



# CITY OF ASHLAND



## TREE COMMISSION AGENDA August 3, 2017

### I. CALL TO ORDER

6:00 p.m. in the Siskiyou Room of the Community Development and Engineering Services Building located at 51 Winburn Way.

### II. APPROVAL OF MINUTES

Approval of July 6, 2017 meeting minutes.

### III. ANNOUNCEMENTS & LIAISON REPORTS

- Parks & Recreation Liaison
- Community Development Liaison

### IV. PUBLIC FORUM

Open to guests.

### V. TYPE I REVIEWS

None.

### VI. TYPE II REVIEWS

**PLANNING ACTION:** PA-2017-01199

**SUBJECT PROPERTY:** 707 Helman Street

**OWNER/APPLICANT:** PDK Properties

**DESCRIPTION:** A request for preliminary subdivision plat approval to create an eight-lot subdivision for the property located at 707 Helman Street. The application also includes a request for an Exception to Street Standards to install curbside sidewalks along the full frontage of the property where city Street Standards would typically require that a park row planting strip with street trees be installed between the curb and sidewalk. The application also includes a Tree Removal Permit to remove one significant tree (#33) an 18-inch diameter Ponderosa Pine.

**COMPREHENSIVE PLAN DESIGNATION:** Single-Family Residential; **ZONING:** R-1-5;

**ASSESSOR'S MAP:** 39 1E 04BC; **TAX LOT #:** 100

### VII. STREET TREE REMOVAL PERMITS

**PLANNING ACTION:** PW-2017-01397

**SUBJECT PROPERTY:** 198 North Wightman Street

**OWNER/APPLICANT:** Carolyn Gale for the Millpond Owners Association

**DESCRIPTION:** A request for a Street Tree Removal Permit to remove two Leyland Cypress trees from within the cul-de-sac in front of 198 North Wightman Street. The application provided notes that these trees are infested with borers, present a fire hazard and are likely to damage infrastructure in the future.

**PLANNING ACTION:** PW-2017-01449

**SUBJECT PROPERTY:** 140 Alida Street

**OWNER/APPLICANT:** Stan Potocki (Beaver Tree Service)

**DESCRIPTION:** A request for a Street Tree Removal Permit to remove a large Liquidambar tree from the parkrow planting strip at 140 Alida Street. The application notes that this is a very large tree with a history of dropping limbs. The sidewalk and adjacent driveway have also had to be replaced due to root damage.

**VIII. DISCUSSION**

1. Street Tree Guide
2. Tree of the Year 2017

**IX. ADJOURNMENT**

**Next Meeting:** August 3, 2017



# CITY OF ASHLAND



## TREE COMMISSION MINUTES July 6, 2017

**ATTENDANCE:** Commissioners Oxendine, John, Cates (arrived late, after announcements) and Neff were present, along with Parks and Recreation Department Staff Liaison Baughman and Community Development Department Staff Liaison Severson.

### **CALL TO ORDER:**

Chair John called the meeting to order at 6:00p.m. in the Siskiyou Room of the Community Development and Engineering Services Building located at 51 Winburn Way.

### **APPROVAL OF MINUTES**

Neff/Oxendine m/s to approve the meeting minutes of June 8, 2017 as presented. Voice vote: All AYES. Motion passed

### **ANNOUNCEMENTS & LIAISON REPORTS**

Parks & Recreation Liaison Peter Baughman noted that a large Alder fell just above Lithia Park at the property located at 440 Granite, damaging one of the outbuildings.

Community Development Liaison Derek Severson spoke about 2 emergency tree removal permits located at the children's play area at Headstart on the SOU Campus (Canopy fell during the last storm) and a large Mulberry at 486 Siskiyou Blvd.

### **PUBLIC FORUM**

There was no one present wishing to speak.

### **STREET TREE REMOVAL PERMITS**

**PLANNING ACTION:** PW-2017-00990

**SUBJECT PROPERTY:** 420 Morton St.

**OWNER/APPLICANT:** Kathleen Greathouse & Jeff Stark

**DESCRIPTION:** A request reconsideration of a denial of a request to remove two approximately 12-inch d.b.h. *liquidambar* street trees from the property located at 420 Morton Street. The owner indicates that the site grades need to be re-worked to address drainage problems, and the owner is concerned that the installation of a French drain and providing a grade which slopes away from the house will necessitate cutting roots that would impact the stability and vigor of the trees. **COMPREHENSIVE PLAN DESIGNATION:** Single Family Residential; **ZONING:** R-1-7.5; **ASSESSOR'S MAP:** 39 1E 09DC; **TAX LOT #:** 10800.

Severson explained briefly that this was a request that the Commission had considered last month and ultimately recommended denying. The applicants have asked that the request be reconsidered based on the need to re-work site grades to address drainage problems with the house. The property owner is concerned that installation of a French drain and associated

grading will cut roots and impact the stability and vigor of the trees.

Kathleen Greathouse, owner of 420 Morton Street addressed the Commission regarding this application. Ms. Greathouse explained that the tree itself is not a hazard but that re-grading will be needed for remodel to meet current code. The grade slopes into the house but needs to slope away from it and the roots will need to be cut to re-grade.

*Following discussion, the Tree Commission recommended **approving** the application subject to the condition that the applicants:*

- *Replace the two liquidambar to be removed with larger caliper (i.e. three- to four-inch) replacement trees selected from the Recommended Street Tree Guide. (The applicants indicated that they would be replacing the trees to be removed with two mature zelkovas.)*

*Asa/Oxendine m/s to approve with recommendations. Voice Vote: AYES: Ox/Asa, NAY: Neff. Motion passed.*

#### **TYPE II REVIEWS**

**PLANNING ACTION:** PA-2017-01059

**SUBJECT PROPERTY:** 1068 East Main Street

**OWNER:** Marcel Verzeano Trust (Paulena E.C. Verzeano, trustee)

**APPLICANT:** KDA Homes, LLC

**DESCRIPTION:** A request for Outline Plan and Site Design Review approvals for a 29-unit, 28-lot Performance Standards Option subdivision for the property located at 1068 East Main Street and the vacant parcel directly to the east. The proposal includes the partial demolition and relocation of the existing house on site and a Tree Removal Permit to remove 14 of the site's 25 trees. **COMPREHENSIVE PLAN DESIGNATION:** High Density, Multi-Family Residential; **ZONING:** R-3/Pedestrian Places Overlay; **ASSESSOR'S MAP:** 39 1E 09AD; **TAX LOT #:** 6800 and 6801.

Severson provided a brief staff report.

Mark Knox of 604 Fair Oaks, Ashland and Mr. Madera of Wells Fargo Road in Central Point addressed the Commission regarding this proposal.

*Following discussion, the Tree Commission recommended **approving** the application as submitted with the following comments:*

- 1) *That the recommendations of the project arborist shall be conditions of the approval, including that the trees to be protected be watered during construction and that the project arborist shall supervise any activity within the tree protection zones*
- 2) *That existing **Trees #1, #2, #7, #8 and #9** be fully enclosed with tree protection fencing and protected during all site disturbance. Protection of these trees will necessitate closing the East Main Driveway during construction.*

- 3) *That the applicants make every effort to preserve and protect **Tree #14** (40-inch d.b.h. Douglas Fir) as proposed by the applicants during the July 6<sup>th</sup> Tree Commission meeting, including having an arborist on-site during all disturbance (demolition, foundation removal, house move, and all excavation) and utilizing a post and beam foundation within the tree protection zone for the relocated house.*
- 4) *That the applicants pursue the option of preserving and protecting **Tree #24** (24-inch d.b.h. Oak Tree), which may necessitate meandering the sidewalk to curbside within its tree protection zone.*

*Oxendine/Asa m/s to approve with recommendations. Voice Vote: All AYES. Motion passed.*

### **TYPE I REVIEWS**

**PLANNING ACTION:** PA-2017-01226

**SUBJECT PROPERTY:** 1465 Webster St.

**OWNER/APPLICANT:** Southern Oregon University

**DESCRIPTION:** A request for a Tree Removal Permit to remove a hazard tree from the property located at 1465 Webster Street. The tree is a 56-inch diameter at breast height (d.b.h.) Alder which was identified as Tree #1 in Planning Action #2015-00418, which approved the reconstruction of McNeal Pavilion. The application materials note that the tree's stem is hollow, and the tree is in severe decline with signs of decay, twisting cracks, and frequent branch loss. The project arborist indicates that the tree is at the end of its life, in a high traffic area and poses a high risk. The applicants propose to plant two new trees to mitigate the removal, and will also provide a new sheltered seating area as part of the lower plaza area improvements at the northwest corner of McNeal Pavilion. **COMPREHENSIVE PLAN DESIGNATION:** Southern Oregon University; **ZONING:** SO; **ASSESSOR'S MAP:** 39 1E 10CD; **TAX LOT #:**100.

Oxendine recused himself.

Severson presented a brief staff report.

*Following discussion, the Tree Commission felt that the applicants had demonstrated that the tree was very unhealthy in a high-traffic area and was worthy of removal. The Tree Commission recommends that the application be **approved** as submitted.*

*John/Neff m/s to approve as presented. Voice vote: All AYES. Motion passed.*

## **DISCUSSION**

**Attendance Report:** Severson explained that the Municipal Code requires that the attendance report be presented twice a year, and forwarded to the City Recorder who will advise the Mayor on the need for appointments or re-appointments, if necessary. Attendance expectations generally look for at least a 75 percent attendance rate in each full year of tenure.

**Election of Officers:** Severson explained that the Municipal Code calls for the Commission to elect a chair and vice chair at the first meeting following the appointment or re-appointment of members each year. Neither the chair nor vice-chair shall serve as an officer for more than three consecutive annual terms. Commissioners felt it might be more appropriate to delay the election until the appointment of new members occurs.

**Street Tree Guide:** Severson introduced this item, noting that members had previously indicated that they would bring their marked-up Street Tree Guides from the City of Ashland and the City of Medford for discussion. Commissioners marked up their changes and would like the opportunity to have a web version available. They would like it easily accessible, with education on the Tree Commission and the value of what they do. They would like to incorporate color photos of the specimens and list local resources that are available to help with questions.

**Tree of the Year 2017:** Severson noted that he would be getting the nomination form to the City Source for publication to begin the Tree of the Year process. The Commission discussed tree eligibility.

## **ADJOURNMENT**

Severson noted that the next regular meeting of the Ashland Tree Commission would be on Thursday, August 3, 2017 at 6:00 p.m. in the Siskiyou Room.

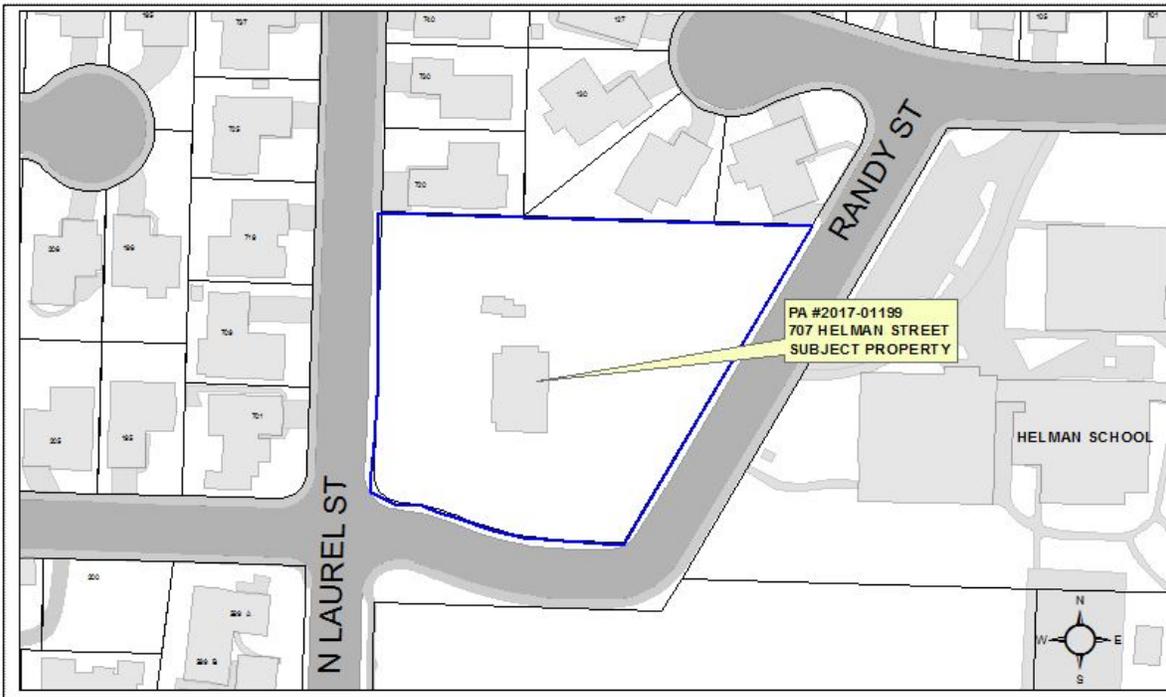
The meeting was adjourned at 7:43 p.m.  
Respectfully submitted by Regan Trapp



**PLANNING ACTION:** PA-2017-01199  
**SUBJECT PROPERTY:** 707 Helman Street  
**OWNER/APPLICANT:** PDK Properties  
**DESCRIPTION:** A request for preliminary subdivision plat approval to create an eight-lot subdivision for the property located at 707 Helman Street. The application also includes a request for an Exception to Street Standards to install curbside sidewalks along the full frontage of the property where city Street Standards would typically require that a park row planting strip with street trees be installed between the curb and sidewalk. The application also includes a Tree Removal Permit to remove one significant tree (#33) an 18-inch diameter Ponderosa Pine. **COMPREHENSIVE PLAN DESIGNATION:** Single-Family Residential; **ZONING:** R-1-5; **ASSESSOR'S MAP:** 39 1E 04BC; **TAX LOT #:** 100.

