



# CITY OF ASHLAND



## TREE COMMISSION AGENDA April 5, 2018

### I. CALL TO ORDER

6:00 p.m. in the Siskiyou Room of the Community Development and Engineering Services Building located at 51 Winburn Way.

### II. APPROVAL OF MINUTES

Approval of March 8, 2018 meeting minutes.

### III. ANNOUNCEMENTS & LIAISON REPORTS

- Council Liaison (None)
- Parks & Recreation Liaison
- Community Development Liaison

### IV. PUBLIC FORUM

Open to guests.

### V. TYPE I REVIEWS

**PLANNING ACTION:** PA-2018-00241

**SUBJECT PROPERTY:** 114 Granite Street

**OWNER/APPLICANT:** Mardi Mastain

**DESCRIPTION:** A request for a Tree Removal Permit to remove a 27-inch DBH (diameter at breast height) Maple Tree in the Northwest Corner of the property. This is a modification to a previous planning approval (PA-2017-00235) that proposed to retain this tree. The application states the discovery of percolating water will require more excavation, further jeopardizing the health of the tree and presenting a foreseeable danger of property damage.

*(Note, this is a rehearing of an action. Additional information has been filed)*

**COMPREHENSIVE PLAN DESIGNATION:** Single-Family Residential;

**ZONING:** R-1-7.5; **ASSESSOR'S MAP:** 39 1E 09 BC; **TAX LOT:** 3401

**PLANNING ACTION:** PA-2018-00570

**SUBJECT PROPERTY:** 255 Maple St

**OWNER:** Charlie Martz

**APPLICANT:** Canopy LLC

**DESCRIPTION:** A request for a Non Hazardous tree removal of a 10-inch diameter at breast height Scarlett Oak for the property at 255 Maple St. The application states that the tree is near power lines which have required repeated pruning into poor form. The applicant would like to replace with a tree more appropriate for the location.

**COMPREHENSIVE PLAN DESIGNATION:** Health Care Services; **ZONING:** HC;

**ASSESSOR'S MAP:** 39 1E 05DB; **TAX LOT:** 500

**VI. TYPE II REVIEWS**

**PLANNING ACTION:** PA-2018-00429

**SUBJECT PROPERTY:** 469 Russell Street

**OWNER/APPLICANT:** Laz Ayala /KDA Homes, LLC

**DESCRIPTION:** A request for Site Design Review approval to construct a new 11,296 square foot, two-story mixed-use building at 469 Russell Street. The 5,648 ground floor space is to be used for corporate offices while the second floor will consist of seven residential condominiums ranging in size from 482 to 834 square feet per unit.

*(Note, this is a review of the landscaping plan only, no tree removal permit has been filed)*

**COMPREHENSIVE PLAN DESIGNATION:** Employment; **ZONING:** E-1;

**ASSESSOR'S MAP:** 39 1E 09 AA; **TAX LOT:** 2802

**VII. STREET TREE REMOVAL PERMITS**

None

**VIII. DISCUSSION**

1. Arbor Day Update

**IX. ADJOURNMENT**

**Next Meeting:** May 3, 2018



# CITY OF ASHLAND



## TREE COMMISSION MINUTES

February 8, 2018

<b>Commissioners Present:</b>	<b>Parks Liaison</b>
Christopher John	Peter Baughman
Mike Oxendine	
Asa Cates	<b>Staff Present:</b>
	Derek Severson
<b>Commissioners Absent:</b>	
Neff	

### I. CALL TO ORDER

Commission Chair John called the meeting to order at 6:00 p.m. in the Siskiyou Room of the Community Development and Engineering Services Building located at 51 Winburn Way.

### II. APPROVAL OF MINUTES

Oxendine/Cates m/s to approve the minutes of January 4, 2018 as presented.

### III. ANNOUNCEMENTS & LIAISON REPORTS

- Council Liaison (None)
- Parks & Recreation Liaison Peter Baughman reported that he is working with Planning staff to renew the land use permit for Parks' on-going maintenance of the creek corridor trees in Lithia Park.
- Community Development Liaison Derek Severson reported that Nathan Emerson was absent due to family leave and should be back for the March meeting.

### IV. PUBLIC FORUM

None.

### V. TYPE I REVIEWS

**PLANNING ACTION:** PA- 2018-00024

**SUBJECT PROPERTY:** 485 East Main Street

**OWNER/APPLICANT:** Chris Hald

**DESCRIPTION:** A request for Tree Removal Permit to remove a tree on the property at 485 East Main Street that is currently lifting up and damaging the pavement in the parking lot.

**COMPREHENSIVE PLAN DESIGNATION:** Commercial; **ZONING:** C-1; **ASSESSOR'S MAP:** 39 1E 09 BD; **TAX LOT:** 600

Cates noted that he had made a site visit to the property.

Severson gave a brief staff report explaining that the request was to remove a tree that growing in contact with the stair landing and lifting and damaging surrounding pavement, as illustrated in photos provided with the application, and the removal was requested to alleviate these issues.

Property owner and applicant Chris Hald noted that the tree, an Ailanthus, was a volunteer that should have been removed previously and that it also drops branches on cars in the parking area. Hald pointed out that the tree wraps around the landing by approximately four-inches. Hald noted in response to a question from Commissioner John that there is little unpaved on the property where a mitigation tree could be planted.

**John/Oxendine m/s to approve the request. Voice vote: All AYES. Motion passed.**

**PLANNING ACTION:** PA- 2017-02332

**SUBJECT PROPERTY:** 164 & 172 Clear Creek Drive

**OWNER:** Kerry K. Kencairn Revocable Living Trust

**APPLICANT:** Magnolia Fine Homes, LLC

**DESCRIPTION:** A request for Site Design Review approval to construct two new three-story, attached wall, mixed-use buildings for the two properties located at 164 and 172 Clear Creek Drive. The proposed buildings are 3,060 square feet each and would consist of ground floor commercial space with one upper level, two-bedroom residential condominium on each lot. The application also includes a request for Exception to the Site Development and Design Standards to allow 35.5 percent of the ground floor space to be dedicated to residential use (foyer and garage) where 35 percent is the maximum typically allowed.

**COMPREHENSIVE PLAN DESIGNATION:** Employment; **ZONING:** E-1; **ASSESSOR'S MAP:** 39 1E 09 BA; **TAX LOT:** 14706 & 14707

Severson gave a brief staff report, noting that the application did not include a tree removal request and was presented only for any comments the Commission might have with regard to the proposed landscaping plan.

No one was present on the applicant's side to speak.

**Oxendine/John m/s to approve the application as submitted. Voice vote: All AYES. Motion passed.**

**PLANNING ACTION:** PA-2018-00095  
**SUBJECT PROPERTY:** 1068 East Main Street  
**OWNER:** Marcel Verzeano Trust (Paulena E.C. Verzeano, *trustee*)  
**APPLICANT:** KDA Homes, LLC  
**DESCRIPTION:** A request for a Tree Removal Permit to remove a 26-inch diameter-at-breast-height Douglas Fir tree from the property at 1068 East Main Street. *(This request modifies PA #2017-02134, the subdivision approval where the tree was previously identified to be preserved and protected as Tree #12. The project arborist notes that the tree has a co-dominant leader with included bark which is causing an extremely weak connection at a point ten feet up the 60-foot tall tree, posing a hazard that the upper portion of the tree will split and fall. The applicants would also like to discuss the requirement that Trees #1, #2, #7, #8 and #9 be fully enclosed with tree protection fencing and the East Main Driveway closed during construction, and request to utilize the driveway during work to move and remodel the existing house on the property.)*  
**COMPREHENSIVE PLAN DESIGNATION:** High Density, Multi-Family Residential;  
**ZONING:** R-3/Pedestrian Places Overlay; **ASSESSOR'S MAP:** 39 1E 09AD; **TAX LOT #:** 6800 and 6801.

Applicant Mark Knox and Arborist Tom Madera explained the request, provided photos and emphasized that the driveway had been paved for a long time and they would like to use it during work to move and remodel the existing house, but not during the subdivision's site work.

Severson provided a staff report, noting that the Commission had initially reviewed this project at the Outline Plan stage, at which time the Commission recommended: **1) protection, watering and arborist supervision of work in TPZ's; 2) that Trees #1, #2, #7, #8 and #9 be fully enclosed with tree protection fencing and the East Main Street driveway closed during construction; 3) That the applicant attempt to save Tree #14 (40-inch d.b.h. Douglas Fir) near the house; and 4) That the applicants attempt to save Tree #24 (24-inch d.b.h. Oak Tree), near Mountain Avenue at the corner.**

He further explained that the applicants came back at Final Plan with requests to modify the original decision to remove Trees #14 and #24 which they determined could not be preserved given the proposed construction in their vicinity. There was no quorum on the Tree Commission to consider this request, and the Planning Commission ultimately approved the removal of these two trees.

He noted that the current request has to do with a 26-inch d.b.h Douglas Fir previously identified as Tree #12. While it was missed at the subdivision level, subsequent visits by the project arborist have noted that this tree has a co-dominant leader with included bark causing an extremely weak connection

approximately ten feet up the 60-foot tall tree, and the applicants are requesting to be able to remove it for the hazard posed. Severson distributed staff photos.

In addition, at the subdivision level the Commission had recommended and the Planning Commission required that **Trees #1, #2, #7, #8 and #9** be fully enclosed with tree protection fencing and the East Main Driveway closed during construction. Staff has allowed individual protection of these trees and for the driveway to remain open during the house move given the logistics of circulating to move the house, but we have indicated once the house move is complete the trees need to be fully fenced and the driveway closed. The applicants would like to further discuss this requirement with the Commission as closing the site's only driveway poses some logistical complications during site development, and specifically would like to use the driveway during the house move by Doc Chapman and subsequent remodeling, but would then close the drive during site work for the subdivision improvements.

Cates explained the basis of the recommendation to the applicants, and noted that Tree #18 also has a split top.

All three Commissioners noted that in visiting the site they felt that the tree protection and signage looked good, and they appreciated seeing tree protection zones that extended well out from the trunks. Knox noted that Madera had been on site supervising.

John noted that with regard to the split top, a "U" has been shown to be significantly stronger than a "V" form, and in his professional opinion this form could be cabled. He noted that Tree #13 has historically had Tree #12 and Tree #14 nearby for protection in winds, and feels that the removal of #12 after #14 is removed would increase the danger to Tree #13. He recommended that the tree be pruned and cabled to reduce the likelihood of the top splitting. He further suggested that the use of the driveway during the house move and remodeling seemed like common sense. Oxendine concurred with John's assessment. John emphasized that the project on the whole has done well with regard to the protection of significant trees. Madera noted that he was still concerned that the included bark suggested a split was possible.

Cates noted that a lot of the site's trees have been removed and he would like to see some extra attention focused on Tree #13. Madera noted that the stump of Tree #14 could be retained to avoid root disturbance to Tree #13. He further noted that the house and foundation were being removed from its root zone, and that it was providing shade for the proposed open space and a buffer between the house and the greater subdivision development. Cates questioned whether the tree protection fencing could be expanded to cover the full protection zone to

avoid storage of materials or other root zone soil compaction given that open space was proposed in this area. Madera and Knox indicated that this was possible and they would work with the excavation contractor to see that this happened.

**John/Cates m/s to recommend that the hazard posed by Tree #12 could be mitigated with cabling and pruning by an arborist, rather than removal, and that its removal would adversely affect Tree #13. The Commission further recommended that the use of the driveway be allowed as needed for work on the existing house, that the stump of Tree #14 be retained to avoid root disturbance to #13, and that the tree protection zone for Tree #13 be expanded once the house is moved to avoid storage of equipment and materials in the area. Voice vote: All AYES. Motion passed.**

**PLANNING ACTION:** PA-2018-00225

**SUBJECT PROPERTY:** 438 Wightman Street (*South of Shasta Hall/481 Stadium Street, near the corner of Stadium and Ashland Streets*).

**OWNER/APPLICANT:** Southern Oregon University

**DESCRIPTION:** A request for a Tree Removal Permit to remove four Leyland Cypress trees from the University property at 438 Wightman Street (south of Shasta Residence Hall at 481 Stadium Street, near the corner of Stadium & Ashland Streets). The application explains that these trees have declined due to a combination of drought stress and Cypress Bark Beetles (*Phloeosinus*), and other dead cypress which were previously removed in the vicinity showed signs of beetle infestation. (*These trees were previously identified to be preserved and protected in PA #2011-01576, the North Campus Village project.*)

**COMPREHENSIVE PLAN DESIGNATION:** Southern Oregon University; **ZONING:** SO;

**ASSESSOR'S MAP:** 39 1E 10CD; **TAX LOT #:** 4200.

Commissioner Oxendine recused himself as serving as the University's arborist posed an actual conflict of interest in this matter.

Severson provided a brief staff report, explaining that the removals were requested due to a combination of drought stress and the presence of cypress bark beetles. Severson further noted that the application proposes to create a long planting bed in this location to accommodate the planting of mitigation trees (and other specimens). He explained that the University adopts a Master Plan in cooperation with the City Council which is then adopted by the city ordinance every ten years. The current master plan, which was modified with the dorm construction a few years ago, identifies a future mixed-use university building along the street where these trees are located and Planning staff would like to work with the University to identify specific planting locations for mitigation trees to avoid large-stature tree plantings to avoid creating future conflicts in this area

identified for a future building to be constructed. Severson concluded that the applicants had done some maintenance pruning of these trees today in order to avoid branches touching surrounding trees and thus spreading beetles.

Commissioners discussed cypresses and beetles, with John noting that the trees typically cannot come back from infestation. Commissioners noted that the proposed three-for-one mitigation was above and beyond the code's requirements.

**Cates/John m/s to approve with the mitigation proposed by the applicants.  
Voice vote: All AYES. Motion passed.**

**VI. TYPE II or TYPE III REVIEWS**

None.

**VII. STREET TREE REMOVAL PERMITS**

**PLANNING ACTION:** PW-2018-00043

**SUBJECT PROPERTY:** 508 North Main Street

**APPLICANT:** Jasmine Lillich for owners John & Kristen Lillich

**DESCRIPTION:** A request for a Street Tree Removal Permit to remove a 34-inch diameter Fir tree located on the Glenn Street frontage of the property at 508 North Main Street. The application requests the removal on the basis of the tree posing a hazard, noting that the tree has begun to lean and that the root growth has damaged a fence and sidewalk.

John noted that he had given a bid on a project on the site years ago, but that it had not involved this tree. He stated that he didn't believe this would prejudice his review of the application or that it posed any actual or potential conflict with the current request. Other Commissioners were comfortable with his participation.

Severson gave a brief staff report, noting that the removal was requested because the tree had begun to lean and its root growth was damaging the adjacent fencing and sidewalk.

No one was present to speak on the applicants' behalf.

Oxendine, John and Baughman all noted that this was a very healthy tree. Oxendine further noted that he thought the sidewalk noted as being damaged was a walkway poured in "easy mix" concrete that was not properly installed and that the damage was as much attributed to the site preparation and materials as to the tree. Oxendine and Cates noted that the tree showed good growth and good

“reaction wood.” Commissioners discussed the need for a more detailed tree assessment form, noting that in the case of 485 East Main the photos were sufficiently detailed to illustrate the issue but that in most cases including this one a more detailed assessment form was needed to illustrate that the applicants had thoroughly considered the tree’s condition and options for treatment.

After further discussion, Commissioners did not feel that the applicant had met the burden of proof in demonstrating that the tree posed a hazard.

**Cates/Oxendine m/s to deny the request. Voice vote: All AYES. Motion passed.**

### **VIII. DISCUSSION**

- **Tree of the Year Update (*Voting underway during February*)**

Severson explained that the on-line voting was live and would continue through the month of February. Vote tallies will be brought to the March meeting for consideration.

He indicated that in March, the Commission might want to consider whether they wanted to give plaques to two trees (i.e. one for 2017 and one for 2016) and also whether a plaque should be given to the city’s first Heritage Tree, Silver Maple at SOU. He suggested that these might be good events to consider for the Arbor Day celebration.

- **March 20, 2018 Annual Presentation to City Council & Annual Arbor Day/Week Proclamation**

Severson asked whether a Tree Commissioner was available to make this brief presentation to the Council which typically recounts accomplishments from the past year - planning actions reviewed, arbor day/tree plantings - and most importantly in his view provides an opportunity to promote upcoming Arbor Day activities on live television. Oxendine noted that he would be available for this presentation, and Cates noted that he would likely attend as well.

- **April 21, 2018 Earth Day Tabling Opportunity (11:00 a.m. to 4:00 p.m.)**

Severson asked if Commissioners were going to be available and had interest in tabling at SOU for Earth Day. He noted that the Commission had paid to table last year but did not ultimately have a presence, and it would require not only the time commitment of being there to set up, table and take down, but also figuring out some sort of activity and preparing it.

Cates noted that he would be available for set-up. Oxendine noted that he could help with set-up and in developing an activity, but that he would not be there for the tabling. John noted that he would be available to table.

Cates noted that there would be at least one other tree-focused booth, and he thought it might be advisable to arrange to be placed near this booth and near the City's Conservation booth as well.

- **April 1-7, 2018 Arbor Week and April 27, 2018 Arbor Day**

Severson suggested looking at activities that would celebrate Arbor Day/Week and promote the Commission without requiring significant effort such as:

- Tree of the Year Ceremony *and/or*
- Heritage Tree Ceremony at SOU
- A Tree Walk at SOU with one or more Commissioners
- A Tree Planting (near or at SOU) with one or more Commissioners...

Baughman noted that he thought a tree planting could be arranged. Cates, Oxendine and John noted that they would like to be present for the tree planting and help in the planning.

Oxendine noted that he would be out beginning on April 7<sup>th</sup> for approximately two weeks, and noted that he had yet to begin planning any activities for SOU's Arbor Week. He suggested that it might be in May to better relate to the tree carnival in Medford on May 12<sup>th</sup>... Commissioners discussed that May 11<sup>th</sup> might be a good "lead-up" date to the activities in Medford.

Oxendine noted that he was on the board for Oregon Community Trees as well, and would be participating in the planting of Redwood Trees in Eugene on March 2<sup>nd</sup>. Eugene will be hosting the World Outdoor Track & Field Championship in 2020, expecting 400,000 participants/people to show up. They have done a carbon emissions report off of the Eugene Olympic trials which had 395,000 people attend. That report showed that 395,000 people put off 36 million tons of CO2. They did the calculations on the sixty-five year projected growth plan for Giant Sequa's and if they planted 2021 by 2021 they will sequester enough CO2 to offset the 2020 event.

**IX. ADJOURNMENT:** The meeting was adjourned at 7:23. Severson noted that the next meeting would be on March 8, 2018.



# CITY OF ASHLAND



## TREE COMMISSION MINUTES March 8, 2018

<b>Commissioners Present:</b>	<b>Parks Liaison</b>
Christopher John	Peter Baughman
Mike Oxendine	
Asa Cates	<b>Staff Present:</b>
Russell Neff	Nathan Emerson
<b>Commissioners Absent:</b>	All present

Chair Christopher John called the meeting to order at 6:05 p.m. in the Siskiyou Room of the Community Development and Engineering Services Building located at 51 Winburn Way.

**I. APPROVAL OF MINUTES**

Cates/ Oxendine m/s to approve the minutes of February 8, 2018 as presented. Voice vote: All AYES. Motion passed.

**II. ANNOUNCEMENTS & LIAISON REPORTS**

- Council Liaison - There was no Council Liaison present to give report.
- Parks & Recreation Liaison Baughman reported that the pine tree in the plaza has been receiving lots of water and thanked Cates for reporting the issue. Baughman went on to say that he would like to conduct a tree planting with a school during the 2<sup>nd</sup> week in April and will let the Commission know when he has more information on this.
- Community Development Liaison Emerson reminded the Commission that if they are involved in a planning action that they need to recuse themselves from the room during the presentation.

**III. PUBLIC FORUM**

Mark Knox, 485 W. Nevada, addressed the commission on something he spoke about at the previous month's meeting. Their proposal was to remove one tree on the lot at 1068 E. Main Street and stated they removed it prematurely. Mr. Knox went on to say that, there was a difference of opinion on whether cutting down tree was ok or not. According to Mr. Knox, the decision did not come across as a recommendation to him and there was lots of talk back and forth by the Commission as to what to do with it. Mr. Knox believed it to be a hazard and therefore took the tree down without permission. He stated that he does a lot of work in town and wants to honor trees when they can. John and Oxendine added that the Commission will do a better job at making recommendations more clear as sometimes they get worded poorly.

John read aloud the procedures for public hearings.

#### IV. TYPE III REVIEWS

**PLANNING ACTION:** PA- 2018-00154

**SUBJECT PROPERTY:** 601 Washington Street

**OWNER/APPLICANT:** South Ashland Business Park LLC

**DESCRIPTION:** A request for Annexation of a 5.38-acre parcel, Zone Change from County RR-5 Rural Residential) to City E-1 (Employment), and Site Design Review approval for the phased development of a light industrial business park for the property located at 601 Washington Street. The application includes a request for a Conditional Use Permit to allow a watchman's dwelling; Limited Use/Activity Permits within the Water Resource Protection Zones of Knoll Creek and a Possible Wetland on the property to construct a stormwater outfall and street improvements; an Exception to Street Standards for the frontage improvements along the property's Washington Street frontage; and a Tree Removal Permit to remove four trees greater than six-inches in diameter at breast height (d.b.h.). **COMPREHENSIVE PLAN DESIGNATION:** Employment; **ZONING: Existing** – County RR-5, **Proposed** – City E-1; **ASSESSOR'S MAP:** 39 1E 14 AB; **TAX LOT:** 2800.

