



# HPAC Committee Agenda

Note: Anyone wishing to speak at any HPAC meeting is encouraged to do so. If you wish to speak, please rise and, after you have been recognized by the Chair, give your name and complete address for the record. You will then be allowed to speak. Please note the public testimony may be limited by the Chair.

**February 7, 2024**

## AGENDA

**(4:00) CALL TO ORDER:** Meeting held in person at 51 Winburn Way and via Zoom at:

### **READING OF LAND ACKNOWLEDGEMENT**

*"We acknowledge and honor the aboriginal people on whose ancestral homelands we live, — the Ikirakutsum Band of the Shasta Nation, including the original past indigenous inhabitants, as well as the diverse Native communities who make their home here today. We also recognize and acknowledge the Shasta village of K'wakhakha — "Where the Crow lights"—that is now the Ashland City Plaza."*

I. **(4:05) APPROVAL OF AGENDA**

II. **(4:10) APPROVAL OF MINUTES**

Minutes of December 6, 2023

III. **(4:15) PUBLIC FORUM**

IV. **(4:30) LIASON REPORTS**

A. Council Liaison – Jeff Dahle

B. Staff Liaison – Derek Severson

VI. **(4:45) DISCUSSION ITEMS**

A. Review Board

B. Public Arts Crosswalk Art Proposal

C. Historic Preservation Month

- Decide on the date for the awards ceremony. (May 21 or 22)
- Talk about locations – The Bandshell has been reserved for May 21 & 22
- What will events look like if there are fewer projects to award? We could discuss having walking tours and more personal awards. Any other ideas?

D. Subcommittee Reports

- Map II Subcommittee
- ODOT Rockwork Subcommittee

VII. **(5:00) LAND USE ITEMS**

**PLANNING ACTION:** PA-TI-2024-00223

**SUBJECT PROPERTY:** 51 Winburn Way

**APPLICANT/OWNER:** Department of Public Works/City of Ashland





## HPAC Committee Agenda

**DESCRIPTION:** A request for Site Design Review approval to replace the 'Alice Applegate Peil Walkway' stairs behind the Community Development & Engineering Services Building at 51 Winburn Way. These stairs provide a pedestrian connection from Granite Street to the downtown plaza. **COMPREHENSIVE PLAN DESIGNATION:** Commercial Downtown and Single Family Residential; **ZONING:** C-1-D & R-1-7.5; **MAP:** 39 1E 09 BB; **TAX LOT:** 14800 & 7100

VIII. (5:30) ADJOURNMENT

Next Meeting Date: March 6, 2024



# HPAC Committee Minutes (Draft)

December 6, 2023

5:00PM – 6:00PM

Community Development/Engineering Services Building – 51 Winburn Way

## 5:00PM CALL TO ORDER

Hovenkamp called the meeting to order at 5:01

<b>Commissioners Present:</b>	<b>Council Liaison:</b>
Shostrom	Jeff Dahle
Hovenkamp	<b>Staff Present:</b>
Emery	Derek Severson; Planning Manager
Repp	Regan Trapp; Admin Support
Scharen	
Whitford	
Bonetti	
<b>Commissioners Absent:</b>	Skibby

## READING OF LAND ACKNOWLEDGEMENT

Land Acknowledgement was read by Hovenkamp.

*"We acknowledge and honor the aboriginal people on whose ancestral homelands we live, – the Ikirakutsum Band of the Shasta Nation, including the original past indigenous inhabitants, as well as the diverse Native communities who make their home here today. We also recognize and acknowledge the Shasta village of K'wakhakha – "Where the Crow lights"—that is now the Ashland City Plaza."*

## APPROVAL OF AGENDA (5 min)

- Commissioner suggested amendments to Agenda.  
Amendments to the agenda include the following:
  - Heritage Tourism Workshop - 15 min presentation during public forum.
  - Input on upcoming curb ramp project in the Historic Districts (ODOT)
  - 774 B Street project.

## APPROVAL OF MINUTES (5 min)

- Historic Commission meeting of November 8, 2023.

*Shostrom/Emery m/s to accept the minutes of November 8, 2023. ALL AYES. Motion passed.*



## HPAC Committee Minutes (Draft)

### PUBLIC FORUM (15 min)

Maureen Battistella spoke regarding the Heritage Tourism Workshop. **(See attachment A)**

- Travel Southern Oregon has funded (by a grant) Jackson County Heritage Advocacy to present the upcoming workshops and fund a new travel brochure to include historic Ashland. Maureen would like the brochure to include a link to the [Ashland.or.us/historic](http://Ashland.or.us/historic) website which would include all State of Oregon history and heritage websites.

**(See attachment B)**

*Repp/Whitford m/s to take advantage of the Jackson County Heritage Association's plan to consolidate information. ALL AYES. Motion Passed.*

### ODOT Curb Ramp Project

Charlotte Helmer with ODOT presented the options for the project with upgrades along E. Main and Lithia. They are required to follow accessibility standards that have color, detectable edges, and surfaces for all their designs. She welcomes the Committee's feedback and comments and will take them back to the team for further research. There are incredibly specific guidelines and standards that they must follow but they do have flexibility in some cases. They are mandated to move quickly on this project and need to have suggestions submitted soon.

**(See attachment C)**

### Committee Suggestions

- Raised curb with better contained bark and landscaping to be maintained by the city.

Charlotte encourages the Committee to write ODOT voicing their preferences (items specifically addressing the impact to the historic districts) to this project so that in upcoming phases, they can take suggestions (outside the preferred choices or comments on Phase 1) into consideration. Letters from the Committee need to be submitted to ODOT and PW Works Director, Scott Fleury, by mid-December 2023.

Severson to verify the timeline for the ODOT project.

*Repp, Scharen, Shostrom, and Bonetti to form a subcommittee to look at the installations and come up with recommendations. Severson to get the subcommittee locations of the most recent installations to them as soon as possible.*



# HPAC Committee Minutes (Draft)

## LIAISON REPORTS (5 min)

Councilor Dahle gave a liaison report. Items discussed were:

- Councilor Dahle expressed thanks to the Committee members for their hard work.
- 5G wireless ordinance and how it affects visual in the public ROW. He will be looking for input from the committee. (This item will be reviewed by the Committee in January or February)

Severson gave the staff report. Items discussed were:

- Committee appreciation event and workplan review is on December 18<sup>th</sup> at council chambers. Trapp to send reminder to Committee to put on their calendar.

## (5:40) PLANNING ACTION REVIEW (20 min)

**PLANNING ACTION:** PA-TI-2023-00220

**SUBJECT PROPERTY:** 38 E Main St

**APPLICANT/OWNER:** Cynthia Guthrie for Bingham Sacks LLC

**DESCRIPTION:** A request for a Site Review for an exterior change to a Historic Contributing building. Changes include adding a roll up window with a new counter on the left side of the entrance and removing existing planter boxes at the corner window to the right of the entrance. The entrance itself is to remain unchanged. **COMPREHENSIVE PLAN DESIGNATION:**

Commercial; **ZONING:** C-1-D; **MAP:** 39 1E 09 BB; **TAX LOT:** 99001

There was no conflict of interest or ex-parte contact indicated by the Committee.

There were no applicants present.

Severson gave the staff report for PA-TI-2023-00220.

*Bonetti/Scharen m/s to approve PA-TI-2023-00220 as submitted Voice vote. ALL AYES, Motion passed.*

## (4:55) DISCUSSION ITEMS (10 min)

- A. Review Board
- B. Heritage Tourism Workshop
- C. 774 B Street project – Details of the project were discussed, and the Historic Review Board will be reviewing the plans on 12/7/2023.

## ADJOURNMENT

Next meeting is scheduled January 3, 2024, at 4:00pm at, 51 Winburn Way  
There being no other items to discuss, the meeting adjourned at 7:06pm  
Respectfully submitted by Regan Trapp

# HERITAGE\* TOURISM\* and ECONOMIC DEVELOPMENT\*

WEDNESDAY JANUARY 17, 2024 AND FEBRUARY 21, 2024

A new brochure that showcases Jackson County historic sites will be printed in January 2024 thanks to a partnership between Travel Southern Oregon and the Jackson County Heritage Association. The partnership also funds one year's distribution of the new brochure to 72 hotels and chambers of commerce, the Medford Airport, and the South Ashland Visitors' Center.

The JCHA and Travel Southern Oregon are also teaming up to produce two professional development workshops to enhance the skills and knowledge of the travel and hospitality industries, city staff and elected officials, and heritage advocates. The goal of these workshops is to develop and enhance strategic partnerships at the intersection of heritage, tourism, and economic development.

Let's work together to craft strategic partnerships and develop meaningful outcomes that raise the visibility of Southern Oregon's heritage sites and organizations, increase tourism, and improve our communities.

professional development workshops are no cost; lunch provided  
registration required: <https://forms.gle/N3UhNWkdAk2nr7n58>

Jackson  
County  
Heritage  
Association  
and  
Travel  
Southern  
Oregon



For more information contact  
Maureen Flanagan Battistella  
Southern Oregon University SOAN  
541-552-0743 or [battistem@sou.edu](mailto:battistem@sou.edu)

## Heritage Tourism 101: The Intersection of Heritage, Tourism and Economic Development

Wednesday, January 17, 2024, 10a-4p | Talent Community Center

Keynote Speaker: Shawn Irvine, Economic Development Director, City of Independence, Oregon

Appreciate the economic and human values of heritage tourism; Understand the basics of the tourism industry; Learn about successful partnerships in Southern Oregon; Develop strategic partnerships and collaboration. Successful new partnership ideas that emerge from the workshop will be featured in Travel Southern Oregon's newsletter over the next six months.

## Heritage Tourism 201: Telling Authentic Stories with Historical Re-enactments

Wednesday, February 21, 2024, 9a-3p | Jacksonville City Hall Assembly Room

Keynote Speakers: Danielle Mancuso (The Lantern) + Dr. Anna Sloan (Anthropologist)

Delivery + Content = Impact. Appreciate the power of story, grounded in fact; Understand the importance of both content and delivery; Learn about how historical re-enactments are conducted in historic homes, in cemeteries, within a town, on a trail or the river; Get energized about how you can put these ideas into action; Practice historical re-enactment techniques with renown drama coach Betsy Bishop.

Maureen Flanagan Battistella, MLS  
Southern Oregon University Sociology/Anthropology  
Ashland Historic Preservation Advisory Committee 2023-12-06

**ashland.or.us/historic** → <https://www.ashland.or.us/Page.asp?NavID=11782>

OBJECTIVE: Use this page to aggregate information about Ashland's history and heritage

### **Historic Preservation Information**

#### **Historic Preservation Organizations and Agencies**

National Trust for Historic Preservation X → [savingplaces.org](https://savingplaces.org)

National Park Service, Historic Resources Section

Southern Oregon Historical Society

Oregon Historical Society

State Historic Preservation Office X → [oregonheritage.org](https://oregonheritage.org)

Secretary of the Interior Rehabilitation Standards

Oregon Cultural Trust

National Register of Historic Places Ashland- X → [nps.gov/subjects/nationalregister](https://nps.gov/subjects/nationalregister)

Downtown District pdf

Siskiyou Hargadine pdf

Railroad District pdf

Skidmore Academy Historic District pdf

This Old Town → [thisoldtown.com](https://thisoldtown.com)

The Applegate Trail

Historic Roads → [historicroads.org](https://historicroads.org)

Oregon Historical County Records Guide X → [sos.oregon.gov/archives/records/county/Pages/default.aspx](https://sos.oregon.gov/archives/records/county/Pages/default.aspx)

Save America's Treasures → X [nps.maps.arcgis.com/apps/webappviewer/index.html?id=67d94c74ff8247eebde4bf5fba644b7](https://nps.maps.arcgis.com/apps/webappviewer/index.html?id=67d94c74ff8247eebde4bf5fba644b7)

### **Historic Preservation Advisory Committee** <https://www.ashland.or.us/CCBIndex.asp?CCBID=195>

Historic buildings fact sheets

Historic District Map

Historic Preservation Plan

Lithia Springs/Winburn Camp Inventory 1987

Historic Cemeteries Preservation Plan 2000

### **Parks Story Map Web Apps** <https://www.ashland.or.us/Page.asp?NavID=17020>

History of Lithia Park

Lithia Park Trail Guide

### **Map Center** <https://www.ashland.or.us/Page.asp?NavID=17324>

#### **Interactive Maps and Apps**

Parks Memorial Finder <https://gis.ashland.or.us/parks/memorial/>

Ashland Public Art Collection <https://gis.ashland.or.us/portal/apps/storymaps/stories/9aa5651e7249437eaf5c6bcd057e3c5d>

### **Public Works Cemetery Viewer** <https://www.ashland.or.us/page.asp?navid=13656>

Hargadine

Ashland

Mountain View

# ashland.or.us/historic → <https://www.ashland.or.us/Page.asp?NavID=11782>

OBJECTIVE: Use this page to aggregate information about Ashland's history and heritage

## Suggested Aggregation and Reorganization

Historic Preservation Information, Organizations and Agencies

Ashland City

Jackson County

Oregon

National

## SUGGESTED ADDITIONS

Jackson County Property Online	<a href="https://pdo.jacksoncountyor.gov/pdo/">https://pdo.jacksoncountyor.gov/pdo/</a>
Jackson County Heritage Association	<a href="https://jchaor.wixsite.com/jcha">https://jchaor.wixsite.com/jcha</a>
Southern Oregon Digital Archives (SOU)	<a href="https://soda.sou.edu">https://soda.sou.edu</a>
Stories of Southern Oregon (SOU)	<a href="https://www.youtube.com/c/storiesofsouthernoregon">https://www.youtube.com/c/storiesofsouthernoregon</a>
Oregon Shakespeare Festival Archives	<a href="https://www.osfashland.org/company/archives.aspx">https://www.osfashland.org/company/archives.aspx</a>
Rogue Valley Genealogical Society Library	<a href="https://rvgslibrary.org">https://rvgslibrary.org</a>
Jefferson Public Radio Program Guide	<a href="https://archive.org/details/Jefferson-Public-Radio-Jefferson-Journal/">https://archive.org/details/Jefferson-Public-Radio-Jefferson-Journal/</a>
Oregon Digital Newspaper Program	<a href="https://oregonnews.uoregon.edu">https://oregonnews.uoregon.edu</a>
Oregon Historic Sites Database	<a href="http://heritagedata.prd.state.or.us/historic/">heritagedata.prd.state.or.us/historic/</a>
Oregon Encyclopedia (OHS)	<a href="https://www.oregonencyclopedia.org/">https://www.oregonencyclopedia.org/</a>
Oregon Explorer (OSU)	<a href="https://oregonexplorer.info/tools/oe-atlas/cities/ashland">https://oregonexplorer.info/tools/oe-atlas/cities/ashland</a>
Oregon Digital (UO/OSU)	<a href="https://oregondigital.org/catalog?utf8=%E2%9C%93&amp;search_field=all_fields&amp;q%5B%5D=ashland#content">https://oregondigital.org/catalog?utf8=%E2%9C%93&amp;search_field=all_fields&amp;q%5B%5D=ashland#content</a>
Archives West	<a href="https://archiveswest.orbiscascade.org/search.php?r=&amp;q=ashland">https://archiveswest.orbiscascade.org/search.php?r=&amp;q=ashland</a>
National Archives	<a href="https://catalog.archives.gov/search?q=%22ashland%20oregon%22">https://catalog.archives.gov/search?q=%22ashland%20oregon%22</a>
Internet Archives	<a href="https://archive.org/search?query=%28ashland%29+AND+description%3A%28oregon%29">https://archive.org/search?query=%28ashland%29+AND+description%3A%28oregon%29</a>



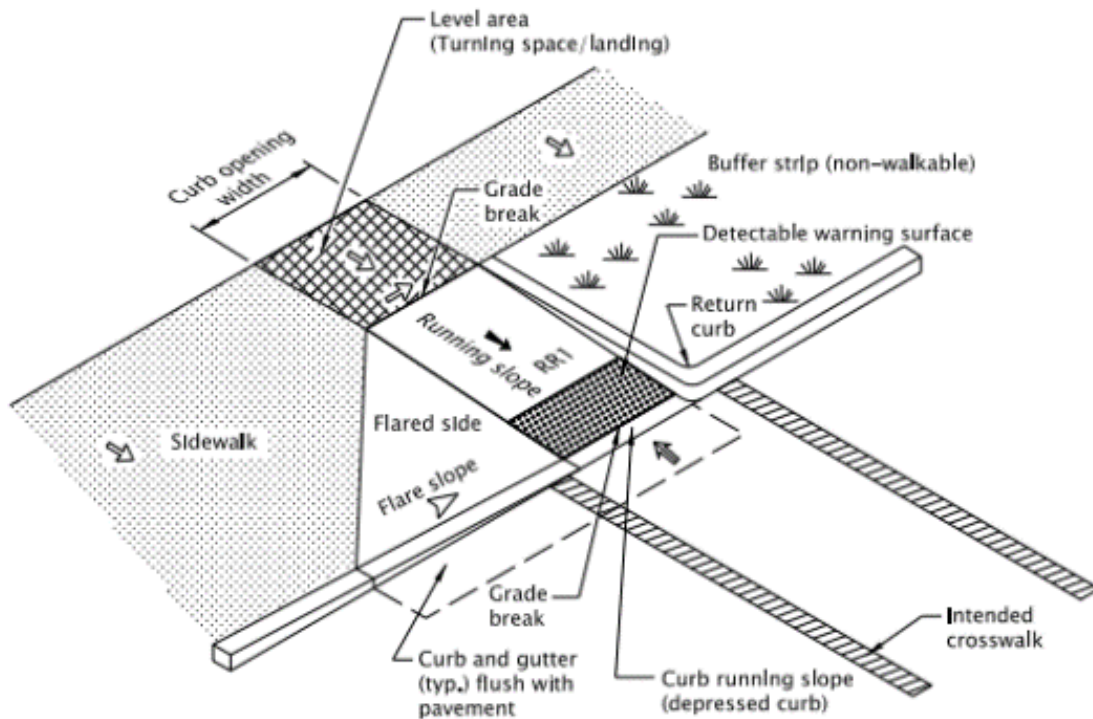
**DRAFT: Illustration of landscaping treatments used in the ODOT ADA Curb Ramp Program**

C. Helmer, v.11.17.2023

**Summary**

This document is intended to provide basic information about landscaping treatments that are commonly used to create non-walkable surfaces around curb ramps. ODOT uses a variety of treatments depending on the site-specific configuration of ramps, adjacent landscape, historic context, snow conditions, and other factors. Accessibility standards require that non-walkable surfaces have textures and color contrast that pedestrians can detect as they navigate pedestrian access routes. Flares (also called wings) also meet accessibility standards because their slopes indicate transitions around ramps.

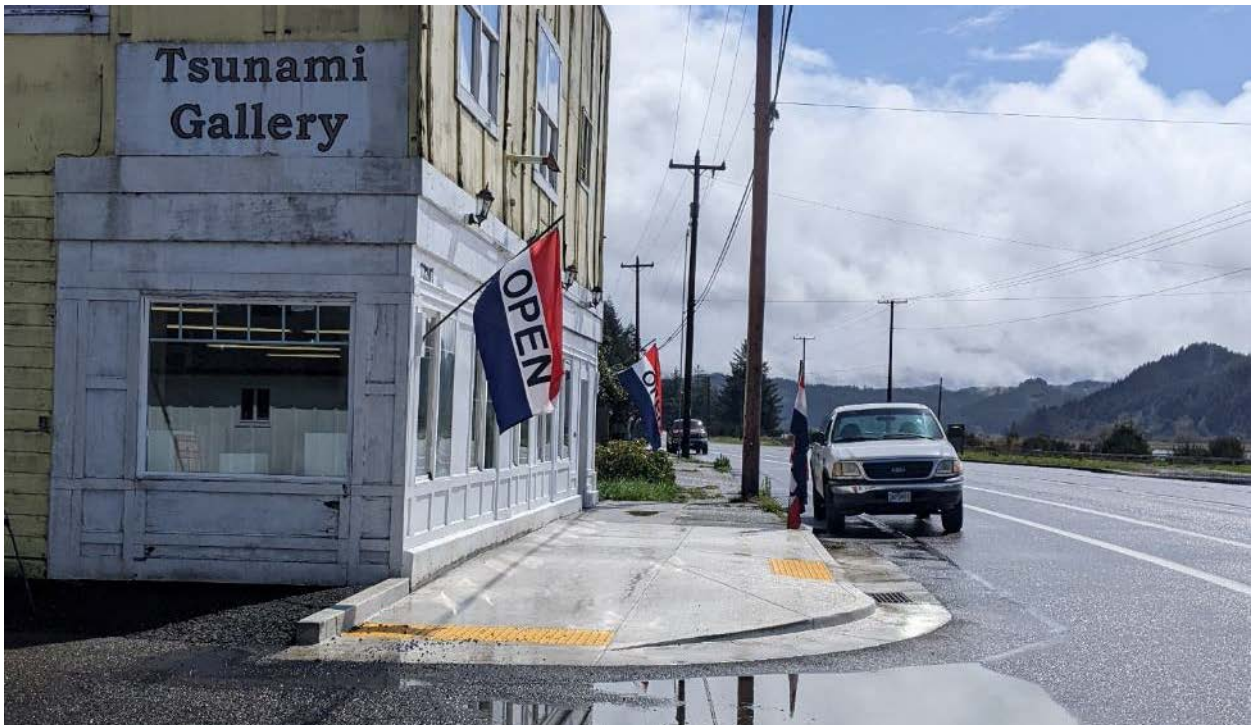
All drawings in this document are provided by ODOT. All photos depict recent curb ramp projects in Oregon and are provided by C. Helmer or Google Street View.



