

CITY OF ASHLAND

HISTORIC COMMISSION MEETING

AGENDA

December 7, 2016 at 6:00 P.M.

- I. **REGULAR MEETING - CALL TO ORDER:** 6:00 p.m. – SISKIYOU ROOM in the Community Development/Engineering Services Building, located at 51 Winburn Way
- II. **APPROVAL OF MINUTES:** Historic Commission regular meeting of November 2, 2016.
- III. **PUBLIC FORUM:** Business from the audience not included on the agenda. (Total time allowed for Public Forum is 15 minutes. Speakers are limited to 5 minutes or less, depending on the number of individuals wishing to speak.)
- IV. **COUNCIL LIAISON REPORT:** Carol Voisin
- V. **DISCUSSION ITEMS:**
 - Continued discussion of proposed ordinance amendments for public art installations on historic contributing buildings with the Public Arts Commission.
- VI. **PLANNING ACTION REVIEW**

PLANNING ACTION: PA-2016-01947

SUBJECT PROPERTY: 549 Fairview

OWNER/APPLICANT: James Williams/Bob Haxton

DESCRIPTION: A request for a Site Design Review to allow for the construction of a 499 square foot second dwelling unit on the subject property. The proposed structure will be two stories with a single car garage located on the first floor and the dwelling unit on the second floor. **COMPREHENSIVE PLAN DESIGNATION:** Low Density Multiple-Family Residential; **ZONING:** R-2; **ASSESSOR'S MAP:** 39 1E 09CA; **TAX LOT:** 14100.

PLANNING ACTION: PA-2016-02095

SUBJECT PROPERTY: 563 Rock Street

OWNER: Michael & Maxine McNab

APPLICANT: Advantage Building & Design

DESCRIPTION: A request for a Site Design Review to allow for the construction of a 990 square foot second dwelling unit at 563 Rock Street. The project involves restoring the existing historic contributing residence and the construction of a new second dwelling unit located off of Maple Street. The proposal also requests an Exception to Site Development and Design Standards to allow for a parking buffer less than eight feet from a residential structure. Seven non-hazardous trees are proposed for removal from the subject property as part of the application. **COMPREHENSIVE PLAN DESIGNATION:** Low Density Multiple-Family Residential; **ZONING:** R-2; **ASSESSOR'S MAP:** 39 1E 05 DA; **TAX LOT:** 5200.

PLANNING ACTION: PA-2016-02103

SUBJECT PROPERTY: 133 Alida Street

OWNER/APPLICANT: Mike and Karen Mallory, trustees for the Mallory Revocable Trust

DESCRIPTION: A request for Site Design Review approval to construct a 417 square foot Accessory Residential Unit for the property located at 133 Alida Street. The application includes requests for Exception to the Site Development and Design Standards for the placement and screening of parking relative to the Accessory Residential Unit. *(The proposal is based upon designation of Alida Street as the front lot line which is consistent with the established orientation of the historic contributing "James A. & Viola Youngs" house on the property.)* **COMPREHENSIVE PLAN DESIGNATION:** Low Density Multi-Family Residential; **ZONING:** R-2; **ASSESSOR'S MAP:** 39 1E 09DA; **TAX LOT:** 3300.

PLANNING ACTION: PA-2016-02201

SUBJECT PROPERTY: 221 Oak Street

OWNER: Spartan Ashland Natalie Real Estate, LLC

APPLICANT: Bemis Developments, Inc.

DESCRIPTION: A request for a modification of previously approved Planning Action #2015-01517 for the property located at 221 Oak Street. The modifications requested include: 1) relocation of the recreation area to the east side of the property, between 209 and 221 Oak Street; 2) relocation of the new cottage to the west side of the property, in the previously approved recreation area; 3) the addition of four new parking spaces; 4) the removal of one tree (Tree #1), the large cedar located at the northeast corner of the property near the driveway entrance; and 5) modifications to the design of the home being reconstructed at 221 Oak Street including the exterior treatment and roof pitch. Also requested is an Exception to the Solar Setback requirement to allow the reconstructed home at 221 Oak Street to cast a shadow on the property to the north greater than would be cast by a six-foot fence built on the property line. The owner of the property to the north has agreed to the proposed Exception. *(The previous approval granted Outline & Final Plan, Site Design Review, Conditional Use Permit, Variance, Exceptions and Tree Removal Permit approvals for the properties at 209-221-225 Oak Street and 11 B Street.)* **COMPREHENSIVE PLAN DESIGNATION:** Low Density Multi-Family Residential; **ZONING:** R-2; **ASSESSOR'S MAP:** 39 1E 09BB; **TAX LOTS:** 15900.

VII. COMMISSION ITEMS NOT ON AGENDA:

- 165 Water presentation

VIII. NEW ITEMS:

- Review board schedule
- Project assignments for planning actions
- Historic Preservation Week: May 14th – 20th 2017 – Banner info

IX. OLD BUSINESS:

X. ADJOURNMENT:

**ASHLAND HISTORIC COMMISSION
DRAFT Meeting Minutes**

November 2, 2016

Community Development/Engineering Services Building – 51 Winburn Way – Siskiyou Room

CALL TO ORDER:

Commission Chair, Shostrom called the meeting to order at 6:01pm in the Siskiyou Room at the Community Development and Engineering Offices located at 51 Winburn Way, Ashland OR 97520.