There was no conflict of interest or ex-parte communication indicated by the Commission.

Emerson gave staff report for PA- 2018-00154.

John opened the public hearing to the applicant.

John Galbreath, landscape architect and certified arborist, residing in Medford addressed the Commission regarding this project. Mr. Galbreath briefly outlined the project and what trees are to be removed for the development.

John closed the public hearing and opened to the Commission for discussion.

It was discussed that the project will not touch the wetland area and Cates noted the trees were hammered by a previous fire. Neff asked who takes care of the wetlands outside of property boundaries and it was determined that some is ODOT and depending on where it is, the adjacent property owner would be responsible.

After a discussion the Commission unanimously approved.

**Oxendine/John m/s to approve as presented. Voice vote: All AYES. Motion passed.**

#### V. TYPE I REVIEWS

**PLANNING ACTION:** PA-2018-00241

**SUBJECT PROPERTY:** 114 Granite Street

**OWNER/APPLICANT:** Mardi Mastain

**DESCRIPTION:** A request for a Tree Removal Permit to remove a 27-inch DBH (diameter at breast height) Maple Tree in the Northwest Corner of the property. This is a modification to a previous planning approval (PA-2017-00235) that proposed to retain this tree. The application states the discovery of percolating water will require more excavation,

further jeopardizing the health of the tree and presenting a foreseeable danger of property damage. **COMPREHENSIVE PLAN DESIGNATION:** Single-Family Residential; **ZONING:** R-1-7.5; **ASSESSOR'S MAP:** 39 1E 09 BC; **TAX LOT:** 3401

There was no conflict of interest or ex-parte communication indicated by the Commission.

Emerson gave staff report for PA-2018-00241.

No one was present to speak on the applicants' behalf.

Oxendine indicated that the tree was misidentified as a Big Leaf Maple and is actually an Ash Tree. Cates said that the sidewalk is pretty close to the trunk of the tree but that the roots are probably located on the non-sidewalk side.

After a discussion, the Commission decided that since the report does not advocate for removal and states that it's not an immediate hazard, they would recommend denial.

**Oxendine/John m/s to deny the request with the recommendation that IF the tree becomes a hazard, to discuss removal. Commission recommends hand pruning roots by arborist. Voice vote: All AYES. Motion passed.**

**PLANNING ACTION:** PA- 2018-00252

**SUBJECT PROPERTY:** 295 Tolman Creek Rd A-1

**OWNER/APPLICANT:** Don Flickinger

**DESCRIPTION:** A request for a Tree Removal Permit at 295 Tolman Creek Rd to remove a 15-inch diameter-at-breast-height Maple tree that is damaging the foundation of the adjacent apartment building. **COMPREHENSIVE PLAN DESIGNATION:** Low Density, Multi-Family Residential; **ZONING:** R-2; **ASSESSOR'S MAP:** 39 1E 11 CD; **TAX LOT:** 90001

There was no conflict of interest or ex-parte communication indicated by the Commission.

Emerson gave staff report for PA- 2018-00252.

No one was present to speak on the applicants' behalf.

Cates stated that the tree looks to be aggressively pruned. Oxendine pointed out that the tree is maybe 7" diameter breast height and he is not even sure that it would require a permit for removal.

After a discussion the Commission unanimously approved.

**Cates/Oxendine m/s to approve as presented. Voice vote: All AYES. Motion passed.**

**PLANNING ACTION:** PA- 2018-00403

**SUBJECT PROPERTY:** 635 Lit Way/1651 Siskiyou Boulevard

**OWNER:** 1651 Siskiyou Boulevard LLC/Roderick & Brooks Newton

**APPLICANT:** Asa Cates

**DESCRIPTION:** A request for a Tree Removal Permit to remove nine Black Cottonwood trees and a one Siberian Elm surrounding the pond at Hidden Springs Wellness Center for the property located at 635 Lit Way/1651 Siskiyou Boulevard. The application notes that the Cottonwoods have begun to drop limbs and the Siberian Elm has begun to uproot. The application materials note that five of the ten trees have indications of decay and three have tipped or begun to tip. The removals are requested based on the trees posing a hazard to customers on the site and to neighboring properties.

**COMPREHENSIVE PLAN DESIGNATION:** Single Family Residential and Commercial; **ZONING:** R-1-7.5; **ASSESSOR'S MAP:** 39 1E 15 AB; **TAX LOT:** 7300

Cates recused himself from this planning action as he is the applicant on this project.

Emerson gave staff report for PA- 2018-00403.

No one was present to speak on the applicants' behalf.

**John/Oxendine m/s to approve as recommended by arborist report. Voice vote: All AYES. Motion passed.**

*Tree 4 to remain, all others can go. Recommend mitigate on a 1 to 1 basis with black birch, red cedar, white or red alder, or bald cypress.*

## VI. STREET TREE REMOVAL PERMITS

There were no Street Tree Removals to discuss.

## VII. DISCUSSION

- **Wildfire Draft Ordinance**
- Guest speakers:
  - Brandon Goldman – Planning Dept.
  - Alison Lerch – Fire Dept.
  - Tracy Peticord - Member of Wildlife Mitigation Commission and local landscape architect.
    - Commission concerns of Wildfire Ordinance:
      - **Significant trees approved for removal under fire plan must still come to the Tree Commission.** Mr. Goldman stated that it wouldn't happen in R1 right now and they won't change those rules.
      - **That big trees would be exempted from removal.** Mr. Goldman stated that this ordinance change won't affect whether a tree would come to the Tree Commission or not.
      - **Large conifers are important and are some of the most fire resistant trees around. If most conifers are removed then they are concerned they**

cannot be replaced with this ordinance. The Commission's go to recommendation for a mitigation tree is a large size native conifer such as Sequoia, Redwood or Douglas Fir. Ms. Peticord stated that they are here to get feedback and coordinate between all the Commissions and want to make sure Tree and Wildfire don't conflict. Ms. Lerch impressed upon the fact that the goal is to protect the City and to adapt to climate change. They want to do everything possible to avoid Santa Rosa's fate.

- **Plant list suggests natives are bad and they are concerned. SOU currently looking 100 miles south to understand what will survive here in the near future. Worried that we'll get rid of what makes this place unique and would like to see language in the code encouraging natives when 30' or more from structures. IE: see Quercus, Pinus, Oregon Grape, and Manzanita as examples.** Ms. Peticord stated that fire danger is so extreme we must be creative and mass plantings of single species are to be no more. They must balance risk vs natives and other competing goals.
- **What about mulch?** Ms. Lerch explained that there will be no more mulch allowed within 5ft of structures. They are working with Julie Smitherman as to not conflict with water resources and conservation.
- **Commission is worried that they will be letting the city burn, build and repeat if they don't plan this ordinance well.** Ms. Lerch stressed that is why they did the risk assessment.

**Recommendations: Cates/Oxendine m/s for approval of recommendations. Voice vote: All AYES. Motion passed.**

- In general, full Commission approves of ordinance and moving forward.

**Recommendations of Wilfire Ordinance:**

1. Significant tree removal for fuel reduction plans should come to Tree Commission.
2. Make exemptions to prohibited plant list for native/conifer large trees.
3. City should create new/full time position of Urban Forester.
4. Commission would like noted in the ordinance that large stature conifers can be fire resistant trees.

- **Ashland Canal Advisory Group Invitation**

- Oxendine stated that the canal will save significant water and he is already participating as a representative for SOU. Cates volunteered to help with this advisory group.

- **Public Works Memo on Tree Removal and Curb Bump Out Policy**

- Oxendine expressed that bump outs should be done whenever possible and recommends that prioritization should be done by size, species and structure. He went on to say that they should save large natives in good condition and do bump outs as they can.

- Commission recommends that Peter Baughman consult with Public Works as needed.

- **Tree of the Year Results**

- 1<sup>st</sup> Place – Dogwood at 77 Granite
- 2<sup>nd</sup> Place – Fig at 566 Fairview
- 3<sup>rd</sup> Place – Black Oak at 875 Oak

## **VIII. ADJOURNMENT**

The meeting was adjourned at 9:03 p.m. Emerson noted that the next regular meeting would be held on Thursday, April 5, 2018 at 6:00 pm. Respectfully submitted by Regan Trapp



**NOTICE OF APPLICATION**

**PLANNING ACTION:** PA- 2018-00241

**SUBJECT PROPERTY:** 114 Granite Street

**OWNER/APPLICANT:** Mardi Mastain

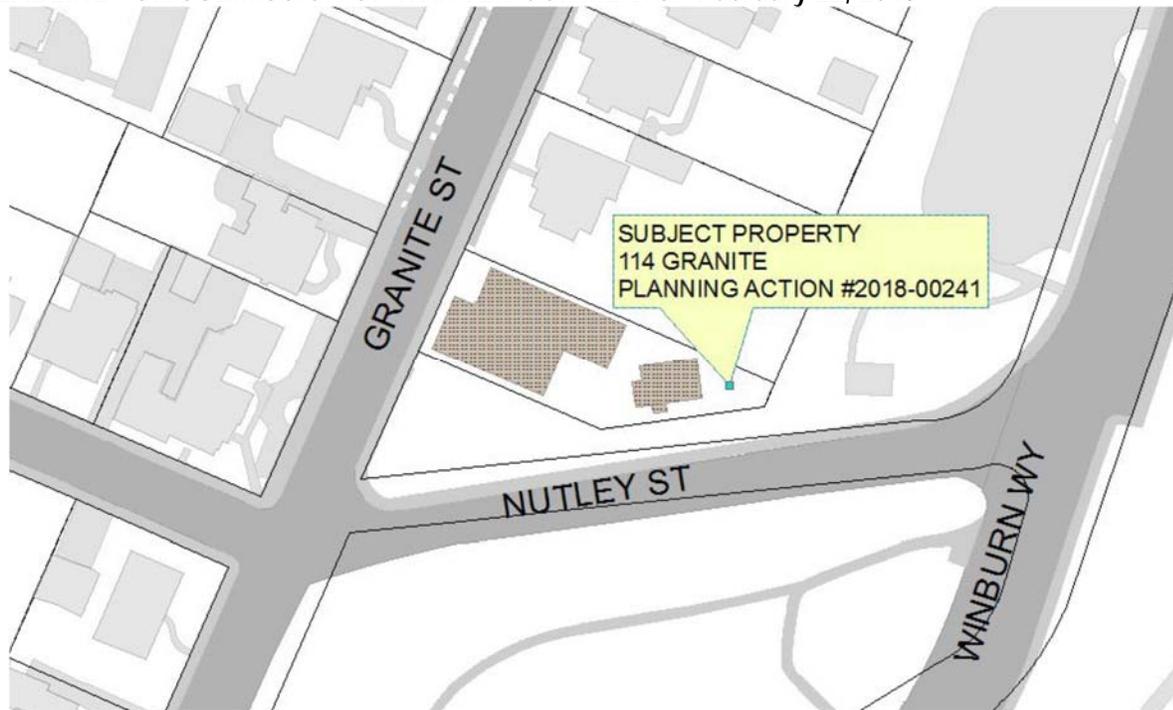
**DESCRIPTION:** A request for a Tree Removal Permit to remove a 27-inch DBH (diameter at breast height) Maple Tree in the Northwest Corner of the property. This is a modification to a previous planning approval (PA-2017-00235) that proposed to retain this tree. The application states the discovery of percolating water will require more excavation, further jeopardizing the health of the tree and presenting a foreseeable danger of property damage. **COMPREHENSIVE PLAN**

**DESIGNATION:** Single-Family Residential; **ZONING:** R-1-7.5; **ASSESSOR'S MAP:** 39 1E 09BC; **TAX LOT #:** 3401

The Ashland Tree Commission will also review this Planning Action on **Thursday, March 8, 2018 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

**NOTICE OF COMPLETE APPLICATION:** February 8, 2018

**DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS:** February 22, 2018



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.5.1.050.G)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

## TREE REMOVAL PERMIT

### **18.5.7.040.B**

1. Hazard Tree. A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
  - a. The applicant must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. See definition of hazard tree in part 18.6.
  - b. The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.
2. Tree That is Not a Hazard. A Tree Removal Permit for a tree that is not a hazard shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
  - a. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.10.
  - b. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.
  - c. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.
  - d. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures or alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.
  - e. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

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FEB 01 2018

City Of Ashland

January 31, 2018

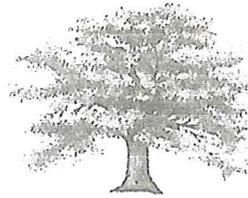
Maple Tree: The Maple tree was originally considered for removal but we chose to preserve it. Now, with these pending issues, the Maple tree needs to come down. We would appreciate being able to remove the tree now so construction can continue without delay.

A. Dec 19 2017 Info from Amy Gunter: The following statement from Amy substantiates the finding of fact for tree removal.

A modification of the approval for the removal of the 27-inch DBH Maple tree in the NW corner of the property (#5 on tree protection and removal plan) is required. During the site excavation to locate native soil / suitable subgrade for basement construction, soft soil was discovered, further excavation lead to the discovery of percolating water. According to the project geo-tech and structural engineering, the percolating water issue can be resolved, but requires substantially more excavation and then fill compaction in close proximity to the Maple tree's critical root zone than previously anticipated. In order to meet the compaction needs to form a suitable base for construction, heavy equipment, not hand compactors are necessary to meet the geo-techs recommendations for construction of the foundation. The additional excavation and mechanical compaction will have a negative impact on the trees root system. The Maple was originally considered for removal but was retained due to it's stature and though not excellent, the tree was in fair to moderate condition and with the proposed driveway bridge system, it was a viable candidate for preservation. Upon the discovery of percolating water and the need to over-excavate to provide adequate structural footing for the basement, the Maple tree is in a location that presents a foreseeable danger of property damage that cannot be alleviated by treatment, relocation or pruning.

B. Letter from S. Oregon Tree Care: Please see attached, S. OR Tree Care\_Maple Tree Removal Letter.pdf. I received this letter today.

# SOUTHERN OREGON TREE CARE, LLC



October 19, 2015

I was contacted in September of 2015 by Mardi Mastain regarding a big leaf maple (*Acer macrophyllum*), a black locust (*Robinia pseudoacacia*) and an Oregon white oak (*Quercus garryana*) located at 114 Granite St. in Ashland Oregon. She requested that I write a report as part of her permit process to remove the trees for a building project she intends to do at this location.

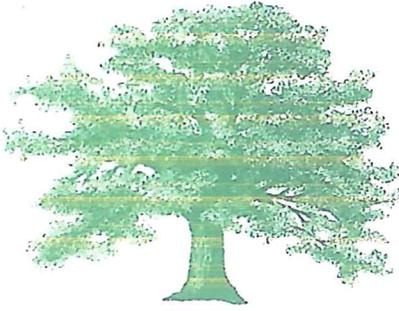
I visited the site on October 2nd 2015 and observed a mature oak tree that is showing signs of decline. This observation of decline was based off the canopy being very sparse for this species. The tree was 29 inches DBH (diameter at breast height). The tree is located inside the foot print of her proposed home. The home is the reason for this removal process. There is a big leaf maple in the front that is not inside the proposed home but will be impacted significantly in the construction process. This tree is 28 inches DBH. This species is intolerant of fill soils (Matheny & Clark 1998) and will likely have significant fill around it to provide for the driveway and garage that are to be next to the tree. The final tree is the locust; this tree is struggling as well. There are large, dead tops protruding out of its canopy suggesting it is dying or at least had significant root damage, possibly from when the sidewalk nearby was constructed. This property is located on a hillside limiting construction options and Ms. Mastain is planning to preserve many other large trees at great additional expense. I don't believe these removals will have a significant impact to tree canopy densities as the oak and locust are already declining significantly, the maple will not likely survive much change of grades around it and the fact that there are 3 large redwoods, a Siberian elm and many other smaller trees on her lot to be preserved. I prepared a tree preservation plan for Ms. Mastain earlier this month that I believe can be made available if necessary to see the steps she plans to take to preserve these remaining trees. Feel free to contact us with any questions regarding this project.

Willie Gingg

10-19-15

Date

**RECEIVED**  
FEB 01 2018  
City Of Ashland



# SOUTHERN OREGON TREE CARE, LLC

P.O. Box 5140  
Central Point, Oregon 97502  
(541) 772-0404  
(541) 772-0804 Fax

On January 18<sup>th</sup>, 2018, I received an email from Mardi Mastain at 114 Granite Street in Ashland, OR. In this email she requested that I write a letter requesting permission from the City to remove a bigleaf maple (*Acer macrophyllum*) located near the northern corner of her lot. This tree is part of a previous report for a large building project located at the above address. Originally this tree was marked to be preserved but several issues have come up regarding the trees health and the safety of construction crews. In her email she stated, "May Rock & Excavation refuses to continue excavating in fear that the tree will fall on their excavator and cause serious injury."

I made a site visit on January 4<sup>th</sup>, 2018 around 4 PM. I noticed there was a deep pit excavated down to about 10 feet below the base of the tree. In speaking with Mardi and her previous contractor on December 7<sup>th</sup>, 2017, it is my understanding that the excavation will need to continue all the way across the east property line coming within 7 feet of the trunk and at least down to the 10 feet below the trunk level. This will be well within the Critical Root Zone, which is approximately 21 feet radius for this 28" Diameter at Breast Height tree. This species is relatively tolerant of root pruning but other factors that compound this intrusion into the CRZ the sidewalk on the opposite side of the tree is 10 feet from the trunk on that side and to the west there will be excavation within 20 feet of the trunk. This tree I expect will lose approximately 70 percent of its root system. The stability of the tree after the proposed excavation I can not say will make the tree and immediate hazard, but I would say there will be a reasonable cause for concern for those working beneath the tree during heavy winter weather. If this tree remains, it may survive through the construction phase, but I would expect it to decline over the next few years presenting an awkward and more expensive removal at that time. Please feel free to contact me with any questions regarding this matter.

\_\_\_\_\_  
Willie Gingg

I.S.A. Board Certified Master Arborist  
Southern Oregon Tree Care, Llc

\_\_\_\_\_ (~ Jan 29, 2018)  
Date

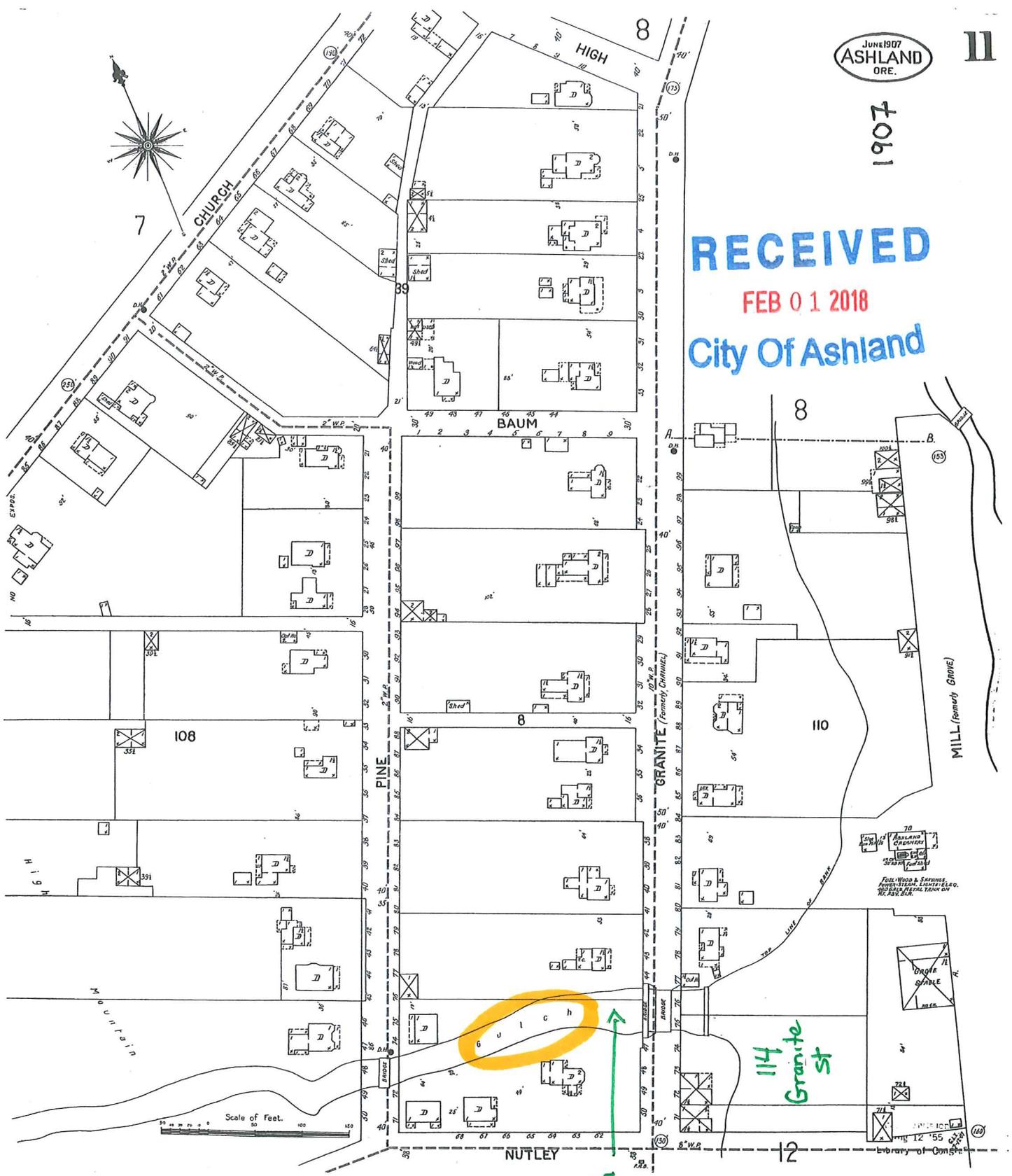
**RECEIVED**  
**FEB 01 2018**  
**City Of Ashland**

JUNE 1907  
ASHLAND  
ORE.