TYPICAL CURB RAMP COMPONENTS

**Ramp Types: flare or curb return**

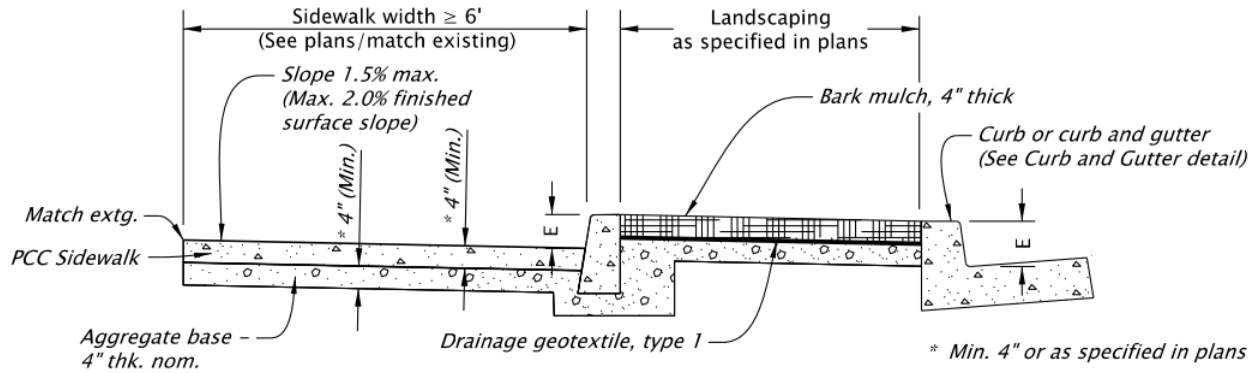
These days, it is generally understood that flares (also called wings) perform better than curbed, landscaped islands. Curbed islands still occur when designers cannot achieve flares that meet accessibility standards (such as slopes) due to site constraints (such as utilities). Also, note that each curb ramp is designed to align with a corresponding ramp across the street. They do not always align with the sidewalk. This is done to shorten the crossing distance (area where pedestrians are exposed to traffic). Bulb-outs serve the same purpose. These designs can create large, asymmetrical flares or curbed islands.



### Bark Mulch and Sod Lawn

Concerns include maintenance burden to reinstall or re-seed; irrigate; and mow or weed to manage invasive weeds, fire hazards, and lines of sight; also, tendency for material to spread into roadways and pedestrian routes. These softscape treatments are generally appropriate in historic districts.





BARK MULCH SECTION (NOT TO SCALE)

LAWN SEEDING / SOD LAWN SECTION (NOT TO SCALE)

## Rock Mulch

Rocks have ranged in size and color depending on each project. Concerns include maintenance burden, tendency for people to throw rocks, tendency for material to spread into roadways and pedestrian routes, and difficulty of walking through soft material. This treatment was previously used as a compromise in some historic districts, but it may no longer be feasible due to concerns for ODOT and local agencies.

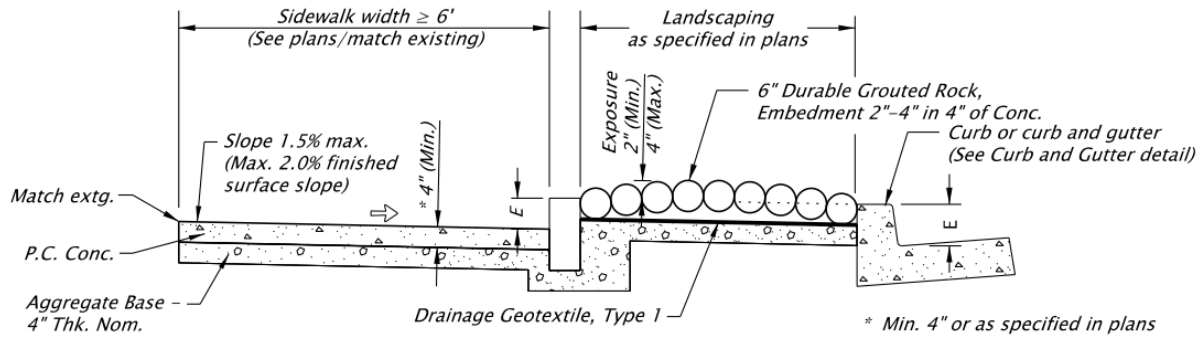


ROCK MULCH SECTIONS (NOT TO SCALE)

### Grouted Rock

Also known as durable grouted rock or DGR. Rocks have ranged in size and height depending on each project. Concerns include inconsistent quality of installation, tendency for cracking and spalling, difficulty of repair, and difficulty of walking over an irregular surface. Benefits include limited maintenance compared to softscape. This treatment was previously used as a compromise in some historic districts, but it may no longer be feasible due to maintenance concerns for ODOT and local agencies.





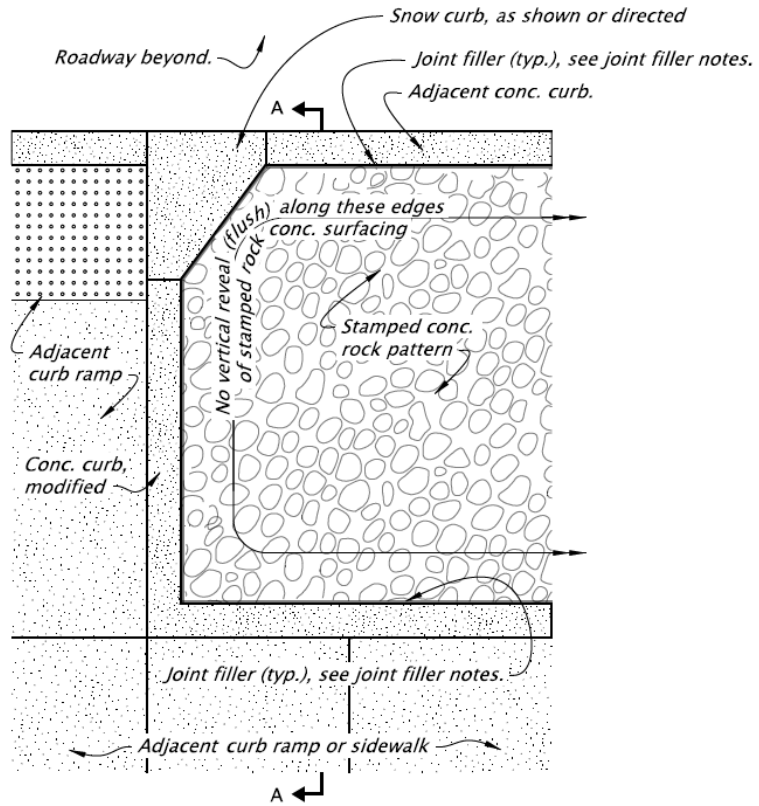
GROUTED ROCK SECTION (NOT TO SCALE)



## Stamped Concrete

Also known as stamped cobble or stamped rock concrete. Colors used thus far are terracotta and cocoa; sandstone is in development. Concerns include inconsistent quality of installation, tendency for cracking and spalling, and difficulty of repair. Benefits include limited maintenance compared to softscape and a more regular surface compared to grouted rock. The cobble pattern provides a sufficient detectable texture. Other patterns (such as brick) are typically too smooth to meet accessibility standards. The color-tinted concrete provides sufficient color contrast, even as it fades with exposure to UV.





STAMPED CONCRETE PLAN VIEW (NOT TO SCALE)

STAMPED CONCRETE SECTION A-A (NOT TO SCALE)



# February 2024

## HPAC Review Board

Meet at 3:00pm - Lithia Room

<u>DATE</u>	<u>COMMITTEE MEMBERS ATTENDING</u>		
Feb 1st	Whitford	Shostrom	
Feb 8th	Scharen	Repp	
Feb 15th			
Feb 22nd			
Feb 29th			
March 7th			

\*Call 541-488-5305 to verify there are items on the agenda to review

# **PUBLIC ART CROSSWALK PROPOSAL**

# Memo

---

**DATE:** February 7, 2023  
**TO:** Historic Preservation Advisory Committee (HPAC) Members  
**FROM:** Derek Severson, *Planning Manager/HPAC Staff Liaison*  
**RE:** Crosswalk Treatment Discussion Item

At the request of the Public Arts Advisory Committee (PAAC), tonight's agenda includes a discussion item to consider and make a recommendation with regard to a new crosswalk treatment near the entrance to Lithia Park.

The City of Medford currently has two crosswalks with thermoplastic treatments in its historic downtown – one depicts a piano keyboard near the Craterian Theater and the other is a bookshelf near the library. Aerial images are provided below:

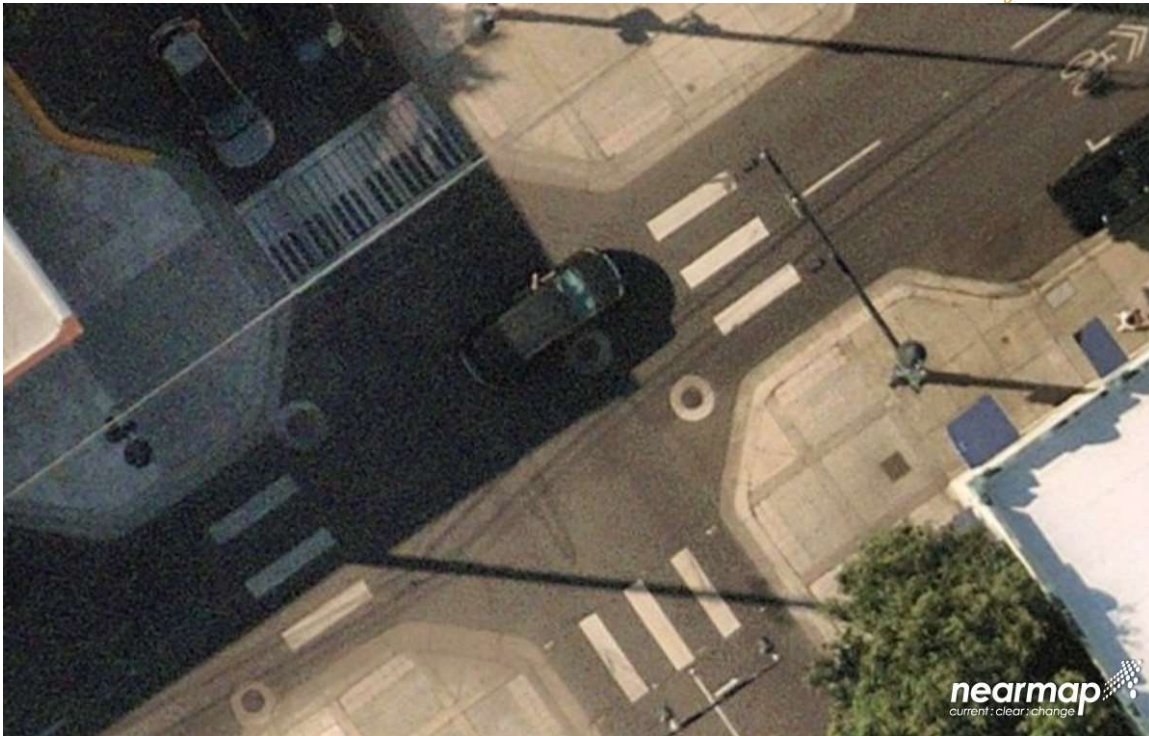


*Aerial image of a thermoplastic bookshelf applique in a downtown Medford crosswalk.*

**COMMUNITY DEVELOPMENT DEPARTMENT**

51 Winburn Way  
Ashland, Oregon 97520  
[ashland.or.us](http://ashland.or.us)

Tel: 541.488.5305  
Fax: 541.552.2050  
TTY: 800.735.2900



*Aerial image of a thermoplastic piano keyboard applique in a downtown Medford crosswalk.*

PAAC is hoping to install a thermoplastic crosswalk treatment as discussed in the attached materials in the crosswalk between the plaza and the entry to Lithia Park. When the HPAC preliminarily discussed the concept of painting crosswalks in the downtown plaza back on March 8, 2023, discussion included both compatibility with the character of the historic downtown and issues with the durability and slickness of paint on asphalt. The minutes summarize that discussion as follows:

*Painting on crosswalks in the Plaza with some sort of historic theme. PAC to investigate the methods on how to sustain this over time without lots of wear and tear. The Committee would like to investigate other options and stay away from painting the sidewalks and streets. Committee agreed that this is not a good idea for the plaza area, and they would like to look at options with more staying power.*

As staff recollects, the previous discussion had focused more on painting, and HPAC members may wish to consider tonight whether thermoplastic crosswalk appliques would present an acceptable alternative to paint. The PAAC chair, Kendall Engelund, will be in attendance at tonight's meeting to explain this proposal and answer any

**COMMUNITY DEVELOPMENT DEPARTMENT**

51 Winburn Way  
Ashland, Oregon 97520  
[ashland.or.us](http://ashland.or.us)

Tel: 541.488.5305  
Fax: 541.552.2050  
TTY: 800.735.2900



questions. The item would still need to be considered and a recommendation provided by the Ashland Parks & Recreation Commission before it would be presented to the City Council for a decision, and the final design approved by the Public Works Director before installation in the right-of-way by city crews.

### **REFERENCES & ATTACHMENTS**

**Attachment #1:** Explanatory Email from Kendall Engelund, PAAC Chair

**Attachment #2:** Spruce Tree Crosswalk Art Conceptual Illustration

**Attachment #3:** Project Explanation from PAAC Packet

**Attachment #4:** Crosswalk Lay-Out from PAAC Packet

### **COMMUNITY DEVELOPMENT DEPARTMENT**

51 Winburn Way  
Ashland, Oregon 97520  
[ashland.or.us](http://ashland.or.us)

Tel: 541.488.5305  
Fax: 541.552.2050  
TTY: 800.735.2900



## Cross Walk Project materials

Kendall Engelund <kjengelund@gmail.com>

Mon 2024-01-22 01:52 PM

To: Derek Severson <derek.severson@ashland.or.us>

Cc: Ken Engelund <kjengelund@gmail.com>; Jennifer Chenoweth <jennifer.chenoweth@ashland.or.us>; Scott Fleury <scott.fleury@ashland.or.us>

[EXTERNAL SENDER]

Good afternoon Derek,

I am having difficulty extracting from the PAAC agenda documents the information you need for the HPAC meeting 2/7 regarding the Cross Walk Project.

I've a call into Jenn who is busy at the moment. Hopefully, she will be able to forward the material to you. I believe you can use the following paragraph.

"At the 1/28/24 PAAC meeting a motion passed to 'Create a Cross Walk Project' at the entrance to Lithia Park just beyond the Plaza. The plan is to include public art in the cross walk space defined by the lay out provided by Scott Fleury of Public Works. The proposed budget is not to exceed #10,000. A preferred vendor of Thermoplastic Material can provide up to 26 colors of the material to be used in the created design. That vendor is Geveko Materials which products were used by the City of Medford for those two cross walk projects. The work is to be coordinated by Public Works Department, and installed by Public Works. The panel selected artist is to receive \$850.00 at selection. An additional \$150.00 is to be paid for consultation at the time of installation. The intent is to finish installation prior to the July 4th 2024 week end. The longevity of the materials is estimated to be a few years. A potential update of the material is probable. The work is to be approved by HPAC, as it is in the Downtown Historic District, as well as APRC as it is in the Lithia Park designated area, and leads to the park, and finally by the City Council. It is requested the HPAC consider this proposal, offer suggestions prior to the presentation to APRC and approve the project concept."

I have sent in an email the second page - Layout Design by Scott F. Also included in our packet and what you need is the first picture example of a potential cross walk with out the two white sides which define the space at 10' wide, and ~ 26' across.

There is also a draft Request for Proposals which will define the call: Artists are asked to submit designs in accord with a draft time line, depending upon HPAC, APRC and City Council approval of the project.

Please call with questions. It could be that the "paragraph" goes into the packet and the one page example follows if time is of the essence. Please let me know if this works, and what you would like for the meeting and if it is live or ZOOM.

Best, Ken

541/690-9426





**PUBLIC ARTS ADVISORY COMMITTEE**

**January 18, 2024**

**Proposed Cross Walk Project.  
(See examples)**

**It is proposed that PAAC adopt a project to place public art in cross walks, and further that this be with the coordination of Public Works for installation of the works. Materials to be Gevko thermoplastic torch down products as the preferred choice. The initial cross walk as shown in the example to be at the entrance to Lithia Park just beyond the plaza.**

**Budget is proposed at up to \$10,000, based on estimates for examples of materials from Gevko. Public Works to address costs beyond this. The RFQ will indicate the successful artist(s) will receive a fee of \$850 at the time of selection, and be asked to consult with Public Works for an additional \$150.**

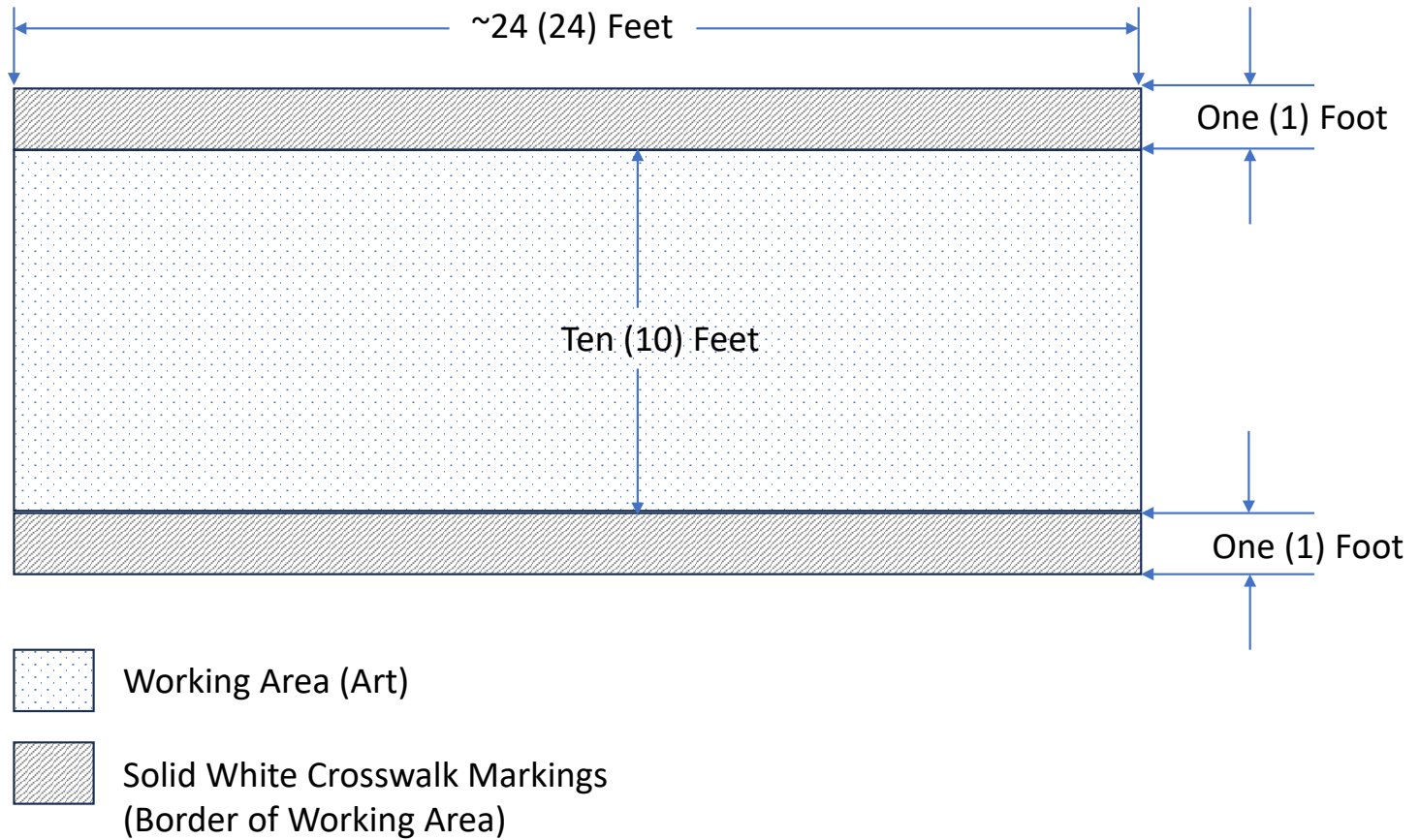
**Required approvals include: HPAC, APRC, City Council and Public Works. Public Works will coordinate the project.**

