2 STORY SOUTH / FRONT ELEVATION ⑤
24 X 36: 1/8" = 1'-0"
11 X 17: 1/16" = 1'-0"

2 STORY SINGLE BUILDING ELEVATIONS



2 STORY FRONT ELEVATION ①
11 X 17: 1/8" = 1'-0"



2 STORY REAR ELEVATION ②
11 X 17: 1/8" = 1'-0"

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STORY EXTERIOR ELEVATIONS

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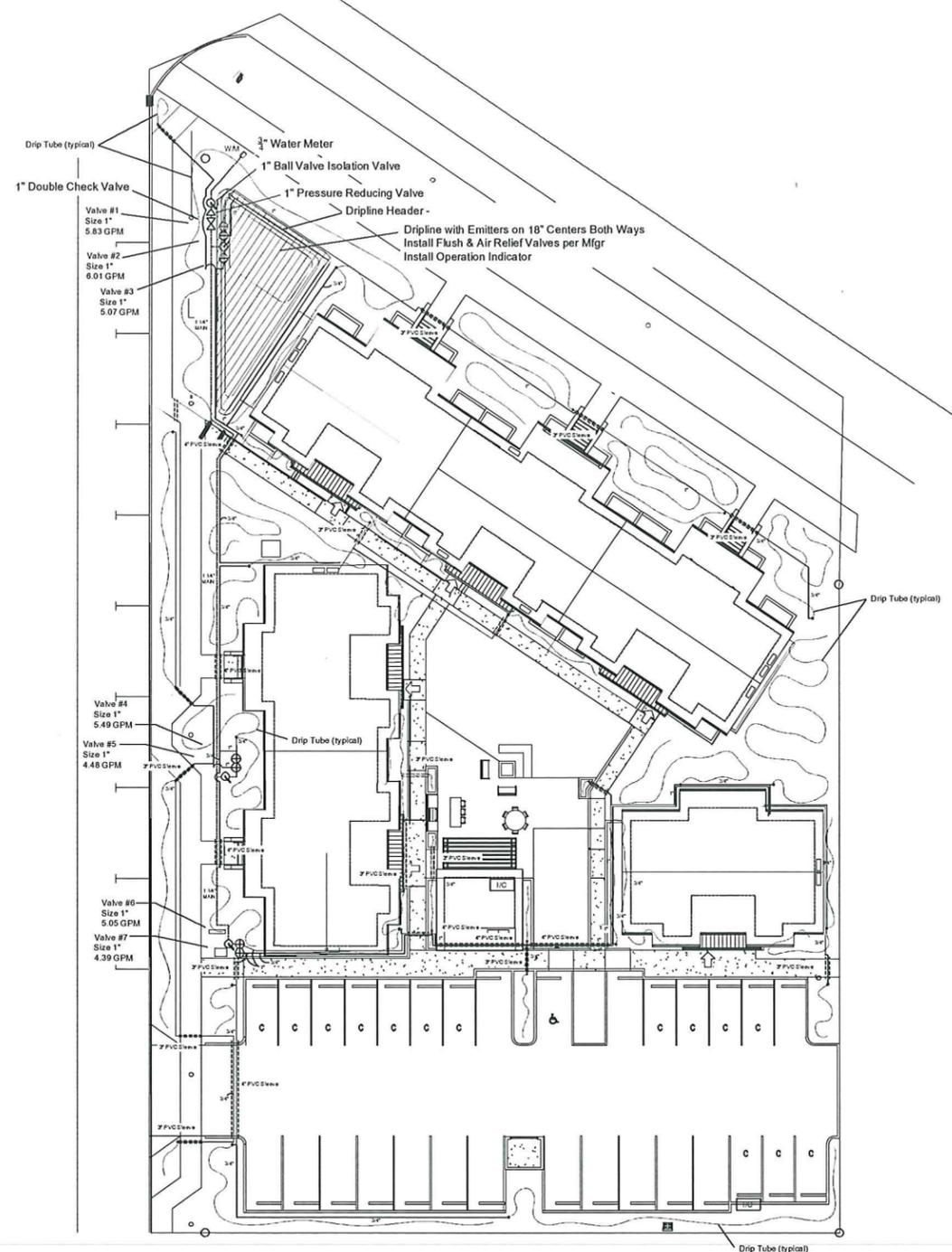
AUG 14 2018