11

1907

RECEIVED  
FEB 01 2018  
City of Ashland



Gulch

114  
Granite  
St

78  
ASHLAND  
CITY ENGINEER  
JUN 1907

Full Width & Service  
Power Street, Light & Elec.  
100' Side Walk, 100' Trunkway  
No. 157, S.C.R.

DRIVE  
SAMPLE

LIBRARY OF CONGRESS

Maple Tree ↓

January 2018



RECEIVED

FEB 01 2018

City Of Ashland

114 Granite St Ashland



# Basic Tree Risk Assessment Form

Client Mardi Mastain Date March 26, 2018 Time 11:10 - 1:00  
 Address/Tree location 114 Granite St. Ashland Oregon 97520 Tree no. 1 Sheet 1 of 2  
 Tree species Acar Macrophyllum dbh 28" Height 50' Crown spread dia. 40  
 Assessor(s) Willie Gingg Time frame Today Tools used Visual; tape measure

### Target Assessment

Target number	Target description	Target zone			Occupancy rate 1 - rare 2 - occasional 3 - frequent 4 - constant	Practical to move target?	Restriction practical?
		Target within drip line	Target within 1 x Ht.	Target within 1.5 x Ht.			
1	Construction workers + Home (occupancy rate; 3 for workers, 4 for home)	✓	✓	✓	4	N	N
2							
3							
4							

### Site Factors

History of failures Small limbs Topography Flat  Slope  55 % Aspect East  
 Site changes None  Grade change  Site clearing  Changed soil hydrology  Root cuts  Describe Deep excavation "in 7' of trunk  
 Soil conditions Limited volume  Saturated  Shallow  Compacted  Pavement over roots  15 % Describe Sidewalk  
 Prevailing wind direction Winds Common weather Strong winds  Ice  Snow  Heavy rain  Describe Winter winds / Summer thunder

### Tree Health and Species Profile

Vigor Low  Normal  High  Foliage None (seasonal)  None (dead)  Normal      % Chlorotic      % Necrotic      %  
 Pests None Observed Abiotic Excavation / Construction  
 Species failure profile Branches  Trunk  Roots  Describe     

### Load Factors

Wind exposure Protected  Partial  Full  Wind funneling  Relative crown size Small  Medium  Large   
 Crown density Sparse  Normal  Dense  Interior branches Few  Normal  Dense  Vines/Mistletoe/Moss  Light moss on trunk  
 Recent or planned change in load factors continued excavation inside critical root zone

### Tree Defects and Conditions Affecting the Likelihood of Failure

#### — Crown and Branches —

Unbalanced crown  LCR 40 % Cracks  Lightning damage   
 Dead twigs/branches  10 % overall Max. dia. 1" Codominant  2 main leaders Included bark   
 Broken/Hangers Number 2 Max. dia. 1" Weak attachments  Cavity/Nest hole      % circ.  
 Over-extended branches  Previous branch failures  Similar branches present   
 Pruning history Crown cleaned  Thinned  Raised  Dead/Missing bark  Cankers/Galls/Burls  Sapwood damage/decay   
 Reduced  Topped  Lion-tailed  Conks  Heartwood decay   
 Flush cuts  Other Side pruned to clear wires Response growth       
 Main concern(s) Small deadwood falling on contractors

Load on defect N/A  Minor  Moderate  Significant   
 Likelihood of failure Improbable  Possible  Probable  Imminent

#### — Trunk —

Dead/Missing bark  Abnormal bark texture/color   
 Codominant stems  Included bark  Cracks   
 Sapwood damage/decay  Cankers/Galls/Burls  Sap ooze   
 Lightning damage  Heartwood decay  Conks/Mushrooms   
 Cavity/Nest hole      % circ. Depth      Poor taper   
 Lean      ° Corrected?       
 Response growth Minimal  
 Main concern(s) Fissure on trunk spiraling upwards on tension side

Load on defect N/A  Minor  Moderate  Significant   
 Likelihood of failure Improbable  Possible  Probable  Imminent

#### — Roots and Root Collar —

Collar buried/Not visible  Depth      Stem girdling   
 Dead  Decay  Conks/Mushrooms   
 Ooze  Cavity       % circ.  
 Cracks  Cut/Damaged roots  Distance from trunk 7'  
 Root plate lifting  Soil weakness

Response growth Not visible  
 Main concern(s) Potential for collapse of tree during excavation

Load on defect N/A  Minor  Moderate  Significant   
 Likelihood of failure Improbable  Possible  Probable  Imminent

Risk Categorization

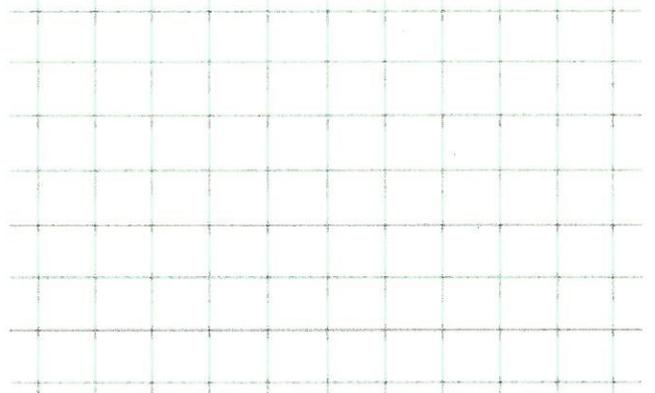
Condition number	Tree part	Conditions of concern	Part size	Fall distance	Target number	Target protection	Likelihood												Consequences				Risk rating of part (from Matrix 2)
							Failure				Impact				Failure & Impact (from Matrix 1)				Negligible	Minor	Significant	Severe	
							Impossible	Possible	Probable	Imminent	Very low	Low	Medium	High	Unlikely	Somewhat	Likely	Very likely					
1	whole	Soil collapse during excavation due to tree weight.	28"	20'	1	N/A	<input type="radio"/>	<input checked="" type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input checked="" type="radio"/>	Moderate										
2							<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
3							<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
4							<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	

Matrix 1. Likelihood matrix.

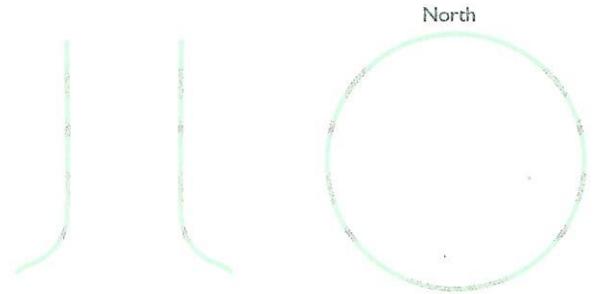
Likelihood of Failure	Likelihood of Impacting Target			
	Very low	Low	Medium	High
Imminent	Unlikely	Somewhat likely	Likely	Very likely
Probable	Unlikely	Unlikely	Somewhat likely	Likely
Possible	Unlikely	Unlikely	Unlikely	Somewhat likely
Impossible	Unlikely	Unlikely	Unlikely	Unlikely

Matrix 2. Risk rating matrix.

Likelihood of Failure & Impact	Consequences of Failure			
	Negligible	Minor	Significant	Severe
Very likely	Low	Moderate	High	Extreme
Likely	Low	Moderate	High	High
Somewhat likely	Low	Low	Moderate	Moderate
Unlikely	Low	Low	Low	Low



Notes, explanations, descriptions Continued proposed excavation will likely kill this tree over the next several years even if the tree doesn't collapse. Client has made many concessions in trying to save this tree + others but I recommend removal now + replacement after project completion.



Mitigation options \_\_\_\_\_ Residual risk \_\_\_\_\_  
 \_\_\_\_\_ Residual risk \_\_\_\_\_  
 \_\_\_\_\_ Residual risk \_\_\_\_\_  
 \_\_\_\_\_ Residual risk \_\_\_\_\_

Overall tree risk rating Low  Moderate  High  Extreme  Work priority 1  2  3  4   
 Overall residual risk Low  Moderate  High  Extreme  Recommended inspection interval \_\_\_\_\_  
 Data  Final  Preliminary Advanced assessment needed  No  Yes-Type/Reason \_\_\_\_\_  
 Inspection limitations  None  Visibility  Access  Vines  Root collar buried Describe Fenced off limit to observations on 3-26-18



**NOTICE OF APPLICATION**

**PLANNING ACTION:** PA- 2018-00570

**SUBJECT PROPERTY:** 255 Maple St.

**OWNER/APPLICANT:** Charlie Martz/Canopy LLC

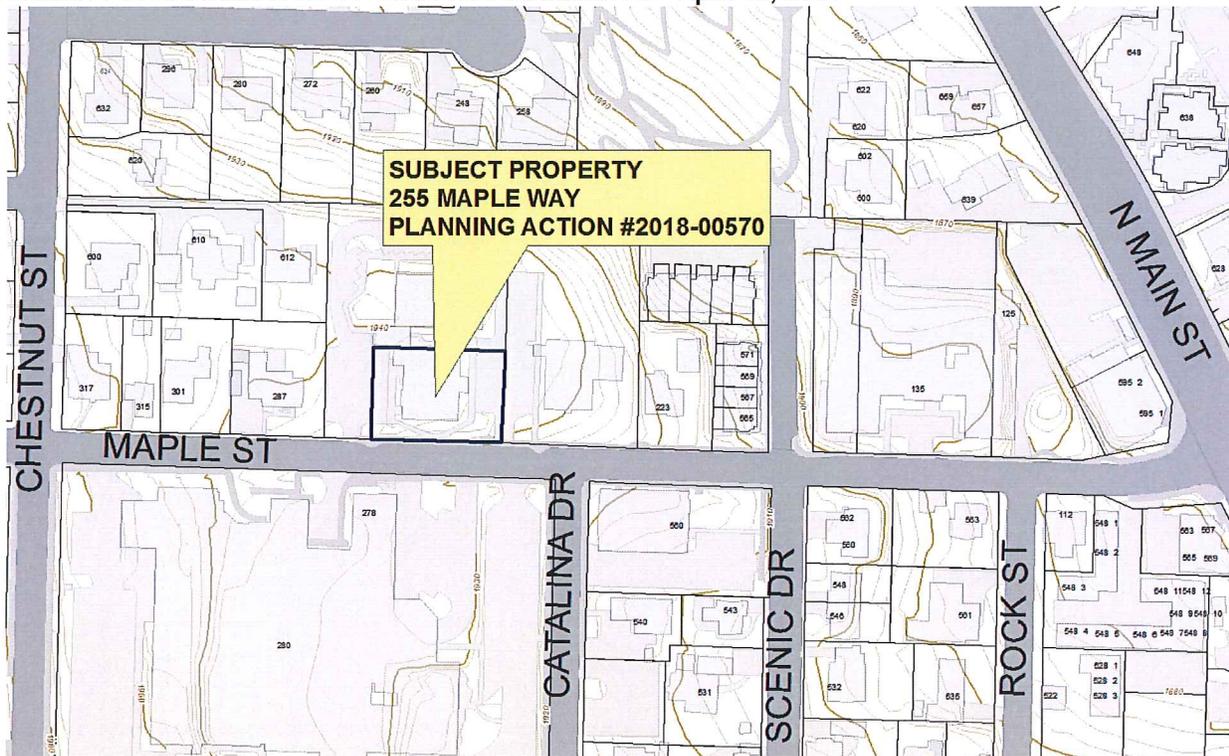
**DESCRIPTION:** A request for a Non Hazardous tree removal of a 10-inch diameter at breast height Scarlett Oak for the property at 255 Maple St. The application states that the tree is near power lines which have required repeated pruning into poor form. The applicant would like to replace with a tree more appropriate for the location. **COMPREHENSIVE PLAN**

**DESIGNATION:** Health Care Services; **ZONING:** HC; **ASSESSOR'S MAP:** 39 1E 05DB; **TAX LOT:** 500

**NOTE:** The Ashland Tree Commission will also review this Planning Action on **Thursday, April 5, 2018 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

**NOTICE OF COMPLETE APPLICATION:** March 27, 2018

**DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS:** April 10, 2018



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.5.1.050.G)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

1. Hazard Tree. A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
  - a. The applicant must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. See definition of hazard tree in part 18.6.
  - b. The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.
2. Tree That is Not a Hazard. A Tree Removal Permit for a tree that is not a hazard shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
  - a. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.10.
  - b. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.
  - c. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.
  - d. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.
  - e. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

**CANOPY** LLC  
*The Care of Trees*

canopyarborcare.com  
157 Max Loop  
Talent, OR 97540  
(541) 631-8000



February 20, 2018

City of Ashland  
Planning Department  
51 Winburn Way  
Ashland, OR 97540

RE: Tree removal permit at 255 Maple St

This statement is in regard to the request to remove a scarlet oak tree at 255 Maple Street by our client, Charlie Martz.

The tree in question measures approximately 10" in diameter at breast height (DBH) and 25' high. The primary reasons to remove the tree are its poor form and its proximity to overhead power and communication lines. This tree species has the potential to grow to heights of over 100'. Even in its relatively young life, the growth habit of this tree has necessitated repeated pruning to keep the power and communication lines clear. This pruning has resulted in very poor and unattractive form. The owner of the property would like to remove the tree as part of an overall new landscaping installation project, replacing it with a more attractive and suitable tree for the area provided.

I do not consider this tree a hazard. It is relatively small and its loss would not have a large impact on canopy densities. Mitigation tree(s) could provide for a future net gain in canopy density. The tree is located on a stable and overall flat surface and so would not have a negative impact on erosion.

Please contact us if there are any other questions we can help answer.

Sincerely,

---

Christopher John  
Arborist, Canopy LLC  
ISA Certification #WE-9504A  
Tree Risk Assessor Qualified (TRAQ)



1:240  
1 inch = 20 feet

*Mapping is schematic only and bears no warranty of accuracy.  
All features, structures, facilities, easement or roadway locations  
should be independently field verified for existence and/or location.*

***“FALCON III – A MIXED-USE DEVELOPMENT”***



**A PROPOSAL FOR**

**A SITE REVIEW PERMIT  
TO CONSTRUCT A TWO-STORY MIXED-USE BUILDING  
WITHIN AN EMPLOYMENT (E-1) ZONING DISTRICT  
(FALCON HEIGHTS SUBDIVISION, LOT #3)**

**SUBMITTED TO**

**CITY OF ASHLAND**

**FOR**

**KDA HOMES, LLC  
604 FAIR OAKS COURT  
ASHLAND, OR 97520**

**BY**

**URBAN DEVELOPMENT SERVICES, LLC.  
604 FAIR OAKS COURT  
ASHLAND, OR 97520**

**RECEIVED**  
**MAR 01 2018**  
**City Of Ashland**

**MARCH 2<sup>ND</sup>, 2018**

**I. PROJECT INFORMATION:**

**PROJECT NAME:** "Falcon III" (Falcon Heights, Lot #3)

**APPLICANT:**  
KDA Homes, LLC  
604 Fair Oaks Court  
Ashland, OR 97520

**ARCHITECT**  
Oregon Architecture  
132 W. Main Street  
Medford, OR 97501

**LANDSCAPE DESIGN**  
Madara Design, Inc.  
2994 Wells Fargo Road  
Central Point, OR 97502

**LAND USE PLANNING:**  
Urban Development Services, LLC  
604 Fair Oaks Court  
Ashland, OR 97520

**ENGINEER:**  
CEC Engineering  
132 W. Main Street  
Medford, Oregon 97501

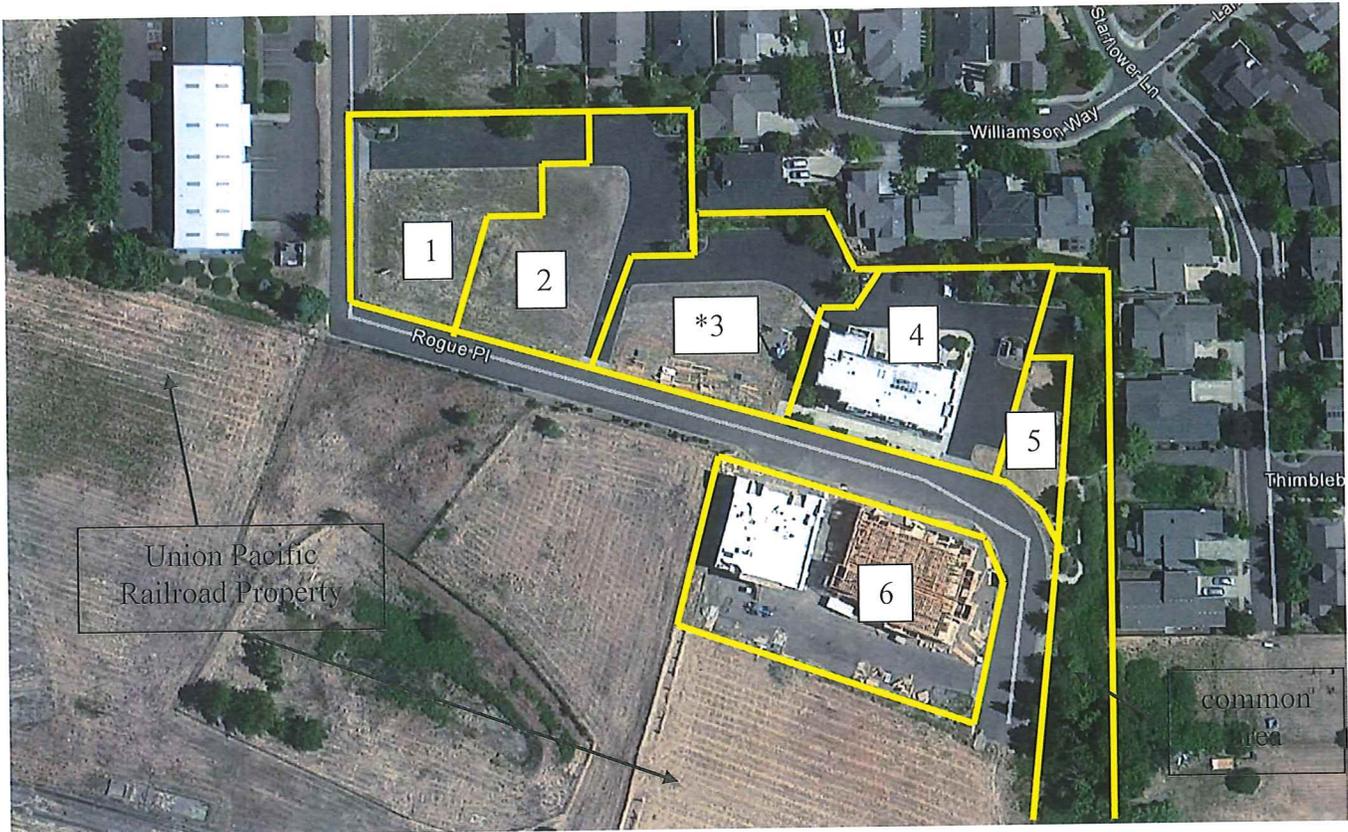
**ATTORNEY OF RECORD**  
Huycke, O'Connor, Jarvis  
823 Alder Creek Drive  
Medford, OR 97504

**PROJECT ZONING:** As illustrated in the inserted Zoning Map (below), the property is zoned Employment (E-1) with a Residential Overlay. The subject property is regulated by the Ashland Municipal Code, Chapters 18.2.6 (Zoning), 18.3.13 (Residential Overlay) and 18.4.2 (Site Design Standards, Non-Residential Development – Basic, Detail & Large Scale design standards).