**Time line proposed:**

**1/18/24 adoption by PAAC; February, review and adoption by HPAC; March, review and adoption by APRC; March/April Adoption by City Council and Call for artist(artist teams) and RFQ, Submission by artist 4/30, selection by committee 5/15, with notification to all entrants, and installation completed prior to 6/30/24.**

**Tessa Elbettar, Ken Engelund - Task Group.**

### Crosswalk Layout



# **HISTORIC PRESERVATION WEEK**

Permit number	Permit Address	Group Assign	Permit description	Approval state	Final date	Owner Last Name	Owner First Name	Owner Address	Appdate	Customer Info
---------------	----------------	--------------	--------------------	----------------	------------	-----------------	------------------	---------------	---------	---------------

**ARU**

BD-R-2021-00665	914 Siskiyou		ARU/Garage	<b>Finaled</b>		Bishop	Kimber		6/23/2021	Bishop
BD-R-2023-01057/	263 Sixth		ARU	<b>Under review</b>						
BD-R-2023-00979	64/66 Fourth		ARU/Garage	<b>Ready to issue</b>						

**ADDITION**

BD-R-2023-00897	368 Scenic		Sunroom addition with new deck	<b>Finaled</b>		Danforth	William		1/6/2023	Home & Farm Construction
BD-R-2021-00664	912 Siskiyou		Addition and remodel	<b>Finaled</b>						
BD-2017-02323 & BD-R-2018-00064	263 N Second		Addition, interior remodel, restoration of roof and porch	<b>Issued</b>		Benton	John/Myra			Chris Brown
BD-R-2023-00944	75 Helman		Addition/Remodel	<b>Finaled</b>						
BD-R-2023-00956/00997	774 B Street		Remodel/adding garage	<b>Issued</b>						
BD-R-2023-00984	104 S First		Window upgrade, interior remodel	<b>Issued</b>						
BD-R-2023-00983	14 B Street		New doors and windows for fire damage	<b>Issued</b>						

**SFR**

	192 N Mountain		Historic Home in Ashland							
BD-R-2022-00799	131 Helman		House re-build	<b>Finaled</b>	2/1/2023	Chappell				Conscious Const

**MFR**

**MIXED USE**

BD-MU-2020-00014	762 A Street		Addition to home to create commercial and living space	<b>HOLD - Planning Conditions</b>		Cordova	Jodi			By Owner
	165 Water/95 Van Ness		2024	<b>Not submitted</b>						

**COMMERCIAL**

BD-NR-2019-00075	550 E. Main		2 story-2 unit carriage house with deck bridge	<b>EXPIRED</b>						
BD-NR-2022-00195	101 A' Street		Remodel and addition of Plexis building	<b>Finaled</b>		Blue Marble				
BD-NR-2023-00229	37 N Main		Adding ADA Bathroom for a wedding dress shop	<b>Finaled</b>	6/1/2023	Szanto	Victor/Evye			Verity Const
BD-NR-2023-00230	309 N Pioneer		Bottle drop redemption center - Shipping container	<b>Finaled</b>	5/17/2023	Ashland Food coop				Shostrom Bros
BD-NR-2022-00222	485 A Street		2 story commerical addition - Commercial kitchen/2nd floor bathroom	Issued		Hoxmeier	Steve			
BD-NR-2023-00228/BD-NR-2023-00256	748 Siskiyou		Updated landscaping/driveway approach, park -ADA upgrades (Includes change of use from church to admin)	<b>Issued/BD-NR-2023-00256 Submitted</b>						
	38 E Main		Roll up window at Martollis	<b>Not submitted yet</b>						

**CIVIC**


**INDIVIDUAL**

**EMAIL FROM REGINA AYERS**

## Historic Preservation Advisory Committee Contact Form Submitted

City of Ashland, Oregon <administration@ashland.or.us>

Mon 2024-01-29 01:55 PM

To:planning <planning@ashland.or.us>;Regan Trapp <Regan.Trapp@ashland.or.us>

[EXTERNAL SENDER]

\*\*\* FORM FIELD DATA\*\*\*

Full Name: **Regina Ayars**

Phone: **541-941-8627**

Email: **reginariley@jeffnet.org**

Subject: **MAP Marking Ashland Places**

Message: **I took a few minutes this morning to visit the 4 MAP locations on A Street. I saw the article in our City Newsletter insert in our utility bill. This is a collaboration between the Historic and Public Art Committees. I assumed it was exclusively the Historical Committee. I will also send this to the Public Arts Committee. Having the graphic along with verbiage helped me visualize what it might have looked like decades ago. I want to see more MAPs. Thank you.**

Attachment 1 file:

Attachment 2 file:

Attachment 3 file:

\*\*\* USER INFORMATION \*\*\*

SubscriberID: **-1**

SubscriberUserName:

SubscriberEmail:

RemoteAddress: **66.241.70.76**

RemoteHost: **66.241.70.76**

RemoteUser:

# **ALICE PEIL WALKWAY APPLICATION**



## NOTICE OF APPLICATION

**PLANNING ACTION:** PA-T1-2024-00223

**SUBJECT PROPERTY:** 51 Winburn Way

**OWNER/APPLICANT:** Department of Public Works/City of Ashland

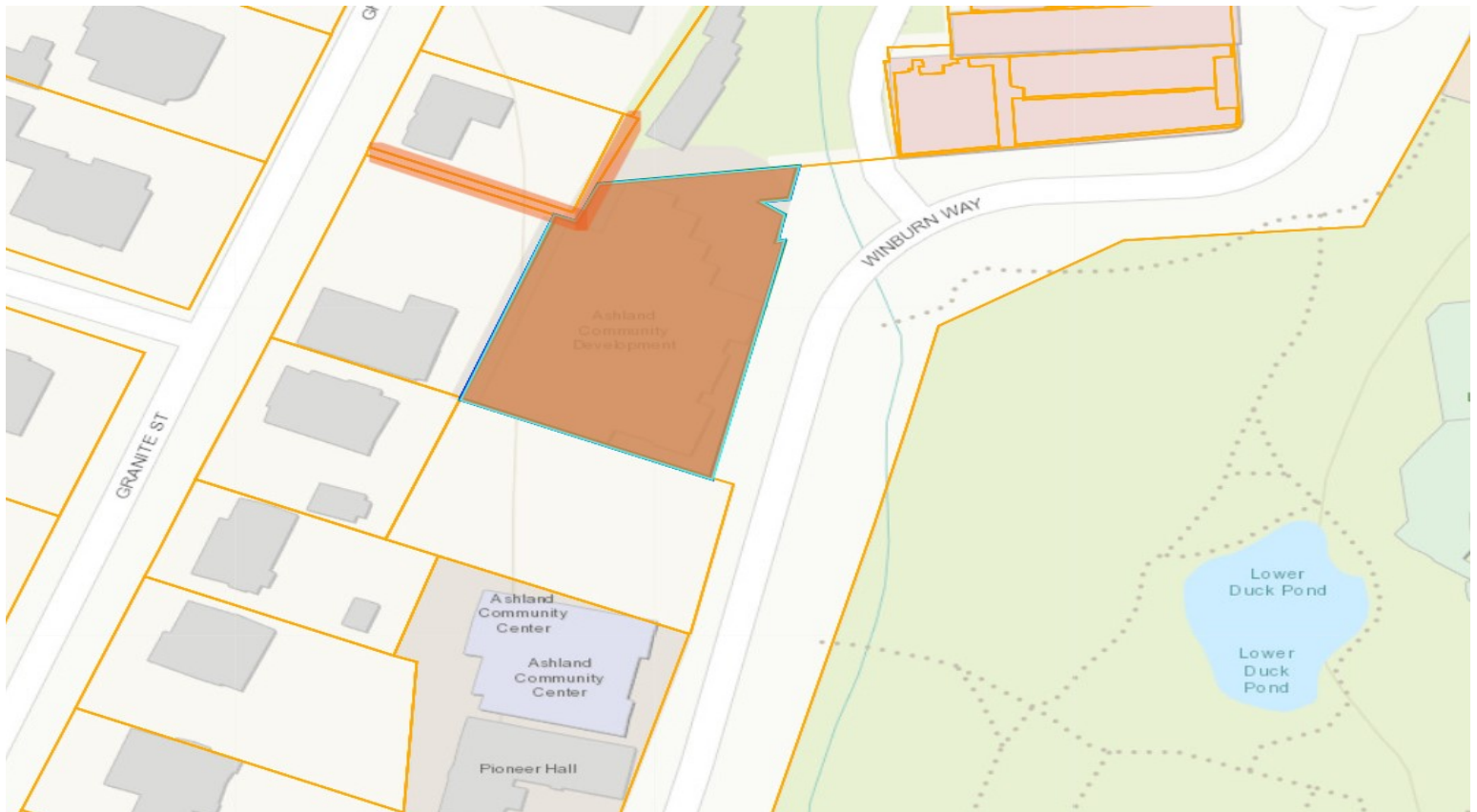
**DESCRIPTION:** A request for Site Design Review approval to replace the 'Alice Applegate Peil Walkway' stairs behind the Community Development & Engineering Services Building at 51 Winburn Way. These stairs provide a pedestrian connection from Granite Street to the downtown plaza. **COMPREHENSIVE PLAN**

**DESIGNATION:** Commercial Downtown and Single Family Residential; **ZONING:** C-1-D & R-1-7.5; **MAP:** 39 1E 09 BB; **TAX LOT:** 14800 & 7100

**NOTE:** The Ashland Historic Commission will review this Planning Action on **Wednesday, February 7<sup>th</sup>, 2024, at 5:00 PM** at 51 Winburn Way.

**NOTICE OF COMPLETE APPLICATION:** January 30, 2024

**DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS:** February 13, 2024



### COMMUNITY DEVELOPMENT DEPARTMENT

51 Winburn Way  
Ashland, Oregon 97520  
[ashland.or.us](http://ashland.or.us)

Tel: 541.488.5305  
Fax: 541.552.2050  
TTY: 800.735.2900

The Ashland Planning Division Staff has received a complete application for the property noted on Page 1 of this notice.

A copy of the application, including all documents, evidence and applicable criteria are available online at “What’s Happening in my City” at <https://gis.ashland.or.us/developmentproposals/>. Copies of application materials will be provided at reasonable cost, if requested. Application materials may be requested to be reviewed in-person at the Ashland Community Development & Engineering Services Building, 51 Winburn Way, via a pre-arranged appointment by calling (541) 488-5305 or emailing [planning@ashland.or.us](mailto:planning@ashland.or.us).

Any affected property owner or resident has a right to submit written comments within the 14-day comment period to [planning@ashland.or.us](mailto:planning@ashland.or.us) or to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown on Page 1.

Ashland Planning Division Staff determine if a land use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting the application. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff’s decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.5.1.050.G)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

If you have questions or comments concerning this request, please feel free to contact Derek Severson at [derek.severson@ashland.or.us](mailto:derek.severson@ashland.or.us) or 541-488-5305.

In compliance with the American with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Administrator’s office at 541-488-6002 (TTY phone number 1-800-735-2900). Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting. (28 CFR 35.102.-35.104 ADA Title I).

## SITE DESIGN AND USE STANDARDS

### 18.5.2.050

The following criteria shall be used to approve or deny an application:

- A. **Underlying Zone:** The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.
- B. **Overlay Zones:** The proposal complies with applicable overlay zone requirements (part 18.3).
- C. **Site Development and Design Standards:** The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.
- D. **City Facilities:** The proposal complies with the applicable standards in section 18.4.6 Public Facilities and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property and adequate transportation can and will be provided to the subject property.
- E. **Exception to the Site Development and Design Standards:** The approval authority may approve exceptions to the Site Development and Design Standards of part 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.
  1. There is a demonstrable difficulty meeting the specific requirements of the Site Development and Design Standards due to a unique or unusual aspect of an existing structure or the proposed use of a site; and approval of the exception will not substantially negatively impact adjacent properties; and approval of the exception is consistent with the stated purpose of the Site Development and Design; and the exception requested is the minimum which would alleviate the difficulty.; or
  2. There is no demonstrable difficulty in meeting the specific requirements, but granting the exception will result in a design that equally or better achieves the stated purpose of the Site Development and Design Standards.

## **COMMUNITY DEVELOPMENT DEPARTMENT**

51 Winburn Way  
Ashland, Oregon 97520  
[ashland.or.us](http://ashland.or.us)

Tel: 541.488.5305  
Fax: 541.552.2050  
TTY: 800.735.2900



## **Findings of Fact**

### **I. Project Summary**

- A. **Property Description and Location:** The stairway is located on tax lot #7,100, Map Number 39 1E 09BB and tax lot 14,800, Map Number 39 1E 09BB, addressed 51 Winburn Way. Both lots are owned by the City of Ashland and serve as public facilities. The properties are zoned C-1-D and R-2-7.5 respectively. Work is proposed to occur primarily within the C-1-D zone. Known locally as the Alice Peil Walkway, the Alice Applegate Peil Walkway, is a Historic Contributing resource in a historic district listed on the National Register of Historic Places.
- B. **Proposed Project Scope and Description: Replace existing steel stairway with new steel and fiberglass stairway. The project scope includes the following:**
1. Remove existing metal steel stairway.
  2. Remove some existing pavement and concrete footings (to accommodate new stairway).
  3. Remove and replace existing lighting.
  4. Remove/Reroute existing electrical cable and associated conduit and boxes to accommodate new stairway.
  5. Install new foundation footings and pavement.
  6. Install new stairway
    - a. New stairway frame and rails to be metal with fiberglass grating (for tread).
    - b. New stairway design to meet updated design requirements for stairs, to include handrails on both sides of stair and appropriate stairway width and handrail design.
  7. Existing bicycle rack to remain.
  8. Erosion control measures to be installed and maintained as appropriate to site.
- C. **Primary Requirements of this proposal:** Meet the City's Commercial Site Design Review Standards in Ashland Municipal Code (AMC) 18.5.2.050 and AMC 18.2.050 for Historic District Design Standards and Approval Criteria.

### **II. Approval Criteria and Standards**

#### **18.5.2.020 Site Design Review**

Site Design Review is required for this proposal per AMC 18.5.2.020.4, for any exterior change, including installation of Public Art, to a structure which is listed on the National Register of Historic Places, or to a contributing property within an Historic District on the National Register of Historic Places that requires a building permit.

The following addresses the criteria and standards, as applicable, from Ashland Municipal Code (AMC) 18.5.2.050 for Site Design Review approval in a commercial zone.

Note, the applicable criteria and standards are largely focused on building design and site planning to create a pedestrian scale streetscape. This proposal is limited to replacement only with slight modifications that are not visible from the street and does not involve utilities. Therefore, the standards will be narrowly focused to its applicability.

- A. **Underlying Zone.** The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.

The property is zoned Commercial Downtown (C-1-D). The Alice Peil Walkway is an existing structure, and the proposal is to replace the stairway using like materials, in the same location, height, and configuration.

- B. **Overlay Zones.** The proposal complies with applicable overlay zone requirements (part [18.3](#)).
- 1) **Detail Site Design Review:** A portion of the property is in detailed site design review overlay. The standards in the detail site design review overlay are tailored to buildings. This stairway structure is replacing an existing structure, and as proposed will retain the orientation and scale of the original stairway.
  - 2) **Historic District:** The property is in the Skidmore Historic District overlay. Any changes to the exterior of existing structures are subject to the Historic District Design Standards in AMC 18.4.2.050.
    - a. **Replacement of Existing Stairway:** As shown in the drawings, the new and old stairway share the same entrance and exit points, the same height, and the same general configuration (with a landing mid-point). They will also be built primarily of the same material (steel). The Historic Review Board reviewed the proposal on January 4<sup>th</sup> 2024 and had no substantial comments regarding the color of the coating and supported black as an option. As black matches the color of other handrails and fences in the area it is the proposed color for the stairs. Changes have been made to bring the stairway into compliance with modern building code in regard to tread width and handrail design. In addition, the tread material has been changed from metal to fiberglass to provide better traction and a longer service life. Given the frequent use of the stairs and the demographic of the population using them such changes seem warranted given their minimal impact on the historical significance of the stairs as a conveyance from Granite street to the Ashland plaza and their benefits in use and maintenance.
    - b. **Historic District Design Standards AMC 18.4.2.050.B:** Items below pertain to the

applicable Historic District design standards. These standards are based on buildings within the Historic District and all items may not apply to the stairway structure.

- i. **Height:** The height of the new and old stairway is identical with the same entrance and exit locations and corresponding elevations.
  - ii. **Scale:** The new stairway is wider than the existing stairs to bring the stairs into compliance with modern design and to better allow passage of people travelling in opposite directions.
  - iii. **Materials:** The existing stairway is constructed of steel. The replacement stairway is to be constructed of steel with fiberglass treads for better traction and durability. The asphalt under the existing stairway and sections of concrete will be replaced with in kind materials.
  - iv. **Mass:** The masses of the new and existing stairways are similar. The new stair replicates the support structure and path of the existing stairway. The new stairway is however wider and has also been moved away from the retaining wall so that both sides now have handrails. The existing stairway made use of the retaining wall as a barrier on one side which did not provide for a handrail or even surface. It also placed the stairway directly within the growth area for the ivy along the wall which was not ideal from a pedestrian standpoint.
  - v. **Base or Platform:** The new stairway shares the same entrance and exit points as the existing and while minor modifications will be made to these platforms, physically the aesthetic will be nearly identical.
  - vi. **Exterior Materials:** The new stair will maintain the metal material of the existing stair while pulling in design element from the existing metal fence material along Ashland Creek. This will include the use of vertical pickets. It is proposed that the stairway be painted black to match other fences and rails in the area rather than the silver/grey color of the existing stairs.
- c. **Historic District Design Standards AMC 18.4.2.050.C.2 (items b and I):** The purpose and intent of the Historic District Design Standards are to preserve the historic integrity of Ashland's Historic District. Under the applicability of AMC 18.4.2.050.A.2, a Type I land use action involving restoration, rehabilitation, or modification requires that the design match the standards. The standards in this chapter mostly relate to buildings, however, staff determined during the Pre-Application Conference that the following rehabilitation standards in AMC 18.4.2.050.C should be addressed in the application for the existing and proposed replacement stairway:

(item b). Original architectural features shall be restored as much as possible when those features can be documented.

The preliminary site plans show that the proposed stairway will be designed and oriented to look like the original stairs, using similar materials with more durability. The visual outline from multiple perspectives will be maintained including a landing at mid-point, stairway entrance and exit location and direction as well as the truss system design and locations supporting the stairway.

(item l). The latest version of the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings shall be used in clarifying and determining whether the above standards are met.

It should be noted that the guideline referenced above is primarily focused on historic buildings. In the instance of the Alice Peil stairway the design has sought to achieve similarity in material and visual outline of the stairway while making minor modifications to material and physical dimensions where such changes could be made with minor impact to the overall look of the stairway while providing significant improvements in useability and function. The existing stairway was installed to serve a purpose, the conveyance of people from Granite Street to the Ashland Plaza (starting with its namesake, Alice Peil). Appearances suggest that the current stairway design was based primarily on utility and not aesthetics. In restoring the purpose of the existing stairway while bringing the design into compliance with modern design code, the original intent of the stairway is maintained.

- 3) **National Listing:** The Alice Applegate Peil Walkway steel stairway is a listed historic contributing structure on the National Register of Historic Places.

Public Works staff contacted the State Historic Preservation Office (SHPO) by phone in November of 2023 and it was confirmed with Mary Beth Grover that SHPO had no comments on the stairway replacement.

- D. City Facilities.** The proposal complies with the applicable standards in section [18.4.6](#) Public Facilities, and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property, and adequate transportation can and will be provided to the subject property.
- E. Exception to the Site Development and Design Standards.** The approval authority may approve exceptions to the Site Development and Design Standards of part [18.4](#) if the circumstances in either subsection 1 or 2, below, are found to exist.
- 1) There is a demonstrable difficulty meeting the specific requirements of the Site Development and Design Standards due to a unique or unusual aspect of an existing structure or the proposed use of a site; and approval of the exception will not substantially

- negatively impact adjacent properties; and approval of the exception is consistent with the stated purpose of the Site Development and Design; and the exception requested is the minimum which would alleviate the difficulty.; or
- 2) There is no demonstrable difficulty in meeting the specific requirements, but granting the exception will result in a design that equally or better achieves the stated purpose of the Site Development and Design Standards.