City of Ashland

FOR PERMIT

THESE DRAWINGS SHALL BE USED FOR: CONSTRUCTION BIDDING RECORDATION CONVEYANCE ISSUANCE OF A PERMIT

Eric Simpson LANDSCAPING ericsimpsonlandscaping.com 541-973-5497 Lic. #6971



- IC Irrigation Controller Rainbird ESP-SMTe Smart Controller w/ WR-2 Wireless Sensor
1\" Commercial Drip Zone Kit 1\" Rainbird XCZ100-PR-BLC
NOTE: Substitution acceptable only if valve has low-flow (2 GPM<) capability
1\" Double Check Valve 1\" Wilkins-Zum 350 XL or approved equal
1\" Pressure Reducing Valve Watts LFN45B-EZ or approved equal
1\" Ball Valve Isolation Valve Spears or approved equal
Line Size Spring-loaded Check Valve at PVC to Drip Connection
3/4\" Water Meter
3\" PVC Sleeve
3/4\" & 1\" Lateral Line PVC Class 200
1 1/4\" Main Line PVC Schedule 40
Dripline - 1 GPH Emitters @ 18\" o.c.
.700\" Drip Tube Rainbird XT-700 or approved equal
Rainbird XQ 1/4\" Distribution Tubing (not shown)
TORO DBK Emitters (not shown)

IRRIGATION NOTES:

- 1. IRRIGATION SOURCE
City of Ashland 3/4\" Water Meter
2. PRESSURE REDUCING VALVE
System requires a 1\" pressure-reducing valve
System design pressure: 60 PSI Zones reduced to 40 PSI
3. SLEEVES
All piping under paving shall be in sleeves
4. COVER
Mainline minimum cover: 12\"
Lateral line minimum cover: 8\"
Drip line minimum cover: 2\" - 6\" Staples on maximum 6\" centers

DRIP EMITTER SCHEDULE:

- 1. INITIAL INSTALLATION
4\" & one gallon size plants Two 1 GPH Emitter
5 gallon size plants Two 2 GPH Emitters
10 gallon size conifers Four 2 GPH Emitters
Trees Eight 2 GPH Emitters
2. THREE YEARS
Groundcover Add One 1 GPH Emitter
Shrubs Add Two 1 GPH Emitters
Trees Add Three 2 GPH Emitters
3. SIX YEARS
Groundcover Add Two 1 GPH Emitter
Shrubs Add Three 1 GPH Emitters
Trees Add Three 2 GPH Emitters
4. TREES - NINE YEARS & BEYOND
Add emitters as needed, calculated at 10 gallons of water per week per each one-inch of tree caliper (DBH)

DRIP TUBING:

- 1. Do not exceed 220 GPH on any single run of .700 Drip Tube
2. Do not exceed 400' length on any single run of .700 Drip Tube
3. Do not exceed 30 GPH on any single run or connection of 1/4\" Drip Tube
4. Do not exceed 30' length on any single run of 1/4\" Drip Tube

PVC PIPE (sizing to allow for future expansion):

- 1. Do not exceed 5 GPM on any single run of 3/4\" PVC Pipe
2. Do not exceed 8 GPM on any single run of 1\" PVC Pipe
3. Equipment, Valves and Piping are oversized for future expansion as plants mature.