City Zoning Map

**RECEIVED**  
MAR 01 2018  
City Of Ashland



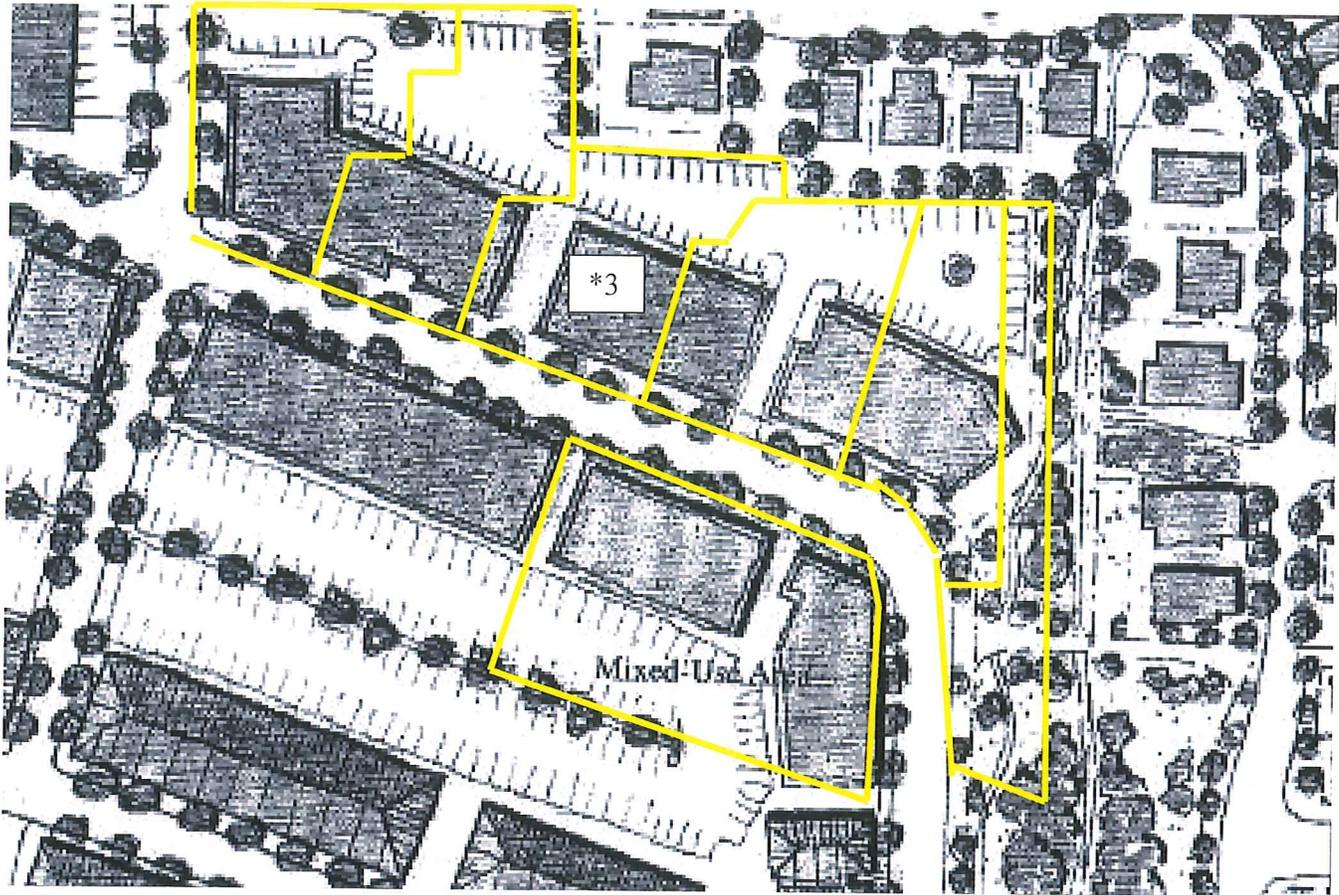
*Falcon Heights Subdivision*

**PROPERTY BACKGROUND:** *In 1991* a proposal was made for the development of not only the subject property, but also the residential properties to the north. The proposal was initially approved by the Planning Commission; however, a neighborhood group appealed the decision to the City Council and eventually to the Land Use Board of Appeals (LUBA). The project was remanded back to the City and a mediation process was initiated. The result of the mediation produced a mixture of land use types from Single-Family Suburban Residential (R-1-3.5) along Heresy Street, Medium Density (R-2) along Williamson Way and Employment with a Residential Overlay (E-1) along Rogue Place. The R-1-3.5 and R-2 properties have been divided, sold, constructed upon and occupied. A total of 27 single-family 22 multi-family parcels were developed.

*In 2001*, the City completed a “draft” Master Plan for the Railroad Property (now Union Pacific’s). The subject property was included in the plan where it identified conceptual street layouts, street designs, street connections, building placements and designs. The Master Plan was never officially adopted, but from the plan came the current street layout now adopted as part of the City’s Transportation System Plan as well as certain building and lot configurations (see insert below).

*In 2002*, the property was part of a 13-lot subdivision, but modified in 2003 to seven lots. The seven lot subdivision was then recorded with various improvements including roads, electrical, storm water, bio-swales, sewer, sidewalks, street lights and parking areas installed. The property, in its existing condition today, is generally how it has been since 2004. All of the properties have been reasonably maintained over the years primarily due to the subdivision’s Owner’s Association.

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Railroad Master Plan – 2001

In 2006, an application was made for the first building within the subdivision on Lot #4, a two-story mixed-use building consisting of 7,762 square feet comprised of business professional office space, retail on the ground floor and five residential condominiums on the second floor (see insert above). At the time of its approval, parking was added to the rear of the building, mixed-use parking credits were granted and an on-street parking credit was granted.



Subject Site

479 Russell Street – Lot #4

In December of 2015, the Planning Commission approved a Site Review Permit to allow the construction of two mixed-use buildings, connected by a sky-walk bridge, on the property across the street, 474 Russell Street, Lot #6 (Planning Action #2015-01284). Building “A” is 8,688 square feet consisting of ground floor offices and garages and four residential condominiums on the second floor. Building “B” is 12,617 square feet consisting of ground floor offices and garages and six residential condominiums on the second floor. In April of 2017, a Conditional Use Permit to allow the four second floor units within Building “A” to be used for short-term corporate rental housing (hotel/motel) (Planning Action 2017-00016). The subject buildings are currently under construction, expected to be completed and occupied in May of 2018 (see photo below).



*474 Russell Street – Under Construction (2.28.18)*

**PROPERTY DESCRIPTION:** The property is located at 469 Russell Street and is a vacant .44 acre parcel zoned E-1 with a Residential Overlay. The property is generally rectangular in shape with an approximate 4% south to north grade. As previously described, the site’s parking lot (storm water drain, paving and curbing) have been installed as well as the site’s perimeter curbing, street lights, fire hydrants and transformer boxes. A common open space area, improved as a function storm water dry creek bed facility exists along the east side of the property, between the subject property and the existing building on Lot #4. Parking lot landscaping exists along the north side of the property where it abuts neighboring residences. Some landscaping updates will be necessary as some plants have died or have been vandalized since 2002. Finally, the subject vacant property is well liked by neighboring property owners and tenants due to its semi-improved state where they can comfortably let their dogs roam around the vacant property and the abutting railroad property without too much concern.

**PROJECT PROPOSAL:** The applicants are requesting a Site Review Permit to construct an 11,296 square foot commercial office building on Lot #3 of the Falcon Heights Subdivision. The ground floor space will be used as corporate offices consisting of 5,648 square feet and the second floor will consist of seven small residential condominium units ranging in size from 482 to 834 square feet with an average of 677 square feet. A 2,002 square foot plaza space is shown along the east and north side of the building, adjacent to the subdivision’s common open space dry creek bed – which is intended to be enhanced and updated as part of the project’s landscape plan.

Zoning & Railroad District Master Plan: In addition to the design standards, the project complies with the City’s E-1 zoning standards for rear parking, number of parking spaces, setbacks, solar access, building heights, etc. Further, the subdivision’s original design and concepts clearly follow the 2001 Railroad District Master Plan (draft) as illustrated above on Page #4. In addition, suggestions within the master plan, such as “two or more building story’s are encouraged”, follow the provisions of the zoning code which allow up to 40’, plus a 5’ parapet. In this development’s case, the tallest points of the building are roughly 28’ to 32’ – well under the permitted threshold.



*Proposed Street Facing Elevation*

Building Architecture: The building’s architecture is not only a reflection of certain mass, scale and material components of the adjacent building to the east and the two buildings under construction across the street, but also in accordance with the regulations noted in the Basic, Detail and Large Scale design standards (Site Design & Use Standards). Such standards do *not* require a certain design style such as Downtown Ashland, but do require large building masses to be divided into heights and sizes that relate to human scale by incorporating changes in building masses or direction, sheltering roofs, a distinct pattern of surfaces, windows, trees, and small scale lighting. In this proposal’s case, the building has been articulated in both mass, volume and material and no one wall is a voided plane. Each wall includes symmetrically balanced components for a positive streetscape rhythm. In this regard, the applicants and

Architect have amended elevations multiple times in an attempt to make sure the design complements the existing buildings, but is also a building that expands the architecture and palate of colors and materials for future buildings planned for the Falcon Heights Mixed-Use Subdivision.

Residential Units: The proposed seven residential units are smaller than typical residential condominiums in Ashland primarily for three reasons. First, the permitted density of the property is 6.6 dwelling units, but because there are multiple units less than 500 sq. ft., by code the units are considered .75 units for calculation purposes and thus the seven units (482, 492, 492, 775, 832, 832 and 834 square feet – 3 studios / four two-bedroom) equate to a 6.25 density factor. Second, the applicant desires to provide housing for some of his employees as a benefit and the more units available, the better the opportunity to attract and maintain qualified employees. Third, in reading the City of Ashland’s 2012 Housing Needs Analysis and 2007 Rental Needs Analysis, both documents emphasize the need for smaller units, specifically in the studio and one-bedroom unit sizes. As such, the applicants concur there will be a demand in Ashland for the smaller units and for all of the reasons stated is willing to make the investment.

Parking: A total of 11 “unmarked” parking spaces are currently provided on-site and another 7 parking spaces are proposed to be added. An additional five parking spaces are located along the lot’s Russell Street frontage (AMC 18.4.3.060 A.), two of which will be requested as on-street parking credits, for a total of 20 parking spaces.

Note: The property’s parking lot is pre-existing, constructed in 2003/2004 with all of the improvements for curbing, drainage, landscaping area, irrigation conduit, asphalt thickness, etc. meeting Building and Planning standards. That said, the applicants intend to utilize the parking lot as originally constructed, but complete the necessary landscaping and irrigation improvements, as well as some landscape “updating”, as shown on the landscape plans.

In accordance with AMC, Table 18.4.3.040 – Automobile Parking Spaces by Use, the project’s parking demand is as follows:

3 One-bedroom Residential Units	< 500 sq. ft.	1 space per unit	= 3 spaces required
4 Two-bedroom Residential Units	> 500 sq. ft.	1.75 spaces per unit	= 7 spaces required
5,648 sq. ft. General Office		1 space per 500 sq. ft.	= 11.29 spaces required

Total parking spaces required: = 21.29 (22 parking spaces)

Total provided on-site: = 18 parking spaces (includes one handicap space)

Requested on-street credits: = 2 of 5 parking spaces

Requested on-site mixed use credits = 2 of 18 parking spaces

Total parking spaces provided per Parking Management Strategies: 22



Per AMC 18.4.3.060 A. and C. (Parking Management Strategies), the codes allow parking credits for on-street parking spaces in order to reduce the required off-street parking spaces up to 50%. In this case, the applicant is only requesting 2 of the 5 on-street spaces, which is roughly 9% of the required off-street

spaces. In addition, in the event that several users occupy a single structure or parcel of land, the total requirements for off-street automobile parking shall be the sum of the requirements for the several uses computed separately *unless* it can be shown that the peak parking demands are offset, in which case the mixed-use credit may reduce the off-street parking requirement by a percentage equal to the reduced parking demand, not to exceed 50%. In this case, the applicants are requesting two-mixed use parking credits as the offices typically operate during the daytime and residential parking is typically in demand in the evenings. As such, the parking demand for the subject two uses are generally two distinct periods throughout the day and of the two requested mixed-use credits, it represents only a 9% credit.

*Bike Parking Required / Proposed:* A total of 12 covered bike parking spaces will be provided – one for each one-bedroom residential unit (3), 1.5 for each two-bedroom unit (4) and one for every five required office parking spaces (3) for a total requirement of 10 bike parking spaces. Generally, 50% of the spaces are required to be covered, but in this case, 100% of the spaces will be covered. Further, all bike parking spaces will be designed in compliance with the Bicycle Parking Design Standards noted in AMC 18.4.070 and specifically the covered bike standards as illustrated in Figure 18.4.3.070.I.10 a. and b. of the Ashland Municipal Code.

*Signs:* The buildings' signage is intended to be mounted on the front of the building and within the window areas of the front façade. Prior to installation, permits for any signage will be applied for in accordance with AMC 18.4.7.020 B. and all standards for commercially zoned signs will be in accordance with AMC 18.4.7.080.

*Solar Access:* The proposal complies with the City's adopted Solar Access Ordinance, AMC 18.4.8, specifically a Class "A" standard which is the City's residential solar classification. However, during the initial planning of the subdivision, the developer committed to the neighbors to the north that "all" of the commercial lots within the subdivision would be deed restricted to a Class "A" standard. As such, the subject building has been designed to meet the Class "A" standard as illustrated on the submitted plans.

*Trash & Recycling:* In accordance with 18.4.4.040 G., the project's trash and recycling area is to be within a combined enclosure, 5' in height, accessed from the rear parking lot. The enclosed structure is aligned directly with the driveway's opening for easy access allowing for convenient and quick service by Ashland Recology. The enclosure provides screening from all adjoining neighbors.

*Neighborhood Outreach:* On March 21<sup>st</sup>, 2018, a neighborhood meeting is to be held with the adjoining neighbors to address neighborhood questions. The applicants have met with the neighbors on a couple of previous occasions and aware of most concerns which primarily relate to views, lights, heights, construction noise and use. At the meeting the applicant, Land Use Planner and Architect will be present to answer any questions.

*Commercial Occupant & Future Building Owner:* The subject property and building is to be purchased and the ground floor space occupied by NatureWise. Founded in 2011 by owner, CEO, and longtime Ashland resident, DavidPaul Doyle, NatureWise is a natural health supplements and organic ashwagandha energy drink company. Recently, an article on NatureWise appeared in *Ashland Daily Tidings*.

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NatureWise's energy drinks come in five organic flavors and are available at the Ashland Food Co-op and Shop'n Kart. 2018 goals include expanded retail distribution of energy drinks and also retail and online distribution of health supplements. NatureWise is a pioneer of mobile transparency, as well as a 2018 finalist in the industry-wide NEXTY Award in the category of Best Condition-Specific Supplement for the Ashwagandha Herbal Blends supplement.

NatureWise reached \$18 million in sales in 2017, and the company has recently expanded its staff to support its projected 2018 growth. The company owns its suite of offices at 184 Clear Creek Drive and leases additional office space at 149 Clear Creek Drive, as well as 108 East Hersey Street. Manufacturing is located nearby in Washington and California.

The company's culture is built upon five foundational values that guide relations inside the company, as well as with business partners, vendors, neighbors, and the surrounding community: ownership, service, growth, passion, and honesty. The company makes significant ongoing gifts to support Ashland-based Permaculture Institute of North American (PINA) and international NGO, Vitamin Angels, which combats malnutrition globally.

**CONCLUSION:** The applicants contend the proposal is another positive example of Ashland's land use planning efforts. The opportunity to build a mixed-use building without exceptions or variance and providing the Ashland real estate market with additional commercial and residential options is encouraging. The applicants also believe the addition of adding 3 studio units of less than 500 sq. ft. and 4 small two bedroom units is a positive contribution to Ashland's housing market. As noted in the City's 2012 Housing Needs Analysis and 2007 Rental Needs Analysis, both documents emphasize the need for smaller units, specifically in the studio and one-bedroom unit sizes.

Finally, the applicants and design team are excited about bringing forth a building design that makes a positive contribution to the public street. In what could have been a very mediocre building and site plan design, similar to the various manufacturing and office buildings to the west of the subject site, the proposed buildings are oriented to the street, enhance a shared open space area located between Lots #3 and #4 and creates a positive outdoor plaza space for the benefit of the employees and residences of the building. Overall, the streetscape elevation includes a significant amount of glazing and architectural components that emphasize creativity, but also neighborhood compatibility.

**II. FINDINGS OF FACT:**

The required *findings of fact* have been provided to ensure the proposed project meets the requirements and procedures outlined in the Ashland Municipal Code (AMC) pertaining to the site's zoning, applicable overlay zones, site development and design regulations. The application is to be processed as a Type II Planning Action based on the Ashland Municipal Code (AMC) 18.5.2.030 B and D. and subject to AMC Chapter 18, specifically Sections 18.2.3.130 (Dwellings in Non-Residential Zones), 18.2.6.030 (Unified Standards for Non-Residential Zones), 18.3.13.010 (Residential Overlay Regulations), 18.4.2.040 (Non-Residential Development), 18.4.2.040 B. (Basic Site Review Standards); 18.4.2.040 C. (Detail Site

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Review), 18.4.2.040 D. (Large Scale Standards), 18.4.3 (Parking, Access & Circulation), 18.4.4 (Landscaping, Lighting & Screening), 18.4.8 (Solar Access) and 18.5.2.050 (Site Review Criteria).

*For clarity reasons, the following documentation has been formatted in "outline" form with the City's approval criteria noted in **BOLD** font and the applicant's response in regular font. Also, there are a number of responses that are repeated in order to ensure that the Findings of Fact are complete.*

### **18.2.3.130 Dwelling in Non-Residential Zone**

**Where dwellings are allowed in non-residential zones, they are subject to all of the following requirements.**

**A. Dwellings in the E-1 zone are limited to the R-overlay zone. See chapter 18.3.13 Residential Overlay.**

The subject property is within an E-1 Residential Overlay Zone as noted on the inserted map on Page #2 of this document.

**B. Dwellings in the E-1 and C-1 zones shall meet all of the following standards:**

**1. If there is one building on a site, ground floor residential uses shall occupy not more than 35 percent of the gross floor area of the ground floor. Where more than one building is located on a site, not more than 50 percent of the total lot area shall be designated for residential uses.**

The proposal is for a single building on one site that will eventually be platted as condominiums sharing and maintaining the site's common improvements. Along with the condominium plat, CC&R's and Bylaws will be included in accordance with State of Oregon Condominium Statutes.

The ground floor the building is 5,648 square feet and the only area of the ground floor utilized by the second floor residences is the stairwell and elevator which is roughly 350 square feet or 6% of the ground floor area.

**2. Residential densities shall not exceed 15 dwelling units per acre in the E-1 zone, 30 dwelling units per acre in the C-1 zone, and 60 dwelling units per acre in the C-1-D zone. For the purpose of density calculations, units of less than 500 square feet of gross habitable floor area shall count as 0.75 of a unit.**

The property is .44 acres in size and has a base density of 6.6 dwelling units. The proposal is for three one bedroom studios and four two-bedroom units. As noted, units less than 500 sq. ft. are calculated as .75 which calculates based on the above provisions to be a total of 6.25 dwelling units.

**3. Residential uses shall be subject to the same setback, landscaping, and design standards as for permitted uses in the underlying zone.**

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The proposed residential uses have been designed to comply with the underlying E-1 zoning standards. However, it should be noted the original developer and the adjacent neighbors to the north agreed on a more stringent Solar Access factor and thus the subject building's 2-story height is roughly one entire floor less than what it could be.

**4. Off-street parking is not required for residential uses in the C-1-D zone.**

Not applicable

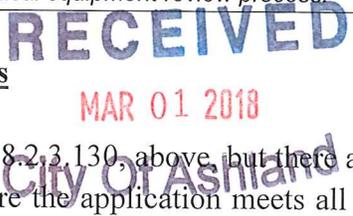
**5. Where the number of residential units exceeds ten, at least ten percent of the residential units shall be affordable for moderate-income persons in accord with the standards of section 18.2.5.050. The number of units required to be affordable shall be rounded down to the nearest whole unit.**

Not applicable as the proposed density is 6.25 dwelling units.