### **III. Notifications**

As the Alice Peil stairway is frequently used by both tourists and Ashland residents, additional notifications will be required to mitigate the closure of the stairs during construction. Four weeks prior to closure, notification boards will be left at the bottom and top of the stairs providing information on timing and length of the closure and providing directions to alternative routes. In addition, notification will be included within periodic city issued documents and possibly on the City website (if deemed appropriate).

### **IV. Conclusion**

Based on the findings of fact and conclusions, the application is consistent with the requirements of all of the relevant substantive approval criteria for Site Design Review, AMC 18.5.2.050 and applicable standards outlined in the Historic District Design Standards, AMC 18.4.2.050 which have been addressed above.

Site Design Review and Historic District Design Standards  
51 Winburn Way  
Applicant/Owner: City of Ashland Public Works

**Photo 1:** Example stairway sharing many design details of proposed new stairway (Note that mesh fencing is replaced with pickets in proposed design).



**Photo 2:** Existing stairway from similar perspective as above









45 Hawthorne Street, Suite 5, Medford, Oregon 97504 | 541-550-8588

CITY OF ASHLAND
20 EAST MAIN STREET
ASHLAND, OR 97520

ALICE PEIL
STEEL STAIRWAY



Table with 2 columns: REVISION ID, DATE. Includes project details: PROJECT NO: M-0287-21, DRAWN: MRL, CHECKED: LGG, DATE: 11-10-23

CIVIL NOTES

C0.1

100% CONSTRUCTION DOCUMENTS

SPECIAL CONCRETE NOTES:

THE FOLLOWING NOTES APPLY TO ALL PROJECT CONCRETE. CERTAIN NOTES MAY NOT BE APPLICABLE. CONTACT THE ENGINEER OF RECORD FOR CLARIFICATION AS REQUIRED.

- 1. PERFORM WORK IN ACCORDANCE WITH ACI 301 AND ACI 318. FOLLOW RECOMMENDATIONS OF ACI 305R WHEN CONCRETING DURING HOT WEATHER AND ACI 306R WHEN CONCRETING DURING COLD WEATHER. PLACE CONCRETE IN ACCORDANCE WITH ACI 304R. ENSURE REINFORCEMENT, INSERTS, EMBEDDED PARTS, FORMED JOINTS ARE NOT DISTURBED DURING CONCRETE PLACEMENT. PLACE CONCRETE CONTINUOUSLY OVER THE FULL WIDTH OF THE PANEL AND BETWEEN PREDETERMINED CONSTRUCTION JOINTS.
2. ALL CONCRETE SHALL BE PLACED OVER 4" MINIMUM LAYER (UNLESS NOTED OTHERWISE) OF APPROVED 3/4" MINUS ODDT SPEC CRUSHED ROCK COMPACTED TO 95% AASHTO T-99 OVER APPROVED COMPACTED (ASTM D698) STRUCTURAL FILL AS REQUIRED FOR GRADE OVER FIRM, UNDISTURBED, NON-ORGANIC NATIVE MATERIAL. THE EXISTING SITE SHALL BE CLEARED AND GRUBBED OF ALL ORGANIC AND/OR EXPANSIVE MATERIAL PRIOR TO STRUCTURAL FILL IMPORT
3. ALL BACKFILL SHALL BE NON-ORGANIC, NON-EXPANSIVE GRANULAR MATERIAL COMPACTED TO 95% PROCTOR
4. PLACE AND SECURE FORMS TO CORRECT LOCATION, DIMENSION, PROFILE, AND GRADIENT. ASSEMBLE FORMWORK TO PERMIT EASY STRIPPING AND DISMANTLING WITHOUT DAMAGING CONCRETE. PLACE JOINT FILLER VERTICAL IN POSITION, IN STRAIGHT LINES. SECURE TO FORMWORK DURING CONCRETE PLACEMENT. HOLD TOP OF PRE-MOLDED JOINT FILLER DOWN 1/2" AND SEAL UPPER 3/8" WITH APPROVED JOINT SEAL MATERIAL.
5. NO HORIZONTAL CONSTRUCTION JOINTS PERMITTED
6. MAXIMUM VARIATION OF SURFACE FLATNESS SHALL NOT EXCEED 1/4 INCH IN 10 FT AND MAXIMUM VARIATION FROM TRUE POSITION SHALL NOT EXCEED 1/4 INCH
7. IMMEDIATELY AFTER PLACEMENT, PROTECT PAVEMENT FROM PREMATURE DRYING, EXCESSIVE HOT OR COLD TEMPERATURES, AND MECHANICAL INJURY. DO NOT PERMIT PEDESTRIAN TRAFFIC OVER PAVEMENT FOR 7 DAYS MINIMUM AFTER FINISHING.
8. FINISH AS FOLLOWS:
A. SIDEWALK PAVING: LIGHT BROOM, TEXTURE PERPENDICULAR TO DIRECTION OF TRAVEL WITH TROWELED AND RADIUSSED EDGE 1/2 INCH RADIUS
B. PLACE CURING COMPOUND ON EXPOSED CONCRETE SURFACES IMMEDIATELY AFTER FINISHING. APPLY IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

SITE PREPARATION NOTES:

- CLEARING AND GRUBBING -
1. REFER TO STRUCTURAL (FOOTING) PLANS FOR SPECIFIC SOIL EXCAVATION AND BACKFILL REQUIREMENTS RELATED TO STAIRCASE.
2. ALL AREAS BELOW NEW PAVEMENT SHALL BE CLEARED AND GRUBBED OF ALL PAVEMENT, FOREIGN MATTER, DEBRIS, ORGANIC AND DISTURBED MATERIAL. (U.N.O.) STRIPPING DEPTHS WILL VARY DEPENDING ON LOCATION AND PAVEMENT SECTION REQUIREMENTS. ALL EXPOSED MATERIAL SHALL BE MOISTURE CONDITIONED TO WITHIN 2% OF OPTIMUM PRIOR TO PLACEMENT OF FILL MATERIAL DESCRIBED BELOW.
3. ALL CLEARED AND GRUBBED MATERIAL NOT UTILIZED FOR THE PROJECT SHALL BE REMOVED FROM THE CONSTRUCTION SITE. CONTRACTOR SHALL COORDINATE APPROVED DISPOSAL LOCATION.
4. ALL HOLES, DEPRESSIONS, AND UNDISTURBED NATIVE MATERIAL SHALL BE CLEARED OF ALL LOOSE AND ORGANIC MATERIAL PRIOR TO BACKFILLING WITH APPROVED STRUCTURAL FILL.
5. AFTER CLEARING THE ABOVE MENTIONED AREAS, ALL EXPOSED SUB-GRADE SHALL BE PROOF ROLLED WITH A HEAVY NON-VIBRATORY ROLLER. SOILS SHALL BE REMOVED AND RECOMPACTED OR REPLACED WITH APPROVED IMPORTED STRUCTURAL FILL IF THEY DO NOT DEMONSTRATE A FIRM, UNYIELDING CONDITION. CIVIL ENGINEER OF RECORD SHALL APPROVE SUB-GRADE SURFACE PRIOR TO STRUCTURAL FILL IMPORT EXPLAINED BELOW.
STRUCTURAL FILL PLACEMENT AND COMPACTION -
6. APPROVED STRUCTURAL FILL SHALL BE IMPORTED AND PLACED BENEATH AREAS RECEIVING CONCRETE PAVEMENT.
7. STRUCTURAL FILL MATERIALS SHALL BE APPROVED BY THE CIVIL ENGINEER OF RECORD PRIOR TO IMPORTING. ALL FILL SHALL BE FREE OF ORGANIC AND EXPANSIVE CLAY MATERIAL. ALL BASE ROCK SHALL CONFORM TO THE SPECIFICATIONS IDENTIFIED IN THE PLAN SET.
8. STRUCTURAL FILL PLACEMENT LIFTS TO BE DETERMINED BY THE CIVIL ENGINEER OF RECORD BASED ON MATERIAL PROPERTIES AND TYPE OF COMPACTION EQUIPMENT USED. BASE ROCK PLACEMENT LIFTS SHALL NOT EXCEED 2". EACH LIFT SHALL BE NEARLY EQUAL IN THICKNESS AND COMPACTED TO A MINIMUM OF 95% OF ASTM D698. FILLS SHALL BE PLACED AT OR SLIGHTLY ABOVE THEIR OPTIMUM MOISTURE CONTENT.

GENERAL CIVIL NOTES:

- 1. ALL WORK AND MATERIALS SHALL CONFORM TO THE 2021 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT OREGON PLUMBING SPECIALTY CODE, AND ALL APPLICABLE STATE, CITY, AND COUNTY REGULATIONS AND STANDARDS. CONTACT ENGINEER FOR DIRECTIVE IN THE EVENT OF CONFLICTING STANDARDS.
2. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COORDINATED WITH THE GOVERNING AGENCY'S INSPECTOR AND SHALL CONFORM TO THAT AGENCY'S CURRENT ENGINEERING STANDARD SPECIFICATIONS AND DETAILS.
3. THE GENERAL CONTRACTOR AND ALL THEIR AFFILIATES SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND LOCATIONS PRIOR TO CONSTRUCTION. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. ALL CONSTRUCTION STAKING, GRADE SURVEYING, AND HORIZONTAL LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF OREGON; COORDINATE WITH ENGINEER PRIOR TO CONSTRUCTION.
5. ALL EXISTING UTILITIES IDENTIFIED IN THIS PLAN SET ARE NOT INTENDED TO BE EXACT OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ALL UTILITIES AND PROTECT AS REQUIRED DURING THE COURSE OF CONSTRUCTION. CALL THE "OREGON UTILITY NOTIFICATION CENTER" AT 1-800-332-2344 TO LOCATE EXISTING UTILITIES, 48 HOURS BEFORE DIGGING.
6. CONTRACTOR SHALL NOTIFY ALL APPLICABLE REGULATORY AGENCIES AND UTILITY COMPANIES 48 HOURS PRIOR TO BEGINNING WORK.
7. ALL EXCAVATION, TRENCH BACK FILL, PARKING LOT/ROAD SUB-GRADE, FLAT WORK SUB-GRADE, COMPACTION REQUIREMENTS, ETC. SHALL BE AS NOTED IN THE SITE PREPARATION NOTES.
8. ALL BASE ROCK PLACED UNDER PAVEMENT AND IN UTILITY TRENCHES SHALL CONFORM TO THE 2021 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION.
9. ALL ASPHALT CONCRETE AND PORTLAND CEMENT CONCRETE PAVEMENT AND ITS PLACEMENT SHALL CONFORM TO THE 2021 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION.
10. ALL SITE CONCRETE SHALL BE fc = 3,500 psi @ 28 DAYS, 6% ENTRAINED AIR, 4" SLUMP (UNLESS NOTED OTHERWISE).
11. ALL UTILITY SERVICES SHALL BE INSTALLED PER THE RESPECTIVE UTILITY CODES AND STANDARDS.
12. ALL UTILITIES SHALL HAVE A MINIMUM COVER AS IDENTIFIED IN THE PLAN SET OR AS OTHERWISE SPECIFIED BY THE RESPECTIVE UTILITY COMPANY.
13. ALL SERVICES SHALL BE ADEQUATELY MARKED AS TO IDENTIFY THE SIZE, TYPE, AND DEPTH OF THE SERVICE. CONTRACTOR TO PROVIDE LOCATE WIRE/TAPE AS REQUIRED BY THE APPLICABLE AGENCIES.
14. ALL SERVICES AND SLEEVES SHALL BE PLUGGED AS REQUIRED TO ENSURE THAT NO FOREIGN MATERIALS ENTER THE LINE.
15. POWER LINES SHALL BE INSTALLED BASED ON THE PLANS AND SPECIFICATIONS PROVIDED BY PACIFICORP. APPROXIMATE UTILITY LOCATIONS HAVE BEEN PROVIDED ON THIS PLAN SET AS A REFERENCE. CONTRACTOR SHALL COORDINATE TRENCH EXCAVATIONS, CONDUIT INSTALLATIONS, BEDDING, BACKFILLING, AND INSPECTION REQUIREMENTS WITH THE APPROPRIATE UTILITY REPRESENTATIVES.
16. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AN AS-BUILT DRAWING OF ALL UTILITY SERVICE INSTALLATIONS INCLUDING THE SERVICE SIZE, TYPE, DEPTH OF MAIN, TYPE OF CONNECTION AT MAIN, INSTALLATION DATE, LOCATION, AND SKETCH (AS APPLICABLE).
17. CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. COORDINATE WITH THE ENGINEER PRIOR TO CONSTRUCTION TO IDENTIFY PERMIT REQUIREMENTS.
18. CONTRACTOR SHALL PROVIDE ENGINEER WITH SHOP DRAWING SUBMITTALS ON ALL PERMANENTLY INSTALLED MANUFACTURED ITEMS.
19. ALL UNDERGROUND PIPING, CONDUIT AND OTHER UTILITIES SHALL BE INSTALLED PER DETAIL 3 ON SHEET C4.0 (OR AS OTHERWISE SPECIFIED BY PIPE MANUFACTURER). NOTIFY ENGINEER IN EVENT OF DISCREPANCIES.
20. ALL TEMPORARY PROTECTION AND DIRECTION OF TRAFFIC SHALL BE BY THE CONTRACTOR AND CONFORM WITH BOTH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE ODOT MANUAL ON SHORT TERM TRAFFIC CONTROL (AS APPLICABLE).
21. SEE PLAN SET FOR ADDITIONAL INFORMATION.

UTILITY STATEMENT:

EXISTING UNDERGROUND UTILITIES ILLUSTRATED IN THESE PLANS ARE APPROXIMATED BASED ON MAPS OBTAINED FROM THE CITY OF ASHLAND PUBLIC WORKS FILES. LAYOUT INDICATED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. ALL LINES WITHIN PROJECTED WORK ZONE SHALL BE FIELD VERIFIED AS REQUIRED PRIOR TO CONSTRUCTION.

RESTORATION STATEMENT:

CONTRACTOR SHALL RESTORE BACK TO ORIGINAL CONDITION PRIOR TO CONTRACT COMPLETION. ALL DISTURBED SURFACES IMPACTED DURING CONSTRUCTION, THIS INCLUDES, BUT IS NOT LIMITED TO, CONSTRUCTION ACCESS, SIDEWALKS, CURBS, ASPHALT, LAWN AND LANDSCAPE AREAS, ETC. DISTURBED AREAS TO BE GRADED SMOOTH AND ADEQUATELY SLOPED TO DRAIN. AREA SHALL BE CLEAN AND FINISH GRADED BEFORE FINAL DEMOBILIZATION. COORDINATE WITH ENGINEER AND OWNER AT THE TIME OF PROJECT CONSTRUCTION COMPLETION.

EROSION CONTROL NOTE:

DRAWING C1.0 CONTAINS AN EROSION AND SEDIMENT CONTROL PLAN THAT MUST BE IMPLEMENTED PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. THE INFORMATION CONTAINED WITHIN THE REFERENCED DRAWINGS SHALL BE CONSIDERED A MINIMUM AND SHALL BE MODIFIED AS REQUIRED BY THE CONTRACTOR AND CITY OF ASHLAND INSPECTOR, TO CONTAIN ALL SEDIMENT ON SITE. SPECIAL ATTENTION SHALL BE TAKEN AT ALL EXISTING STORM DRAIN CATCH BASINS AND STORM DRAIN CHANNELS AS TO ELIMINATE ANY SEDIMENT TRANSFER INTO THE EXISTING STORM DRAIN SYSTEM.

AN ALL WEATHER ROCK SURFACE SHALL BE PROVIDED AT ALL CONSTRUCTION SITE ENTRANCES. CONTRACTOR MAY ELECT TO USE EXISTING GRAVEL PAVING, AC PAVING, ETC. (IF ACCEPTABLE TO CITY OF ASHLAND INSPECTOR). ALL CONSTRUCTION SHALL BE MAINTAINED WITHIN THE DEVELOPMENT LIMITS OF THIS PHASE. REFER TO DRAWING C1.0 FOR ADDITIONAL INFORMATION.

SPILL PREVENTION AND CONTROL PROCEDURES:

- CONSTRUCTION SPECIFICATIONS:
• THE CONTRACTOR SHALL PREPARE A SITE/PROJECT SPECIFIC SPILL RESPONSE PLAN THAT IDENTIFIES THE TYPE AND LOCATION OF PRODUCTS OR WASTES ON THE SITE WITH SPILL POTENTIAL, THE LOCATION OF SPILL CLEANUP MATERIALS, STORM DRAINS OR SENSITIVE AREAS THAT REQUIRE IMMEDIATE RESPONSE, PERSONNEL RESPONSIBLE FOR SPILL RESPONSE AND NOTIFICATIONS, AND SPILL CLEANUP PROCEDURES.
• AVOIDING SPILLS AND LEAKS IS PREFERABLE TO CLEANING THEM UP AFTER THEY OCCUR. HEAVY EQUIPMENT (E.G., BULLDOZERS AND OTHER GRADING EQUIPMENT) AND VEHICLES SHOULD BE INSPECTED DAILY (OR AS OFTEN AS POSSIBLE) FOR LEAKS AND SHOULD BE REPAIRED AS NECESSARY. USE SECONDARY CONTAINMENT AND DRIP PANS FOR VEHICLE FUELING, MAINTENANCE, AND STORAGE (SEE BMP FOR "VEHICLE AND EQUIPMENT FUELING, MAINTENANCE, AND STORAGE."
• DESPITE PRECAUTIONS, SPILLS MAY STILL OCCUR AT THE SITE. SPILLS (OF LIQUID OR DRY MATERIALS) SHOULD NEVER BE CLEANED UP BY HOISING OFF THE AREA. IN THE EVENT THAT SPILLS OCCUR THEY SHOULD BE CONTROLLED AS FOLLOWS:
• ANY FUEL PRODUCTS, LUBRICATING FLUIDS, GREASE OR OTHER PRODUCTS AND/OR WASTE RELEASED FROM VEHICLES, EQUIPMENT, OR OPERATIONS SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH STATE, FEDERAL, AND LOCAL LAWS.
• IF THE SPILL HAS OCCURRED DURING A RAIN EVENT, THE AREA WILL BE COVERED AS QUICKLY AS POSSIBLE. THE SPILL WILL BE CLEANED UP AS SOON AS POSSIBLE DURING OR AFTER CESSATION OF RAIN.
• SPILL CLEANUP MATERIALS WILL BE STORED NEAR POTENTIAL SPILL AREAS (E.G., PAINTING, VEHICLE MAINTENANCE AREAS).
• MINOR SPILLS: MINOR SPILLS TYPICALLY INVOLVE SMALL QUANTITIES OF OIL, GASOLINE, PAINT, ETC. THAT CAN BE CONTROLLED BY THE FIRST RESPONDER AT THE DISCOVERY OF THE SPILL. CONTROL OF MINOR SPILLS INVOLVES:
1. CONTAIN THE SPILL IMMEDIATELY.
2. RECOVER SPILLED MATERIALS (IF POSSIBLE).
3. CLEAN THE CONTAMINATED AREA AND DISPOSE OF CONTAMINATED MATERIALS.
• MEDIUM-SIZED SPILLS:
• MEDIUM-SIZED SPILLS STILL CAN BE CONTROLLED BY THE FIRST RESPONDER, ALONG WITH THE AID OF OTHER PERSONNEL SUCH AS LABORERS, FOREMEN, ETC. THIS RESPONSE MAY REQUIRE THE CESSATION OF OTHER ACTIVITIES. SPILLS SHOULD BE CLEANED UP IMMEDIATELY, AS FOLLOWS:
1. NOTIFY THE PROJECT FOREMAN IMMEDIATELY. THE FOREMAN/SUPERINTENDENT IS RESPONSIBLE FOR ANY NECESSARY NOTIFICATIONS (FIRE DEPARTMENT ETC.).
2. CONTAIN THE SPREAD OF THE SPILL (USING SAND BAGS OR OTHER BARRIERS) IMMEDIATELY.
3. IF THE SPILL HAS OCCURRED ON A PAVED OR IMPERMEABLE SURFACE, CLEAN IT UP USING DRY METHODS (ABSORBENT MATERIALS, AT LITTER, AND/OR RAGS). CONTAIN THE SPILL BY ENCIRCLING IT WITH ABSORBENT MATERIALS.
4. IF THE SPILL HAS OCCURRED ON AN UNPAVED OR PERMEABLE SURFACE, IMMEDIATELY CONTAIN THE SPILL BY CONSTRUCTING AN EARTHEN DIKE. DIG UP AND PROPERLY DISPOSE OF CONTAMINATED SOIL.
5. IF THE SPILL HAS OCCURRED DURING A RAIN EVENT, COVER/CONTAIN THE AREA IF POSSIBLE.