**NOTE:** The Ashland Tree Commission will also review this Planning Action on **Thursday, August 3, 2017 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

**ASHLAND PLANNING COMMISSION MEETING:** *Tuesday, August 8, 2017 at 7:00 PM, Ashland Civic Center, 1175 East Main Street.*



Notice is hereby given that a PUBLIC HEARING on the following request with respect to the ASHLAND LAND USE ORDINANCE will be held before the ASHLAND PLANNING COMMISSION on meeting date shown above. The meeting will be at the ASHLAND CIVIC CENTER, 1175 East Main Street, Ashland, Oregon.

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, either in person or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Commission to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. A copy of the Staff Report will be available for inspection seven days prior to the hearing and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Department, Community Development and Engineering Services, 51 Winburn Way, Ashland, Oregon 97520.

During the Public Hearing, the Chair shall allow testimony from the applicant and those in attendance concerning this request. The Chair shall have the right to limit the length of testimony and require that comments be restricted to the applicable criteria. Unless there is a continuance, if a participant so requests before the conclusion of the hearing, the record shall remain open for at least seven days after the hearing.

In compliance with the American with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Administrator's office at 541-488-6002 (TTY phone number 1-800-735-2900). Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting. (28 CFR 35.102.-35.104 ADA Title I).

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division, 541-488-5305.

## SUBDIVISION CRITERIA

### 18.5.3.070

- A. Approval Criteria.** The approval authority, pursuant to subsection [18.5.3.030.A](#), may approve, approve with conditions or deny a preliminary subdivision plat on findings of compliance with all of the following approval criteria.
1. The subdivision plan conforms to applicable City-adopted neighborhood or district plans, if any, and any previous land use approvals for the subject area.
  2. Proposed lots conform to the requirements of the underlying zone, per part [18.2](#), any applicable overlay zone requirements, per part [18.3](#), and any applicable development standards, per part [18.4](#) (e.g., parking and access, tree preservation, solar access and orientation).
  3. Access to individual lots necessary to serve the development shall conform to the standards contained in section [18.4.3.080](#) Vehicle Area Design.
  4. The proposed streets, utilities, and surface water drainage facilities conform to the standards in chapter [18.4.6](#), and allow for transitions to existing and potential future development on adjacent lands. The preliminary plat shall identify all proposed public improvements and dedications.
  5. All proposed private common areas and improvements, if any, are identified on the preliminary plat and maintenance of such areas (e.g., landscaping, tree preservation, common areas, access, parking, etc.) is ensured through appropriate legal instrument (e.g., Covenants, Conditions and Restrictions (CC&R's).
  6. Required State and Federal permits, as applicable, have been obtained or can reasonably be obtained prior to development.
- B. Conditions of Approval.** The approval authority may attach such conditions as are necessary to carry out provisions of this ordinance, and other applicable ordinances and regulations.

## EXCEPTION TO STREET STANDARDS

### 18.4.6.020.B.1

Exception to the Street Design Standards. The approval authority may approve exceptions to the standards section in 18.4.6.040 Street Design Standards if all of the following circumstances are found to exist.

- a. There is demonstrable difficulty in meeting the specific requirements of this chapter due to a unique or unusual aspect of the site or proposed use of the site.
- b. The exception will result in equal or superior transportation facilities and connectivity considering the following factors where applicable.
  - i. For transit facilities and related improvements, access, wait time, and ride experience.
  - ii. For bicycle facilities, feeling of safety, quality of experience (i.e., comfort level of bicycling along the roadway), and frequency of conflicts with vehicle cross traffic.
  - iii. For pedestrian facilities, feeling of safety, quality of experience (i.e., comfort level of walking along roadway), and ability to safety and efficiency crossing roadway.
- c. The exception is the minimum necessary to alleviate the difficulty.
- d. The exception is consistent with the Purpose and Intent of the Street Standards in subsection 18.4.6.040.A.

## TREE REMOVAL PERMIT

### 18.5.7.040.B

1. **Hazard Tree.** A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
  - a. The applicant must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. See definition of hazard tree in part 18.6.
  - b. The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.
2. **Tree That is Not a Hazard.** A Tree Removal Permit for a tree that is not a hazard shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
  - a. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.10.
  - b. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.
  - c. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.
  - d. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.
  - e. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

EIGHT LOT SUBDIVISION

# HELMAN HEIGHTS

PDK Properties, LLC  
707 Helman Street



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June 22, 2017

**Subject Property**

**Property Address:** 707 Helman Street  
**Map & Tax Lots:** 39 1E 04BC Tax Lots: 100  
**Zoning:** R-1-5  
**Adjacent Zones:** R-1-5

**Lot Area:** 1.14 acres  
49,901 square feet

**Property Owner:** PDK Properties  
588 Parsons, Suite H  
Medford, OR 97501

**Engineering Services:** CEC Engineering  
Tony Bakke  
PO BOX 1724  
Medford, OR 97501

**Surveyor:** Terra Survey  
274 Fourth Street  
Ashland, OR 97520

**Site Planning:** Steve Ennis, Architect  
1108 E Jackson Street  
Medford, OR 97504

**Arborist:** Madara Design Inc.  
Tom Madara  
2994 Wells Fargo Rd.  
Central Point, OR 95702

**Planning Consultant:** Amy Gunter  
Rogue Planning & Development Services  
1424 S Ivy Street  
Medford, OR 97501

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**Request:**

A request for Subdivision Approval of an eight-lot subdivision. An exception to street standards to not install landscape parkrows along the frontages of the property is also requested.

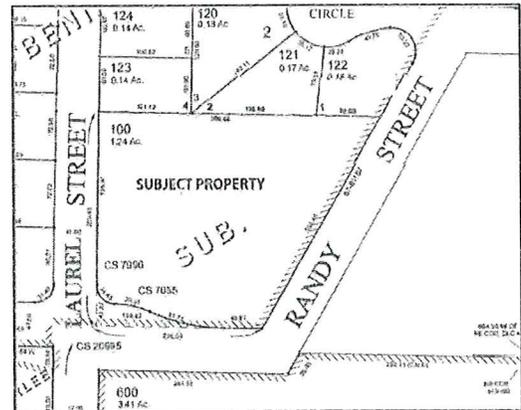
**Property Description:**

The subject property is a 1.14-acre parcel northeast of the intersection of Laurel Street and Randy Street.

The property consists of a knoll and at the top of the knoll, is the existing, 1,971 square foot, single family residential home.

The knoll slopes fairly evenly with steeper slopes along the Laurel Street right-of-way.

The property is accessed via a gravel driveway that enters the property near the intersection of Randy and Laurel Street, another driveway accesses the lot near the north property line from Randy Street.



The site is largely devoid of natural features. There are some trees on the site but they have had decades of neglect

Laurel Street has a 47-foot wide right-of-way and is improved with pavement, curb and gutter. A five-foot curbside sidewalk terminates at the northwest corner of the property. Along the frontage of the property there is a steep embankment from where it appears the road cut for Laurel Street was made forming the west side of the knoll.

Randy Street is adjacent the south and east boundaries of the property. The Randy Street right-of-way varies from 90-feet the intersection of Laurel and Randy and narrows to 47-feet in width. The Randy Street improvements shift to the north (towards the property) to align the intersection. Randy Street consists of curb, gutter and 32-feet of paving. The south side of Randy Street (along the Helman Elementary School frontage) is a six-foot curbside sidewalk. There are no sidewalks along the frontage of the property. A five-foot curbside sidewalk terminates at the northeast corner of the property.

There is a fire hydrant on the east side of the property along Randy Street, another hydrant is located across Randy Street, and another hydrant across Laurel Street to the west of the property. There is an overhead power pole at the intersection of Randy and Laurel Streets at the southwest corner of the property that serves the lot. This power pole also services a cobra head City street light that is to the south of the property across Randy Street. Water and sewer service is in Laurel Street. There is no storm drain service on the property.

The property is not within the Performance Standards Option overlay.

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The Benner Subdivision is to the north and west of the property. Benner Subdivision was developed in 1978. This lot was not part of Benner Subdivision but was owned by the property owners that created the Benner Subdivision. The lots in the Benner Subdivision are developed as approximately 6,000 to 9,000 square foot parcels with single family residential homes. The lot to the east and south, across Randy Street is the campus of Helman Elementary School. The adjacent properties are also zoned Single Family Residential (R-1-5).

**Project Details:**

The proposal is for an eight-lot, single family residential subdivision. The 49,901-square foot parcel is proposed to be developed into eight lots that comply with the standards from AMC 18.25 for 5,000 square foot minimum lot area, single family residential lots. The proposed lots range in size from 5,279 square feet to 7,399 square feet.

Each of the homes in the subdivision is proposed to meet the Earth Advantage Platinum Standards. The homes will be oriented towards the public street which the lots abut. Due to topographical constraints, some homes may have a stronger orientation to a "side" street (Lot #6), but will retain a presence on the public street. A walkway / at grade stair will be provided to each residence from the sidewalk to increase orientation to the public street. Though not specifically required by code, a few of the conceptual elevations of structures that would be constructed in the subdivision have been provided in the attachments.

Due to the topography of the property, a Solar Envelope as allowed in AMC 18.4.8.040.B. The proposed Subdivision Site Plan has the setbacks for the Solar Envelopes shown and notes detailing single story on the lots restricted as such. A 31.2-foot setback is shown on Lots 2 – 4. This depicts the height of an 18-foot tall eave. The property owner, PDK Properties, intends to construct the homes on the property and the Solar Envelopes were created based on their typical home design, height and roof pitches. Attached is the Solar Envelope table that details the required setbacks for each parcel based on standard eave heights.

To reduce driveway curbcuts, the eight lots are proposed to be accessed via two driveways. Lots #1, #2 – 5 and #8 are proposed to be accessed via the shared 22-foot wide private driveway connection to the east portion of Randy Street. Lots #6 and #7 are proposed to be accessed from a 20-foot wide shared driveway that enters the property from the south portion of Randy Street. This driveway is more than 50-feet from the intersection.

The proposal involves the removal of the existing structure to facilitate development of the site. A demolition permit had been filed with the City of Ashland Building Official for review and approval. The proposed demolition has been found to comply with the standards from Demolition and has a conditional approval in place.

The residence has fallen into significant disrepair due to years of neglect. The previous occupant lived as a hoarder, and had numerous cats that lived within the structure. The interior of the residence was

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guttled by a different previous property owner. A structural evaluation was performed by an Oregon Licensed and Registered Structural Engineer and it was found that there are numerous structural deficiencies with the residence. The 1996, Jackson County Assessor's tax report on the property notes "extensive deferred maintenance", and "extremely poor condition". The assessed value in 1996, was \$24,000 due to the conditions of the structure. The conditions of the structure did not improve between 1996 and 2017. A local house moving company that has been moving houses for nearly 40 years, found the structure could not readily be relocated on the property without significant risk of structural failure. Removing the structure from the property unless just within the immediate vicinity would be cost prohibitive due to lack of a passable route out of the neighborhood. Along with condition, the placement of the home substantially impacts the potential lot layout for subdivision. It is the property owner's intention to remove the residence from the property as soon as possible from a safety and health perspective. Therefore, the structure will be removed.

**Trees:**

The property is occupied by the single-family residence and many, smaller stature trees are scattered throughout the site. The most significant tree is a Ponderosa Pine to the east of the existing residence. An arborist report is attached with additional details regarding the trees on the site. Due to the trees conditions and placement as it affects the development of the site, the trees will be removed from the site. The property, zoned single family residential and is occupied by a residence is exempt from the tree removal permit requirements. Since the residence is proposed for removal, findings addressing removal of the 18-inch ponderosa pine have been provided.

**Public Improvements:**

A five-foot-wide curbside sidewalk that connects the existing five-foot wide curbside sidewalks that terminate at the north property line on both the east and west side of the property is proposed to install along the frontage of the property. An Exception to Street Standards to not install landscape parkrows along the frontage of the property is requested.

All necessary utilities to service the development either exist or will be installed in order to provide connection to city facilities.