**18.2.6.030 Unified Standards for Non-Residential Zones**

<b>18.2.6.030 Unified Standards for Non-Residential Zones -</b>		<b>EMPLOYMENT ZONE (E-1)</b>
Residential Density	15 du/ac	complies
Lot Area, Width, Depth or Lot Coverage	There is no minimum lot area, width or depth, or maximum lot coverage; or minimum front, side or rear yard, except as required to comply with the special district and overlay zone provisions of part 18.3 or the site.	complies
Setback Yards (feet)	There is no minimum front, side, or rear yard required, except where buildings on the subject site abut a residential zone, in which case a side of not less than 10 ft and a rear yard of not less than 10 ft per story is required.	complies
Building Height <sup>2&amp;3</sup> – Maximum (feet)	40 ft	complies
Landscape Area – Minimum (% of developed lot area)	15%	complies
<i><sup>3</sup>Parapets may be erected up to five feet above the maximum building height; see also, 18.4.4.030.G.4 for mechanical equipment screening requirements, and 18.5.2.020 for Site Design Review for mechanical equipment review process.</i>		

**18.3.13.010 Residential Overlay Regulations**



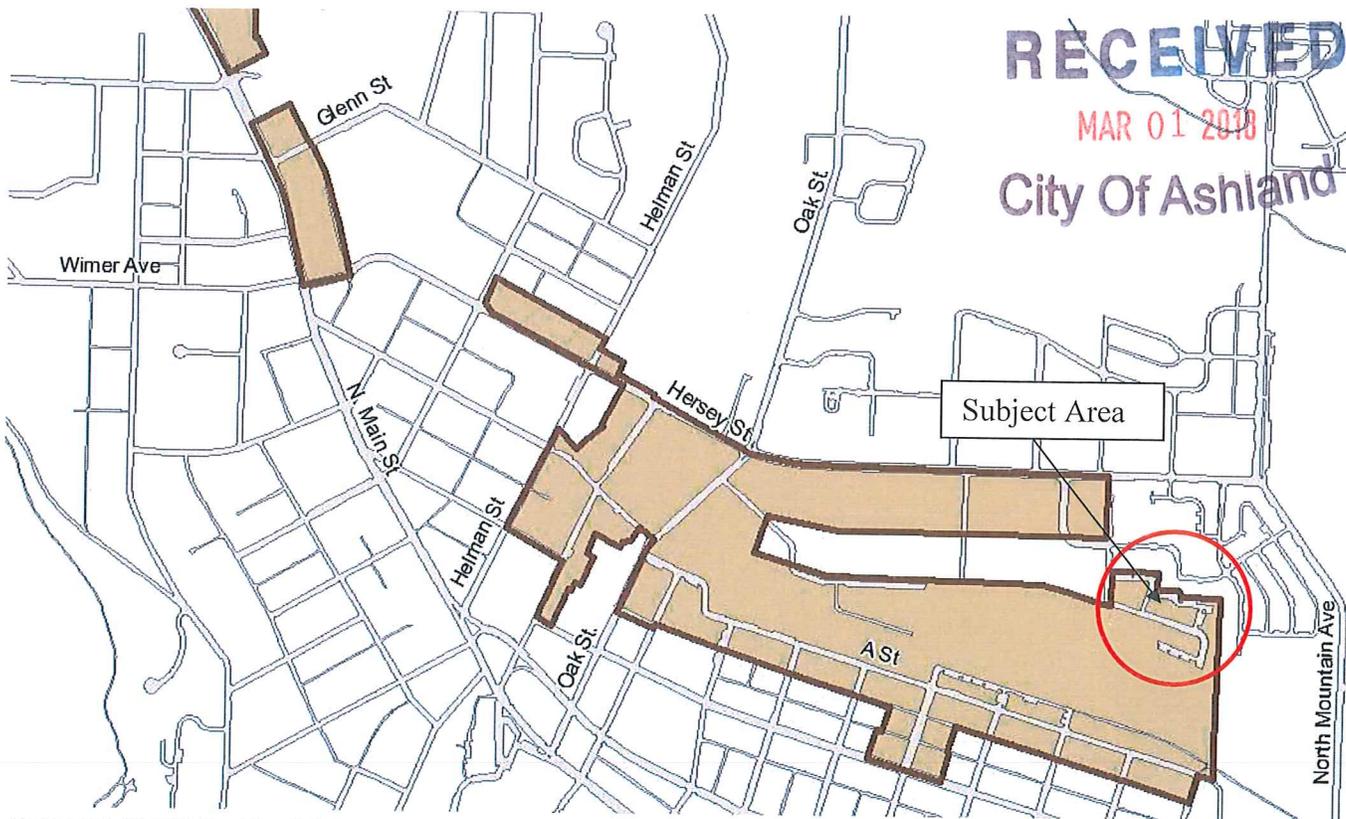
Note: The standards below appear to be duplicating the standards noted in 18.2.3.130, above, but there are differences. Nevertheless, the purpose of these Findings of Fact is to ensure the application meets all of the applicable criteria and development standards.

**C. Requirements. The Residential overlay requirements are as follows.**

1. If there is one building on a site, ground floor residential uses shall occupy not more than 35 percent of the gross floor area of the ground floor. Where more than one building is located on a site, not more than 50 percent of the total lot area shall be designated for residential uses.

The proposal is for a single building on one site that will eventually be platted as condominiums sharing and maintaining the site's common improvements. Along with the condominium plat, CC&R's and Bylaws will be included in accordance with State of Oregon Condominium Statutes.

The ground floor of the building is 5,648 square feet and the only area of the ground floor utilized by the second floor residences is the stairwell and elevator which is roughly 350 square feet or 6% of the ground floor area.



AMC 18.3.13.010 Residential Overlay Map (1 of 2)

2. Residential densities shall not exceed 15 dwelling units per acre. For the purpose of density calculations, units of less than 500 square feet of gross habitable floor area shall count as 0.75 of a unit.

The property is .44 acres in size and has a base density of 6.6 dwelling units. The proposal is for three one bedroom studios and four two-bedroom units. As noted, units less than 500 sq. ft. are calculated as .75 which calculates based on the above provisions to be a total of 6.25 dwelling units.

3. Residential uses shall be subject to the same setback, landscaping, and design standards as for permitted uses in the E-1 District.

The proposed residential uses have been designed to comply with the underlying E-1 zoning standards.

**4. If the number of residential units exceeds ten, then at least 10 percent of the residential units shall be affordable for moderate-income persons in accord with the standards established by resolution of the City Council through procedures contained in the resolution. The number of units required to be affordable shall be rounded down to the nearest whole unit.**

Not applicable as the proposed density is 6.25 dwelling units.

**18.4.2.040 Non-Residential Development**

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**A. Purpose and Intent. Commercial and employment developments should have a positive impact upon the streetscape. For example, buildings made of unadorned concrete block or painted with bright primary colors used to attract attention can create an undesirable effect upon the streetscape.**

The proposal clearly has a positive impact upon the streetscape with its varying use of materials, colors and large store-front windows. The buildings have been designed in context with the neighboring mixed-use buildings with the long-term goal of creating a cohesive and enjoyable street to work or live on.

**Landscaping and site design for commercial and employment zones is somewhat different from that required for residential zones. The requirement for outdoor spaces is much less. The primary function is to improve the project's appearance, enhance the City's streetscape, lessen the visual and climatic impact of parking areas, and to screen adjacent residential uses from the adverse impacts which commercial uses may cause.**

The design team contends the proposal enhances the streetscape and with the installation of added landscaping and building placement along the sidewalk will lessen the visual and climatic impact of parking areas. Also, because the previous property owners installed the parking areas, installed the infrastructure, pre-planted the landscaping around the perimeter and agreed to reduce the building heights within the subdivision to Class "A" solar access standards, the most restrictive class, the typical adverse impacts commercial uses may cause on a neighboring residence have been clearly mitigated.

**One area in which Ashland's commercial differs from that seen in many other cities is the relationship between the street, buildings, parking areas, and landscaping. The most common form of modern commercial development is the placement of a small buffer of landscaping between the street and the parking area, with the building behind the parking area at the rear of the parcel with loading areas behind the building. This may be desirable for the commercial use because it gives the appearance of ample parking for customers. However, the effect on the streetscape is less than desirable because the result is a vast hot, open, parking area which is not only unsightly but results in a development form which the City discourages.**

The alternative desired in Ashland is to design the site so that it makes a positive contribution to the streetscape and enhances pedestrian and bicycle traffic. The following development standards apply to commercial, industrial, non-residential and mixed-use development. The application of the standards depends on what area of the City the property is located. Generally speaking, areas that are visible from highly traveled arterial streets and that are in the Historic District are held to a higher development standard than projects that are in manufacturing and industrial area.

The project site is not within a Historic District. However, the project planning for this development, including the initial site and street layout phase, has clearly attempted to make a positive contribution to the streetscape as well as the residential neighborhood it abuts. As the subdivision and adjoining properties develop and the City continues to enforce its Transportation Plan objectives with connected streets and positive multi-modal developments, the subject property and the properties within the vicinity will continue to make a positive contribution towards Ashland's livability.

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**18.4.2.040 B. Basic Site Review Standards**

Except as otherwise required by an overlay zone or plan district, the following requirements apply to commercial, industrial, non-residential and mixed-use development pursuant to section 18.5.2.020.

**1. Orientation and Scale.**

**a. Buildings shall have their primary orientation toward the street and not a parking area. Automobile circulation or off-street parking is not allowed between the building and the street. Parking areas shall be located behind buildings, or to one side.**

The site's parking area sits behind the proposed building and will be screened from the front of the property by the building.

**b. A building façade or multiple building facades shall occupy a large majority of a project's street frontage as illustrated in Figure 18.4.2.040.B, and avoid site design that incorporates extensive gaps between building frontages created through a combination of driveway aprons, parking areas, or vehicle aisles. This can be addressed by, but not limited to, positioning the wider side of the building rather than the narrow side of the building toward the street. In the case of a corner lot, this standard applies to both street frontages. Spaces between buildings shall consist of landscaping and hard durable surface materials to highlight pedestrian areas.**

In keeping with the above standard, the proposed building façade occupies the majority of the streetscape.

**c. Building entrances shall be oriented toward the street and shall be accessed from a public sidewalk. The entrance shall be designed to be clearly visible, functional, and shall be open to the public during all business hours.**

The building's primary entrance has been designed to face the primary street and its public sidewalk. The entrance is designed to be clearly visible, functional, and will remain open to the public during typical business hours.

**d. Building entrances shall be located within 20 feet of the public right of way to which they are required to be oriented. Exceptions may be granted for topographic constraints, lot configuration, designs where a greater setback results in an improved access or for sites with multiple buildings, such as shopping centers, where other buildings meet this standard.**

Other than the residential entrance, the buildings' primary commercial entrance is located on the ground level adjacent to the public sidewalk.

**e. Where a building is located on a corner lot, its entrance shall be oriented toward the higher order street or to the lot corner at the intersection of the streets. The building shall be located as close to the intersection corner as practicable.**

Not applicable

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**f. Public sidewalks shall be provided adjacent to a public street along the street frontage.**

The proposal includes a public sidewalk, in accordance with the City's Street Design Standards and the Subdivision's originally conceived plan along the Russell Street frontage.

**g. The standards in a-d, above, may be waived if the building is not accessed by pedestrians, such as warehouses and industrial buildings without attached offices, and automotive service stations.**

Although warehouses and some industrial/manufacturing uses are permitted in the E-1 zone, the applicants have designed the building to accommodate an array of uses which include commercial office and service businesses that will benefit from an attractive building design and accessible public sidewalks.

**2. Streetscape. One street tree chosen from the street tree list shall be placed for each 30 feet of frontage for that portion of the development fronting the street pursuant to subsection 18.4.4.030.E.**

In accordance with AMC 18.4.4.030 E., one street tree chosen from the street tree list shall be placed for each 30 feet of frontage for that portion of the development fronting the street.

### **3. Landscaping.**

**a. Landscape areas at least ten feet in width shall buffer buildings adjacent to streets, except the buffer is not required in the Detail Site Review, Historic District, and Pedestrian Place overlays.**

The property is within the Detail Site Review Overlay and not subject to the standard.

**b. Landscaping and recycle/refuse disposal areas shall be provided pursuant to chapter 18.4.4.**

The attached landscaping and site plans identify a screened recycling and refuse area.

**4. Designated Creek Protection.** Where a project is proposed adjacent to a designated creek protection area, the project shall incorporate the creek into the design while maintaining required setbacks and buffering, and complying water quality protection standards. The developer shall plant native riparian plants in and adjacent to the creek protection zone.

Not applicable as the property does not abut a designated creek protection area.

**5. Noise and Glare.** Artificial lighting shall meet the requirements of section 18.4.4.050. Compliance with AMC 9.08.170.c and AMC 9.08.175 related to noise is required.

Site and building lighting will meet the requirements of AMC 18.4.4.050 as well as adopted building codes and any noise will comply with AMC 9.08.175. The applicants have an interest in minimizing any typical nuisance issues related to lighting or noise in order to provide a desirable quality of living to the project's residents. All lighting will be down-lit so as to minimize any potential glare from adjoining properties.

**6. Expansion of Existing Sites and Buildings.** For sites that do not conform to the standards of section 18.4.2.040 (i.e., nonconforming developments), an equal percentage of the site must be made to comply with the standards of this section as the percentage of building expansion. For example, if a building area is expanded by 25 percent, then 25 percent of the site must be brought up to the standards required by this document.

Not applicable as the property is currently vacant.

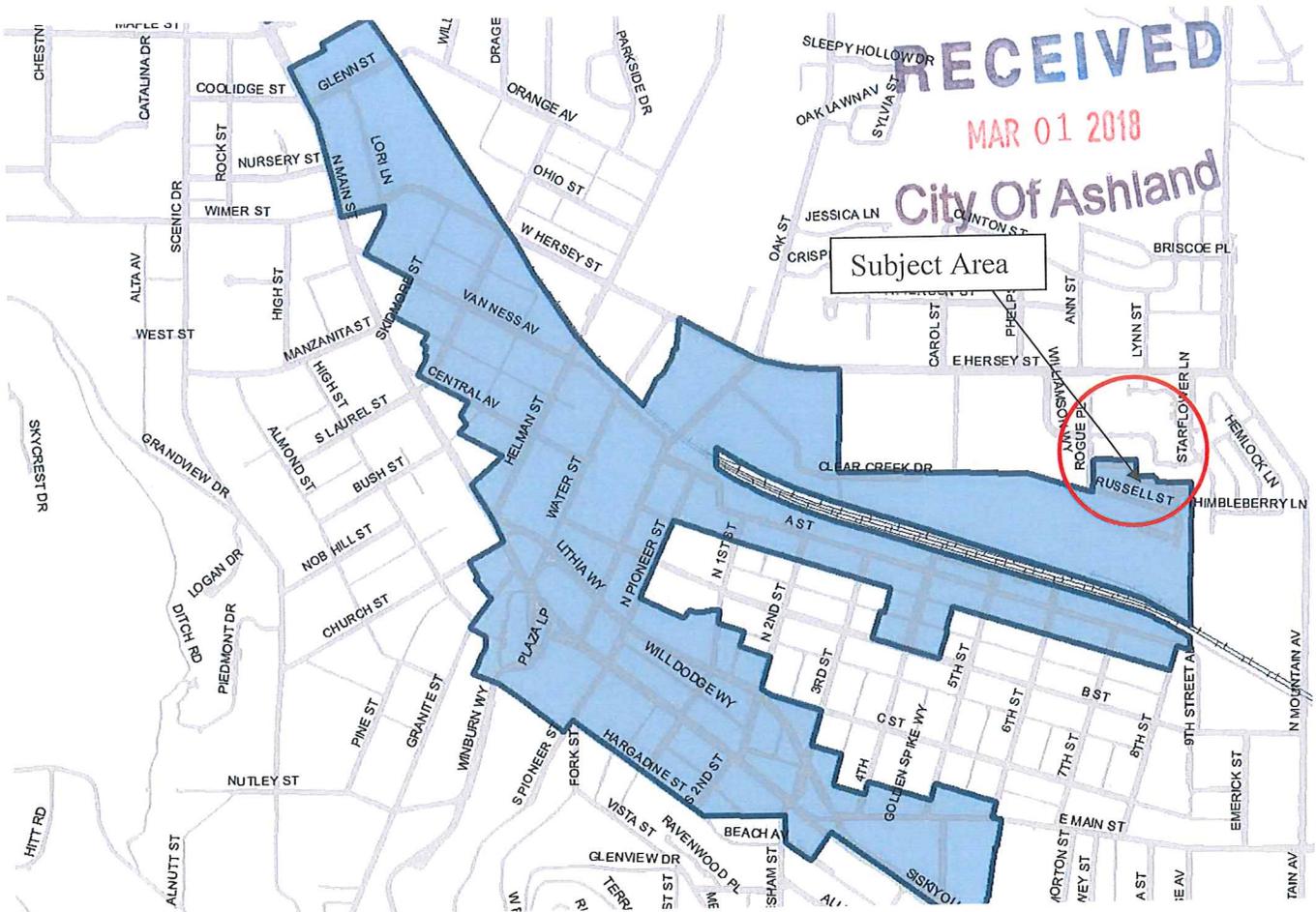
#### 18.4.2.040 C. Detailed Site Review Standards

Development that is within the Detail Site Review overlay shall, in addition to the complying with the standards for Basic Site Review in 18.4.2.040.B, above, conform to the following standards. See conceptual site plan of detail site review development in Figure 18.4.2.040.C.1 and maps of the Detail Site Review overlay in Figures 18.4.2.040.C.2-5.

##### **1. Orientation and Scale.**

**a. Developments shall have a minimum Floor Area Ratio (FAR) of 0.50.** Where a site is one-half an acre or greater in size, the FAR requirement may be met through a phased development plan or a shadow plan that demonstrates how development may be intensified over time to meet the minimum FAR. See shadow plan example in Figure 18.4.2.040.C.1.a. Plazas and pedestrian areas shall count as floor area for the purposes of meeting the minimum FAR.

The site is .44 acres in size (19,306 sq. ft.) and the proposed building has a total floor area of 11,296 sq. ft. for a .58 FAR, not including the identified plaza space or any pedestrian areas.



AMC 18.4.2.040.C.2 Detail Site Review Overlay Map (1 of 4)

**b. Building frontages greater than 100 feet in length shall have offsets, jogs, or have other distinctive changes in the building façade.**

The subject building's frontage has a variety of jogs and other distinctive changes in the building façade for the purpose of creating an attractive street façade.

**c. Any wall that is within 30 feet of the street, plaza, or other public open space shall contain at least 20 percent of the wall area facing the street in display areas, windows, or doorways. Windows must allow view into working areas, lobbies, pedestrian entrances, or displays areas. Blank walls within 30 feet of the street are prohibited. Up to 40 percent of the length of the building perimeter can be exempted for this standard if oriented toward loading or service areas.**

The building walls facing the street all have windows of at least 20% in display, windows and doorways. The buildings' working areas, pedestrian entrances and display areas will be transparent, but also address current building code and conservation standards relating to energy efficiency.

**d. Buildings shall incorporate lighting and changes in mass, surface or finish to give emphasis to entrances.**

The buildings' incorporate lighting and changes in mass, surface and finish giving emphasis to the entrances.

**e. Infill or buildings, adjacent to public sidewalks, in existing parking lots is encouraged and desirable.**

The application complies with this standard.

**f. Buildings shall incorporate arcades, roofs, alcoves, porticoes, and awnings that protect pedestrians from the rain and sun.**

The building elevations illustrate a plane of awnings between windows and other vertical forms of the building that not only accentuate the building's design, but also protect pedestrians from the rain and sun. All awnings and doorway areas create a minimum of 7' cover area for pedestrians to assemble which a policy is recently created by the Ashland Planning Commission.

## **2. Streetscape.**

**a. Hardscape (paving material) shall be utilized to designate "people" areas. Sample materials could be unit masonry, scored and colored concrete, grasscrete, or combinations of the above.**

The building will front onto a 13' wide sidewalk with street trees planted within irrigated tree wells that along with the building awnings provide relief from inclement weather and in return promote walking and "people" areas. Further, the design of the integration of the common open space to the east of the building and the plaza space at the rear will enhance the "people" area and make the building more pleasant for pedestrians and residences.

**b. A building shall be setback not more than five feet from a public sidewalk unless the area is used for pedestrian activities such as plazas or outside eating areas, or for a required public utility easement. This standard shall apply to both street frontages on corner lots. If more than one structure is proposed for a site, at least 65 percent of the aggregate building frontage shall be within five feet of the sidewalk.**

The application complies with the above standard.

## **3. Buffering and Screening.**

**a. Landscape buffers and screening shall be located between incompatible uses on an adjacent lot. Those buffers can consist of either plant material or building materials and must be compatible with proposed buildings.**

**b. Parking lots shall be buffered from the main street, cross streets, and screened from residentially zoned land.**

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The landscape plan includes landscaping between the existing driveway and the neighboring residences to the north. The landscaping and irrigation in these areas have existed since 2003/2004 and have matured in that time. In some areas the landscaping has been vandalized and/or died but will be replaced by the applicant prior to occupancy.

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#### **4. Building Materials.**

**a. Buildings shall include changes in relief such as cornices, bases, fenestration, and fluted masonry for at least 15 percent of the exterior wall area.**

The building materials include changes for relief for at least 15 percent of the exterior wall area.

**b. Bright or neon paint colors used extensively to attract attention to the building or use are prohibited. Buildings may not incorporate glass as a majority of the building skin.**

Bright paint colors or significant amounts of glass are not to be incorporated in the building's facades.

#### **18.4.2.040 D. Additional Standards for Large Scale Projects**

**In the Detail Site Review overlay, developments that are greater than 10,000 square feet in gross floor area or contain more than 100 feet of building frontage shall, in addition to complying with the standards for Basic (18.4.2.040.B) and Detail (18.4.2.040.C) Site Review, above, conform to the following standards. See conceptual elevation of large scale development in Figure 18.4.2.040.D.1 and conceptual site plan of large scale development in Figure 18.4.2.040.D.2.**

##### **1. Orientation and Scale.**

**a. Developments shall divide large building masses into heights and sizes that relate to human scale by incorporating changes in building masses or direction, sheltering roofs, a distinct pattern of divisions on surfaces, windows, trees, and small scale lighting.**

The proposed building has been designed to divide large building masses into heights and sizes that relate to human scale. The design incorporates changes in building masses, have sheltering awnings and recessed entrances and include a distinct pattern of divisions on surfaces. The design includes windows, small scale lighting and street trees to be planted along the frontage.