- SIGNIFICANT/HAZARDOUS SPILLS:
• FOR LARGE SPILLS OR SPILLS INVOLVING HAZARDOUS MATERIALS THAT CANNOT BE CONTROLLED BY PROJECT PERSONNEL, THE FOLLOWING STEPS SHOULD BE TAKEN:
1. THE FOREMAN SHOULD NOTIFY THE PROJECT SUPERINTENDENT IMMEDIATELY AND FOLLOW UP WITH A WRITTEN INCIDENT REPORT.
2. THE PROJECT SUPERINTENDENT WILL NOTIFY LOCAL EMERGENCY RESPONSE PERSONNEL BY DIALING 911. IN ADDITION, THE PROJECT SUPERINTENDENT WILL NOTIFY THE APPROPRIATE COUNTY OFFICIALS. IT IS THE PROJECT SUPERINTENDENT'S RESPONSIBILITY TO HAVE ALL OF THE EMERGENCY PHONE NUMBERS AT THE CONSTRUCTION SITE.
3. THE PROJECT SUPERINTENDENT ALSO NOTIFY THE OREGON DEQ.
4. FOR SPILLS OF FEDERAL REPORTABLE QUANTITY (AS ESTABLISHED UNDER 40 CFR PARTS 110, 117, OR 302), THE PROJECT SUPERINTENDENT WILL NOTIFY THE NATIONAL RESPONSE CENTER BY TELEPHONE AT (800) 424-8802 WITHIN 24 HOURS. WITHIN 14 DAYS, THE PROJECT SUPERINTENDENT WILL SUBMIT A WRITTEN DESCRIPTION OF THE RELEASE TO EPA REGION 10, INCLUDING THE DATE AND CIRCUMSTANCES OF THE INCIDENT AND STEPS TAKEN TO PREVENT ANOTHER RELEASE.
5. RETAIN THE SERVICES OF A SPILL CLEANUP CONTRACTOR OR HAZMAT TEAM IMMEDIATELY. CONSTRUCTION PERSONNEL SHOULD NOT ATTEMPT TO CLEAN UP THE SPILL UNTIL THE APPROPRIATE AND QUALIFIED STAFF HAS ARRIVED AT THE SITE.
6. OTHER AGENCIES THAT MAY NEED TO BE CONTACTED INCLUDE THE LOCAL FIRE DEPARTMENT, OREGON DEPARTMENT OF TRANSPORTATION, ETC.

- INSPECTION AND MAINTENANCE:
• INSPECT WORK AND MATERIAL STORAGE AREAS ROUTINELY FOR ADEQUATE CONTAINMENT TO AVOID UNCONTROLLED RELEASES.

FINAL EROSION CONTROL SITE PREPARATION:

ALL DISTURBED SOIL AREAS, INCLUDING R.O.W., SHALL BE TREATED AND SEEDED PER THE FOLLOWING NOTES. SEED COMPOSITION SHALL CONSIST OF A NATIVE GRASS BLEND MATCHING SURROUNDING AREA. GRASS SEED MIXTURE TO BE SUBMITTED FOR REVIEW PRIOR TO APPLICATION.

- 1. ALL FINAL GRADE PREPARATION AND PLANTING/SEEDING SHALL BE COORDINATED WITH THE PROJECT LANDSCAPER AND ENGINEER AT TIME OF CONSTRUCTION.
2. BRING ALL PLANTERBED/SEEDBED AREAS TO FINAL GRADE. REMOVE ALL ROCKS AND DEBRIS, AND SMOOTH SURFACE UNDULATIONS LARGER THAN 2 INCHES.
3. DIVERT CONCENTRATED FLOWS AWAY FROM THE PLANTER/SEEDED AREAS.
4. FOR OPTIMUM PLANTING/SEEDING CONDITIONS PRESERVE TOPSOIL AND STOCKPILE MATERIAL UNTIL FINAL GRADES ARE ESTABLISHED. SPREAD TOP SOIL OVER NEW GRADES. SEE PROJECT LANDSCAPER FOR ADDITIONAL INFORMATION RELATED TO TOPSOIL REQUIREMENTS. ROUGHEN THE SOIL BY HARROWING, TRACKING, GROOVING OR FURROWING.
5. THE SEEDBED SHOULD BE FIRM BUT NOT COMPACT. THE TOP 4.0-6.0 INCHES OF SOIL SHOULD BE LOOSE, MOIST AND FREE OF LARGE CLOUDS AND STONES. VERIFY TOPSOIL REQUIREMENTS WITH LANDSCAPER AT TIME OF CONSTRUCTION.
6. HARROWING, TRACKING OR FURROWING SHOULD BE DONE HORIZONTALLY ACROSS THE FACE OF THE SLOPE, SO RIDGES ARE ALONG THE SLOPE CONTOUR.
7. APPLY SEED AT THE RATES SPECIFIED BY SEED SUPPLIER USING CALIBRATED SEED SPREADERS, CYCLONE SEEDERS, MECHANICAL DRILLS, OR HYDROSEEDER SO THAT SEED IS APPLIED UNIFORMLY ON THE SITE. SEE SEEDING REQUIREMENTS FOR ADDITIONAL INFORMATION TYPICAL.
8. BROADCAST SEED SHOULD BE INCORPORATED INTO THE SOIL BY RAKING OR CHAIN DRAGGING AND THEN LIGHTLY COMPACTED TO PROVIDE GOOD SEED-SOIL CONTACT. SEE SEEDING REQUIREMENTS FOR ADDITIONAL INFORMATION TYPICAL.
9. TO PREVENT SEED FROM BEING WASHED AWAY, CONFIRM INSTALLATION OF ALL REQUIRED SURFACE WATER CONTROL MEASURES.
10. DOUBLE THE RATE OF SEED APPLICATION WHEN SEED IS APPLIED IN A SINGLE APPLICATION. SEE SEEDING REQUIREMENTS FOR ADDITIONAL INFORMATION TYPICAL.

CONCRETE MANAGEMENT:

CONCRETE TRUCKS AND TRANSFER CHUTES SHALL BE WASHED-OUT ON-SITE UTILIZING A CONCRETE WASHOUT TO COLLECT ALL WASH WATER AND CONCRETE WASTE. THE WASHOUT AREA WILL BE LOCATED AWAY FROM STORM DRAINS, OPEN DITCHES OR WATER BODIES. SIGNS WILL BE POSTED THROUGHOUT THE JOBSITE, DIRECTING CREWS AND CONCRETE TRUCKS TO CONCRETE WASHOUTS. UPON COMPLETION OF THE CONCRETE WORK, THE CONTRACTOR SHALL BREAK UP, REMOVE, AND HAUL AWAY OR REUSE ON SITE SLOD CONCRETE THAT HAS ACCUMULATED IN THE WASHOUT.

CONSTRUCTION SPECIFICATIONS:

- MATERIAL USE:
• INSTALL STORM DRAIN PROTECTION AT ANY DOWN-GRADIENT INLETS THAT MAY BE IMPACTED BY THE ACTIVITY. SEE THE BMP ON "STORM DRAIN INLET PROTECTION."
• DO NOT PLACE CONCRETE DURING RAIN (PRECIPITATION THAT IS SUFFICIENT TO CAUSE LOCAL RUNOFF) OR WITHIN 18 HOURS OF FORECASTED RAIN.
• PLACE STOPPERS ON CONCRETE TRUCK CHUTES DURING TRAVEL ONSITE TO MANAGE POTENTIAL DRIBBLING OF CONCRETE MATERIAL.
• MINIMIZE AMOUNT OF CURING COMPOUND AND FORM OIL USED AND DO NOT OVERSPRAY ONTO A NON-TARGET SURFACE.
• SANDBLASTING: USE SHROUDS WHERE NECESSARY TO CONTAIN WASTE FROM SANDBLASTING. CONDUCT WORK IN ACCORDANCE WITH APPLICABLE AIR QUALITY STANDARDS. COLLECTED DEBRIS FOR PROPER DISPOSAL ASAP AND PRIOR TO RAIN EVENTS.
• MINIMIZE THE AMOUNT OF WATER USED DURING CORING/DRILLING OR SAW CUTTING. DURING WET CORING OR SAW CUTTING, USE A SHOVEL OR WET VACUUM TO LIFT THE COOLING WATER SLURRY FROM THE PAVEMENT. ADDITIONALLY, IF WET VACUUMING IS NOT ADEQUATE TO CAPTURE WASTEWATER FROM THE ACTIVITY, SAND BAG BARRIERS OR OTHER CONTAINMENT SHALL BE USED.
• IF CONCRETE RESIDUE REMAINS AFTER DRYING, THE AREA SHALL BE SWEEPED UP AND RESIDUE REMOVED TO AVOID CONTACT WITH STORM WATER OR ENTERING A STORM DRAIN OR WATER BODY VIA THE WIND.
• THE SWEEPINGS SHALL BE COLLECTED AND RETURNED TO THE AGGREGATE STOCKPILE OR DISPOSED IN THE TRASH AND NOT WASHED INTO THE STREET OR STORM DRAIN.
• WASHING OF FRESH CONCRETE SHALL BE AVOIDED, UNLESS RUNOFF CAN BE DRAINED TO A BERMED OR LEVEL AREA, AWAY FROM STORM DRAIN INLETS AND CHANNELS.
• ACID WASHING OF CONCRETE SHALL BE MINIMIZED. WHERE REQUIRED, ACID WASH SHALL BE DIRECTED INTO A COLLECTION AREA LINED WITH VISQUEEN. RESIDUALS SHALL BE COLLECTED AND PROPERLY DISPOSED AS HAZARDOUS WASTE.
• HANDLING OF WET CONCRETE, SUCH AS MOVING A PUMPER CHUTE OR TRANSPORTING MATERIAL, IN A WHEELBARRROW FROM THE DELIVERY TRUCK, MUST BE PERFORMED IN A CONTROLLED MANNER TO PREVENT DRIPS AND SPILLS OUTSIDE THE TARGET POUR AREA. MINIMIZE WATER USE.
• CONCRETE DRIPS, SPILLS, OVER POURS, AND EQUIPMENT RINSE WATER LANDING ON RAIN-EXPOSED OUTSIDE OF ANY BMP DEVICE MUST BE COLLECTED AND HAVE THE SURFACE CLEANED AND WASTE DISPOSED OF PROPERLY PRIOR TO THE END OF THE WORKDAY OR BEFORE THE NEXT RAIN EVENT. CONCRETE-LOADED EQUIPMENT IMPLEMENTS (E.G., CRANE BUCKETS) MUST BE STORED ON TOP OF HEAVY MIL PLASTIC UNTIL DRY. USED FORMS THAT ARE NOT IMMEDIATELY PLACED INTO A HAUL TRUCK WHEN REMOVED FROM FOUNDATIONS MUST ALSO BE TEMPORARILY STAGED OVER PLASTIC SHEETING OR AN EQUIVALENT UNTIL RINSED, WIPED, OR DRIED OR UNTIL HAULED OFFSITE.

WASTE MANAGEMENT:

- DO NOT DISCHARGE CONCRETE RESIDUE OR PARTICULATE MATTER INTO A STORM DRAIN INLET OR WATERCOURSE.
• EXCESS CONCRETE SHALL NOT BE DUMPED ON-SITE. THE FOLLOWING OPTIONS SHALL BE USED FOR CONCRETE TRUCK CHUTE AND/OR PUMP AND HOSE WASHOUT:
• CONCRETE WASHOUTS: WASHOUT STATIONS CAN BE A PLASTIC LINED TEMPORARY PIT OR BERMED AREA DESIGNED WITH SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS PLUS ENOUGH CAPACITY FOR RAINWATER. THE DESIGNATED AREA SHALL BE LOCATED AWAY FROM STORM DRAIN INLETS, CATCH BASINS, AND NEW WASHOUTS SHALL BE CONSTRUCTED AS NEEDED TO PROVIDE SUFFICIENT, WASHOUT CAPACITY ON-SITE. WASTES OTHER THAN CONCRETE (I.E., TRASH, PAINT WASTES ETC.) SHALL NOT BE DISPOSED OF IN THE WASHOUT.

INSPECTION AND MAINTENANCE:

- RESPONSIBLE PERSONNEL SHALL ENSURE THAT ALL CONCRETE TRUCK DRIVERS ARE INSTRUCTED ABOUT PROJECT PRACTICES WHEN THE TRUCKS ARRIVE ON SITE.
• CLEAN OUT DESIGNATED WASHOUT AREAS AS NEEDED OR AT A MINIMUM WHEN THE WASHOUT IS 75 PERCENT FULL TO MAINTAIN SUFFICIENT CAPACITY THROUGHOUT THE PROJECT DURATION.
• ANY DESIGNATED ONSITE WASHOUT AREAS SHALL BE CLEANED OUT AND ALL DEBRIS REMOVED UPON PROJECT COMPLETION. DISPOSE OF CONCRETE WASTE ACCORDING TO THE BMP ON "SOLID WASTE MANAGEMENT." INSPECT ROUTINELY, WHEN APPLICABLE ACTIVITIES ARE UNDERWAY TO ENSURE THAT CONCRETE WASHOUT DOES NOT OVERFLOW AND THAT FREEBOARD IS ADEQUATE TO CONTAIN CONCRETE AND RAIN.

EROSION CONTROL

INSPECTION AND MAINTENANCE:

- 1. ALL INSPECTIONS (SITE CONDITIONS AND FREQUENCIES) SHALL CONFORM TO THE "INSPECTION FREQUENCY TABLE" ON THIS SHEET.
2. NEWLY SEEDED AREAS SHALL BE INSPECTED FREQUENTLY TO ENSURE THE GRASS IS GROWING. PROVIDE TEMPORARY IRRIGATION AS REQUIRED TO GERMINATE & ESTABLISH SEED. SEE SEEDING REQUIREMENTS FOR ADDITIONAL INFORMATION TYPICAL.
3. IF SEEDED AREAS ARE DAMAGED DUE TO RUNOFF, ADDITIONAL BMP'S MAY BE NEEDED. RE-SEED DAMAGED AREAS IMMEDIATELY. SEE SEEDING REQUIREMENTS FOR ADDITIONAL INFORMATION TYPICAL.
4. REFER TO CURRENT OREGON/APWA STANDARD SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

ONE INCH EQUALS FULL SCALE

**DEMOLITION, PROTECTION, AND ESC NOTES:**

- GENERAL DEMOLITION AND PROTECTION NOTES:**
- \*\*\* CONTRACTOR SHALL FIELD VERIFY LIMITS OF ASPHALT/CONCRETE/ETC. DEMOLITION AND ADJUST AS REQUIRED.
  - \*\*\* PROVIDE SMOOTH VERTICAL SAWCUT AT ALL EXTERIOR LIMITS OF CONCRETE REMOVAL.
  - \*\*\* UPON MOBILIZATION, CONTRACTOR SHALL POTHOLE EXISTING BURIED UTILITIES AND STRUCTURES (AS INDICATED) TO VERIFY HORIZONTAL AND VERTICAL ALIGNMENT, SIZE, AND MATERIAL.
  - \*\*\* CONTRACTOR SHALL REPORT TO ENGINEER FOR DIRECTION IN EVENT OF DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS.
  - \*\*\* CONTRACTOR SHALL COORDINATE VEHICULAR AND PEDESTRIAN ACCESS REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION.
  - \*\*\* CONTRACTOR SHALL COORDINATE UTILITY SHUTOFF(S) WITH OWNER AND UTILITY PROVIDER 48 HOURS MINIMUM PRIOR TO CONSTRUCTION TO ENSURE MINIMAL SERVICE DISRUPTION DURING OPERATION HOURS.
  - \*\*\* WHERE INDICATED, EXISTING STRUCTURES, HARDSCAPE, AND UTILITIES/APPURTENANCES SHALL BE PROTECTED THROUGHOUT ALL PHASES OF CONSTRUCTION.
- GENERAL EROSION CONTROL NOTES:**
- \*\*\* THESE REQUIREMENTS SHALL BE CONSIDERED A MINIMUM. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS REQUIRED TO FACILITATE CONSTRUCTION. ALL COSTS FOR EROSION CONTROL MEASURES SHALL BE BORN BY THE CONTRACTOR.
  - \*\*\* THIS PLAN HAS BEEN PREPARED TO ADDRESS THE OVERALL PRIMARY EROSION CONTROL MEASURES THAT MUST BE IMPLEMENTED FOR CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST SPECIFIC EROSION CONTROL MEASURES TO ACCOMMODATE FOR ADDITIONAL PHASED CONSTRUCTION. ANY MODIFICATIONS TO THIS PLAN SHALL BE REVIEWED AND APPROVED BY THE AGENCIES HAVING JURISDICTION AND THE PROJECT ENGINEER PRIOR TO COMMENCEMENT OF WORK.

**DEMOLITION AND EROSION CONTROL NOTES:**

1. STEEL STAIRCASE TO BE REMOVED AND RECYCLED. CONTRACTOR TO BREAK UP EXISTING COLUMN FOOTINGS AND REMOVE FOOTINGS AND EXISTING COLUMNS FROM PROJECT SITE. CONTRACTOR MAY ELECT TO CUT TWO SOUTHERNMOST COLUMNS ABOVE MAN GATE AND ABANDON IN PLACE. REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
2. CONCRETE SIDEWALK TO BE REMOVED AND RECYCLED TO ACCOMMODATE SITE IMPROVEMENTS. REFER TO SHEETS C6.1 AND C6.3 PLANS FOR ADDITIONAL INFORMATION.
3. APPROXIMATE LIMITS OF CLEARING AND GRUBBING / GRADING TO ACCOMMODATE NEW SITE IMPROVEMENTS (425-CF).
4. ASPHALT PAVEMENT TO BE REMOVED TO ACCOMMODATE NEW STAIRWAY FOOTINGS. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING GAS METER. USE OF MECHANIZED EXCAVATION EQUIPMENT PROHIBITED WITHIN 5' OF GAS METER. REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
5. SITE LIGHT TO BE REMOVED AND REPLACED.
6. POWER SERVICE TO SITE LIGHT TO BE REROUTED FOR USE WITH NEW SITE LIGHT. SEE SHEET C3.0 FOR ADDITIONAL INFORMATION.
7. FENCING AND POSTS TO BE REMOVED.
8. G.C. TO GRIND AND REMOVE 43" OF EXISTING CONCRETE SIDEWALK FROM BENEATH EXISTING STEEL LANDING TO ACCOMMODATE CONSTRUCTION OF NEW RETAINING WALL CAP. SEE SHEET 3.0 AND DETAIL 5 ON SHEET C4.0 FOR ADDITIONAL INFORMATION. CONTRACTOR TO FIELD VERIFY AND REPORT TO ENGINEER OF RECORD FOR FIELD DIRECTIVE IN EVENT OF DISCREPANCY.
9. FURNISH AND MAINTAIN 'TYPE 3' INLET PROTECTION PER ODOT RD1010 AT ALL CATCH BASINS.
10. EXISTING MATURE IVY TO BE REMOVED. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE UNDERLYING STONE AND MORTAR RETAINING WALL. USE OF MECHANIZED CLIPPERS OR SIMILAR MEANS PROHIBITED.
11. LOCATION OF EXCAVATION BENEATH EXISTING GAS METER TO FACILITATE CONSTRUCTION OF NEW STAIRWAY FOOTING. USE OF MECHANIZED EXCAVATION EQUIPMENT OR SIMILAR MEANS PROHIBITED WITHIN 3' OF GAS METER. REFER TO SHEET C6.1 FOR ADDITIONAL INFORMATION.

**PROTECTION NOTES:**

1. BUILDING TO REMAIN. NO WORK IN THIS AREA.
2. GAS METER TO REMAIN. SYMBOL DEPICTS ACTUAL SIZE.
3. CONCRETE SIDEWALK TO REMAIN.
4. STONE AND MORTAR RETAINING WALL TO REMAIN.
5. CAST IRON DOWNSPOUT TO REMAIN.
6. PAD MOUNTED TRANSFORMER, VAULT, AND MECHANICAL EQUIPMENT TO REMAIN.
7. ELECTRICAL JUNCTION BOX FIXED TO EXISTING STAIRS TO REMAIN. CONTRACTOR TO DESIGN BUILD NEW JUNCTION BOX MOUNTING SYSTEM. REFER TO SHEET C3.0 FOR ADDITIONAL INFORMATION.
8. CATCH BASIN/AREA DRAIN/CLEANOUT TO REMAIN, TYPICAL.
9. FENCING, POSTS, AND GATE TO REMAIN.
10. UNDERGROUND UTILITY TO REMAIN, TYPICAL.
11. APPROXIMATE LOCATION OF PROPERTY LINE, TYPICAL.
12. EXISTING BICYCLE PARKING TO REMAIN.
13. APPROXIMATE LOCATION OF EXPOSED POWER CONDUIT. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE CONDUIT AND MAINTAIN FUNCTIONALITY OF EXISTING SITE LIGHTING.
14. APPROXIMATE LOCATION OF EXISTING SITE LIGHTING TO REMAIN.