A pedestrian scale street light where required by the City of Ashland is tentatively proposed at the intersection of Randy and Laurel Street.

**Findings of Fact:**

On the following pages, findings of fact addressing the criteria from the Ashland Municipal Code are provided on the following pages. For clarity, the criteria are in Times New Roman font and the applicant's responses are in Calibri font.

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## **CRITERIA from the Ashland Land Use Ordinance**

### **18.2.2.030 Allowed Uses**

A. Uses Allowed in Base Zones. Allowed uses include those that are permitted, permitted subject to special use standards, and allowed subject to approval of a conditional use permit.

A Subdivision request for the creation of an eight-lot, Earth Advantage Platinum, single-family residential development is a permitted use in the Single Family Residential zone.

### **18.2.4.010 Access and Minimum Street Frontage**

Each lot shall abut a public street other than an alley for a width of not less than 40 feet; except, where a lot is part of an approved flag partition or abuts a cul-de-sac vehicle turn-around area, the minimum width is 25 feet.

Each lot, excepting two flag lots will abut a public street with a width of more than 40-feet. Two lots, Lots #2 and #3, will be connected to the public right-of-way via flag pole connections.

### **18.2.4.020 Accessory Structures and Mechanical Equipment**

Mechanical equipment will not be located between the main structures on the site and any street adjacent to a front or side yard. Every attempt will be made to place such equipment so that it is not visible from adjacent public streets.

### **18.2.4.040 Vision Clearance Area**

The proposed Lot #6 is at the intersection of Randy and Laurel Street. The Vision Clearance triangle falls just to the edge of the proposed building envelope.

### **18.2.4.050 Yard Requirements and General Exceptions**

A. In addition to the requirements of chapters 18.2.5 and 18.2.6, yard requirements shall conform to the Solar Access standards of chapter 18.4.8.

The proposed subdivision complies with all yard requirements. A Solar Envelope has been proposed to demonstrate compliance with the Solar Access Standards from chapter 18.4.8. The individual building permits for the single family residences will demonstrate compliance with the standard setbacks in the zone, the building envelopes where applicable and the solar envelopes, lot coverage standards and design requirements for single family residences.

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B. Eaves and awnings may encroach three feet into required yards; all other architectural projections may encroach 18 inches into required yards.

Eave, awning and architectural projections will demonstrate compliance with the standards upon building permit submittal.

C. The following general exceptions are allowed for structures that are 30 inches in height or less, including entry stairs, uncovered porches, patios, and similar structures:

1. The structures are exempt from the side and rear yard setback requirements.
2. The front and side yards abutting a public street may be reduced by half.

Compliance with these standards will be demonstrated with the individual lot building permit submittals.

#### **18.2.5.030 Unified Standards for Residential Zones**

Each lot within the proposed subdivision complies with the minimum lot area in the R-1-5 zone. Lots #2 and #3 are proposed as flag lots and the buildable area of the lots, excluding the flag pole exceeds 5,000 square feet. Lot #6, the corner lot has more than 6,000 square feet of lot area.

Each lot has a minimum, average lot width of 50-feet or more. Each lot has a minimum lot depth of 80-feet. Each lot is deeper than it is wide. None of the proposed lot depth exceeds 150-feet.

The proposed building envelopes comply with the minimum setbacks in the zone. A 10-foot PUE will be provided along the frontages of the property, if at time of building permit, the reduced front porch setback may be utilized along the Randy Street lot frontages. The Laurel Street lots are proposed to be outside of the steep slope along the street right-of-way and it is unlikely that the reduced front porch setback would be utilized.

At the time of the building permit application, demonstration with minimum lot coverages will be provided. Additionally, the single family residential design standards from AMC 18.2.5.090 will be complied with at the time of building permit submittal.

#### **18.5.3.020 Land Divisions and Property Line Adjustments.**

A. Applicability. The requirements for partitions and subdivisions apply, as follows.

1. Subdivisions are the creation of four or more lots from one parent lot, parcel, or tract, within one calendar year.

The request is for an eight-lot subdivision, Helman Heights.

#### **18.5.3.070 Preliminary Subdivision Plat Criteria**

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**A. Approval Criteria.** The approval authority, pursuant to subsection 18.5.3.030.A, may approve, approve with conditions or deny a preliminary subdivision plat on findings of compliance with all of the following approval criteria.

1. The subdivision plan conforms to applicable City-adopted neighborhood or district plans, if any, and any previous land use approvals for the subject area.

The proposed subdivision conforms to applicable standards. There are no neighborhood plans or previous land use approvals that affect the subject property.

2. Proposed lots conform to the requirements of the underlying zone, per part 18.2, any applicable overlay zone requirements, per part 18.3, and any applicable development standards, per part 18.4 (e.g., parking and access, tree preservation, solar access and orientation).

The proposed eight lot subdivision conforms to the requirements of the underlying R-1-5 zone. There are no overlay zone requirements that apply to the property. The proposed subdivision complies with the standards from 18.4. as demonstrated in these findings.

**Parking and Access:** Each proposed lot will have two automobile parking spaces. The two flag lots will have a third parking space for guest parking provided adjacent to the future garage. Lots fronting on the streets, Lot #1, Lots #4 – 8 will have on-street guest parking.

Each residence will have a garage to accommodate bicycle parking.

**Tree Preservation:** There are 41 trees on the property. They have been evaluated by an ISA Certified Arborist. The Arborist found that the trees have been neglected for many years. There are only a few trees that are substantial enough to consider preservation. Many of the trees are less than 18-inches in diameter at breast height and are below the thresholds of required preservation. The trees that are in the best condition health-wise are poorly placed with consideration of the ultimate allowed density of the single family residentially zoned property as utilized to its highest and best use. The trees fall within buildable areas, the storm water detention facilities, where the retaining walls for the new public sidewalk are located, or within driveway and turn around areas. The trees on the adjacent property to the north are protected with a 6-foot tall solid panel wood fence. Additionally, the structures will be more than ten feet away from the north property line due to the solar setbacks and will not have a negative impact on the trees. See the attached Arborist Evaluation for additional information.

**Solar Access and Orientation:** The proposed subdivision is proposed to have solar envelopes as allowed in AMC 18.4.8.040.B. The proposed Subdivision Site Plan has the setbacks for the Solar Envelopes shown and notes detailing single story on the lots restricted as such. The property owner, PDK Properties, intends to construct the homes on the property and the Solar Envelopes were created based on their typical home design, height and roof pitches. See the Solar Envelope setback standards in the attachments. The slopes were calculated for each individual lot. Each lot can be constructed in a manner that does not preclude the property to the north from access to passive and active solar. Each lot has

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been designed in a manner that the solar standard of not more than a six-foot shadow on the north property on December 21<sup>st</sup> at noon is met.

3. Access to individual lots necessary to serve the development shall conform to the standards contained in section 18.4.3.080 Vehicle Area Design.

The required automobile parking facilities will be located on the property it is intended to serve.

The automobile parking will not be located in a required front and side yard setback area abutting a public street, except the private driveway.

The off-street parking will not exceed a contiguous area of more than 25 percent of the area of the front yard, or a contiguous area 25 feet wide and the depth of the front yard, whichever is greater.

Required parking areas will be designed in accordance with the standards and dimensions.

Parking spaces will be a minimum of 9 feet by 18 feet.

The guest parking spaces will have minimum dimensions of 8 feet by 16 feet.

Parking spaces will have a back-up maneuvering space not less than 22 feet.

The proposed subdivision will have a reduced number of driveways to reduce pedestrian and vehicle conflicts and to reduce the impacts to the street frontage with multiple driveway access points. The proposed lots will have a pedestrian connection to the lots from the adjacent streets in the form of walkways or along the Private Driveway, a material differentiating pedestrian route from the vehicle driving surface.

Randy Street is a Residential Street, the proposed driveway accessing Lots #6 and #7 is more than 35-feet from the intersection of Laurel and Randy which exceeds the minimum 35-foot of separation.

The proposed private driveway is separated from any other driveways by more than 24-feet.

The plans submitted demonstrate that the driveway intersection with the street have been minimized through the use of shared driveways. All necessary access easement for ingress, egress, maintenance and emergency vehicle access will be provided on the survey plat. There are two driveway proposed to access the eight lots.

All curb cuts and driveway approaches not shown on the proposal will be removed and replaced with standard curb, gutter and sidewalks.

There are no alleys.

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The proposed driveway widths comply with the minimum access standards. The private, shared driveway is over 50-feet in length and will meet the design requirements of section 18.5.3.060.

Two driveway accesses are proposed for the eight-lot subdivision. The width of the driveways will comply City of Ashland engineering standards for driveways.

The driveways will have a minimum 13.5 feet vertical clearance.

The grade of the driveway is less than 20 percent.

The proposed driveways will conform to the standards from 18.5.3.

The driveways will be paved with concrete, asphalt, porous solid surface, or comparable surfacing.

Provisions have been made for the on-site collection of drainage waters to eliminate sheet flow of such waters onto sidewalks, public rights-of-way, and abutting private property.

4. The proposed streets, utilities, and surface water drainage facilities conform to the standards in chapter 18.4.6, and allow for transitions to existing and potential future development on adjacent lands. The preliminary plat shall identify all proposed public improvements and dedications.

The proposed street improvements, the five-foot curbside sidewalk to match the existing sidewalks to the north of the development requires an Exception to the Street Standards. The proposed utility plan demonstrates compliance with the standards in 18.4.6. There is limited future development on adjacent lands due to the developed nature of the adjacent properties.

Water service is available in both Laurel and Randy Streets to service the new lots, seven new meters will be installed. The existing meter will be utilized for one of the lots.

Sanitary sewer service is available and will be stubbed out to each lot. The existing sewer line on the property has failed and will be decommissioned.

Electric service will be undergrounded and the city street light on the south side of Randy Street will be re-serviced from the new underground transformers.

Storm water was more complicated due to a lack of facilities in the immediate area. The proposal is for individual storm water catchment and detentions systems placed around the perimeter of the property that will slow and treat storm water run-off before it is directed to the weep holes and into the City's system on Laurel and Randy Streets. The project Civil Engineer has been working with the City of Ashland Engineering Division to determine the best course of action for dealing with the storm water.

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Pedestrian scaled street lights where required by the City of Ashland will be installed. It is anticipated that a street light will be installed at the intersection of Randy and Laurel Street.

5. All proposed private common areas and improvements, if any, are identified on the preliminary plat and maintenance of such areas (e.g., landscaping, tree preservation, common areas, access, parking, etc.) is ensured through appropriate legal instrument (e.g., Covenants, Conditions and Restrictions (CC&R's)).

The proposed private, shared driveways and turnaround areas will have easements for access, maintenance and CC&R's or similar legal instrument will be created to address the shared easement responsibilities.

6. Required State and Federal permits, as applicable, have been obtained or can reasonably be obtained prior to development.

To the applicant's knowledge, there are no applicable State or Federal permits for the development of the site.

**18.5.3.060 Additional Preliminary Flag Lot Partition Plat Criteria**

A. The criteria of section 18.5.3.050 are met.

The proposed subdivision is subject to the standards of 18.5.3.070 which has similar or more stringent standards than those found in 18.5.3.050 for Minor Land Partition. It can be found that the Subdivision Standards exceed those of the partition standards.

B. For the purpose of meeting the minimum lot area requirement, the lot area, exclusive of the flag drive area, must meet the minimum square footage requirements of the zoning district.

Both proposed flag lots exceed the minimum square footage requirements in the zoning district excluding the flag drive area.

C. Flag drives shall be in the same ownership as the flag lots served. Where two or more lots are served by the same flag drive, the flag drive shall be owned by one of the lots and an easement for access shall be granted to the other lot or lots.

The proposed private driveway serves as the vehicular access to more than two lots. This is to reduce the number of driveway accessing the property. The driveway will be in the same ownership as the lots served. Easements will be provided for access to the other lots.

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D. Except as provided in subsection 18.5.3.060.H, below, the flag drive serving a single flag lot shall have a minimum width of 15 feet and contain a 12-foot-wide paved driving surface. For drives serving two flag lots, the flag drive shall be 20 feet wide, with a 15-foot-wide driving surface to the back of the first lot, and a 12-foot-wide driving surface to the rear lot. Drives shared by adjacent properties shall have a width of 20 feet, with a 15-foot paved driving surface. Width shall be increased on turns where necessary to ensure fire apparatus remain on a paved surface during travel.

The proposed private driveway has 22-feet of width proposed. This will provide adequate fire apparatus access.

E. Curb cuts have been minimized, where possible, through the use of common driveways. No more than two flag lots are served by the flag drive.

The proposed lots are "flag lots" for the purposes of having a connection with a public street. The driveway is a shared common driveway intended to minimize the number of curb cuts for the eight-lot subdivision. As a standard practice, the lots that have street frontage (Lots #1, #4, #5 & #8) all have physical connection to the public street but utilize the shared driveway to consolidate access as required in other sections of the municipal code.