**b. Outside of the Downtown Design Standards overlay, new buildings or expansions of existing buildings in the Detail Site Review overlay shall conform to the following standards.**

- i. Buildings sharing a common wall or having walls touching at or above grade shall be considered as one building.**
- ii. Buildings shall not exceed a building footprint area of 45,000 square feet as measured outside of the exterior walls and including all interior courtyards. For the purpose of this section an interior courtyard means a space bounded on three or more sides by walls but not a roof.**
- iii. Buildings shall not exceed a gross floor area of 45,000 square feet, including all interior floor space, roof top parking, and outdoor retail and storage areas, with the following exception.**

Automobile parking areas located within the building footprint and in the basement shall not count toward the total gross floor area. For the purpose of this section, basement means any floor level below the first story in a building. First story shall have the same meaning as provided in the building code.

iv. Buildings shall not exceed a combined contiguous building length of 300 feet.

The subject property is outside the Downtown Design Standards Overlay. The combined square footage is 11,296 square feet and its frontage 125 lineal feet.

## 2. Public Spaces.

a. One square foot of plaza or public space shall be required for every ten square feet of gross floor area, except for the fourth gross floor area.

The project has been designed with a plaza area of roughly 2,000 square feet or 18% of the building's gross floor area whereas only 10% is required (1,130 sq. ft.) by code. The plaza is designed to serve multiple purposes ranging from a view corridor, a break in the building mass, a place for gathering and recreation, wind break, seating, possible dining area and general relaxation area for both the commercial and residential tenants.

b. A plaza or public spaces shall incorporate at least four of the following elements.

- i. **Sitting Space** – at least one sitting space for each 500 square feet shall be included in the plaza. Seating shall be a minimum of 16 inches in height and 30 inches in width. Ledge benches shall have a minimum depth of 30 inches.
- ii. **A mixture of areas that provide both sunlight and shade.**
- iii. **Protection from wind by screens and buildings.**
- iv. **Trees** – provided in proportion to the space at a minimum of one tree per 500 square feet, at least two inches in diameter at breast height.
- v. **Water features or public art.**
- vi. **Outdoor eating areas or food vendors.**

The plaza incorporates four of the above elements – sitting spaces, mixture of sunlight and shade, protection from wind and trees. There are roughly eight formal seats where only three are required. All of the seats will be at least 16 inches in height and 30 inches in width. The plaza area also includes shade trees, all of which will be 2" dbh when planted.

**3. Transit Amenities. Transit amenities, bus shelters, pullouts, and designated bike lanes shall be required in accordance with the Ashland Transportation Plan and guidelines established by the Rogue Valley Transportation District.**

In review of the City's Transportation System Plan and through discussions with the Rogue Valley Transportation District, there are no planned services for this area.

18.5.2.050 Site Review Permit – Approval Criteria

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An application for Site Design Review shall be approved if the proposal meets the criteria in subsections A, B, C, and D below. The approval authority may, in approving the application, impose conditions of approval, consistent with the applicable criteria.

**A. Underlying Zone.** The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.

To the best of the applicant's and design team's knowledge, all of the applicable provisions of the property's E-1 zone (Chapter 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture and other applicable standards are being complied with. No exceptions or variances are proposed with this development.

**B. Overlay Zones.** The proposal complies with applicable overlay zone requirements (part 18.3).

The proposal complies with the Residential Overlay for this site which is regulated by AMC Chapter 18.3.13.010, including but not limited to commercial and residential ground floor ratios as well as permissible residential densities. The project is for an attractive and well thought-out mixed use development that will not only provide the City with needed small unit housing and new office space close to the downtown core, but is also in keeping with the original subdivision's envisioned concept plans and is contextually compatible with the existing building on Lot #4 and the two new buildings across the street on Lot #6.

**C. Site Development and Design Standards.** The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.

The proposal complies with the applicable Site Development and Design Standards of AMC Chapter 18.4, as addressed above. To the best of the applicant's and design team's knowledge, no exceptions to the Site Development and Design Standards are proposed with this application.

**D. City Facilities.** The proposal complies with the applicable standards in section 18.4.6 Public Facilities, and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property, and adequate transportation can and will be provided to the subject property.

All key facilities are available to service the proposed buildings and were installed during the subdivision's initial construction in 2003/2004. All utilities to service the buildings are within the adjoining rights-of-way and stub to the property or if necessary, will be installed at the time of construction in accordance with Ashland Public Work Standards. The applicant, Planning Agent and

project Civil Engineer have met with the various utility departments to verify if there were any capacity issues. The results of the meetings were that adequate City facilities are available to the subject site. Further, a Traffic Engineer was obtained to review traffic related issues and it was concluded that based on the low volume of vehicle trips and proximity to multimodal facilities and services, a traffic impact analysis was not necessary.

**E. Exception to the Site Development and Design Standards. The approval authority may approve exceptions to the Site Development and Design Standards of part 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.**

**1. There is a demonstrable difficulty meeting the specific requirements of the Site Development and Design Standards due to a unique or unusual aspect of an existing structure or the proposed use of a site; and approval of the exception will not substantially negatively impact adjacent properties; and approval of the exception is consistent with the stated purpose of the Site Development and Design; and the exception requested is the minimum which would alleviate the difficulty.; or**

**2. There is no demonstrable difficulty in meeting the specific requirements, but granting the exception will result in a design that equally or better achieves the stated purpose of the Site Development and Design Standards.**

To the best of the applicant's and design team's knowledge, no exceptions are proposed with this application as they relate to the City's Site Development and Design Standards.

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# PROJECT DATA

OWNER: Laz Ayala  
132 W. Main Street, 202  
Medford, OR 97501  
541-772-4198

ADDRESS: 469 Russell Street  
Ashland, OR 97520

MAP/TAX LOT: 39 1 E 09AA / 2802 (LOT 3)

SITE AREA: 19,306 SF (.44 AC)

BUILDING AREAS:  
First Floor 5,648 SF  
Second Floor 5,648 SF  
Total 11,296 SF

LOT COVERAGE:  
Building 5,648 SF (29%)  
Landscaping Required 2,896 SF  
Provided 3,010 SF (16%)  
(1,067 SF in Plaza)

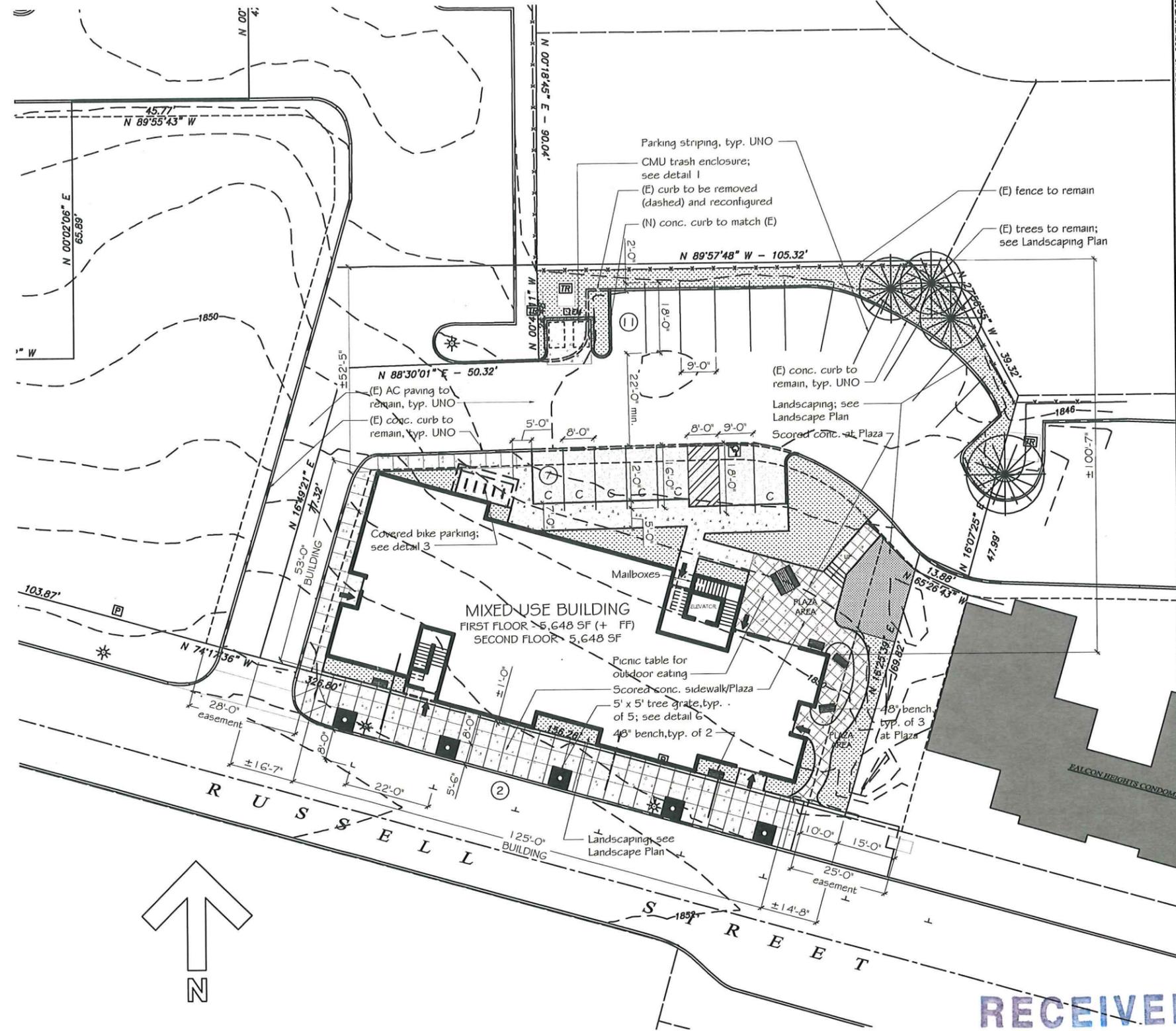
Paving 10,648 SF (55%)

Plaza Required 1,130 SF  
Provided 2,088 SF

PARKING REQUIRED\*:  
Offices 10 spaces  
Residential 10 spaces  
Total 20 spaces  
Bike 10 spaces

PARKING PROVIDED:  
Standard 11 spaces  
Compact 6 spaces  
Accessible 1 space  
On Street 2 spaces  
Total 20 spaces  
Bike 10 spaces

\*Parking requirements based on the following:  
Office - 1 space per 500 SF  
Residential - 1 space per Studio or 1 Bedroom <500 SF; 1.5 spaces for 1 Bedroom >500 SF; 1.75 spaces for 2 Bedroom



TO VERIFY PLOTTED SCALE 0" 1" BAR TO MEASURE ONE INCH BY ONE SIXTEENTH INCH

## PROPOSED SITE PLAN-LOT III

SCALE: 1"=30'-0" 03-02-2018

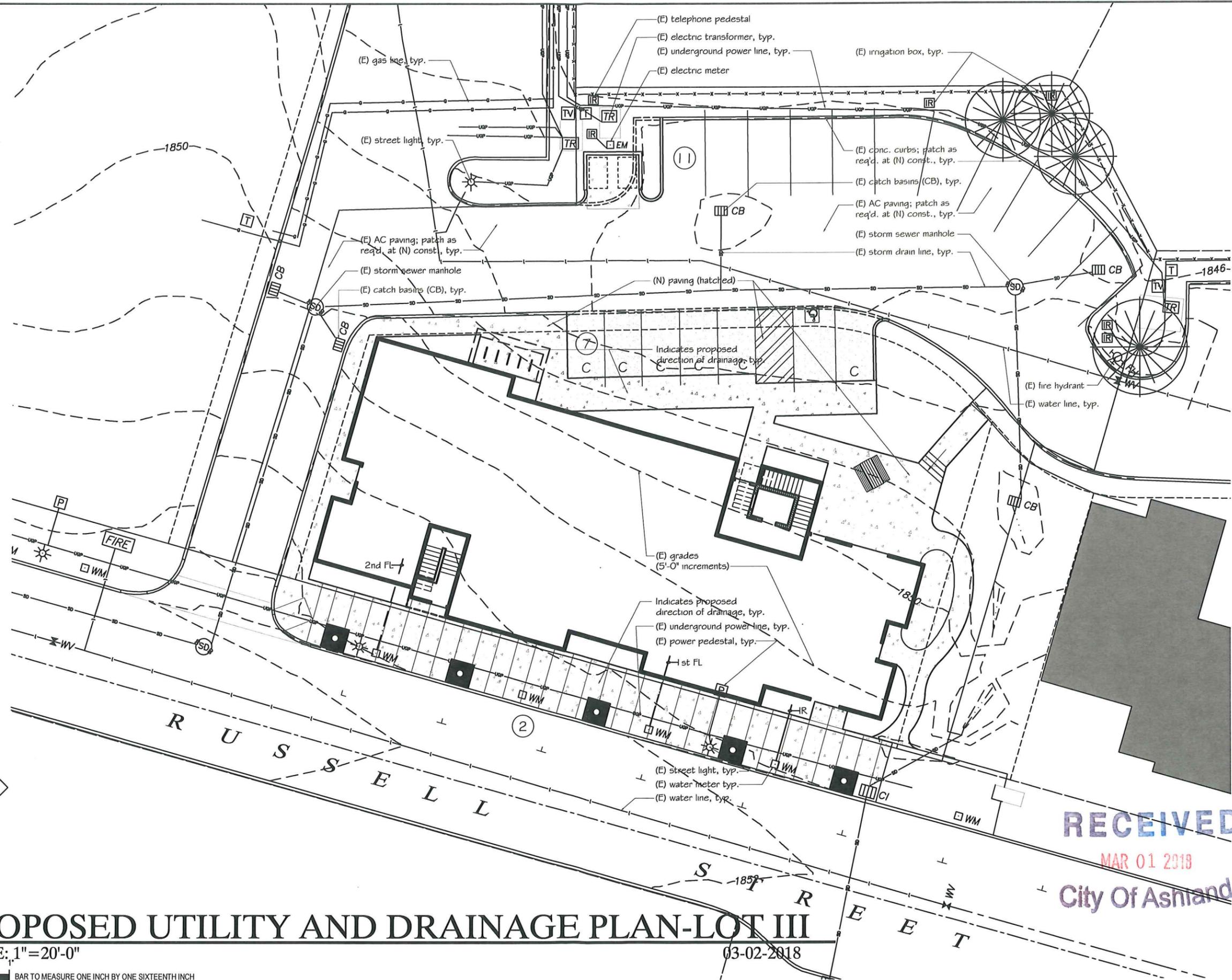
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FALCON HEIGHTS III  
The Benjamin Building  
469 Russell Street  
Ashland OR

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REVISIONS	BY
PLOT DATE:	3/1/2018
ISSUE DATE:	
DRAWN BY:	
JOB NO.:	
SHEET	A0.1
SITE PLAN PROJECT DATA	

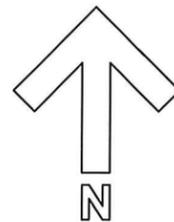
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# PROPOSED UTILITY AND DRAINAGE PLAN-LOT III

SCALE: 1" = 20'-0"

03-02-2018



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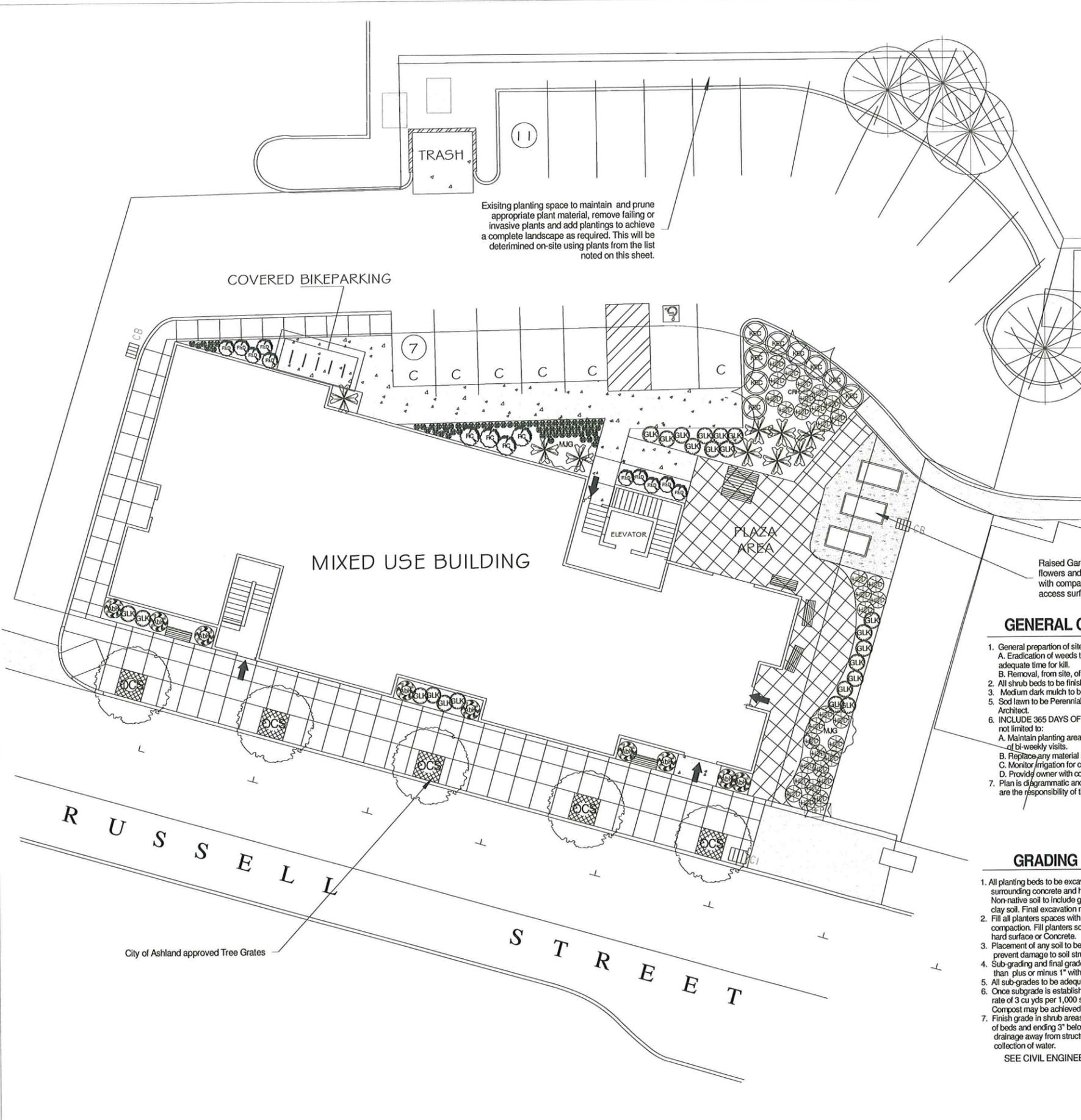
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**FALCON HEIGHTS III**  
**The Benjamin Building**  
 469 Russell Street  
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PLOT DATE:	3/1/2018
ISSUE DATE:	
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SHEET	<b>A0.2</b>
UTILITY AND DRAINAGE PLAN	



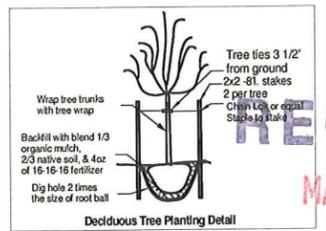
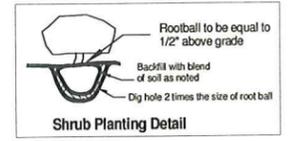


**PLANT LIST**

Quantity	Common Name	Botanical Name	Size
<b>Trees</b>			
1	Chesnut, Red Horse	Aesculus x carnea 'O'Neill Red'	1 1/2"
2	Maple, Japanese Green Select	Acer palmatum	25g
5	Oak, Crimson Spire	Quercus robur 'Crimschmidt'	1 1/2"
<b>Shrubs</b>			
9	Abelia, Kaleidoscope	Abelia 'Kaleidoscope'	3g
67	Ajuga, Royal Burgundy	Ajuga reptans 'Royal Burgundy'	4" pots
33	Heather, Darley Dale	Erica purpurascens 'Darleyensis'	2g
4	Rhododendron, Chionoides	Rhododendron 'Chionoides'	5g
10	Rhododendron, Lemon Drop	Rhododendron 'Lemon Drop'	5g
9	Viburnum, David	Viburnum davidii	3g
<b>Ground Cover / Grasses</b>			
23	Grass, Little Kitten	Miscantus sinensis 'Little Kitten'	1g
9	Kinnikinnick, Emerald Carpet	Arctostaphylos 'Emerald Carpet'	1g

**PLANTING**

- Plant material to be provided in accordance with species, sizes and quantities indicated below. Substitutions to be made with the approval of landscape architect.
- No planting to proceed until irrigation system is fully functioning in the area to be planted.
- All plant holes to be dug 2 times the volume of their root ball size. Backfill shall consist of 1/3 organic mulch, 2/3 top soil, micorrizae supplement and 16-16-16 fertilizer as follows:  
 1gal 1oz  
 3-5gal 2oz  
 larger 4oz
- Plant upright and face to give best appearance or relationship to plants, structures and predominant viewing angle. Trees are to be planted so as to be straight up and down without the assistance of staking. Staking is solely for support against outside forces.
- Loosen and remove twine binding and burlap from around top of each root ball. Scarify root balls of plants exhibiting a root bound condition, being careful not to damage the root balls integrity. Stake and guy trees immediately after this work.
- Place and compact backfill soil mixture carefully to avoid injury to roots, and fill all voids.
- When hole is 2/3 filled with soil, completely soak and allow water to soak away at least two times or more, as necessary to completely water individual plants.
- Guarantee plant materials and related workmanship of installation, beginning after written acceptance of work, for one year.  
 A. Replace plant material not surviving or in poor condition during guarantee period.  
 B. Perform all replacement work in accordance with original specifications at no additional cost to Owner.  
 C. Damage or loss of plant materials due to vandalism, freezing or acts of neglect by others, is exempt from Contractor's replacement responsibility.