**DEMOLITION AND EROSION CONTROL LEGEND:**

- EXISTING ASPHALT PAVING TO BE REMOVED AND RECYCLED
- EXISTING CONCRETE TO BE REMOVED AND RECYCLED
- APPROXIMATE LIMITS OF CLEARING AND GRUBBING
- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO BE REMOVED
- INLET PROTECTION - CATCH BASIN
- LIMITS OF WORK (4630-SF)

PRIVATE RESIDENCE

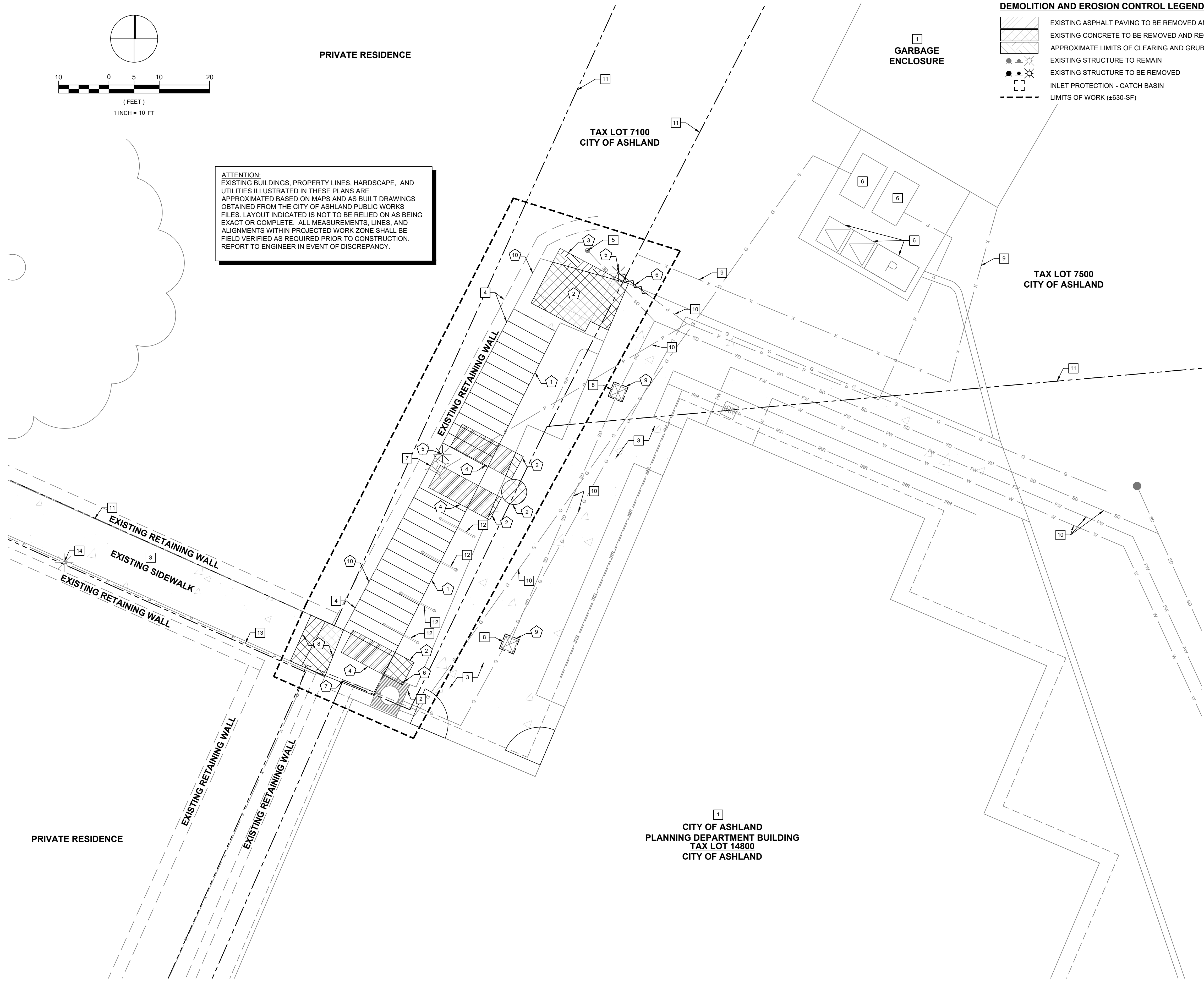
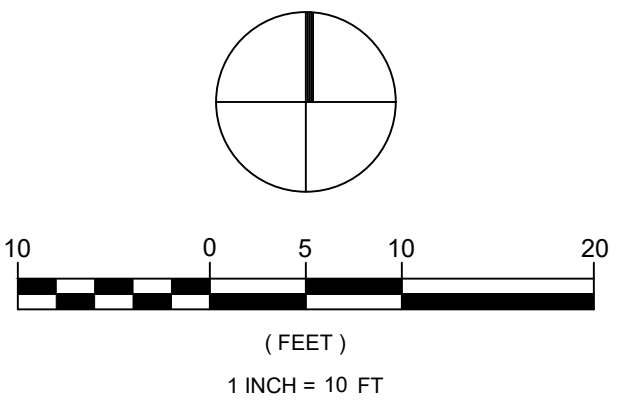
1  
GARBAGE ENCLOSURE

TAX LOT 7100  
CITY OF ASHLAND

TAX LOT 7500  
CITY OF ASHLAND

1  
CITY OF ASHLAND  
PLANNING DEPARTMENT BUILDING  
TAX LOT 14800  
CITY OF ASHLAND

ATTENTION:  
EXISTING BUILDINGS, PROPERTY LINES, HARDSCAPE, AND UTILITIES ILLUSTRATED IN THESE PLANS ARE APPROXIMATED BASED ON MAPS AND AS BUILT DRAWINGS OBTAINED FROM THE CITY OF ASHLAND PUBLIC WORKS FILES. LAYOUT INDICATED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. ALL MEASUREMENTS, LINES, AND ALIGNMENTS WITHIN PROJECTED WORK ZONE SHALL BE FIELD VERIFIED AS REQUIRED PRIOR TO CONSTRUCTION. REPORT TO ENGINEER IN EVENT OF DISCREPANCY.



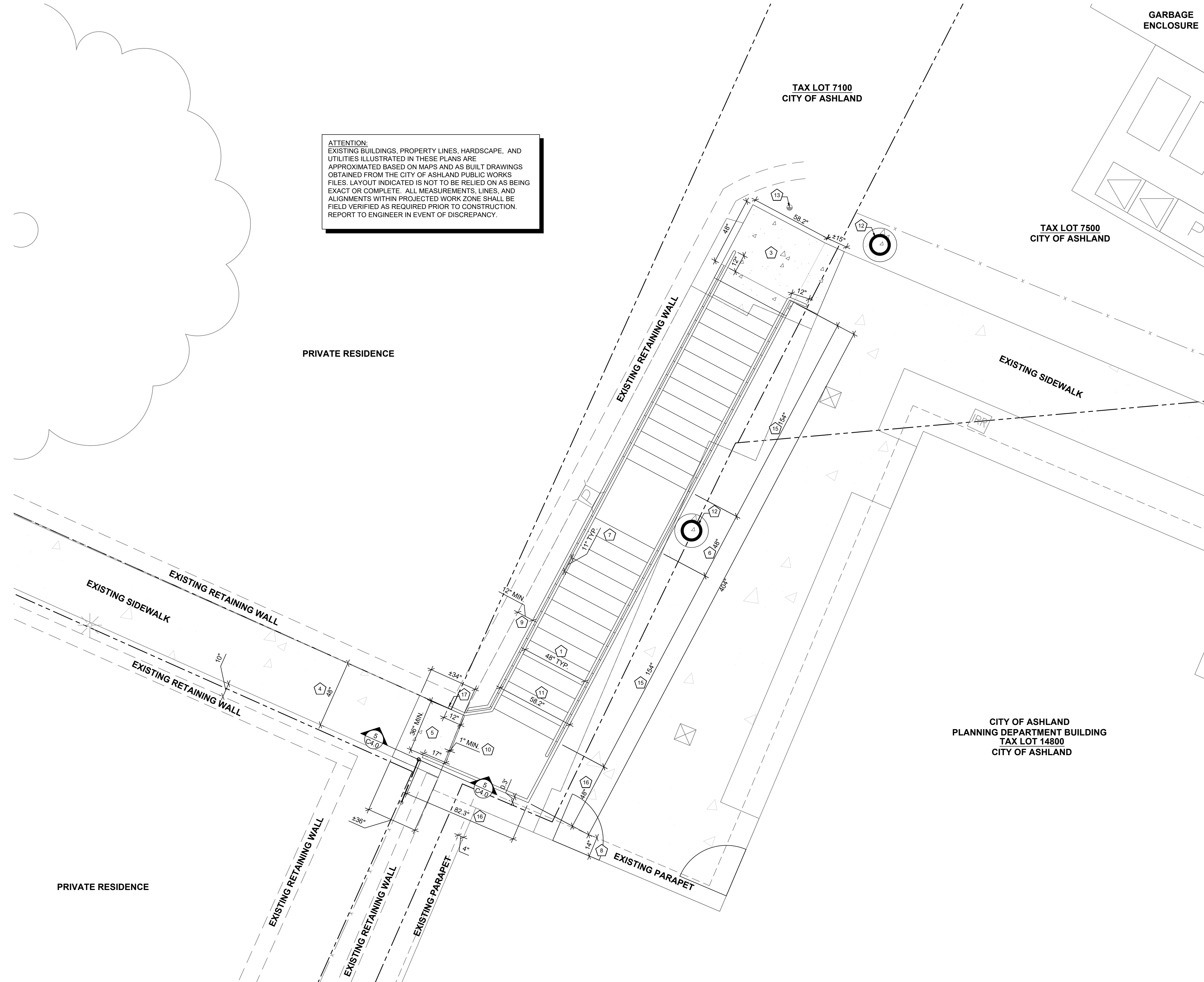
**SITE DIMENSIONING NOTES:**

**GENERAL SITE DIMENSIONING NOTES:**  
\*\*\* CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND NOTIFY ENGINEER OF RECORD IF DISCREPANCIES OCCUR.

**SITE DIMENSIONING NOTES:**

1. CLEAR SPACE BETWEEN HAND RAILINGS. REFER TO STRUCTURAL DRAWINGS FOR ALL INFORMATION.
2. CLEAR SPACE BETWEEN EXISTING PARAPET AND NEW STAIRWAY.
3. NEW STAIRWAY LANDING. REFER TO SHEET C3.0 FOR ADDITIONAL INFORMATION.
4. WIDTH OF EXISTING CONCRETE SIDEWALK.
5. NEW RETAINING WALL CAP. REFER TO SHEET C3.0 FOR ADDITIONAL INFORMATION.
6. LENGTH OF INTERMEDIATE LANDING. REFER TO STRUCTURAL DRAWINGS FOR ALL INFORMATION.
7. CLEAR DEPTH OF STAIRWAY TREAD. REFER TO STRUCTURAL DRAWINGS FOR ALL INFORMATION.
8. LENGTH OF PARAPET OVERHANG FROM FACE OF EXISTING BUILDING.
9. CLEAR SPACE BETWEEN EXISTING RETAINING WALL AND NEW STAIRWAY. G.C TO FIELD VERIFY AND REPORT TO ENGINEER OF RECORD IN EVENT OF DISCREPANCY.
10. GAP BETWEEN NEW RETAINING WALL CAP AND NEW STAIRWAY STRUCTURE. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. G.C TO FIELD VERIFY AND NOTIFY ENGINEER OF RECORD IN EVENT OF DISCREPANCY.
11. OUTSIDE TO OUTSIDE SPACING OF STAIRWAY RUNNERS AND GUARDRAILS.
12. APPROXIMATE LOCATION OF NEW SITE LIGHT. REFER TO C3.0 FOR ADDITIONAL INFORMATION.
13. EXISTING DOWNSPOUT. REFER TO C1.0 FOR ADDITIONAL INFORMATION.
14. NEW FENCING AND POSTS. REFER TO C3.0 FOR ADDITIONAL INFORMATION.
15. HORIZONTAL DISTANCE OF STAIRWAY RUN.
16. LENGTH OF 8' TALL GUARDRAIL.
17. EXTEND GUARDRAIL TO FACE OF EXISTING RETAINING WALL.

**ATTENTION:**  
EXISTING BUILDINGS, PROPERTY LINES, HARDSCAPE, AND UTILITIES ILLUSTRATED IN THESE PLANS ARE APPROXIMATED BASED ON MAPS AND AS BUILT DRAWINGS OBTAINED FROM THE CITY OF ASHLAND PUBLIC WORKS FILES. LAYOUT INDICATED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. ALL MEASUREMENTS, LINES, AND ALIGNMENTS WITHIN PROJECTED WORK ZONE SHALL BE FIELD VERIFIED AS REQUIRED PRIOR TO CONSTRUCTION. REPORT TO ENGINEER IN EVENT OF DISCREPANCY.



CITY OF ASHLAND  
PLANNING DEPARTMENT BUILDING  
TAX LOT 14800  
CITY OF ASHLAND



REVISION ID:	DATE:

PROJECT NO: M-0287-21  
DRAWN: MRL  
CHECKED: LGG  
DATE: 11-10-23

SITE DIMENSIONING  
PLAN

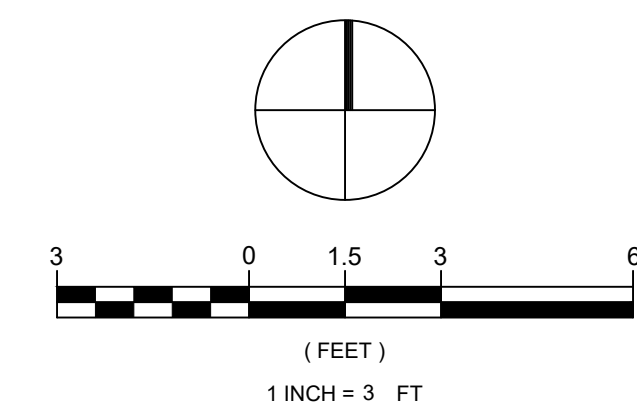
**C2.0**

100% CONSTRUCTION DOCUMENTS

ONE INCH EQUALS FULL SCALE

1 SITE DIMENSIONING PLAN  
C2.0

1"=3'





45 Hawthorne Street, Suite 5, Medford, Oregon 97504 | 541-500-8588

CITY OF ASHLAND  
20 EAST MAIN STREET  
ASHLAND, OR 97520

**ALICE PEIL  
STEEL STAIRWAY**

**SITE IMPROVEMENT NOTES:**

**GENERAL CONSTRUCTION NOTES:**

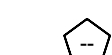
\*\*\* TRANSITION BETWEEN NEW AND EXISTING CONCRETE SHALL BE FLUSH AND FREE FROM ABRUPT CHANGES IN HEIGHT.

\*\*\* STAIRS SHALL BE CONSTRUCTED IN CONFORMANCE WITH CURRENT OSSC STANDARDS. LANDINGS NOT TO EXCEED 2.0% SLOPE.

\*\*\* CONSTRUCT PAVING, STRUCTURES, AND PIPING TO GRADES, ELEVATIONS, AND ALIGNMENTS SHOWN ON PLAN. REPORT TO ENGINEER IN EVENT OF DISCREPANCY.

\*\*\* UPON MOBILIZATION CONTRACTOR SHALL POTHOLE TO VERIFY VERTICAL AND HORIZONTAL ALIGNMENT, SIZE, AND MATERIAL OF EXISTING PIPES/STRUCTURES FOR TIE-IN PURPOSES. REPORT TO ENGINEER IN EVENT OF DISCREPANCY.

\*\*\* PROVIDE SUBMITTALS TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ORDERING MATERIALS.



**SITE CONSTRUCTION NOTES:**

1. NEW STAIRWAY. REFER TO STRUCTURAL PLANS FOR ALL INFORMATION.

2. CONSTRUCT UNREINFORCED CONCRETE SIDEWALK. REFER TO DETAILS 1 AND 2 ON SHEET C4.0 FOR ADDITIONAL INFORMATION.

3. FURNISH AND INSTALL 12' TALL 'STERNBERG LIGHTING 1130ALED-5P' SITE LIGHT (OR APPROVED EQUAL). CONSTRUCT BASE PER DETAIL 4 ON SHEET C4.0 AND REFER TO CITY OF ASHLAND DETAIL CD61 FOR ADDITIONAL INFORMATION.

4. FURNISH AND INSTALL 18' TALL 'STERNBERG LIGHTING 1130ALED-5P' SITE LIGHT (OR APPROVED EQUAL). CONSTRUCT BASE PER DETAIL 4 ON SHEET C4.0 AND REFER TO CITY OF ASHLAND DETAIL CD61 FOR ADDITIONAL INFORMATION.

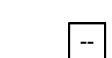
5. CONSTRUCT RETAINING WALL CAP PER DETAIL 5 ON SHEET C4.0.

6. APPROXIMATE LOCATION OF TIE IN TO EXISTING SIDEWALK. CONSTRUCT ISOLATION JOINT PER DETAILS 1 AND 2 ON SHEET C4.0. G.C. SHALL FIELD VERIFY LOCATION, MATCH EXISTING CONDITIONS, AND JOIN AT NEAREST WHOLE PANEL.

7. FURNISH ±5 LF OF 6' TALL CHAIN LINK FENCE AND NEW TERMINATION POST TO ALIGNMENT SHOWN ON PLAN. FENCE FINISH SHALL BE GALVANIZED TO MATCH EXISTING FENCING.

- SCHEDULE 40 PIPE
- 1-5/8"Ø TOP/BOTTOM RAILS, BRACING.
- 2-7/8"Ø POSTS
- EQUIP POSTS WITH LIKE KIND TOP CAP
- 9 GA. CORE EXTRUDED CHAIN LINK FABRIC 6" HIGH 2" MESH.
- KNUCKLE SELVAGE TERMINATION OF MESH FABRIC
- 7 GA. TOP, BOTTOM, CORNER, TERMINAL POST, MID BRACING AND TRUSS ROD.
- POSTS SETS SIMILAR TO ODOT BR241 'TYPE B FENCE' ON SHEET C5.0.