F. Flag drive grades shall not exceed a maximum grade of 15 percent. Variances may be granted for flag drives for grades in excess of 15 percent but no greater than 18 percent for not more than 200 feet. Such variances shall be required to meet all of the criteria for approval in chapter 18.5.5 Variances.

The driveway grade is less than 15 percent.

G. Flag drives shall be constructed to prevent surface drainage from flowing over sidewalks or other public ways.

The driveway will be constructed in a manner that prevents surface drainage from flowing over the sidewalk.

H. Flag lots adjacent to an alley shall meet all of the requirements of this section.

There are no alleys present. The flag lots are created to maintain a connection to the public street but the driveway is intended to function similar to an alley.

4. The flag pole width shall be no less than eight feet wide and the entrance of the pole at the street shall be identified by the address of the flag lot clearly visible from the street on a four-inch by four-inch post that is 3½ feet high. The post shall be painted white with black numbers three inches high running vertically down the front of the post. For flagpoles serving two or more dwellings, the addresses of such

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dwellings shall be on a two foot by three-foot white sign clearly visible from the street with three-inch black numbers.

Addressing that conforms to the required standards from the Oregon Residential Structural Specialty Code and the Oregon Fire Code will be provided.

I. Flag drives and fire work areas shall be deemed Fire Apparatus Access Roads under the Oregon Fire Code and subject to all requirements thereof.

The proposed driveway will be deemed a Fire Apparatus Access Road. No parking will be allowed on the private driveway.

J. When required by the Oregon Fire Code, flag drives greater than 150 feet in length shall provide a turnaround (see Figure 18.4.6.040.G.5). The Staff Advisor, in coordination with the Fire Code Official, may extend the distance of the turnaround requirement up to a maximum of 250 feet in length as allowed by Oregon Fire Code access exemptions.

Though the driveway is greater than 150-feet in length, the lots past the 150-foot point have access on a public street and will be addressed according to the lot frontage on the public street. If necessary, Lot #3 could have Fire Suppression System installed in order to allow for the extension of the distance of the turnaround requirements.

K. Each flag lot has at least three parking spaces situated to eliminate the necessity for vehicles backing out.

Both Lots #2 and #3 will have at least three parking spaces situated in a manner that eliminates the necessity for vehicles to back out. The other lots accessed via the driveway will all have on-street parking adjacent to their frontage, eliminating the need for additional parking on the lot itself.

L. There shall be no parking within ten feet of the centerline of the drive on either side of the flag drive entrance.

Both sides of the driveway will be painted yellow to eliminate the parking within 10-feet of the driveway.

M. Flag drives serving structures greater than 24 feet in height, as defined in part 18.6, shall provide a fire work area of 20 feet by 40 feet clear of vertical obstructions and within 50 feet of the structure. The fire work area requirement shall be waived if the structure served by the drive has an approved automatic sprinkler system installed.

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The structure will be less than 24-feet in average height or will provide fire suppression systems to allow for the waiving of this requirement.

N. Both sides of the flag drive have been screened with a site-obscuring fence, wall or evergreen hedge to a height of from four to six feet, except in the front yard setback area where, starting five feet from the property line, the height shall be from 30 to 42 inches in the remaining setback area. Such fence or landscaping shall be placed at the extreme outside of the flag drive in order to ensure adequate fire access.

The driveway will be screened with a site obscuring fence excepting where the individual driveways are located.

O. The applicant has executed and filed with the Community Development Department an agreement between applicant and the City for paving and screening of the flag drive. Such an agreement shall specify the period within which the applicant, or agent for applicant, or contractor shall complete the paving to standards as specified by the Public Works Director and screening as required by this section, and providing that if applicant should fail to complete such work within such period, the City may complete the same and recover the full cost and expense thereof from the applicant. An agreement shall also provide for the maintenance of the paving and screening pursuant to this section, and assurance ongoing maintenance.

Any agreement required by the City of Ashland for the screening of the driveway will be executed as required.

P. Flag lots shall be required to provide a useable yard area that has a minimal dimension of 20 feet wide by 20 feet deep. As used in this chapter, the term "useable yard area" means a private yard area which is unobstructed by a structure or automobile from the ground upward.

The flag lots have adequate buildable area that a yard of 20 feet X 20 feet can be provided. The proposed building envelopes provide for a 15 feet X 60 feet yard which is more than 2x the area required by code.

#### **18.4.6.020 Exceptions and Variances.**

a. There is demonstrable difficulty in meeting the specific requirements of this chapter due to a unique or unusual aspect of the site or proposed use of the site.

There are physical constraints to creating a park row and sidewalk. Due to the topography of the property, approximately five-feet behind the curb line, installation of standard street improvements would require substantial amounts of excavation and then retaining walls to retain the slope behind the sidewalk.

b. The exception will result in equal or superior transportation facilities and connectivity considering the following factors where applicable.

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i. For transit facilities and related improvements, access, wait time, and ride experience.

N/A

ii. For bicycle facilities, feeling of safety, quality of experience (i.e., comfort level of bicycling along the roadway), and frequency of conflicts with vehicle cross traffic.

N/A

iii. For pedestrian facilities, feeling of safety, quality of experience (i.e., comfort level of walking along roadway), and ability to safety and efficiency crossing roadway.

The proposed curb sidewalk will provide for an adequate level of comfort for walking along the roadway. Randy Street in particular has low amounts of vehicle traffic. The proposed sidewalk will connect the existing curbside sidewalk pattern that is found throughout the neighborhood. The proposed sidewalk will complete the link in the safe routes to school for Helman Elementary.

c. The exception is the minimum necessary to alleviate the difficulty.

The request to match the existing sidewalk development patten and not create a wall adjacent to the sidewalk due to amount of earth retention that would be necessary to create a park row and sidewalk is the minimum necessary.

d. The exception is consistent with the Purpose and Intent of the Street Standards in subsection 18.4.6.040.A.

The proposed exception is consistent with the Purpose and Intent of the Street Standards. The code allows for variations to fit the site and situation. The proposed sidewalk with street trees behind the sidewalk maintains the desired low-speed environment where people feel comfortable and the maximum number of people can walk. A new truncated dome to provide pedestrian connectivity across both Randy and Laurel Streets will be installed, improving neighborhood connectivity.

**18.5.7.040 Approval Criteria Tree Removal Permit.**

Tree That is Not a Hazard.

a. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.3.10.

The tree proposed for removal is an 18-inch DBH Ponderosa Pine tree. The tree is located in the building envelope of proposed Lot #8.

b. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.

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The removal of the tree will not have a negative impact on erosion, soil stability, flow of surface waters, protection or adjacent trees or existing windbreaks. A structure will be built upon where the tree is removed from, eliminating potential erosion and soil stability concerns. There are no surface waters. The pine is a stand alone tree and is not part of a wind break.

c. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.

The removal of the tree will not have a significant negative impact on the tree densities, sizes and canopies. It is a single tree in a fully developed neighborhood. Due to the density of residential development sought in the comprehensive plan for residential properties, there are not many large pine trees in the neighborhood. Just on the other side of Helman Elementary School there are numerous trees along the Ashland Creek Corridor. The tree falls within the buildable area for Lot #8. Alternative lot layouts were considered but it came at the expense of losing one entire building lot to preserve a single tree. The required tree protection zone is at the dripline but the critical root zone falls roughly 31.5 feet away from the tree leaving less than a 30-foot by 60-foot area for the residence, the yard area, driveway, parking, etc. The impacts to the tree would be substantial and with the root zone of the Ponderosa pine extending well beyond the dripline of the tree, it would difficult to ensure the stand-alone Ponderosa pines survival.

d. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.

The tree removal is technically exempt from the tree removal ordinance due to the presence of a single-family home in the single family zone. The preservation of the tree would negatively impact the site development to its potential density of eight lots. According to the submittal requirements for a Subdivision any natural features, such as rock outcroppings, ... and isolated preservable trees are required on the plans. This pine tree is not isolated and it can be found that due to its placement and proximity to buildable areas, it is not preservable. Additionally, with the numerous amounts of necessary site improvements for the storm water detention facilities, the retaining walls to construct the required public sidewalk, all of the trees on the site will be negatively impacted and will be removed.

e. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

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The tree will be mitigated for with a five to six foot tall, conifer tree on one of the lots prior to the issuance of the certificate of occupancy. Additionally, street trees will be planted along the lot frontages that will mitigate the removal of the other trees on the property.

**Attachments:**

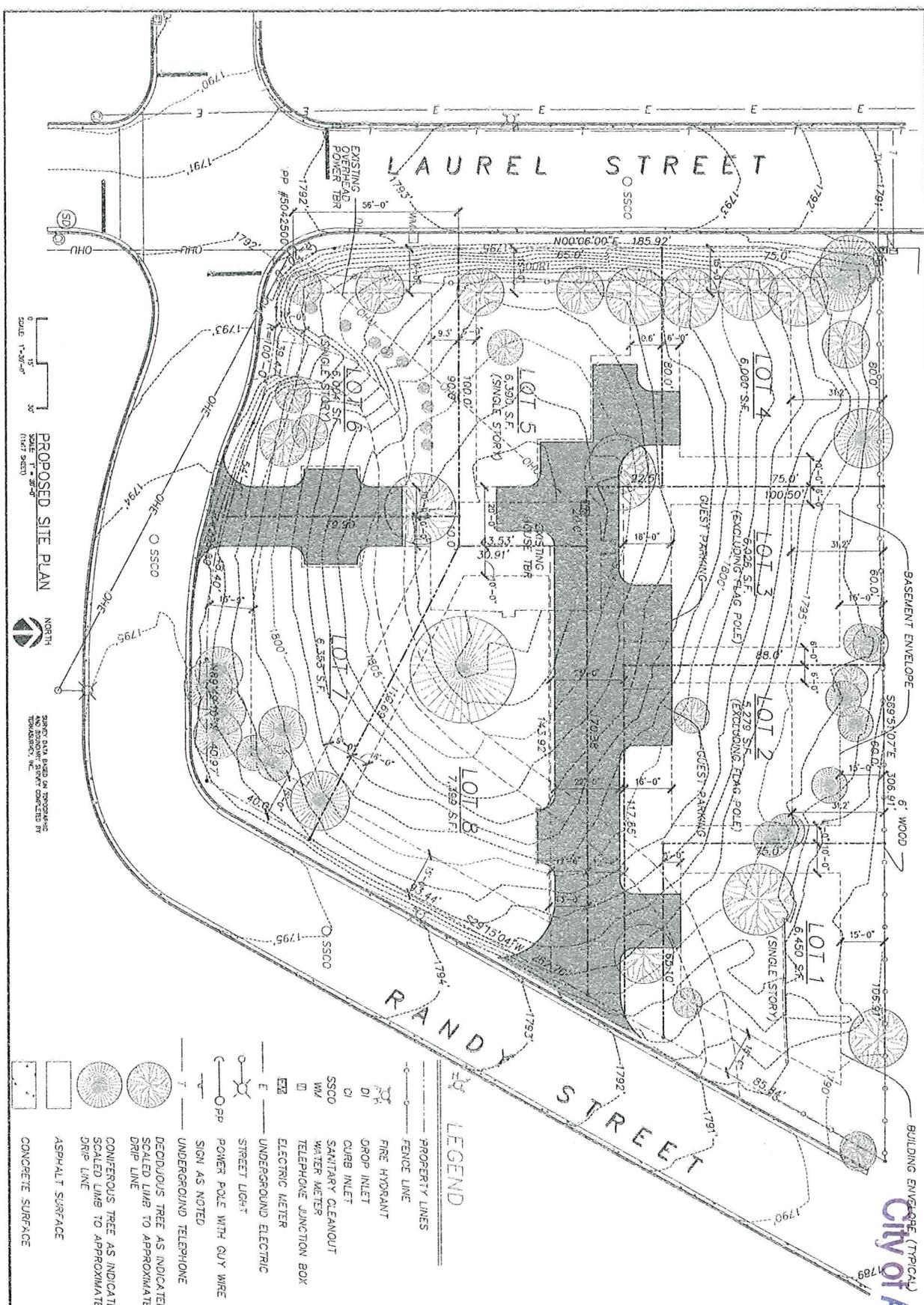
- 1) Solar Envelopes
- 2) Topographical Survey
- 3) Proposed Site Plan
- 4) Conceptual Grading and Erosion Control Plan
- 5) Conceptual Utility Plan
- 6) Arborist Report
- 7) Tree Inventory
- 8) Conceptual Elevations

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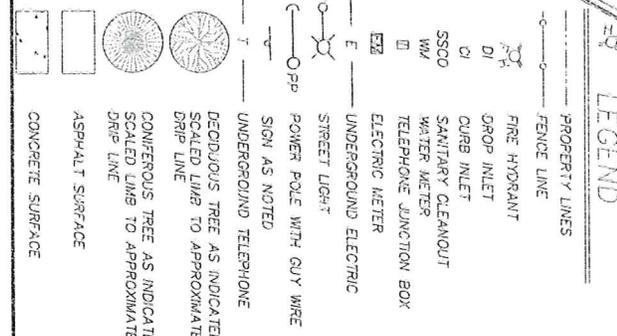
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PROPOSED SITE PLAN  
SCALE 1"=30'-0"