**GENERAL CONSTRUCTION NOTES**

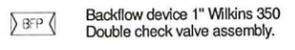
- General preparation of site to include:  
 A. Eradication of weeds through the certified application of herbicides, allowing adequate time for kill.  
 B. Removal, from site, of all existing surface rock in planting beds.
- All shrub beds to be finish raked to a smooth condition prior to mulching.
- Medium dark mulch to be placed in all shrub beds to a depth of 3"
- Soil lawd to be Perennial Ryegrass Blend or equal as determined by Landscape Architect.
- INCLUDE 365 DAYS OF MAINTENANCE from the day of acceptance. Including but not limited to:  
 A. Maintain planting areas in a healthy, weed free condition through a minimum of bi-weekly visits.  
 B. Replace any material showing signs of stress.  
 C. Monitor irrigation for correct timing.  
 D. Provide owner with complete list of instructions for continued care.
- Plan is diagrammatic and measurements should be confirmed on-site. Any changes are the responsibility of the contractor to co-ordinate with the owners representative.

**GRADING**

- All planting beds to be excavated to a minimum depth of 12" or deeper as determined by surrounding concrete and hardscapes. Excavation to continue until contacting native soil. Non-native soil to include gravel, rock and debris greater than 1 1/2" in size, and heavy clay soil. Final excavation not to exceed 18" below surrounding hardscapes.
  - Fill all planters spaces with approved topsoil. Fill with sufficient excess to allow for 25% compaction. Fill planters so as to achieve a final grade within 3" of the top of the nearest hard surface or concrete.
  - Placement of any soil to be done in coordination with suitable weather condition so as to prevent damage to soil structure.
  - Sub-grading and final grade to consist of to a smooth even grade, no undulation greater than plus or minus 1" within any 10 lineal feet of distance.
  - All sub-grades to be adequately firm without being overly compacted.
  - Once subgrade is established the Landscape Contractor is to add mature compost at a rate of 3 cu yds per 1,000 sq ft. and then rip to blend with top soil to a depth of 8". Compost may be achieved through the use of approved pre-blended top soil.
  - Finish grade in shrub areas to be a smooth even grade mounded 3" high in the middle of beds and ending 3" below surrounding areas. All finish grading to promote positive drainage away from structures and to be done in such a way as to eliminate puddling or collection of water.
- SEE CIVIL ENGINEERS DRAWINGS FOR GRADES

**IRRIGATION DETAILS**

- An automatic irrigation system to be provided for all plant materials areas following the specifications outlined on these plans and in accordance with industry standards. System is intended to perform at 10 gpm and 50 psi. Confirm on-site before proceeding.
- All materials are to be new and in original condition.
- Install an approved double check valve per local and state requirements.
- Place manual drain valves as needed at low points in mainline to insure complete drainage during winter shut down.
- Mainline should be located in area with least conflict with surrounding utilities. Mainline location on plan for ease of interpretation.
- Control wires, 18ga minimum, to be located below all piping in any ditch
- All drip zones to use PVC laterals to locate a point of connection in each individual planting bed.
- Shrub areas to be irrigated by drip irrigation  
 A. All surface drip tubing to be Rain Bird XFD In-line Drip Tubing to be buried a range of 3-5" and held down every 5" with J-stakes. Use the pattern described in the Typical Drip Tubing Layout. Layout to comprise drip tubing laced beginning 12" in from any perimeter hardscape and in equal parallel lines 18" OC thereafter.  
 C. All Drip zones to include a 150 mesh filter and 30psi pressure regulator
- Raised planters are to have a separate control zone as well as a hose bib for individual water needs.
- Sleeving to be provided under all hardscapes by general contractor for irrigation purposes.
- Contractor responsible for any and all safety, security of materials and damage caused by the contractor to existing facilities during the course of installation.
- Irrigation system to be guaranteed against defective material or workmanship for one year from the date of final acceptance. Damage or loss due to vandalism, freezing or acts of neglect by others, is exempt from Contractor's replacement responsibility after completion and acceptance of installation.
- Provide owner with an accurate as-built locating all valves, wire splices, main line and any sleeving.
- Use provided irrigation schedule as a base-line and adjust only as needed for varying weather conditions staying within the general scheme provided. See schedule provided elsewhere.
- Provide owner with complete set of written instructions for operation of sprinkler system including spring start up, clock operation, and winterization.
- Walk owner through the entire system describing the operating instructions.



**LANDSCAPE PLAN**

Scale 1" = 20'



TO VERIFY SCALES 0" 1" BAR SHOULD MEASURE ONE INCH BY ONE SIXTEENTH INCH



**Madara Design Inc**  
 Landscape Architecture, Design & Consultation  
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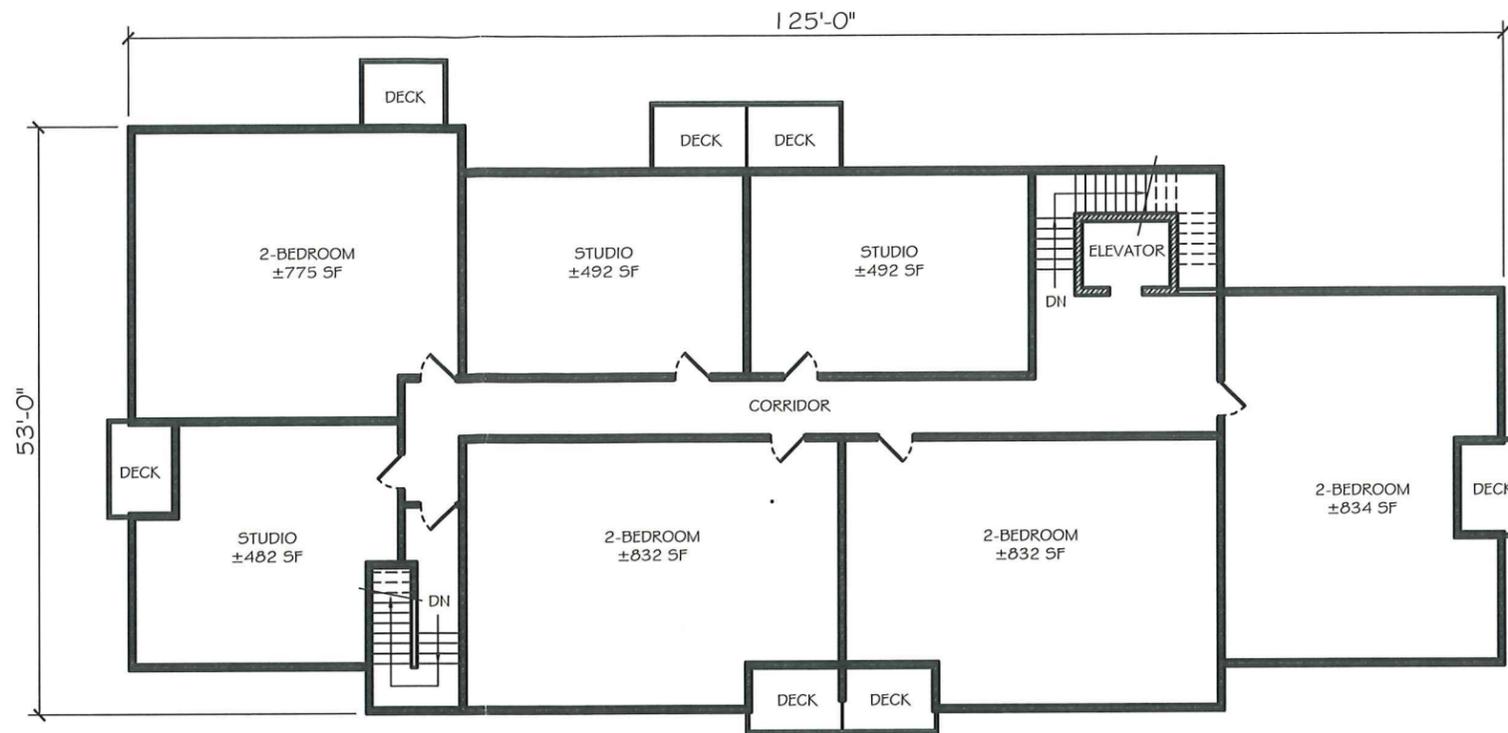
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Project Description:  
 Proposed Mixed Use Development:  
**FALCON HEIGHTS III**  
 The Benjamin Building  
 Project Location:  
 469 Russell Street Ashland, Oregon 97520  
 ADDRESS LINE 2  
 Parcel MAP: 39 1E 09AA and TAX LOT: 2802

Approved for the Owner By:	Date:
REVISIONS	BY
PLOT DATE:	3/01/2018
ISSUE DATE:	
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JOB NO.:	
SHEET	

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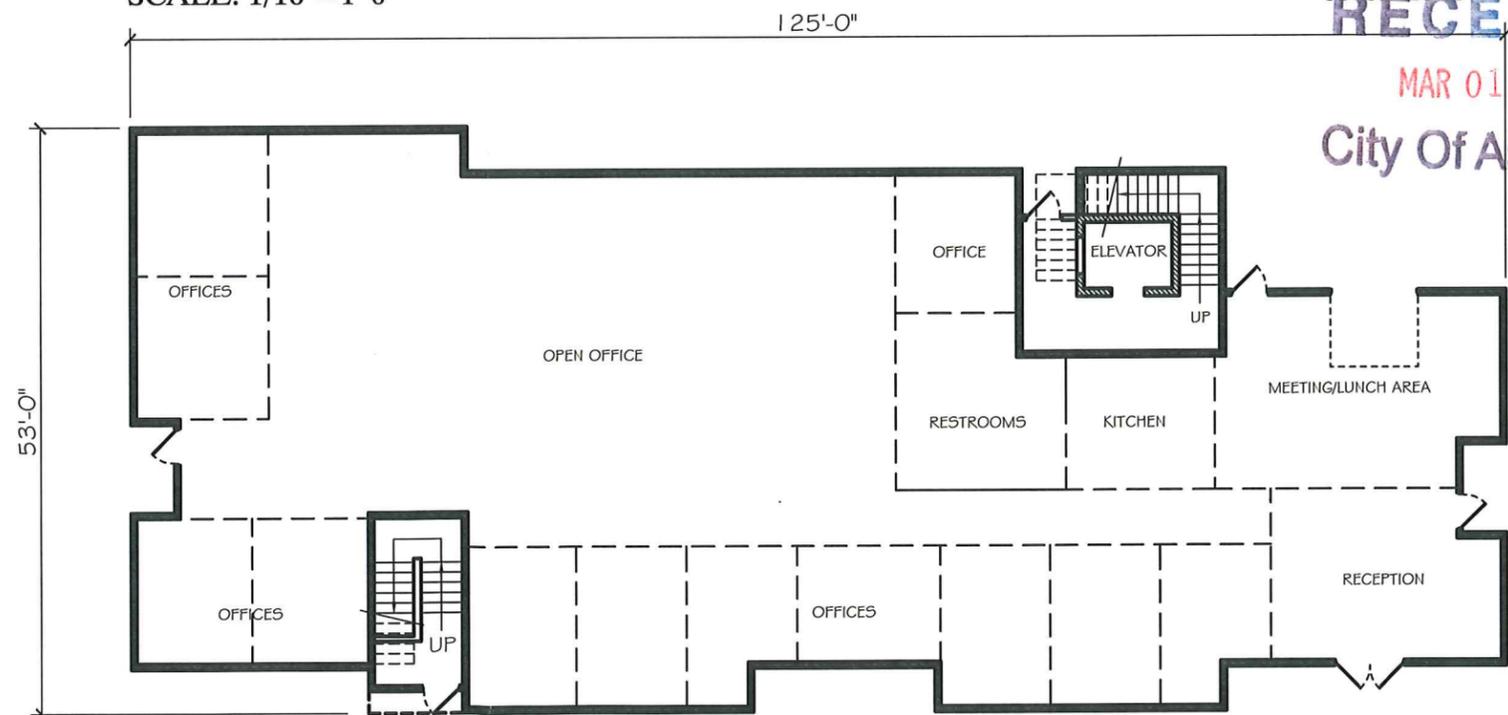
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### SCHEMATIC SECOND FLOOR PLAN-LOT III

SCALE: 1/16" = 1'-0"

03-02-2018



### SCHEMATIC FIRST FLOOR PLAN-LOT III

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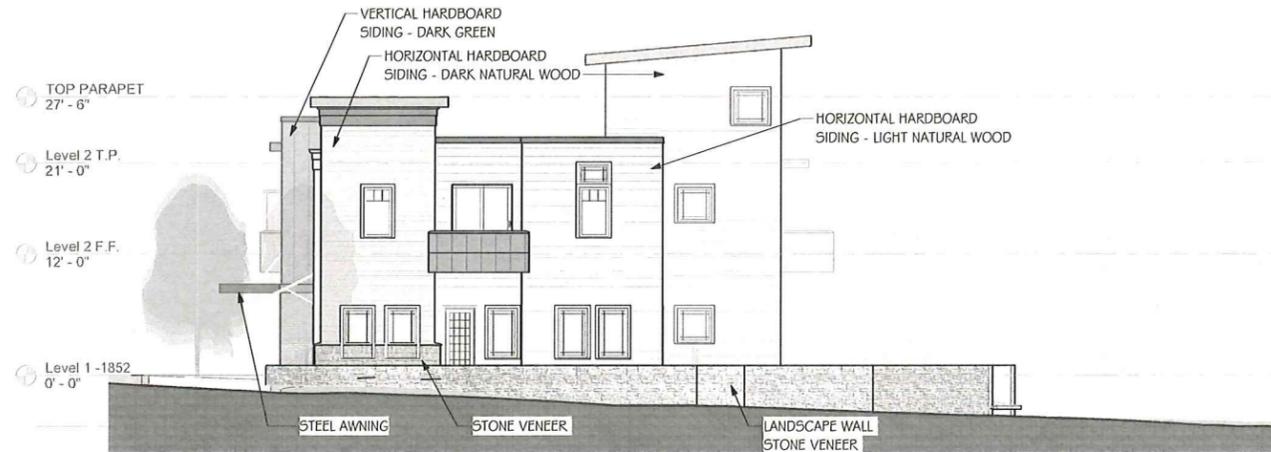
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FIRST AND SECOND FLOOR PLANS

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**South Elevation**

1/8" = 1'-0"



**East Elevation**

1/8" = 1'-0"



**West Elevation**

1/8" = 1'-0"



**North Elevation**

1/8" = 1'-0"

**Building Facade**

Window Size	SqFt	Qty	Sum of Window
(3.5x5) =	17.5	23	402.5
(3x5) =	15	8	120
(3x2) =	6	8	48
(6x6.6) =	40	3	120
(3.5x3.5) =	12.25	3	36.75
			<b>727.25</b>
<b>Total Building Frontage</b>			<b>3606.37</b>
Min 20%			<b>721.274</b>
Difference			<b>-5.976</b>

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**Proposed Mixed Use Development:**  
**FALCON HEIGHTS III**  
**The Benjamin Building**  
 Project Location:  
 469 Russell Street Ashland, Oregon 97520  
 Parcel: MAP: 39 1E 09AA and TAX LOT: 2802

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**A2.0**  
 Elevations

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South East 3D View



South West 3D View



North West 3D View

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 Project Location:  
 469 Russell Street Ashland, Oregon 97520  
 Parcel: MAP: 39 1E 09AA and TAX LOT: 2802

Approved for the Owner By: \_\_\_\_\_ Date: \_\_\_\_\_

REVISIONS	BY

PLOT DATE: 02/22/18  
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**A2.1**  
 Unnamed

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*Alex Georgevitch Consulting*

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Ashland, OR 97520  
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Phone: (541) 210-8473  
FAX/Voice: (541) 482-8934

February 25, 2018

Mrs. Maria Harris, Planning Manager  
City of Ashland Planning Division  
51 Winburn Way  
Ashland, OR 97520

**RE: Traffic Impact Analysis Review for 469 Russell Street Mixed Use Building**

Dear Mrs. Harris:

KDA Homes has retained my services to determine if a traffic impact analysis should be required for their proposed development located at 469 Russell Street. The building site is Lot 3 of Falcon Heights, a Planned Community recorded in 2005. The proposed building is two stories with approximately 5,648 square feet of commercial on the bottom floor and seven (7) residential condos on the second floor.

**Existing Traffic Conditions**

The project is located at 469 Russell Street located in the northern quadrant of Ashland and southwest of the intersection of North Mountain Avenue and East Hersey Street. Lower order streets surround the development with connectivity to both North Mountain Avenue and East Hersey Street via Williamson Way, Starflower Lane, and Larkspur Lane. Both East Hersey Street and North Mountain Avenue are listed in the current Transportation System Plan (TSP) as major corridors (Avenues). Their intersection is all way stop controlled and is shown to operate at Level of Service (LOS) B during the PM Peak Hour. Current day delay is shown to be 10.2 seconds and future year 2034 delay only increases to 13.0 seconds, still LOS B.

Traffic volumes along East Hersey Street are only 265 PM Peak hour approaching the intersection with North Mountain Avenue in 2034. North Mountain Avenue has a low PM Peak Hour volume as well with 165 vehicles approaching southbound and 375 vehicles northbound.

Major intersection west of the development also operate well within standard. East Hersey Street at Oak Street operates at LOS B in 2034. The other major street located to the south is North Mountain Avenue at East Main Street and it operates at LOS B in 2034 as well. Both intersections are over half a mile from the development.

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Both North Mountain Avenue and East Hersey Street have bicycle and pedestrian facilities. All lower order streets to the site have sidewalks along all built frontages and will eventually be served by full sidewalks. Just to the east of the site is a multi-use path and small bridge for bicycle and pedestrian access to the residential subdivision to the east and provides full pedestrian and bicycle access to Thimbleberry Lane which connects to North Mountain Avenue.

**Estimated Trip Generation**

Estimates of daily vehicle trip ends for the proposed development were based on empirical observations at similar developments. These observations are summarized in the standard reference *Trip Generation, 9<sup>th</sup> Edition*, published by the Institute of Transportation Engineers.

The proposed development is anticipated to include 7 new residential condos and approximately 5,648 square feet of commercial office in a two-story configuration with access to Russell Street and Rogue Place via an existing parking lot that is already build and provides cross access to lots 1 through 3 of Falcon Heights. The overall building is anticipated to generate 96 daily trips; 11 PM Peak Hour trips; and 11 AM Peak Hour trips. The full trip generation is listed in the tables below as well as the detailed and summary trip generations reports attached.

<b>Proposed Trip Generation Estimates for Residential</b>					
Townhouse/Condo (ITE Code 230)	Trips/Dwelling Unit (DU)	No. DU	Trips		
			Total	Enter	Exit
				50%	50%
Daily	5.81	7	41	21	20
				75%	25%
PM Peak Hour	0.52	7	4	3	1
				33%	67%
AM Peak Hour	0.44	7	3	1	2

<b>Proposed Trip Generation Estimates for Commercial Office</b>					
General Office (ITE Code 730)	Trips/Thousand Square Feet (TSF)	No. TSF	Trips		
			Total	Enter	Exit
				50%	50%
Daily	11.03	5.6	55	28	27
				14%	86%
PM Peak Hour	1.49	5.6	7	1	6
				87%	13%
AM Peak Hour	1.56	5.6	8	7	1

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<b>Proposed Trip Generation Totals</b>			
Time Period	Trips		
	Total	Enter	Exit
		50%	50%
Daily	96	49	47
		36%	64%
PM Peak Hour	11	4	7
		73%	27%
AM Peak Hour	11	8	3

**Estimate Trip Distribution and Assignment**

The site trip distribution is based upon existing traffic counts as well as engineering judgment and knowledge of the area. During the PM Peak hour volumes split approximately 65% to East Hersey Street and 35% to North Mountain Avenue.

The site is estimated to generate approximately 11 PM Peak hour trips and 11AM Peak hour trips coming or going from the site. Both the AM and PM Peak hour will increase total trips along East Hersey Street by 7 peak hour trips and North Mountain Avenue by 4 peak hour trips. This represents less than 1.4% of PM Peak Hour traffic along East Hersey Street in 2034 (525 PM Peak Hour trips from attached figure 5-5 from the adopted TSP) and approximately 0.5% of PM Peak Hour traffic along North Mountain Avenue (740 PM Peak Hour trips).