8. CONSTRUCT REINFORCED CONCRETE FOOTING PER DETAIL 6 ON SHEET C4.0. SEE SHEET C6.1 FOR ADDITIONAL INFORMATION.



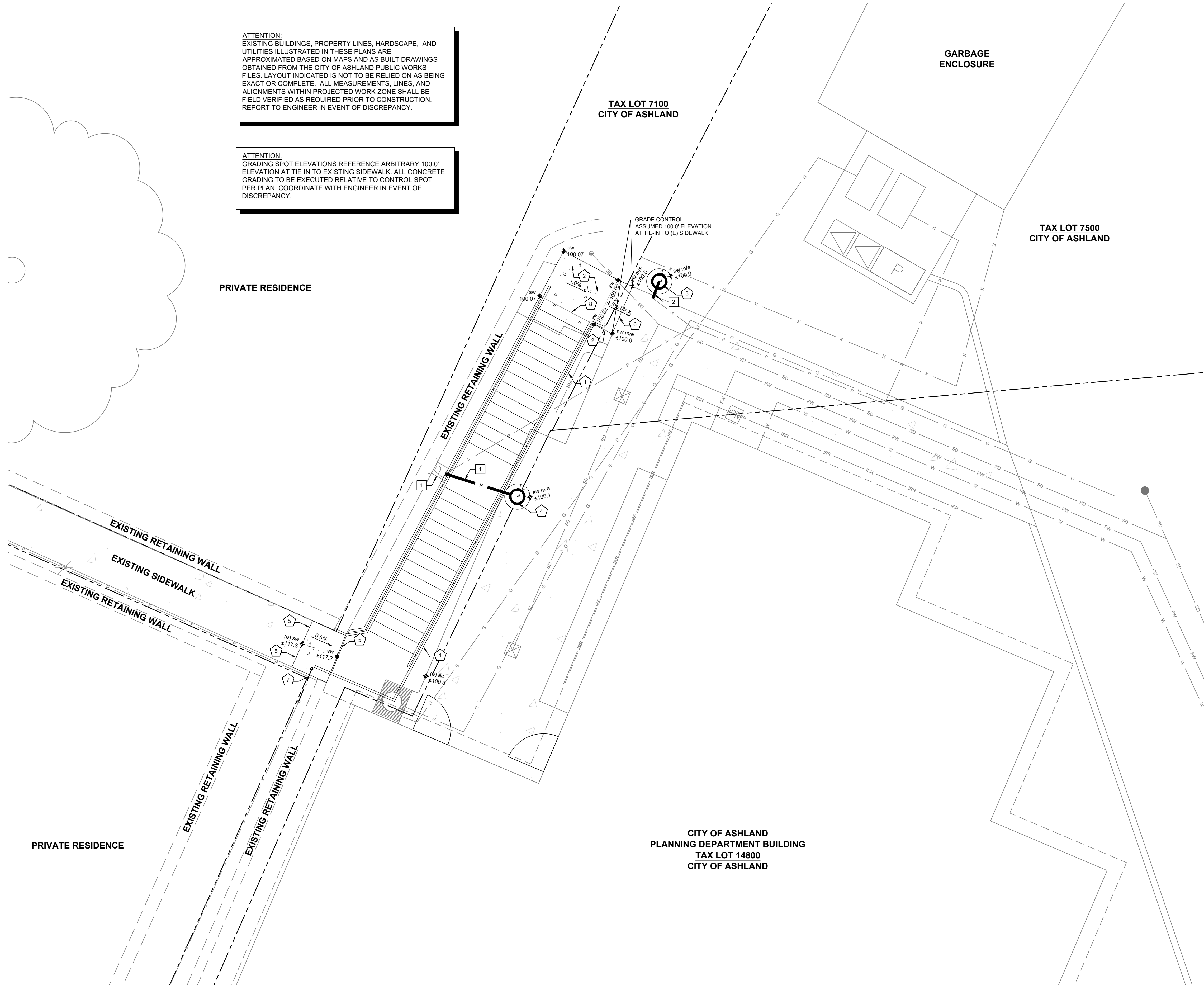
**POWER NOTES:**

1. CONTRACTOR TO DESIGN BUILD NEW POWER CONDUIT AND DISTRIBUTION BOX AND SHALL PROTECT EXISTING MOUNTING BOARD DURING CONSTRUCTION. CONTRACTOR MAY ELECT TO ATTACH DISTRIBUTION BOX TO NEW STAIRWAY COLUMNS. MAINTAIN FUNCTION OF ALL CONNECTED APPURTENANCES THROUGHOUT CONSTRUCTION PROCESS. CONTRACTOR SHALL PROVIDE SUBMITTAL OF ELECTRICAL AND LIGHTING SYSTEM DESIGN FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

2. CONTRACTOR TO DESIGN BUILD POWER CONNECTION OF NEW LIGHT TO EXISTING POWER SERVICE. CONTRACTOR SHALL PROVIDE SUBMITTAL OF ELECTRICAL AND LIGHTING SYSTEM DESIGN FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

**ATTENTION:**  
EXISTING BUILDINGS, PROPERTY LINES, HARDSCAPE, AND UTILITIES ILLUSTRATED IN THESE PLANS ARE APPROXIMATED BASED ON MAPS AND AS BUILT DRAWINGS OBTAINED FROM THE CITY OF ASHLAND PUBLIC WORKS FILES. LAYOUT INDICATED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. ALL MEASUREMENTS, LINES, AND ALIGNMENTS WITHIN PROJECTED WORK ZONE SHALL BE FIELD VERIFIED AS REQUIRED PRIOR TO CONSTRUCTION. REPORT TO ENGINEER IN EVENT OF DISCREPANCY.

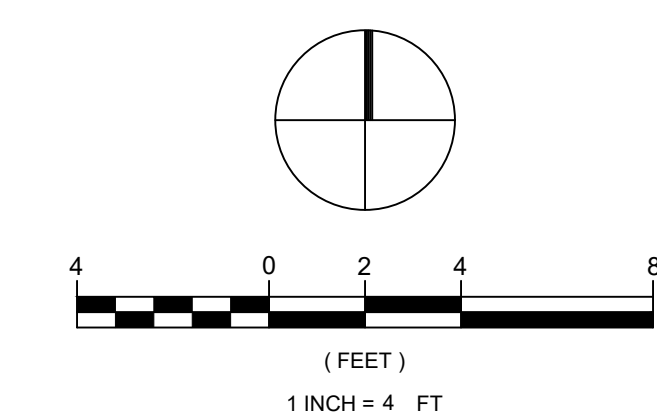
**ATTENTION:**  
GRADING SPOT ELEVATIONS REFERENCE ARBITRARY 100.0' ELEVATION AT TIE IN TO EXISTING SIDEWALK. ALL CONCRETE GRADING TO BE EXECUTED RELATIVE TO CONTROL SPOT PER PLAN. COORDINATE WITH ENGINEER IN EVENT OF DISCREPANCY.



ONE INCH EQUALS FULL SCALE

**1 SITE IMPROVEMENT PLAN**  
C3.0

1"=4'



REVISION ID:	DATE:

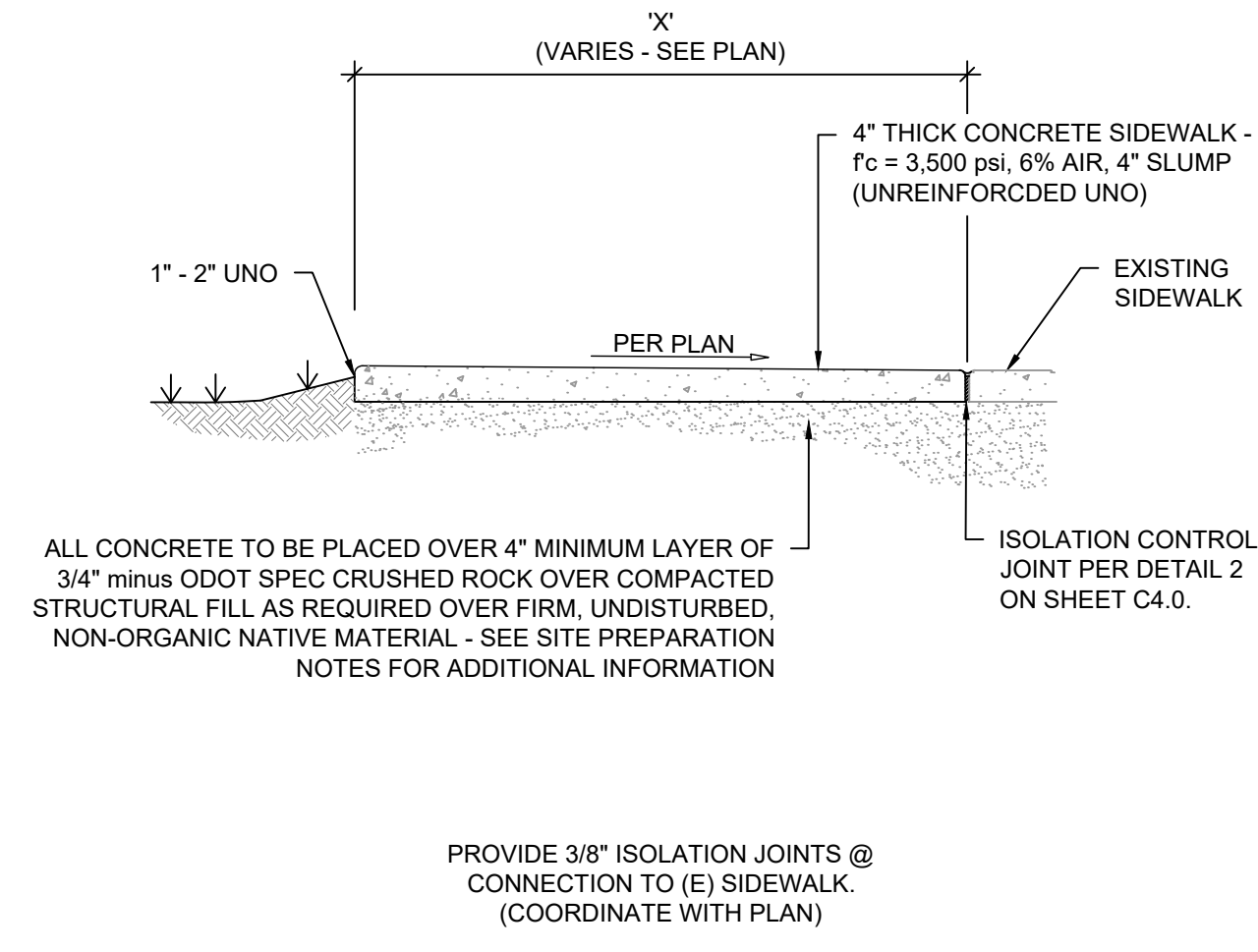
PROJECT NO: M-0287-21  
DRAWN: MRL  
CHECKED: LGG  
DATE: 11-10-23

**SITE IMPROVEMENT PLAN**

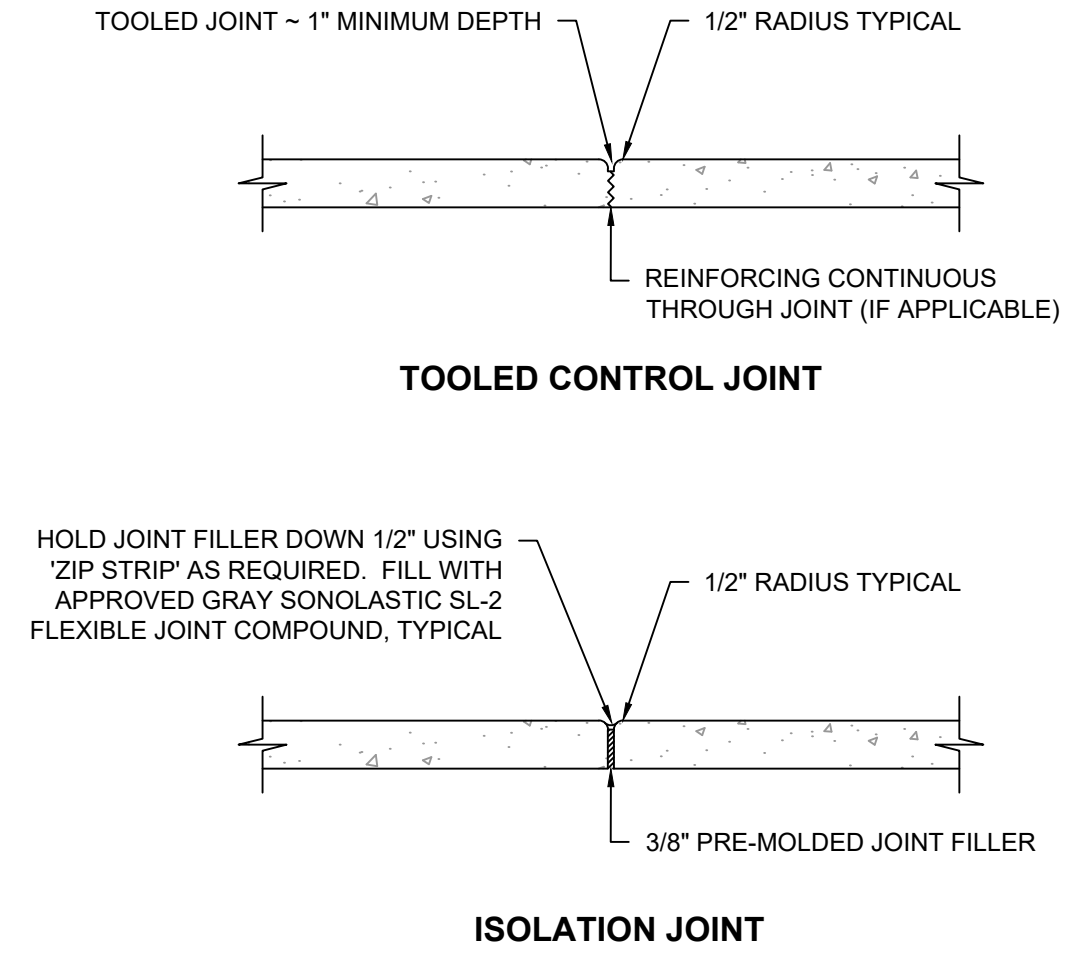
**C3.0**

100% CONSTRUCTION DOCUMENTS

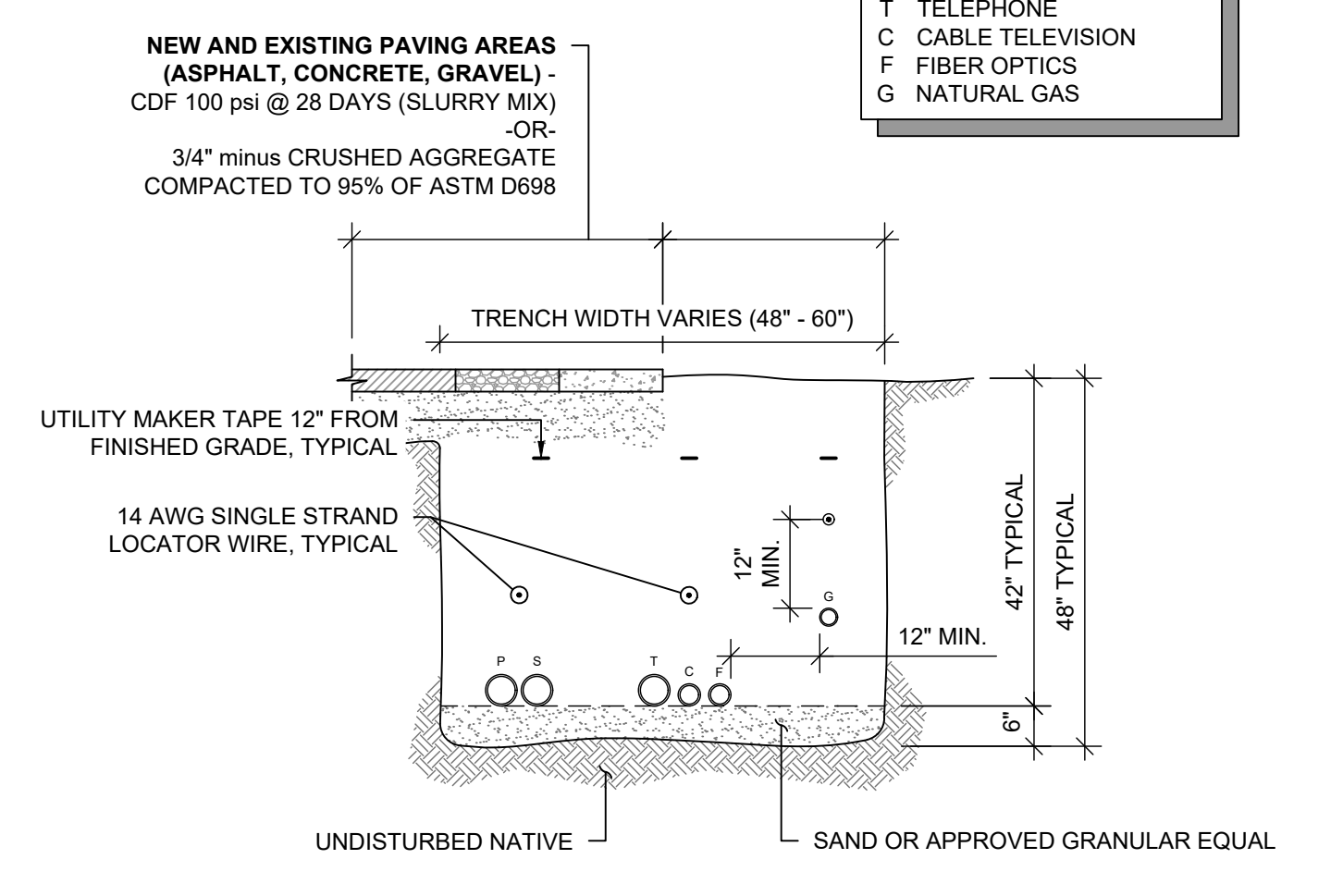
- P PRIMARY POWER
- S SECONDARY POWER AND/OR EXTRA CONDUIT
- T TELEPHONE
- C CABLE TELEVISION
- F FIBER OPTICS
- G NATURAL GAS



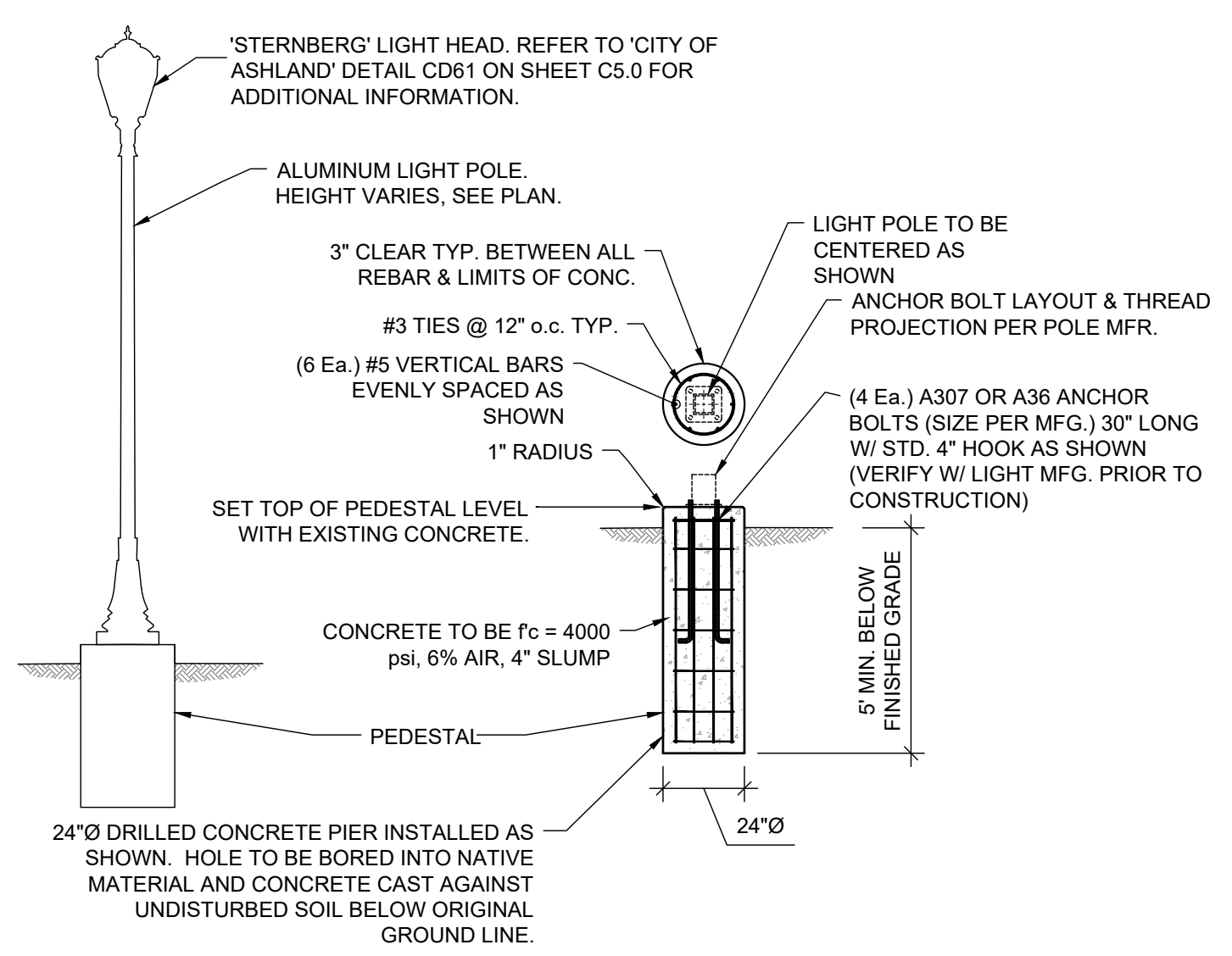
1 UNREINFORCED SIDEWALK SECTIONS  
C4.0 1/2" = 1'