PARK SQUARE - NEW APARTMENTS

TUDOR PROPERTIES LLC
880 PARK STREET, ASHLAND, OREGON 97520

REVISIONS

Irrigation Plan

PROJECT NO.: 17-004
ISSUE DATE: 08.01.18
SHEET:

Scale: 1\" = 20\"



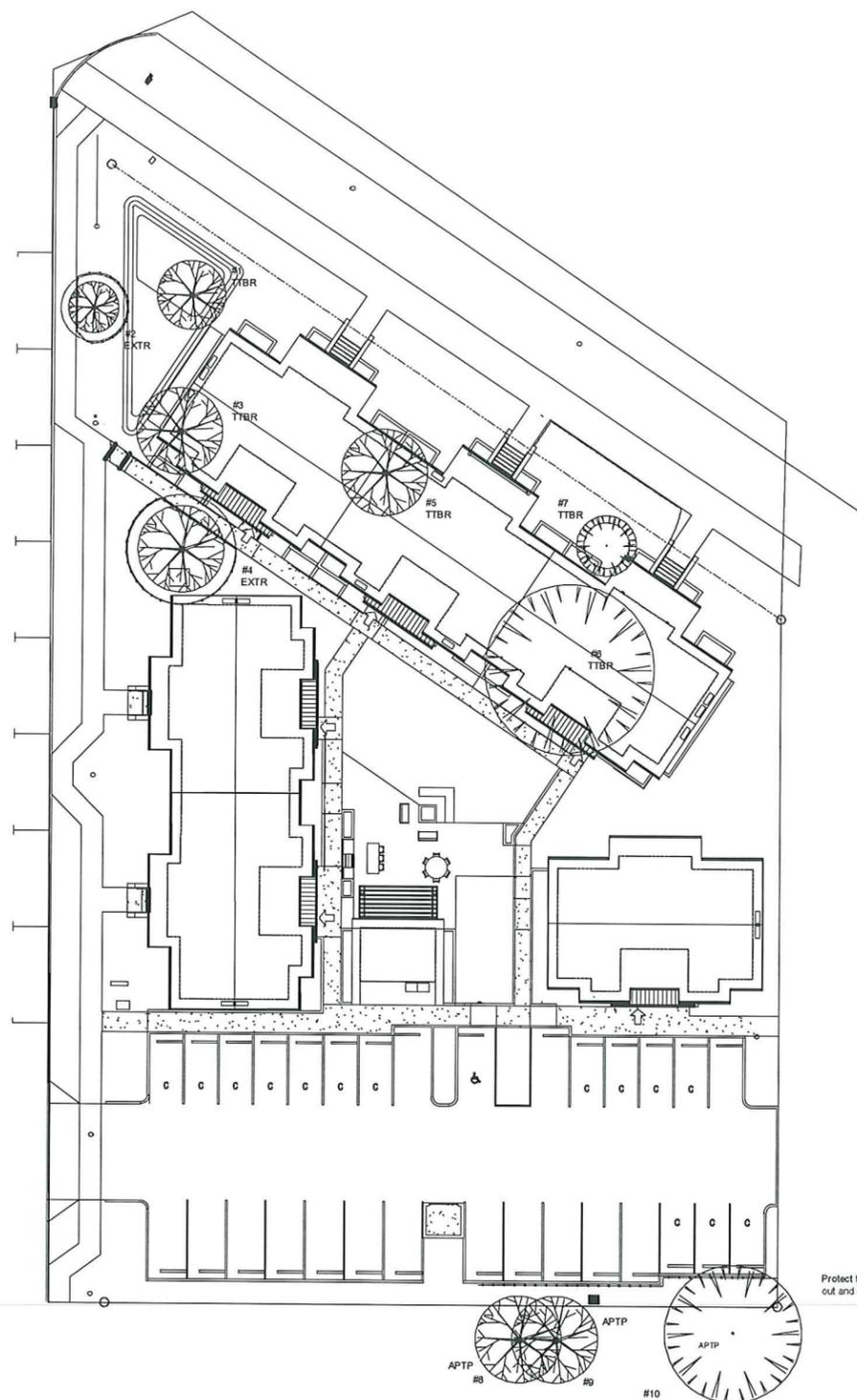
L2.0

FOR PERMIT

THESE DRAWINGS SHALL BE USED FOR: CONSTRUCTION BIDDING RECORDATION CONVEYANCE ISSUANCE OF A PERMIT

Eric Simpson LANDSCAPING

ericsimpsonlandscaping.com 541-973-5497 Lic. #6971

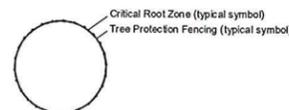


Tree Protection Notes:

Trees noted with 'EXTR' = existing onsite trees to remain and receive 'Tree Protection' as noted. Trees noted with 'TTBR' = existing onsite trees to be removed before or during construction. Trees noted with 'APTP' = existing offsite tree on adjacent property to be protected.

- 1. Tree Protection shall be in place before ANY construction is commenced.
2. Tree Protection shall be chain link fencing, a minimum of six feet tall with steel posts placed no further than ten feet apart, shall be installed at the edge of the tree protection zone or dripline, whichever is greater, and at the boundary of any open space tracts, riparian areas, or conservation easements that abut the parcel being developed.
3. Approved signs shall be attached to the chain link fencing stating that inside the fencing is a tree protection zone, not to be disturbed unless prior approval has been obtained from the Staff Advisor for the project.
4. The actual location or tree protection for this project is as noted on these plans.
5. The fencing shall be flush with the initial undisturbed grade.
6. Fencing shall be enclosed to prevent any unauthorized access for the full duration of construction.
7. No construction activity shall occur within the tree protection zone, including but not limited to vehicles, except under the direct supervision of the Staff Advisor.
8. The Tree Protection Zone shall remain free of chemically injurious materials and liquids such as paints, thinners, cleaning solutions, petroleum products, concrete or dry wall excess, and construction debris or run-off.
9. No excavation, trenching, grading, root pruning, or other activity shall occur within the Tree Protection Zone unless approved by the Staff Advisor.
10. Any work necessary within the dripline is subject to prior approval and direction of the Staff Advisor.
11. Trees being protected will be watered regularly via a temporary watering system until surrounding landscape and irrigation is complete.
12. Tree(s) to be removed that are within the dripline of any trees to main shall be removed only by certified and competent workmen.
13. Any damage to Protected Trees shall be reported to the Staff Advisor within 24 hours of observation.
14. Except as otherwise determined by the Staff Advisor, all required Tree Protection measures set forth in this section shall be instituted prior to any development activities, including, but not limited to clearing, grading, excavation, or demolition work, and shall be removed only after completion of all construction activity, including landscaping and irrigation installation.

Table with 6 columns: TREE #, DBH (CALIPER INCHES), TREE SPECIES, TREE PROTECTION ZONE, CONDITION, NOTES. Contains 10 rows of tree data.



Protect trees with approved chain link tree protection fencing, installed under (minimum) or farther out and away from the tree's drip line

There are three (3) trees on the neighboring property at the S.E. of the project that will need Tree Protection. Specifically, there is one, 28 inch caliper Deodar Cedar, (Cedrus Deodara), one, 32 inch caliper multi-trunk European White Birch, (Betula Pendula) and one, 23 inch caliper multi-trunk Thundercloud Flowering Plum, (Prunus Cerasifera 'Thundercloud')

Tree number six (6) was initially outside the boundary of the newly proposed building and was originally slated to be saved and protected. The need for an onsite bio retention swale made it necessary (the swale was placed in the only area that satisfied all requirements) to move the proposed building further East resulting in Tree # 6 being within the building footprint thus requiring removal. There was no option to develop the site in such a way as to save Tree #6.

PARK SQUARE - NEW APARTMENTS

TUDOR PROPERTIES LLC 880 PARK STREET, ASHLAND, OREGON 97520

REVISIONS

Tree Protection Plan

Scale: 1" = 20' 0' 20' 40'



PROJECT NO.: 17-004 ISSUE DATE: 08.01.18 SHEET:

L3.0