ENGINEER: PAUL RUSSELL, INC.  
ARCHITECT: STEVE ENNIS ARCHITECT



PROJECT NO.	707 HELMAN STREET ASHLAND, OR, 97520
PROJECT NAME	PROPOSED SUBDIVISION
SHEET TITLE	PROPOSED SITE PLAN
DATE	06/09/17
SHEET NO.	SD-2

STEVE ENNIS  
ARCHITECT  
1108 EAST JACKSON STREET  
MEDFORD, OREGON 97504

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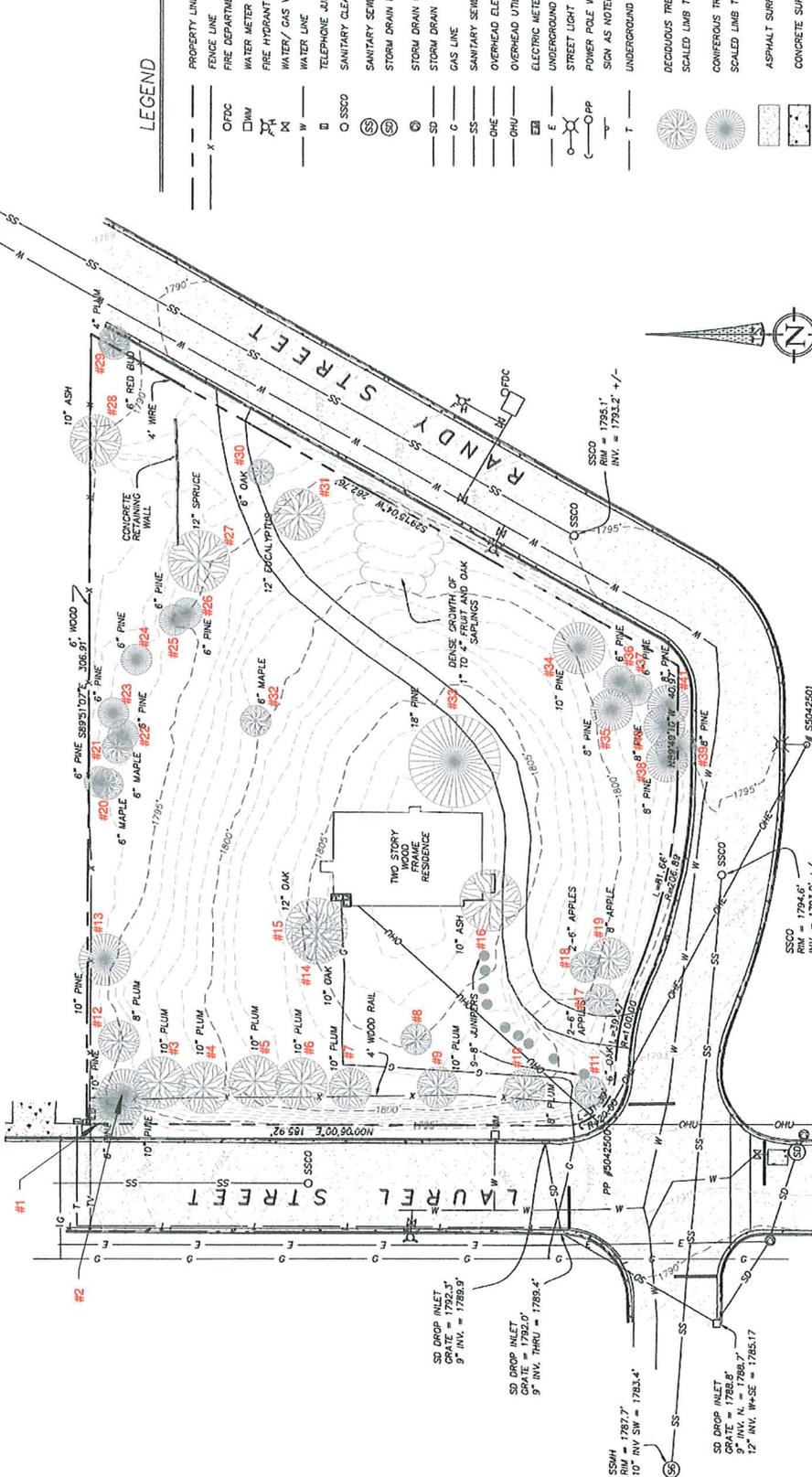
City of Ashland

TOPOGRAPHIC AND BOUNDARY SURVEY

FOR

TAYLORED ELEMENTS  
588 PARSONS DRIVE, STE. H  
MEDFORD, OREGON 97501

LOCATED IN THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 SOUTH,  
RANGE 1 EAST OF THE CITY OF ASHLAND,  
JACKSON COUNTY, OREGON



LEGEND

- PROPERTY LINES
- FENCE LINE
- FIRE DEPARTMENT CONNECTION
- WATER METER BOX
- FIRE HYDRANT
- WATER/GAS VALVE
- WATER LINE
- TELEPHONE JUNCTION BOX
- SANITARY CLEAN OUT
- TELEPHONE
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- STORM DRAIN CURB INLET MANHOLE
- STORM DRAIN
- GAS LINE
- SANITARY SEWER
- OVERHEAD ELECTRIC
- OVERHEAD UTILITIES (ELECTRIC, TELEPHONE, CABLE)
- ELECTRIC METER
- UNDERGROUND ELECTRIC
- POWER POLE WITH GUY WIRE
- SCN AS NOTED
- UNDERGROUND TELEPHONE
- DECIDUOUS TREE AS INDICATED
- SCALED LIMB TO APPROXIMATE DRIP LINE
- CONIFEROUS TREE AS INDICATED
- SCALED LIMB TO APPROXIMATE DRIP LINE
- ASPHALT SURFACE
- CONCRETE SURFACE

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LAND SURVEYOR  
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FRED A. SWANTZ  
REG. 58077  
Renewal 12-31-17

TERRASURVEY, INC.  
PROFESSIONAL LAND SURVEYORS  
274 FOURTH STREET  
ASHLAND, OREGON 97520  
(541) 422-6474  
terrainsurvey.com  
JOB NO. 1119-17

NOT TO SCALE

DATE: 04-30-17

PROJECT NOTES:  
BASIS OF BEARINGS AND PROPERTY LINE BASED ON FOUND MONUMENTS PER FILED SURVEY NUMBER 7108 AT THE JACKSON COUNTY SURVEYOR'S OFFICE.  
VERTICAL DATUM IS BASED ON CITY OF ASHLAND VERTICAL DATUM BEING A FOUND BRASS MONUMENT AT APPROXIMATELY 425 FEET WEST OF THE INTERSECTION OF NEWADA AND HENNEY STREETS.  
ELEVATION = 1756.14'.  
UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY TIES OF EXPOSED STRUCTURES, AND PUBLIC UTILITY LOCATE MARKS.  
A SCALED AND SEALED PAPER COPY AND A DIGITAL COPY OF THIS SURVEY HAS BEEN PROMISED TO THE CLIENT. IN THE EVENT OF A DISCREPANCY BETWEEN THE TWO THE PAPER COPY WILL HOLD.



Madara  
Design Inc  
Landscape Architecture,  
Design & Consultation  
541-664-7055  
2994 Wells Fargo Rd  
Central Point, Or 97502  
madaradesinginc.com  
CERTIFIED ARBORIST: THOMAS MADARA

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Client: Taylored Elements  
Kyle Taylor  
588 Parsons Dr. Ste. A  
Medford, Oregon 97501

June 14, 2017

Site: 707 Helman St.  
Ashland, Oregon 97520

**TREE SURVEY**

The following is a Tree Survey for the site noted above. The survey was done on 6/12/2017. The observations were made on-site. This survey uses the attached drawing with Red Highlighted numbers as a reference to the tree numbers below.

<u>Tree #</u>	<u>Tree Type</u>	<u>Observed Condition</u>	<u>Final Status</u>
1-2	Pine	Actually 4-Pines so closely grouped that all are unbalanced. All are infested with insect that are not life threatening	Save West most
3	Peach	Mature, Poorly pruned. Riddled with damage	Remove
4-7, 9,10	Plumb	Mature trees, Moderate	
8	Pine	Not of a size the requires noting	N/A
11	Oak	Juvenile, Good	
12	Plumb	Mature, Poor	Remove
13	Pine	Adolescent, Fair, Previously Topped creating poor form, close to property line	Remove
14, 15	Oak	Mature, heavily infested with Ivy. Remove Ivy and reevaluate	
16	Oak	Mature, Poor, Few living branches	Remove
17-19	Apple	Mature, Poor, Few living branches	Remove
20	Ash	Juvenile, Moderate	
21	Pine	Juvenile, Moderate, one sided because of proximity to Ash	Remove
22-26	Pine	Adolescent, Good	
27	Spruce	Mature, Good, In need of quality pruning	



Landscape Architecture,  
Design & Consultation  
541-664-7055

<u>Tree #</u>	<u>Tree Type</u>	<u>Observed Condition</u>	<u>Final Status</u>
28	Ash	Multi-stemmed from previous damage and poor pruning	Remove
29	Redbud	Juvenile, Moderate, Poorly pruned, placed just behind curb at edge of street	Remove
30	Oak	Medium aged, Moderate	
31	Eucalyptus	Mature, Poor, Extensively Damaged	Remove
32	Locust	Adolescent, Good	
33	Ponderosa	Mature, Good, Inside Future Building Envelope	Remove
34	Pine	Mature, Poor, Badly Damaged	Remove
35-41	Pine	Adolescent, Good	

**Note:**

Overall, the site is mature and has been left unattended for a number of years. Tree care has been completely lacking during this time. Some trees would benefit from renewed care, but most of the ones in better condition are poorly placed relative to any new uses of the site.

Pruning should be done by an International Society of Arboriculture Certified Arborist after consultation as to the final disposition of the trees on-site.

Oregon State Landscape Architect Board, License Number 528  
Oregon Landscape Contractors License, License Number 11416  
International Society of Arboriculture, License Number PN-6204-A

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SOLAR ENVELOPES

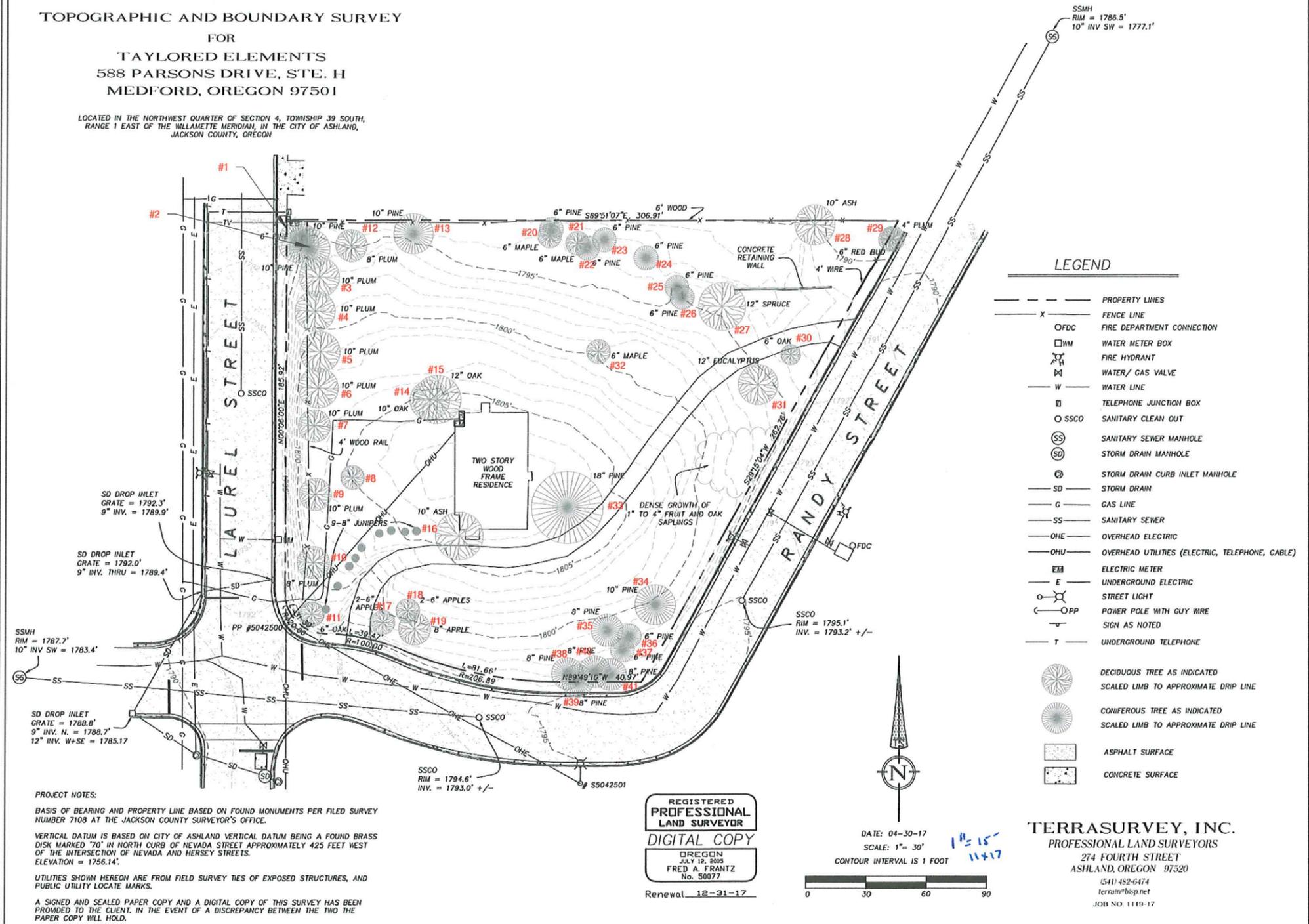
HELMAN HEIGHTS				
		SOLAR ENVELOPE SETBACK (FT.)		
LOT	SLOPE	10' EAVE	12'EAVE	18' EAVE
1	-0.045	10	15	30
2	-0.06	10.3	15.58	31.17
3	-0.06	10.3	15.58	31.17
4	-0.06	10.3	15.58	31.17
5	-0.07	10.6	16	32
6	-0.015	9.3	13.95	27.9
7	0	8.98	13.4	26.9
8	-0.06	10.3	15.58	31.17