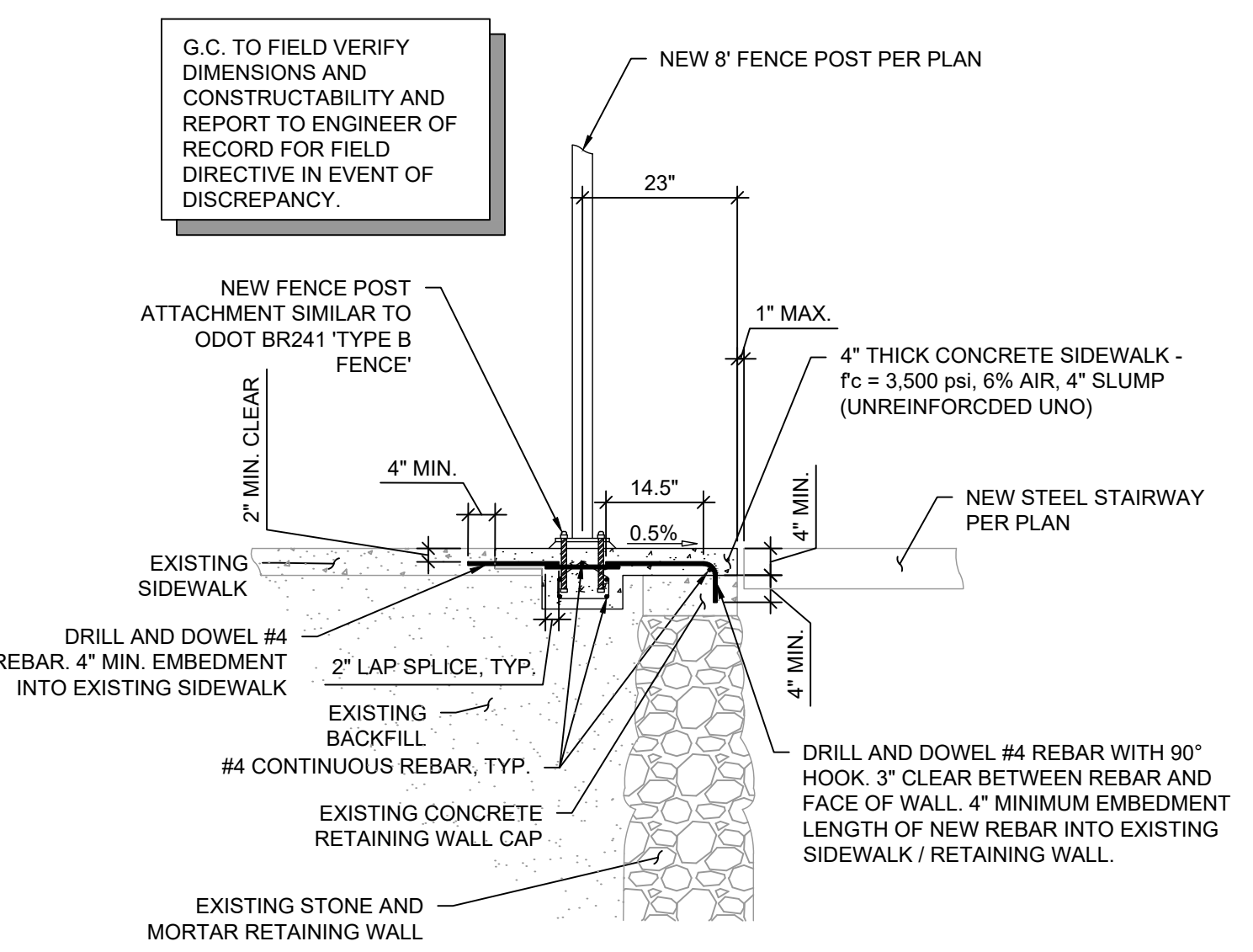
2 SIDEWALK JOINTING DETAILS  
C4.0 1/2" = 1'



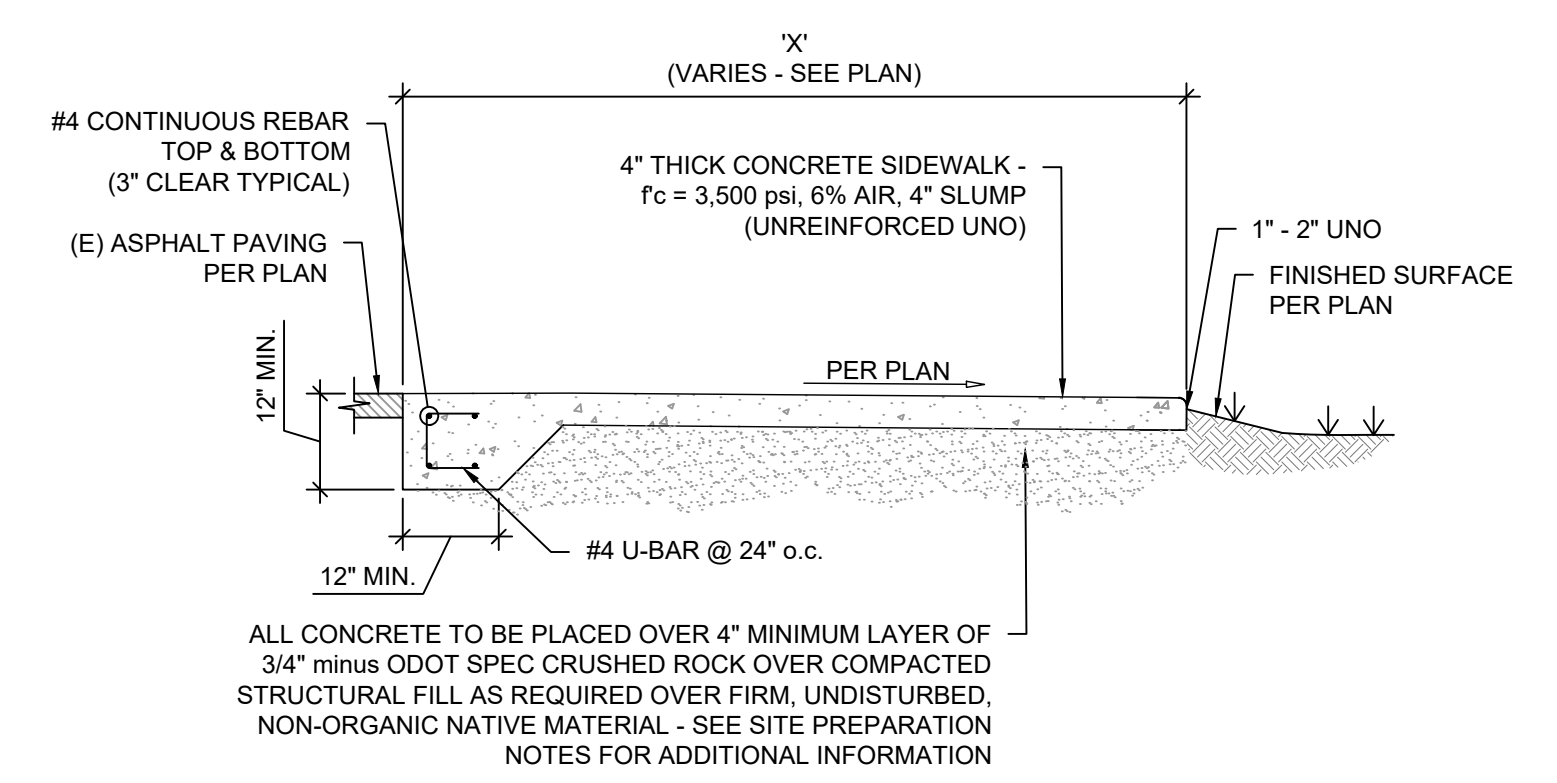
3 TYPICAL COMMON DRY UTILITY TRENCH SECTION  
C4.0 1/2" = 1'



4 SIGHT LIGHT AND POLE BASE DETAIL  
C4.0 NTS



5 RETAINING WALL CAP  
C4.0 1/2" = 1'



6 UNREINFORCED SIDEWALK SECTIONS  
C4.0 1/2" = 1'

ONE INCH EQUALS FULL SCALE



REVISION ID:	DATE:

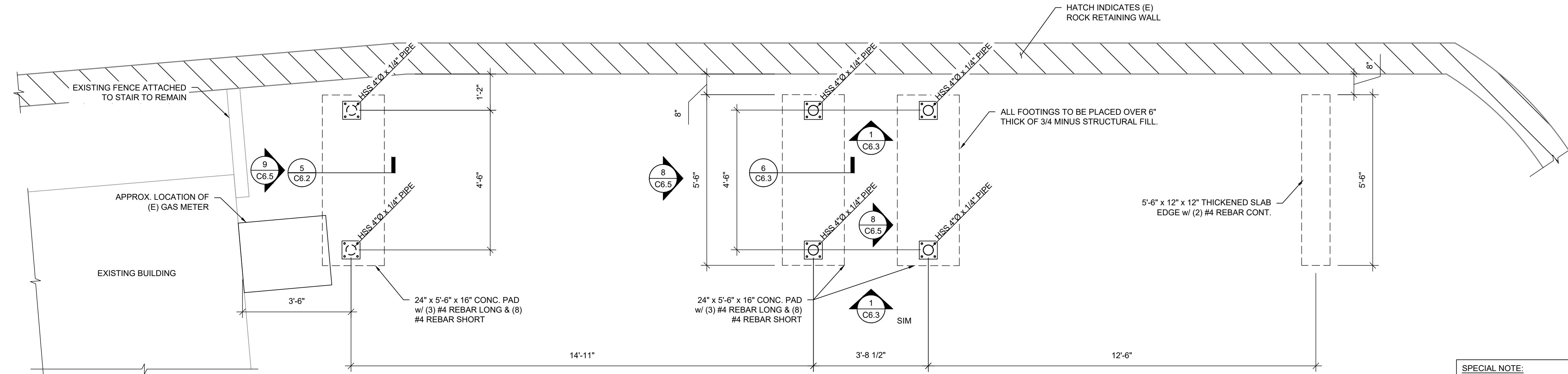
PROJECT NO: M-0287-21  
DRAWN: MRL  
CHECKED: LGG  
DATE: 11-10-23

PRIVATE CIVIL  
DETAILS

**C4.0**

100% CONSTRUCTION DOCUMENTS





**SPECIAL NOTE:**  
G.C. TO FIELD VERIFY ALL DIMENSIONS; PROVIDE SHOP DRAWINGS FOR LAYOUT BASED ON FIELD CONDITIONS FOR E.O.R. APPROVAL AND REPORT ANY DISCREPANCIES TO E.O.R.

**1 FOUNDATION PLAN**

1/2" = 1'-0"

**PROJECT STRUCTURAL NOTES: (ASHLAND, JACKSON COUNTY, OREGON)**

- GENERAL INFORMATION:**
- GOVERNING CODE IS THE 2022 OREGON STRUCTURAL SPECIALTY CODE.
  - THE PROJECT WAS DESIGNED FOR THE FOLLOWING LOADS:
    - FLOOR LIVE: 100 PSF
    - FLOOR DEAD: 16 PSF
    - GROUND SNOW LOAD: 16 PSF
    - SNOW LOAD: 25 PSF
    - WIND LOAD: 96 MPH EXPOSURE B Iw = 1.0
    - SEISMIC LOAD: SEISMIC DESIGN CATEGORY: D SEISMIC SITE CLASS: D Ss = 0.596 S1 = 0.338 V = 304 LBS (R = 3.25)
  - THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK.
  - ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS, SUBJECT TO REVIEW OF THE ENGINEER OF RECORD.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS. RESPONSIBILITY SHALL INCLUDE BUT IS NOT LIMITED TO DEMOLITION AND CONSTRUCTION MEANS AND METHODS, TECHNIQUES, SEQUENCING, AND SAFETY REQUIRED TO COMPLETE CONSTRUCTION.
  - ALL ERECTION BRACING, TEMPORARY SHORING AND CONSTRUCTION SEQUENCING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - STAIRS HAVE BEEN DESIGNED BASED ON THE ASSUMPTION THAT THE BUILDING LOT IS FLAT. G.C. TO CONTACT ENGINEER IF RETAINING WALLS ARE REQUIRED.
  - ALL WATERPROOFING, DAMP PROOFING, AND WEATHERPROOFING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

- FOUNDATIONS:**
- FOUNDATION SIZES ARE BASED ON TOTAL LOAD BEARING PRESSURE OF 1500 PSF. NO GEOTECHNICAL EVALUATION HAS BEEN PERFORMED FOR THIS PROJECT. G.C. SHALL COORDINATE EFFORTS TO VERIFY PRIOR TO CONSTRUCTION.
  - ALL FOOTINGS SHALL BE PLACED ON FIRM, UNDISTURBED NATIVE SOIL, OR ON ENGINEERED FILL COMPACTED TO MINIMUM OF 95% OF THE ASTM D 1557 DENSITY.
  - BOTTOM OF ALL FOOTINGS TO BE EMBEDDED BELOW FROST DEPTH = 12".

- REINFORCING STEEL:**
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A 615 GRADE 60 (A706 FOR REINF. TO BE WELDED).
  - WELDED WIRE FABRIC TO BE PER ASTM A185.
  - ALL REINFORCING STEEL SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH CRSI MANUAL OF STANDARD PRACTICE, MSP 2019.
  - LAP ALL REINFORCING BARS MINIMUM 30" (UNLESS NOTED PER ACI 318-11).
  - SECURELY TIE ALL REINFORCING PRIOR TO PLACING CONCRETE. ALL TIE WIRE SHALL BE Min. #16 ANNEALED STEEL.
  - PROVIDE 3" CLEARANCE FOR ALL REINFORCING IN CONCRETE CAST AGAINST EARTH, 2" FOR CONCRETE EXPOSED TO EARTH AND WEATHER, AND 1 1/2" FOR ALL INTERIOR EXPOSURE.
  - ALL REINFORCING SHALL BE SUPPORTED ON WELL CURED CONCRETE BLOCKS OR APPROVED METAL CHAIRS, AS SPECIFIED BY THE CRSI MANUAL OF STANDARD PRACTICE, MSP 2019.

- CONCRETE:**
- ALL CONCRETE SHALL DEVELOP A MINIMUM 28-DAY LAB CURED COMPRESSIVE STRENGTH OF 3,500 PSI. ALL CONCRETE WAS DESIGNED WITH fc = 2,500 PSI, THEREFORE NO SPECIAL INSPECTION IS REQUIRED.
  - ALL EXPOSED CONCRETE TO HAVE 5% PLUS OR MINUS 1% AIR, BY VOLUME, CONFORMING TO ASTM C 260.
  - ALL CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4".
  - ALL CONCRETE SHALL BE CURED PER ACI 308-01 STANDARDS.
  - THE CURING AND JOINTING SPECIFICATIONS IN THIS SUBMITTAL MEET THE INTENT OF ACI RECOMMENDATIONS TO MINIMIZE UNCONTROLLED SLAB CRACKING. CONTRACTOR SHALL REVIEW THE SLAB AND SLAB JOINT SPECIFICATIONS AND APPROVE PRIOR TO CONCRETE PLACEMENT. ZCS WILL NOT BE RESPONSIBLE FOR MITIGATION OF SLAB CRACKING THAT OCCURS OUTSIDE THE CRACK CONTROL GRID.

- STRUCTURAL STEEL:**
- ALL STRUCTURAL STEEL SHALL BE AS FOLLOWS:
    - WIDE FLANGE SHAPES - ASTM A992, GRADE 50
    - CHANNELS, PLATES AND ANGLES (EXCEPT AS NOTED) - ASTM A36
    - HOLLOW STRUCTURAL SECTIONS (TUBES) - ASTM A500, GRADE 'B' (Fy = 42 KSI)
    - PIPE HSS SECTIONS - ASTM A500, GRADE 'B' (Fy = 42 KSI)
  - ALL WELDING SHALL CONFORM TO AWS (CURRENT EDITION) SPECIFICATIONS.
  - ALL WELDS TO BE E70 ELECTRODE. ALL WELDS TO BE 1/16" SMALLER THAN THINNEST MATERIAL TO BE WELDED U.N.O.
  - ALL FABRICATION, ERECTION, IDENTIFICATION AND PAINTING SHALL CONFORM TO AISC SPECIFICATIONS.
  - ALL STEEL EXPOSED TO WEATHER, SOIL, MOISTURE OR AS DENOTED ON THE PLANS SHALL BE HOT DIPPED GALVANIZED PER ASTM A-123, OR OTHER APPROVED PROTECTIVE COATING.
  - ALL FIELD WELDS TO GALVANIZED STEEL AND AREAS DAMAGED BY WELDING, FLAME CUTTING OR HANDLING, SHALL BE REPAIRED WITH AN ORGANIC COLD GALVANIZING COMPOUND HAVING A MINIMUM OF 94% ZINC DUST IN THE DRY FILM. APPLY IN MULTIPLE COATS, UNTIL AN 9 MIL THICKNESS HAS BEEN ACHIEVED. SURFACES TO RECEIVE ZINC-RICH PAINT SHALL BE CLEAN, DRY AND FREE OF OIL, GREASE, SALT AND CORROSIVE PRODUCTS.

- STAIR NOTES:**
- ALL STEPS ON A FLIGHT OF STAIRS SHALL HAVE A UNIFORM RISER HEIGHT AND UNIFORM TREAD DEPTH.
  - OPEN RISERS SHALL NOT BE PERMITTED.
  - NOSINGS WITHIN A STAIRWAY SHALL BE UNIFORM.
  - NOSINGS THAT PROJECT BEYOND RISERS SHALL HAVE THE UNDERSIDE OF THE LEADING EDGE CURVED OR BEVELED.
  - VISUAL CONTRAST SHALL COMPLY WITH EITHER A OR B:
    - THE LEADING 1"-2" OF EVERY TREAD AND LANDING, MEASURED HORIZONTALLY FROM THE LEADING EDGE OF THE NOSING, SHALL CONSIST OF A SOLID COLOR HAVING VISUAL CONTRAST OF DARK-ON-LIGHT OR LIGHT-ON-DARK FROM THE REMAINDER OF THE TREAD. THE CONTRASTING MARKING SHALL BE DURABLE AND SHALL EXTEND FROM ONE SIDE OF EACH TREAD TO THE OTHER SIDE OF EACH TREAD TO THE OTHER SIDE OF EACH TREAD.
    - DURABLE DISTINCTIVE WARNING MARKINGS REQUIRED BY THE ADOPTED BUILDING CODE OR ANSI SAFETY STANDARD.
  - HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS AND RAMPS.
  - HANDRAILS SHALL BE CONTINUOUS WITHIN FULL LENGTH OF EACH STAIR FLIGHT OR RAMP RUN. INSIDE HANDRAILS ON SWITCHBACK OR DOGLEG STAIRS OR RAMPS SHALL BE CONTINUOUS BETWEEN FLIGHT FLIGHTS AND RUNS.
  - HANDRAIL HEIGHT SHALL BE MEASURED VERTICALLY ABOVE NOSINGS, RAMP SURFACES AND WALKING SURFACES.
  - GRIPPING SURFACES SHALL BE CONTINUOUS, WITHOUT INTERRUPTION BY NEWEL POSTS, OTHER CONSTRUCTION ELEMENTS, OR OBSTRUCTIONS.
  - HANDRAIL CROSS SECTIONS:
    - CIRCULAR: 1 1/4" MIN. - 2" MAX.
    - NONCIRCULAR PERIMETER: 4" MIN. - 6 1/4" MAX.
    - NONCIRCULAR CROSS SECTION: 2 1/4" MAX.
  - HANDRAIL EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR FLOOR, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT RAMP RUN OR AN ADJACENT STAIR FLIGHT.

- STRUCTURAL OBSERVATIONS & INSPECTIONS:**
- SPECIAL INSPECTIONS REQUIRED SHALL BE PROVIDED PER OSSC CHAPTER 17 AND AS REQUIRED BY E.O.R. AS FOLLOWS:
    - BEFORE FIRST CONCRETE POUR.
    - FIELD WELDING
    - POST INSTALLED ANCHORS

- PAINTING:**
- SUMMARY
    - EXTERIOR PAINTING
    - SITE CONDITIONS
      - PERFORM WORK ONLY UNDER THE FOLLOWING CONDITIONS, UNLESS OTHERWISE INSTRUCTED BY MANUFACTURER:
        - MAXIMUM RELATIVE HUMIDITY: 85%
        - AMBIENT AIR TEMPERATURES ARE BETWEEN 50 DEGREES AND 95 DEGREES F.
    - EXTERIOR PAINTING SCHEDULE
      - G.C. TO COORDINATE WITH CLIENT FOR PAINT COLOR.
      - METAL
        - COROTECH OIL & GREASE EMULSIFIER
        - ULTRA SPEC HP ACRYLIC METAL PRIMER
        - ULTRA SPEC HP D.T.M. ACRYLIC ENAMEL (SEMI-GLOSS)
    - SURFACE PREPARATION
      - STEEL: REMOVE ALL LOOSE MILL SCALE, LOOSE RUST, AND OTHER FOREIGN MATERIAL. CLEAN WITH SOLVENT, REMOVING ALL VISIBLE OIL, GREASE, SOIL, DRAWING, AND CUTTING COMPOUNDS. CHANGE RAGS AND CLEARING SOLUTION FREQUENTLY.



REVISION ID:	DATE:

PROJECT NO: M-0287-21  
DRAWN: SKN  
CHECKED: SLG  
DATE: 11/10/2023

**FOUNDATION PLAN**

**C6.1**

ONE INCH EQUALS FULL SCALE

100% CONSTRUCTION DOCUMENTS