**Recommendation**

The proposed mixed-use building will generate 11 PM Peak hour and 11 AM Peak hour trips on a daily basis. This volume is very low and would not warrant an analysis at any signalized or stopped controlled intersection near the project following typical best practices of between 25 and 100 peak hour trips as a threshold for analysis. Critical movements entering and exiting the site are very low and do not warrant turn lane analysis. All surrounding major intersections currently operate well within the requested LOS D and continue to operate well below LOS D in 2034 according to the adopted transportation system plan.

The site is well served by multimodal facilities. Sidewalks exist around all frontages and continue into downtown; schools; shopping; Siskiyou Boulevard where there is transit that serves the entire Rogue Valley; and Southern Oregon University. Both East Hersey Street and North Mountain Avenue have bike lanes that tie into a regional bicycle network that also serves the entire Rogue Valley.

Based on the low vehicles volumes generated in the peak hours and the proximity to multimodal facilities and services I do not recommend requiring a traffic impact analysis for this project. Further, no alternative access is being proposed as the driveways for the proposed development and parking lots have already been built with the Falcon Heights Planned Community.

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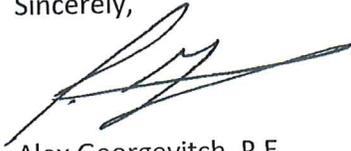
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February 25, 2018

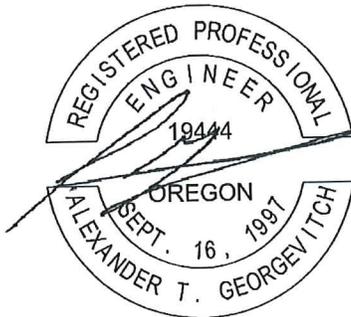
Thank you and if you have any comments or questions, please let me know at your earliest convenience.

Sincerely,



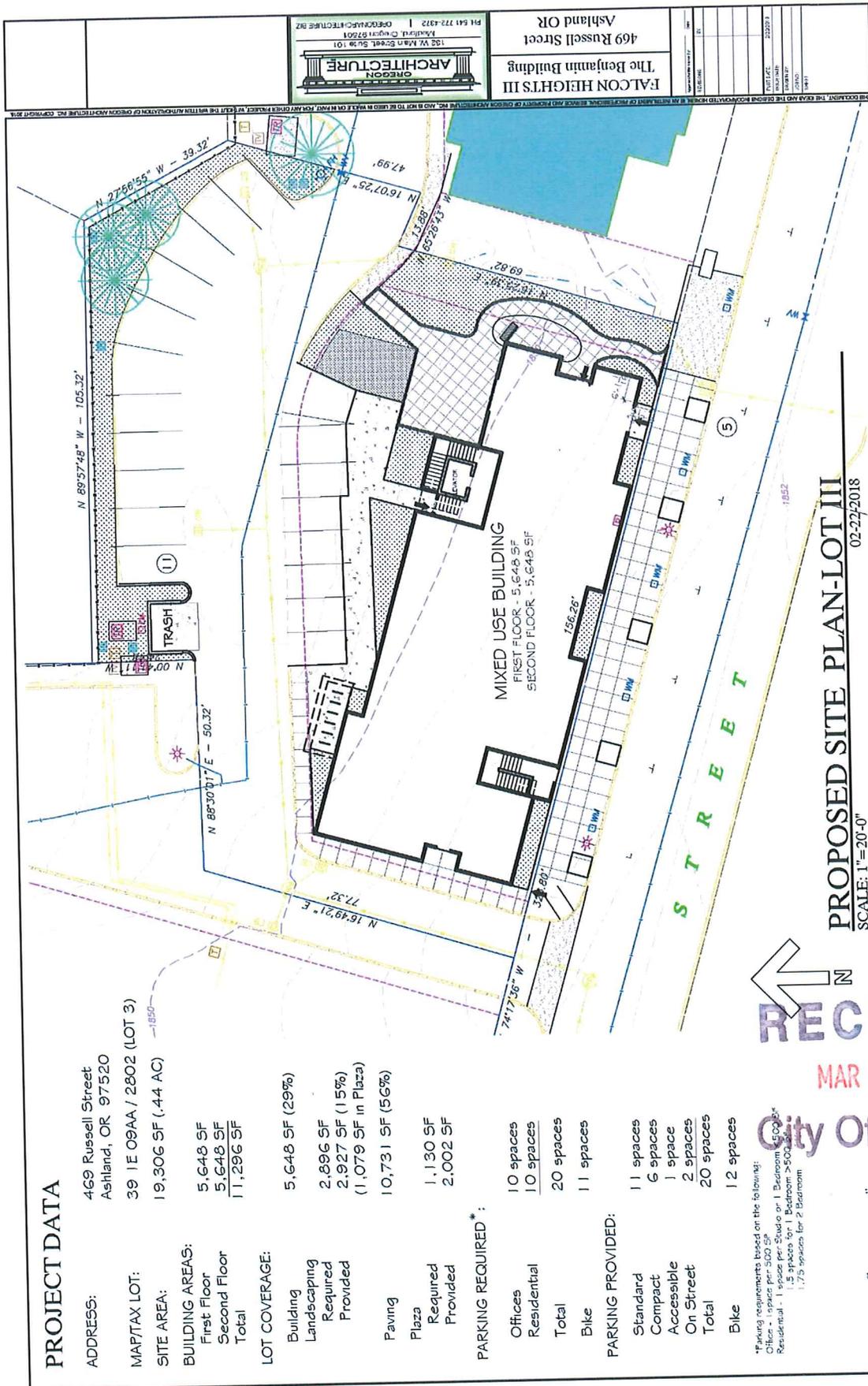
Alex Georgevitch, P.E.

Attachments: Site Plan  
Trip Generation Summary  
Driveway volumes



RENEWAL DATE: 06/30/2019

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**PROJECT DATA**

ADDRESS: 469 Russell Street  
Ashland, OR 97520

MAP/TAX LOT: 39 1E 09AA / 2802 (LOT 3)

SITE AREA: 19,306 SF (.44 AC)

**BUILDING AREAS:**  
First Floor 5,648 SF  
Second Floor 5,648 SF  
Total 11,296 SF

**LOT COVERAGE:**  
Building 5,648 SF (29%)  
Landscaping Required 2,896 SF (15%)  
Landscaping Provided (1,079 SF in Plaza)  
Paving 10,731 SF (56%)

**Plaza**  
Required 1,130 SF  
Provided 2,002 SF

**PARKING REQUIRED\*:**

Offices 10 spaces  
Residential 10 spaces  
Total 20 spaces  
Bike 11 spaces

**PARKING PROVIDED:**

Standard 11 spaces  
Compact 6 spaces  
Accessible 1 space  
On Street 20 spaces  
Total 20 spaces  
Bike 12 spaces

\*Parking requirements based on the following:  
Office = 1 space per 500 SF  
Residential - 1 space per Studio or 1 Bedroom < 500 SF  
1.5 spaces for 1 Bedroom > 500 SF  
1.75 spaces for 2 Bedroom

**PROPOSED SITE PLAN-LOT III**  
02-22-2018  
SCALE: 1" = 20'-0"

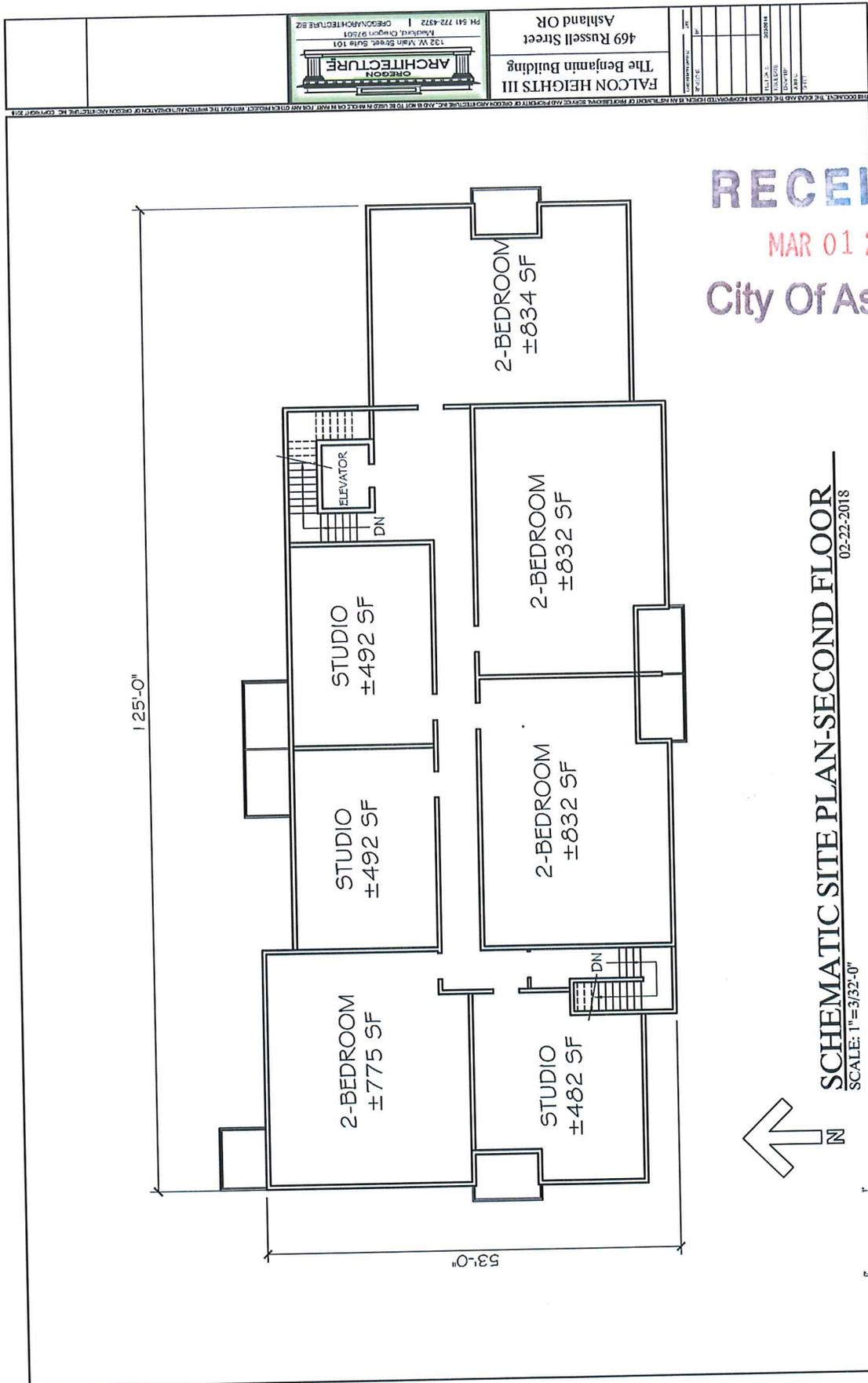
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**FALCON HEIGHTS III**  
The Benjamin Building  
469 Russell Street  
Ashland OR

183 W. Main Street, Suite 101  
Ashland, Oregon 97501  
PH 541.772.4372 | OFFICE@OARCHITECTURE.BIZ

PROJECT NO. 20180202  
DATE: 02/22/2018  
DRAWN BY: [Name]  
CHECKED BY: [Name]





**Detailed Land Use Data**  
 For 7 Dwelling Units of Second Floor Residential Condo  
 ( 230 ) Residential Condominium/Townhouse

Open Date: 2/25/2018  
 Analysis Date: 2/25/2018

Project: 18-001

Day / Period	Total Trips	Pass-By Trips	Avg Rate	Min Rate	Max Rate	Std Dev	Avg Size	% Enter	% Exit	Use Eq.	Equation	R2
Weekday Average Daily Trips	41	0	5.81	1.53	11.79	3.11	179	50	50	False	$\text{Ln}(T) = 0.87 \text{Ln}(X) + 2.46$	0.8
Source : Trip Generation Manual 9th Edition												
Weekday AM Peak Hour of Generator	3	0	0.44	0.15	0.97	0.68	196	19	81	False	$\text{Ln}(T) = 0.82 \text{Ln}(X) + 0.15$	0.8
Source : Trip Generation Manual 9th Edition												
Weekday AM Peak Hour of Adjacent Street Traffic	3	0	0.44	0.15	1.61	0.69	213	17	83	False	$\text{Ln}(T) = 0.8 \text{Ln}(X) + 0.26$	0.76
Source : Trip Generation Manual 9th Edition												
Weekday PM Peak Hour of Generator	4	0	0.52	0.18	1.24	0.75	199	64	36	False	$T = 0.34(X) + 35.87$	0.82
Source : Trip Generation Manual 9th Edition												
Weekday PM Peak Hour of Adjacent Street Traffic	4	0	0.52	0.18	1.24	0.75	205	67	33	False	$\text{Ln}(T) = 0.82 \text{Ln}(X) + 0.32$	0.8
Source : Trip Generation Manual 9th Edition												
Saturday Average Daily Trips	40	0	5.67	1.17	11.4	3.1	209	50	50	False	$T = 3.62(X) + 427.93$	0.84
Source : Trip Generation Manual 9th Edition												
Saturday Peak Hour of Generator	3	0	0.47	0.14	0.93	0.71	228	54	46	False	$T = 0.29(X) + 42.63$	0.84
Source : Trip Generation Manual 9th Edition												
Sunday Average Daily Trips	34	0	4.84	1.36	8.56	2.71	209	50	50	False	$T = 3.13(X) + 357.26$	0.88
Source : Trip Generation Manual 9th Edition												
Sunday Peak Hour of Generator	3	0	0.45	0.16	1.07	0.7	228	49	51	False	$T = 0.23(X) + 50.01$	0.78
Source : Trip Generation Manual 9th Edition												

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Source: Institute of Transportation Engineers, Trip Generation Manual 9th Edition, 2012  
 TRIP GENERATION 10, TRAFFICWARE, LLC

**Detailed Land Use Data**  
 For 5 Gross Floor Area 1000 SF of First Floor Office  
 ( 710 ) General Office Building

Open Date: 2/25/2018  
 Analysis Date: 2/25/2018

Project: 18-001

Day / Period	Total Trips	Pass-By Trips	Avg Rate	Min Rate	Max Rate	Std Dev	Avg Size	% Enter	% Exit	Use Eq.	Equation	R2
Weekday Average Daily Trips Source : Trip Generation Manual 9th Edition	55	0	11.03	3.58	28.8	6.15	197	50	50	False	$\ln(T) = 0.76 \ln(X) + 3.68$	0.81
Weekday AM Peak Hour of Adjacent Street Traffic Source : Trip Generation Manual 9th Edition	8	0	1.56	0.6	5.98	1.4	222	88	12	False	$\ln(T) = 0.8 \ln(X) + 1.57$	0.83
Weekday PM Peak Hour of Adjacent Street Traffic Source : Trip Generation Manual 9th Edition	7	0	1.49	0.49	6.39	1.37	215	17	83	False	$T = 1.12(X) + 78.45$	0.82
Saturday Average Daily Trips Source : Trip Generation Manual 9th Edition	12	0	2.46	0.59	14.67	2.21	75	50	50	False	$T = 2.03(X) + 31.75$	0.64
Saturday Peak Hour of Generator Source : Trip Generation Manual 9th Edition	2	0	0.43	0.16	1.77	0.72	90	54	46	False		
Sunday Average Daily Trips Source : Trip Generation Manual 9th Edition	5	0	1.05	0.19	7.33	1.43	75	50	50	False		
Sunday Peak Hour of Generator Source : Trip Generation Manual 9th Edition	1	0	0.16	0.06	1.37	0.44	90	58	42	False		

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### Trip Generation Summary

Alternative: Alternative 1  
 Phase:  
 Project: 18-001

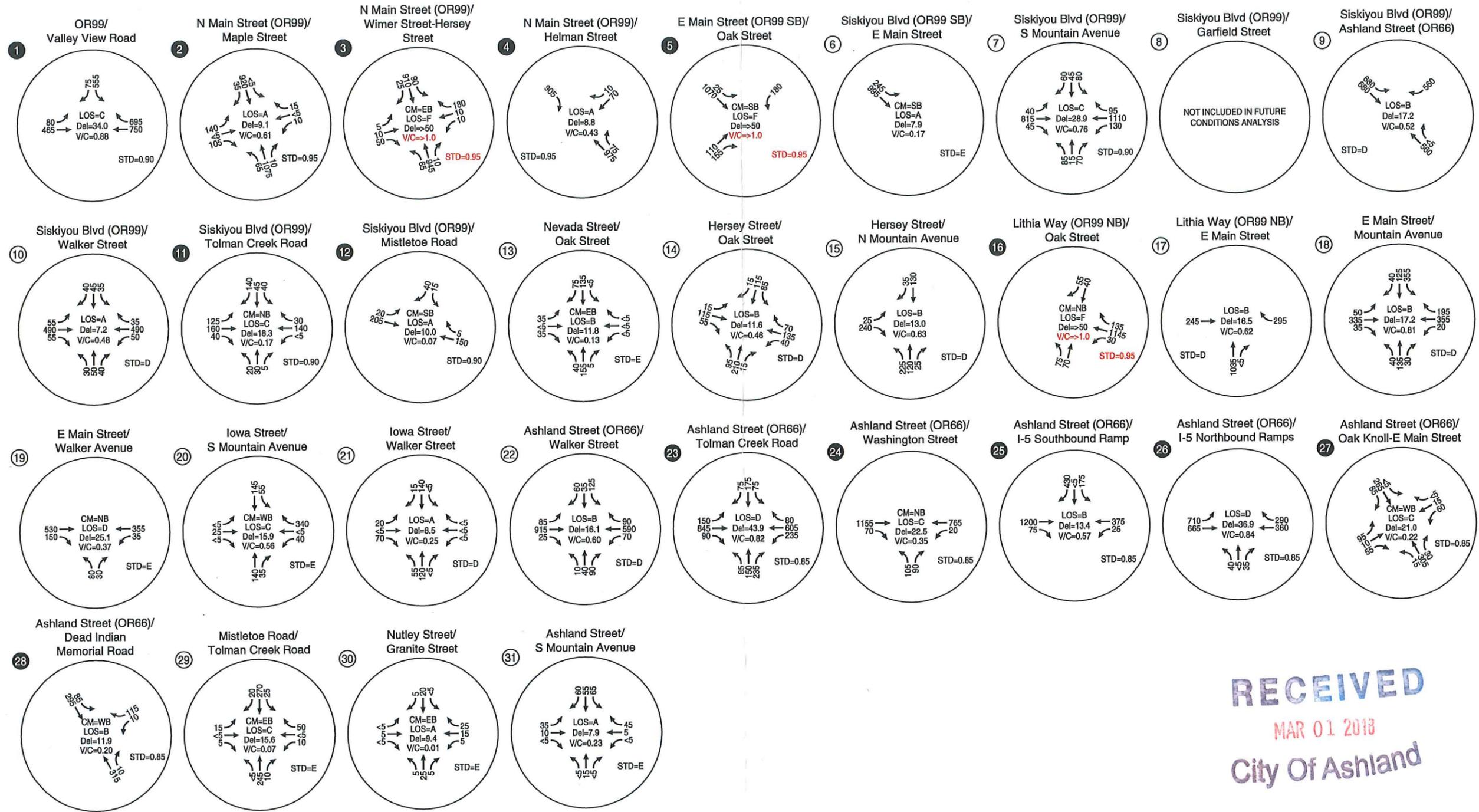
Open Date: 2/25/2018  
 Analysis Date: 2/25/2018

ITE	Land Use	Weekday Average Daily Trips			Weekday AM Peak Hour of Adjacent Street Traffic			Weekday PM Peak Hour of Adjacent Street Traffic		
		* Enter	Exit	Total	* Enter	Exit	Total	* Enter	Exit	Total
230	Second Floor Residential Condo	21	20	41	1	2	3	3	1	4
7	Dwelling Units									
710	First Floor Office	28	27	55	7	1	8	1	6	7
5	Gross Floor Area 1000 SF									
	Unadjusted Volume	49	47	96	8	3	11	4	7	11
	Internal Capture Trips	0	0	0	0	0	0	0	0	0
	Pass-By Trips	0	0	0	0	0	0	0	0	0
	Volume Added to Adjacent Streets	49	47	96	8	3	11	4	7	11

Total Weekday Average Daily Trips Internal Capture = 0 Percent  
 Total Weekday AM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent  
 Total Weekday PM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent

\* - Custom rate used for selected time period.

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CM = CRITICAL MOVEMENT (UNSIGNALIZED)  
 LOS = INTERSECTION LEVEL OF SERVICE (SIGNALIZED)/CRITICAL MOVEMENT LEVEL OF SERVICE (UNSIGNALIZED)  
 Del = INTERSECTION AVERAGE CONTROL DELAY (SIGNALIZED)/CRITICAL MOVEMENT CONTROL DELAY (UNSIGNALIZED)  
 V/C = CRITICAL VOLUME-TO-CAPACITY RATIO  
 STD = OPERATIONAL STANDARD

### Year 2034 Future No-Build Traffic Conditions Weekday PM Peak Hour



Figure 5-5

H:\profile\10633 - City of Ashland TSP Update\dwgs\figs\Tech Memo 1010633fig5.dwg Oct 24, 2012 - 9:13am - mbeil Layout Tab: Fig5-5