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TOPOGRAPHIC AND BOUNDARY SURVEY

FOR  
TAYLORED ELEMENTS  
588 PARSONS DRIVE, STE. H  
MEDFORD, OREGON 97501

LOCATED IN THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 SOUTH,  
RANGE 1 EAST OF THE WILLAMETTE MERIDIAN, IN THE CITY OF ASHLAND,  
JACKSON COUNTY, OREGON



LEGEND

- PROPERTY LINES
- X- FENCE LINE
- OFDC FIRE DEPARTMENT CONNECTION
- WM WATER METER BOX
- XXH FIRE HYDRANT
- W WATER/GAS VALVE
- W WATER LINE
- II TELEPHONE JUNCTION BOX
- O SSCO SANITARY CLEAN OUT
- SS SANITARY SEWER MANHOLE
- SD STORM DRAIN MANHOLE
- SD STORM DRAIN CURB INLET MANHOLE
- SD STORM DRAIN
- G GAS LINE
- SS SANITARY SEWER
- OHE OVERHEAD ELECTRIC
- OHU OVERHEAD UTILITIES (ELECTRIC, TELEPHONE, CABLE)
- EM ELECTRIC METER
- E UNDERGROUND ELECTRIC
- SL STREET LIGHT
- OP POWER POLE WITH GUY WIRE
- SN SIGN AS NOTED
- T UNDERGROUND TELEPHONE
- DECIDUOUS TREE AS INDICATED  
SCALED LIMB TO APPROXIMATE DRIP LINE
- CONIFEROUS TREE AS INDICATED  
SCALED LIMB TO APPROXIMATE DRIP LINE
- ASPHALT SURFACE
- CONCRETE SURFACE

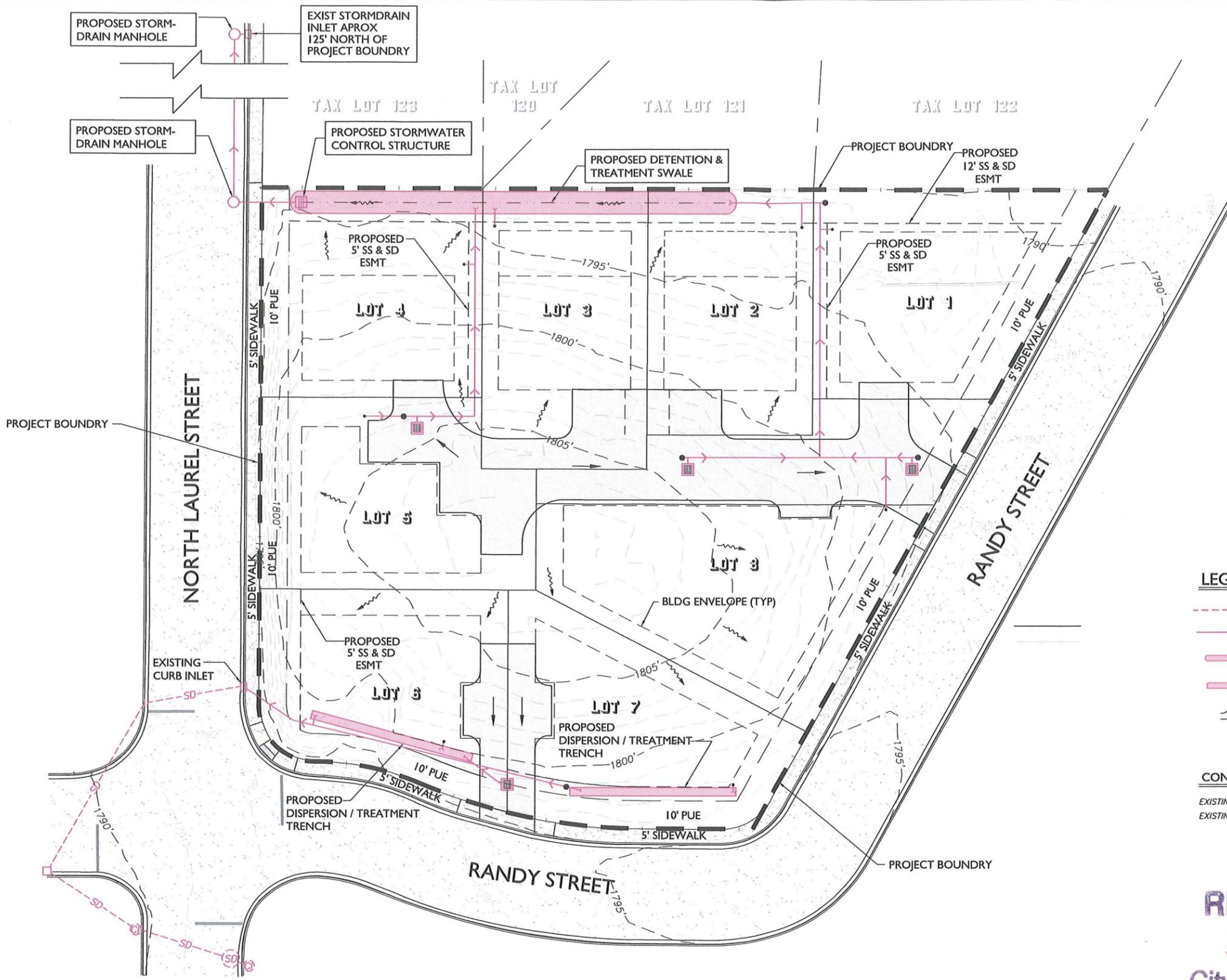
**PROJECT NOTES:**  
BASIS OF BEARING AND PROPERTY LINE BASED ON FOUND MONUMENTS PER FILED SURVEY NUMBER 7108 AT THE JACKSON COUNTY SURVEYOR'S OFFICE.  
VERTICAL DATUM IS BASED ON CITY OF ASHLAND VERTICAL DATUM BEING A FOUND BRASS DISK MARKED "70" IN NORTH CURB OF NEVADA STREET APPROXIMATELY 425 FEET WEST OF THE INTERSECTION OF NEVADA AND HERSEY STREETS. ELEVATION = 1756.14'.  
UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY TIES OF EXPOSED STRUCTURES, AND PUBLIC UTILITY LOCATE MARKS.  
A SIGNED AND SEALED PAPER COPY AND A DIGITAL COPY OF THIS SURVEY HAS BEEN PROVIDED TO THE CLIENT. IN THE EVENT OF A DISCREPANCY BETWEEN THE TWO THE PAPER COPY WILL HOLD.

REGISTERED  
PROFESSIONAL  
LAND SURVEYOR  
DIGITAL COPY  
OREGON  
JULY 12, 2005  
FRED A. FRANTZ  
No. 50077  
Renewal 12-31-17

DATE: 04-30-17  
SCALE: 1" = 30'  
CONTOUR INTERVAL IS 1 FOOT  
0 30 60 90

TERRASURVEY, INC.  
PROFESSIONAL LAND SURVEYORS  
274 FOURTH STREET  
ASHLAND, OREGON 97520  
(541) 452-6474  
terra@bisp.net  
JOB NO. 1119-17

RECEIVED  
JUN 26 2017  
City of Ashland



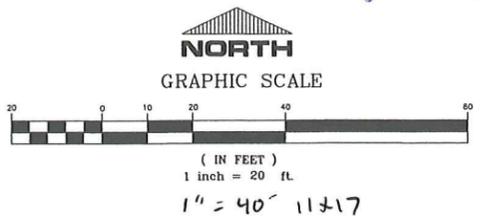
**LEGEND**

- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- PROPOSED DRAINAGE BIO-SWALE
- PROPOSED DISPERSION / TREATMENT TRENCH
- PROPOSED SURFACE DRAINAGE DIRECTION

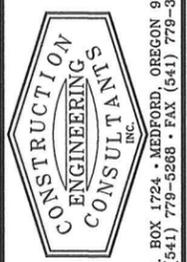
**CONTOURS**

EXISTING CONTOUR INTERVAL = 1' --- ELEV ---  
 EXISTING INDEX INTERVAL = 5' --- ELEV ---

**RECEIVED**  
 JUN 26 2017  
 City of Ashland

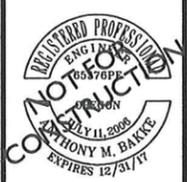


CALL 48 HOURS BEFORE YOU DIG



P.O. BOX 1724 - MEDFORD, OREGON 97501  
 PH. (541) 779-3566 • FAX (541) 779-3138

DATE:	06/17
DRAWN BY:	BRO
CHECKED BY:	AMB
APPROVED:	
DATE:	06/17
APPROVED:	
DATE:	
APPROVED:	
DATE:	
APPROVED:	



VERIFY SCALES!!!  
 BAR IS ONE INCH ON ORIGINAL DWG.  
 IF NOT ONE INCH ON THIS SHEET  
 ADJUST SCALES ACCORDINGLY

NO.	REVISION	DATE	BY

CONSTRUCTION ENGINEERING CONSULTANTS, INC.  
 PROJECT NO.  
 HELMAN HEIGHTS  
 707 HELMAN STREET, TAX LOT 100  
 CONCEPTUAL GRADING  
 & DRAINAGE PLAN  
 DRAWING NO.  
 1 OF 1



MARK	DATE	REVISION

**STEVE ENNIS  
ARCHITECT**  
1108 EAST JACKSON STREET  
MEDFORD, OREGON 97504

**RECEIVED**  
JUN 26 2017  
City of Ashland

PROJECT FOR  
**PDK PROPERTIES**

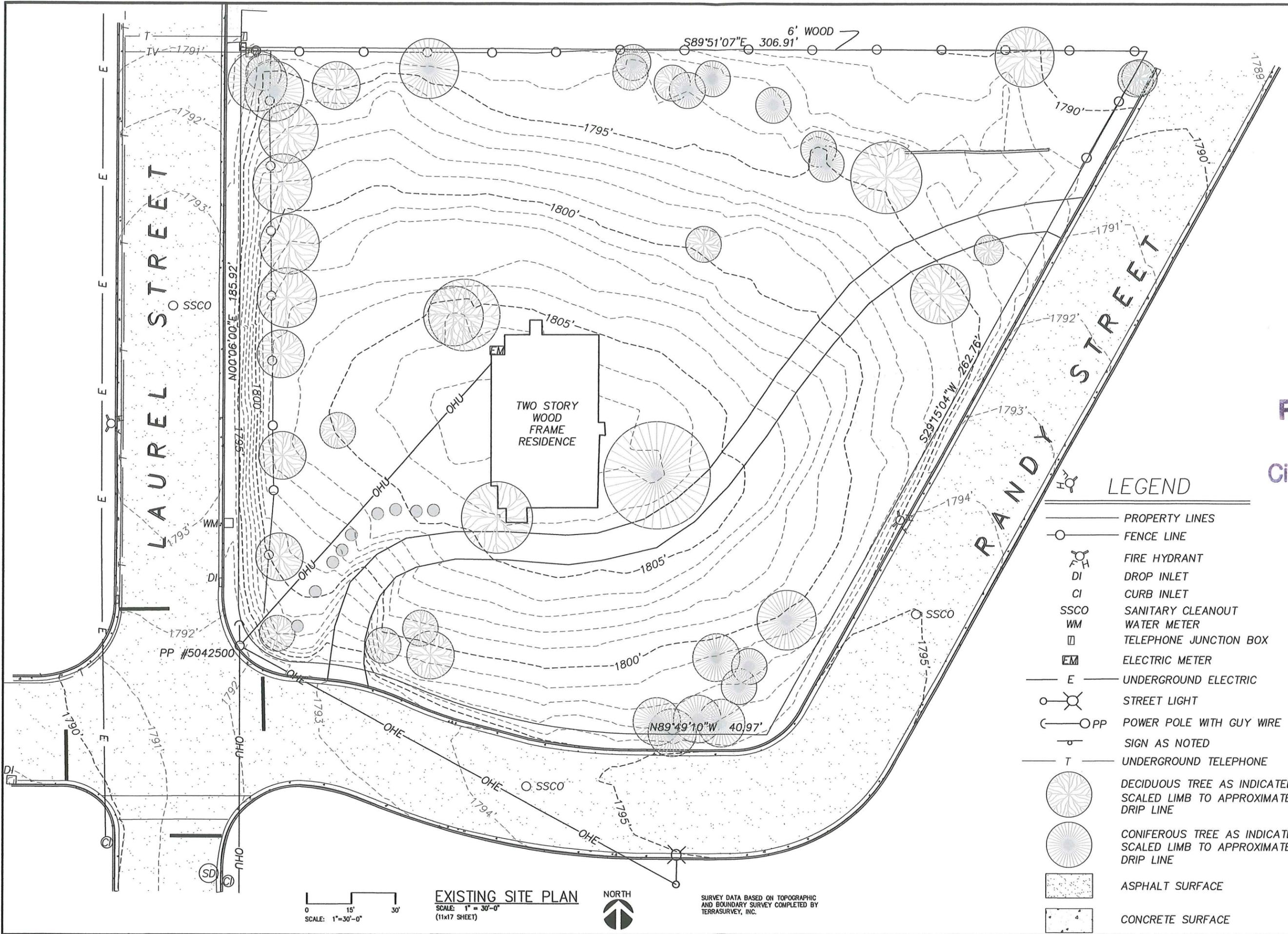
PROJECT NAME  
**PROPOSED  
SUBDIVISION**

PROJECT ADDRESS  
**707 HELMAN STREET  
ASHLAND, OR. 97520**

SHEET TITLE  
**EXISTING  
SITE PLAN**

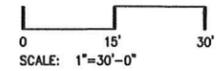
FILE NAME  
AB1705SP  
PROJECT  
NUMBER  
1705  
DATE  
06/23/17

SHEET NO.  
**SD-1**



**LEGEND**

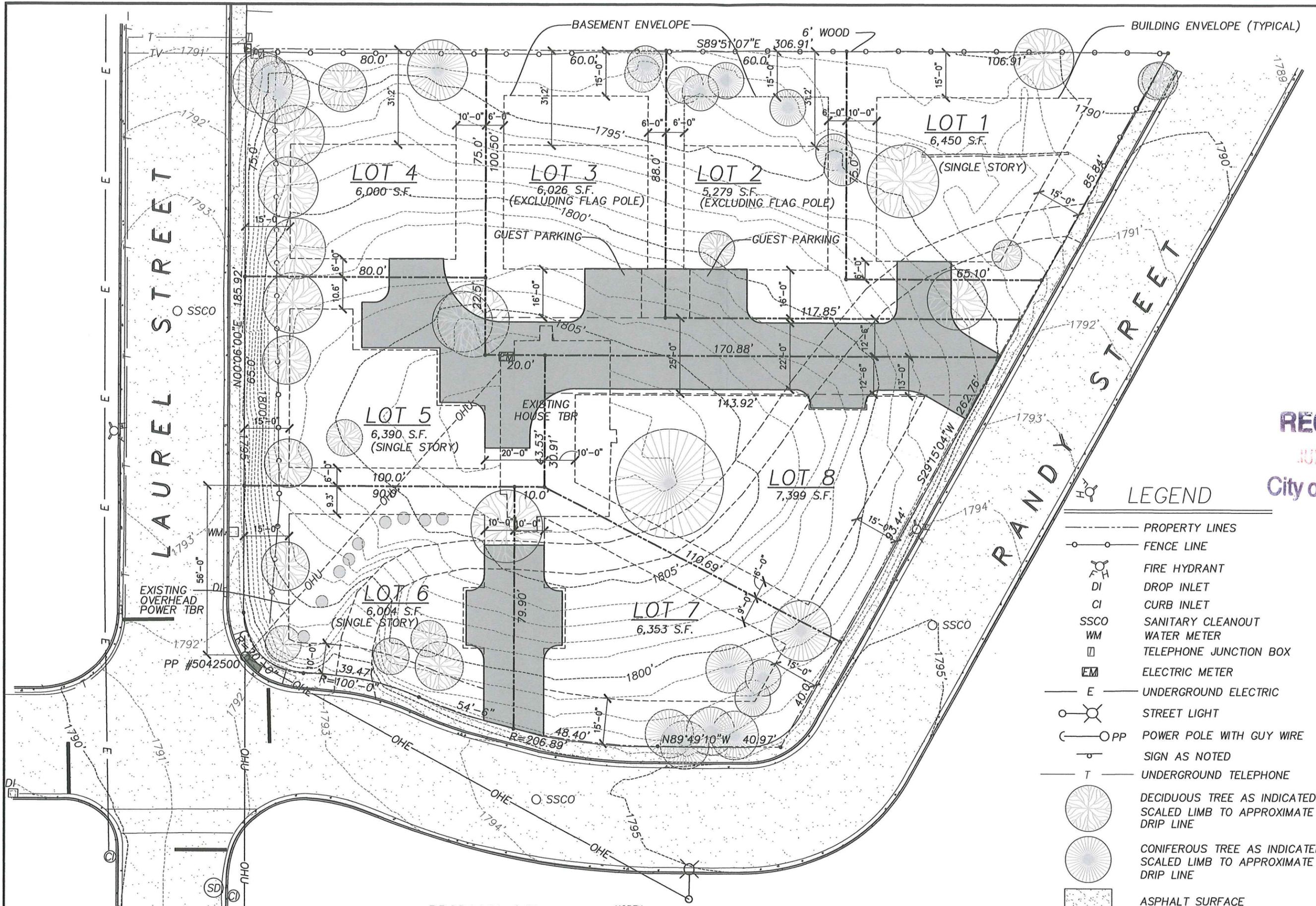
- PROPERTY LINES
- FENCE LINE
- ⊕ FIRE HYDRANT
- DI DROP INLET
- CI CURB INLET
- SSCO SANITARY CLEANOUT
- WM WATER METER
- TELEPHONE JUNCTION BOX
- EM ELECTRIC METER
- E — UNDERGROUND ELECTRIC
- ⊙ STREET LIGHT
- PP POWER POLE WITH GUY WIRE
- SIGN AS NOTED
- T — UNDERGROUND TELEPHONE
- ⊙ DECIDUOUS TREE AS INDICATED  
SCALED LIMB TO APPROXIMATE DRIP LINE
- ⊙ CONIFEROUS TREE AS INDICATED  
SCALED LIMB TO APPROXIMATE DRIP LINE
- ▨ ASPHALT SURFACE
- ▨ CONCRETE SURFACE



**EXISTING SITE PLAN**  
SCALE: 1" = 30'-0"  
(11x17 SHEET)



SURVEY DATA BASED ON TOPOGRAPHIC  
AND BOUNDARY SURVEY COMPLETED BY  
TERRASURVEY, INC.



MARK	DATE	REVISION

STEVE ENNIS  
ARCHITECT  
1108 EAST JACKSON STREET  
MEDFORD, OREGON 97504

RECEIVED  
JUN 26 2017  
City of Ashland

PROJECT FOR  
PDK PROPERTIES

PROJECT NAME  
PROPOSED  
SUBDIVISION

PROJECT ADDRESS  
707 HELMAN STREET  
ASHLAND, OR. 97520

SHEET TITLE  
PROPOSED  
SITE PLAN

FILE NAME 1705SP	SHEET NO.
PROJECT NUMBER 1705	SD-2
DATE 06/23/17	

LEGEND

- PROPERTY LINES
- FENCE LINE
- ⊕ FIRE HYDRANT
- DI DROP INLET
- CI CURB INLET
- SSCO SANITARY CLEANOUT
- WM WATER METER
- ☐ TELEPHONE JUNCTION BOX
- EM ELECTRIC METER
- E — UNDERGROUND ELECTRIC
- ⊙ STREET LIGHT
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SCALED LIMB TO APPROXIMATE  
DRIP LINE
- ⊙ CONIFEROUS TREE AS INDICATED  
SCALED LIMB TO APPROXIMATE  
DRIP LINE
- ▨ ASPHALT SURFACE
- ▨ CONCRETE SURFACE

PROPOSED SITE PLAN  
SCALE: 1" = 30'-0"  
(11x17 SHEET)



SURVEY DATA BASED ON TOPOGRAPHIC  
AND BOUNDARY SURVEY COMPLETED BY  
TERRASURVEY, INC.



Planning Division  
51 Winburn Way, Ashland OR 97520  
541-488-5305 Fax 541-488-6006

**STREET TREE REMOVAL PERMIT RECEIVED**

JUL 21 2017

City of Ashland

A tree that is located in any public street right-of-way or other public property may not be removed until a Street Tree Removal Permit has been submitted according to the Application Submission Requirements, below, and reviewed and approved by the City of Ashland.

An application for street tree removal must demonstrate that the tree is an emergency, hazard, or dead tree as outlined below in the Application Submission Requirements.

**Application Submission Requirements.** An application for a street tree removal permit shall include all of the following information.

1. **Application Form and Fee.** The application must include the information requested on the Street Tree Removal Permit form provided by the City of Ashland and the permit application fee. Only those property owners of a lot adjoining the street tree location or homeowners' associations responsible for street trees in their development or subdivision may apply to remove an adjoining street tree. If a tree is located in front of more than one property, each property owner or homeowners' association official must sign the Street Tree Removal Permit form.
2. **Site Plan.** A site plan of the property drawn to scale containing the following information. The scale of the site plan must be at least one inch equals 50 feet or larger.
  - a. North arrow and scale.
  - b. Property boundaries including dimensions of all lot lines and driveway locations.
  - c. Location and width of all public streets, planting strips, and sidewalks adjoining the site.
  - d. Size, species, and location of the tree(s) proposed to be removed.
3. **Written Statement.** A written statement explaining how the proposed street tree removal satisfies one of the following approval criteria. The Community Development director may require additional information to demonstrate that the proposed removal satisfies one of the following approval criteria including: 1) a written statement to be prepared by an arborist licensed by the State of Oregon Landscape Contractors Board of Construction Contractors Board and certified by the International Society of Arboriculture or American Society of Consulting Arborists; and 2) an International Society of Arboriculture (ISA) Basic Tree Risk Assessment Form to be completed by an arborist.

**Street Tree Removal Approval Criteria**

- a) **Emergency Tree Removal.** The tree presents an immediate danger of collapse and represents a clear and present hazard to persons or property. Immediate danger of collapse is defined as a tree that may already be leaning, with the surrounding soil heaving, and/or there is a significant likelihood that the tree will topple or otherwise fail and cause damage before a tree removal permit could be obtained through the non-emergency process.
- b) **Hazard Tree Removal.** The tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. A hazard tree is a tree that is physically damaged to the degree that it is clear the tree is likely to fall and injure persons or property. A hazard tree may also include a tree that is located within a public right-of-way and is causing damage to existing public or private facilities or services and such facilities or services cannot be relocated.
- c) **Dead Tree.** The tree is dead. A dead tree is lifeless. Such evidence of lifelessness may include unseasonable lack of foliage, brittle dry branches, or lack of any growth during the growing season.

**Replacement and Stump Removal.** Applicants for approved Street Tree Removal Permits are required to remove any stumps and replace the tree. Stump removal and replacements for approved street tree removals shall meet the following requirements.

1. Any street tree removed shall be removed at ground level or lower. If a tree is removed below ground level, the surface must be restored to finish grade and any regrowth which occurs shall be promptly removed.
2. All street trees shall be an appropriate species selected from and planted according to the City of Ashland Recommended Street Tree List.
3. The minimum size for a replacement tree is eight feet in height or one inch in caliper measured at 12 inches above the root crown.
4. Applicants for a Street Tree Removal Permit may be required to replace the tree or trees being removed with a tree or trees of comparable value.
5. If a street tree is determined to be dead or dying, then the replacement need be no larger than the minimize size described above.

Type of Tree(s) 2 Leyland Cypress

Approximate Diameter at breast height 7 1/2", 9" Height \_\_\_\_\_ Canopy \_\_\_\_\_

Location of Tree Cul-de-sac at end of N. Wightman St.

Reason for Request Inappropriate for space, future infrastructure damage, fire hazard, full of borers

Are there underground utility lines and/or overhead power lines present? No

If yes, please list which lines are present \_\_\_\_\_

Is there sidewalk damage? No If yes, has a Public Works permit been issued? \_\_\_\_\_

OVER >>

**DESCRIPTION OF PROPERTY**

Street Address \_\_\_\_\_

Assessor's Map No. 39 1E \_\_\_\_\_ Tax Lot(s) \_\_\_\_\_

Zoning \_\_\_\_\_ Comp Plan Designation \_\_\_\_\_

**PROPERTY OWNER**

Name Mill Pond Owners Assoc Phone 846 1049 E-Mail carolyagale@gmail.com

Address PO Box 3402 City Ashtabula Zip 97520

Name \_\_\_\_\_ Phone \_\_\_\_\_ E-Mail \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

**PROFESSIONAL PERFORMING THE TREE REMOVAL (e.g., tree service)**

Name Caropy Phone 631-8000 E-Mail \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

**ARBORIST, LANDSCAPE ARCHITECT, OTHER**

Title Owner Name Chris John Phone 631-1462 E-Mail \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

Title \_\_\_\_\_ Name \_\_\_\_\_ Phone \_\_\_\_\_ E-Mail \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

As owner of the property involved in this request, I have read and understood the complete application and its consequences to me as a property owner. I hereby certify that the statements and information contained in this application are in all respects, true and correct. I further understand that if this request is subsequently contested, the burden will be on me to establish:

- 1) that I produced sufficient factual evidence to support this request;
- 2) that the information contained in this application are adequate; and further
- 3) that all trees, structures, or improvements are properly located on the ground.

Carolyn Gale  
Property Owner's Signature (required)

Date July 20, 2017

**STAFF DECISION:**

Permit is hereby (circle one):     Approved                       Approved with Conditions                       Denied

Conditions of Approval \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Is the tree 18" d.b.h or greater?     NO     YES                      Has the City Administrator has been notified:     NO     YES

\_\_\_\_\_

Community Development Director/Planning Manager Signature                      Date

**RECEIVED**  
JUL 21 2017  
City of Ashland

Mill Pond Owners Association  
PO Box 3402  
Ashland, OR 97520

July 20, 2017

City of Ashland  
51 Winburn Way  
Ashland, or 97520

Dear Sir:

I am writing you on behalf of the Mill Pond Owners Association to request the removal of two Leyland Cypress trees. These trees are in the cul-de-sac at the end of North Wightman Street in Ashland. A photograph of the trees and location is attached.

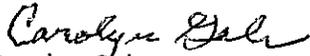
Chris John of Canopy Tree Service is our arborist and has recommended the removal of these Leyland Cypress for the following reasons:

- They do not fit in the space where they were planted.
- They will cause future infrastructure damage.
- They present a fire hazard.
- They are infested with borers. (Picture attached)

The association would like to replace these trees with the same type of bushes on the right side of the horseshoe-shaped area. The space in the middle of the horseshoe is use for vehicle parking. By putting in bushes on the left, there would be a privacy barrier for homeowners so they would not have to look onto parked cars. It would also balance out the landscaping in this area.

If you have any questions, please feel free to contact me at 541-846-1049.

Sincerely yours,

  
Carolyn Gale  
MPOA Treasurer and Landscape Chairperson

CC: M. Ross, President  
R. Thomas

RECEIVED  
JUL 21 2017  
City of Ashland



Want to plant same bushes  
as are on right side of  
parking spaces to provide  
privacy barrier.

RECEIVED

JUL 21 2017

City of Ashland



**RECEIVED**  
JUL 21 2017  
City of Ashland



1:240  
1 inch = 20 feet

JUL 21 2017  
City of Ashland

Mapping is schematic only and bears no warranty of accuracy.  
All features, structures, facilities, easement or roadway locations  
should be independently field verified for existence and/or location.

CITY OF  
ASHLAND



Planning Division  
51 Winburn Way, Ashland OR 97520  
541-488-5305 Fax 541-488-6006

## STREET TREE REMOVAL PERMIT

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  - d. Size, species, and location of the tree(s) proposed to be removed.
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### **Street Tree Removal Approval Criteria**

- a) **Emergency Tree Removal.** The tree presents an immediate danger of collapse and represents a clear and present hazard to persons or property. Immediate danger of collapse is defined as a tree that may already be leaning, with the surrounding soil heaving, and/or there is a significant likelihood that the tree will topple or otherwise fail and cause damage before a tree removal permit could be obtained through the non-emergency process.
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5. If a street tree is determined to be dead or dying, then the replacement need be no larger than the minimize size described above.

---

Type of Tree(s) Liquid amber

Approximate Diameter at breast height \_\_\_\_\_ Height \_\_\_\_\_ Canopy \_\_\_\_\_

Location of Tree 140 Alide

Reason for Request Jungosus, though pruned regularly, drops very large branches. almost struck neighbor last time.

Are there underground utility lines and/or overhead power lines present? \_\_\_\_\_

If yes, please list which lines are present \_\_\_\_\_

Is there sidewalk damage? \_\_\_\_\_ If yes, has a Public Works permit been issued? \_\_\_\_\_

OVER ►►

**DESCRIPTION OF PROPERTY**

Street Address 140 Alida St., Ashland, OR

Assessor's Map No. 39 1E \_\_\_\_\_ Tax Lot(s) \_\_\_\_\_

Zoning O-2 \_\_\_\_\_ Comp Plan Designation \_\_\_\_\_

**PROPERTY OWNER**

Name Stan Potocki Phone 541-890-4339 E-Mail stanvrc@mind.net

Address 2020 Crestview Dr. City Ashland Zip 97520

Name \_\_\_\_\_ Phone \_\_\_\_\_ E-Mail \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

**PROFESSIONAL PERFORMING THE TREE REMOVAL (e.g., tree service)**

Name Beaver Tree Service Phone 779-7072 E-Mail \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

**ARBORIST, LANDSCAPE ARCHITECT, OTHER**

Title owner Name Clarence V. Wayne Phone 541-779-7072 E-Mail \_\_\_\_\_

Address 270 Wilburn Rd. City Central Pt, Or Zip 97502

Title \_\_\_\_\_ Name \_\_\_\_\_ Phone \_\_\_\_\_ E-Mail \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

As owner of the property involved in this request, I have read and understood the complete application and its consequences to me as a property owner. I hereby certify that the statements and information contained in this application are in all respects, true and correct. I further understand that if this request is subsequently contested, the burden will be on me to establish:

- 1) that I produced sufficient factual evidence to support this request;
- 2) that the information contained in this application are adequate; and further
- 3) that all trees, structures, or improvements are properly located on the ground.

[Signature] \_\_\_\_\_ Date 7-20-17

**STAFF DECISION:**

Permit is hereby (circle one):    Approved                      Approved with Conditions                      Denied

Conditions of Approval \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Is the tree 18" d.b.h or greater?     NO     YES                      Has the City Administrator has been notified:     NO     YES

\_\_\_\_\_

Community Development Director/Planning Manager Signature                      Date

FAMILY  
OWNED  
AND  
OPERATED



# BEAVER

---

## TREE SERVICE

Inc.



PROMPT  
PROFESSIONAL  
TREE CARE  
SINCE 1984

July 24 2017

City of Ashland  
20 E. Main St.  
Ashland, OR. 97520  
Attn: Planning Dept.

**Tree:** Sweet Gum (*Liquidamber*) at 140 Alide St. Ashland

**Evaluation:** This is a very large tree it has a history of dropping limbs. The last limb that fell almost hit the neighbor. A portion of the sidewalk and neighbor's and the neighbor's driveway have had to be replaced because of damage from the roots. Because of this tree being so large there isn't enough room for the root zone.

**Recommendation:** The owner, (Stan Potocki) would like permission to remove this tree.

Sincerely,

A handwritten signature in blue ink that reads "Clarence V. Wangle".

Clarence V. Wangle  
Certified Arborist PN0518A  
President  
Beaver Tree Service Inc.

Beaver Tree Service Inc.  
CCB # 173614  
Tax ID # 20-5639553  
[info@beavertree.net](mailto:info@beavertree.net)

Portland Metro Office:  
7085 SW 175<sup>th</sup> Ave  
Beaverton, OR 97007  
[joel@beavertree.net](mailto:joel@beavertree.net)  
(503) 224-1338

Corporate Office:  
270 Wilson Rd.  
Central Point, OR 97502  
[suzie@beavertree.net](mailto:suzie@beavertree.net)  
(541) 779-7072

# ISA Basic Tree Risk Assessment Form

Client \_\_\_\_\_ Date \_\_\_\_\_ Time \_\_\_\_\_  
 Address/Tree location 140 A1:2 St. Tree no. \_\_\_\_\_ Sheet \_\_\_\_\_ of \_\_\_\_\_  
 Tree species \_\_\_\_\_ dbh \_\_\_\_\_ Height \_\_\_\_\_ Crown spread dia. \_\_\_\_\_  
 Assessor(s) \_\_\_\_\_ Time frame \_\_\_\_\_ Tools used \_\_\_\_\_

## Target Assessment

Target number	Target description	Target zone			Occupancy rate 1 - rare 2 - occasional 3 - frequent 4 - constant	Practical to move target?	Restriction practical?
		Target within drip line	Target within 1 x Ht.	Target within 1.5 x Ht.			
1							
2							
3							
4							

## Site Factors

History of failures multiple, multiple, almost struck neighbor Topography Flat  Slope  \_\_\_\_\_ % Aspect \_\_\_\_\_  
 Site changes None  Grade change  Site clearing  Changed soil hydrology  Root cuts  Describe \_\_\_\_\_  
 Soil conditions Limited volume  Saturated  Shallow  Compacted  Pavement over roots  \_\_\_\_\_ % Describe \_\_\_\_\_  
 Prevailing wind direction \_\_\_\_\_ Common weather Strong winds  Ice  Snow  Heavy rain  Describe \_\_\_\_\_

## Tree Health and Species Profile

Vigor Low  Normal  High  Foliage None (seasonal)  None (dead)  Normal \_\_\_\_\_ % Chlorotic \_\_\_\_\_ % Necrotic \_\_\_\_\_ %  
 Pests \_\_\_\_\_ Abiotic \_\_\_\_\_  
 Species failure profile Branches  Trunk  Roots  Describe \_\_\_\_\_

## Load Factors

Wind exposure Protected  Partial  Full  Wind funneling  \_\_\_\_\_ Relative crown size Small  Medium  Large   
 Crown density Sparse  Normal  Dense  Interior branches Few  Normal  Dense  Vines/Mistletoe/Moss  \_\_\_\_\_  
 Recent or planned change in load factors \_\_\_\_\_

## Tree Defects and Conditions Affecting the Likelihood of Failure

### — Crown and Branches —

Unbalanced crown  LCR \_\_\_\_\_ % Cracks  \_\_\_\_\_ Lightning damage   
 Dead twigs/branches  \_\_\_\_\_ % overall Max. dia. \_\_\_\_\_ Codominant  \_\_\_\_\_ Included bark   
 Broken/Hangers Number \_\_\_\_\_ Max. dia. \_\_\_\_\_ Weak attachments  \_\_\_\_\_ Cavity/Nest hole \_\_\_\_\_ % circ.  
 Over-extended branches  Previous branch failures  \_\_\_\_\_ Similar branches present   
**Pruning history**  
 Crown cleaned  Thinned  Raised  Dead/Missing bark  Cankers/Galls/Burls  Sapwood damage/decay   
 Reduced  Topped  Lion-tailed  Conks  Heartwood decay  \_\_\_\_\_  
 Flush cuts  Other \_\_\_\_\_ Response growth \_\_\_\_\_  
 Main concern(s) \_\_\_\_\_

Load on defect N/A  Minor  Moderate  Significant  \_\_\_\_\_  
 Likelihood of failure Improbable  Possible  Probable  Imminent  \_\_\_\_\_

### — Trunk —

Dead/Missing bark  Abnormal bark texture/color   
 Codominant stems  Included bark  Cracks   
 Sapwood damage/decay  Cankers/Galls/Burls  Sap ooze   
 Lightning damage  Heartwood decay  Conks/Mushrooms   
 Cavity/Nest hole \_\_\_\_\_ % circ. Depth \_\_\_\_\_ Poor taper   
 Lean \_\_\_\_\_ ° Corrected? \_\_\_\_\_  
 Response growth \_\_\_\_\_  
 Main concern(s) \_\_\_\_\_

Load on defect N/A  Minor  Moderate  Significant   
 Likelihood of failure Improbable  Possible  Probable  Imminent

### — Roots and Root Collar —

Collar buried/Not visible  Depth \_\_\_\_\_ Stem girdling   
 Dead  Decay  Conks/Mushrooms   
 Ooze  Cavity  \_\_\_\_\_ % circ.  
 Cracks  Cut/Damaged roots  Distance from trunk \_\_\_\_\_  
 Root plate lifting  Soil weakness   
 Response growth \_\_\_\_\_  
 Main concern(s) \_\_\_\_\_

Load on defect N/A  Minor  Moderate  Significant   
 Likelihood of failure Improbable  Possible  Probable  Imminent