Commissioners Present:	Council Liaison:
Shostrom	Carol Voisin
Skibby	
Leonard	Staff Present:
Whitford	Mark Schexnayder; Staff Liaison
Emery	Regan Trapp; Secretary
Swink	
Von Chamier	
Commissioners Absent:	Giordano

APPROVAL OF MINUTES:

Swink motioned to approve minutes from October 5, 2016. Leonard seconded. Voice vote; All AYES. Motion passed

PUBLIC FORUM:

There was no one in the audience wishing to speak.

COUNCIL LIAISON REPORT:

Voisin gave the Council Liaison report. Items discussed were:

- The City Hall discussion is coming back to City Council meeting on Dec 20th. Voisin stated that she will ask if this discussion can be moved to a later date.
- The Schaeffer case has been settled.
- The removal of trees at Lithia Way/Pioneer moved to Dec 20th meeting.
- Council will review removing public art from Chapter 18 on Nov 15th at 7PM. Historic Commission is encouraged to come.
- Winter shelter for the homeless has been approved for Tue/Thurs evenings (Pioneer Hall) and Sunday may be added as well.
- Council considered and passed a motion to purchase land necessary for the Washington Street extension. It's been offered at \$60,000 over the appraised value and would cost \$331,000. This is an 800 foot street that comes out on Tolman Creek Rd and will come to a cost of about 2 million dollars. Council wanted to rush this through without public notice as they don't want the property owner to change their mind.
- Electricity will increase 7% for rates and 1.50 for the base charge to eventually reach 14.00. This is called cost of service for the operations of the electric department and the Council will have to vote on this.

DISCUSSION ITEMS:

- Continued discussion of proposed ordinance amendments for public art installations on historic contributing buildings.

Shostrom gave a brief history on the relationship of the PAC and the Historic Commission and what has happened in the past year.

The Historic Commission (HC) had a lengthy discussion which included many positive comments including 1) appreciation that the draft ordinance include HC review both early (call for artists) and later in the public art process (public art concepts) for proposals in the historic districts, 2) that Section f reflects suggestion 4 of Mayor's Report to City Council dated April 17, 2016 "When concepts for public art in or near a historic district are being considered for final approval HC written input should be requested by the PAC and linked to online representations of the concepts.", and 3) appreciation of the adjustments made to date in the Earthly Goods corridor public art process including the Public Arts Commission Chair presenting the RFP and the opportunity for the HC to review and comment on the RFP

Draft AMC 2.29.165

- **Section A: Call for artists** (call for entries, RFQ, RFP) – use language in suggestion 1 of Mayor's Report to City Council dated April 17, 2016 "Have the PAC appear before the HC when an RFQ for new public art is being created and seek HC input for that RFQ." Thus, include HC review for call for artist to all public art in historic districts rather than limiting to listed or contributing structures.
- **Sections B - E** – change to public art installations on structures in historic districts permitted on noncontributing structures using process and standards outlined in sections B thru E. Prohibit public art installations on individually listed or historic contributing structures.
 - The HC concern is that painting or attaching public art to a historic contributing building permanently alters the building materials, structure and/or architectural features. Additionally, the HC discussed that public art, like buildings, can be in place for long periods of time and therefore a change to a historic contributing structure can last a generation or more. Cities in Oregon such as Portland, Salem and Milwaukie prohibit public art installations on historic contributing buildings to address potential damage to buildings, changes to architectural features, and broader concerns regarding degree of change in nature or character of the historic districts as a whole.
- **B.3** – allow historic murals to be restored, "Historically significant murals (including historic advertisements) **may be professionally restored** but shall not be painted over, even if faded.
- **Section C**
 - **Item 1: Scale** – replace with criteria from AMC 2.29.130.B.6 – "Public art should not be placed in a site where it is overwhelmed or competing with the scale of the site, adjacent architecture, large signage, bill boards, etc."
 - **Items 5-7** – move items 5-7 to section B.
- **Section E** - increase notice are to 300 feet of the perimeter of the subject site.
- **Section F**
 - **Public art concepts** (public art proposals) – Add "Commission recommendations to the Public Art Commission shall be provided with 45 days of delivery of the artists concepts to the Commission."

Other

Historic Commission Powers and Duties – Add review of public art to list of items the Historic Commission reviews (2.24.040) Clarify that public art sited or installed on structures includes murals and pieces affixed to a structure.

There was a straw vote (4-3 to not allow public art installations on any buildings in historic district)

- The following Commissioners were in favor:
 - Shostrom, Skibby, Leonard, and Swink.
- The following Commissioners were against:
 - Whitford, Von Chamier, and Emery.

5-2 only allow public art installations on noncontributing buildings.

- The following Commissioners were in favor:
 - Shostrom, Swink, Emery, Von Chamier, and Whitford.
- The following Commissioners were against:
 - Skibby and Leonard.

Ms. Harris interjected and let the Commission know that in the Downtown Historic District 28% of the buildings are noncontributing and 72% are contributing (section B-E). There were some questions from Leonard about increasing the noticing area to 300 feet (Section E). Ms. Harris explained that 200 feet would be consistent with land use application notices.

NEW ITEMS:

- Review board schedule – Commission adjourned before this item could get done. Trapp will send the schedule through email.
- Project assignments for planning actions – This item did not get taken care of and will be pushed to the next meeting.
- Historic Preservation Week: May 14th – 20th 2017 was the date decided for this event.

OLD BUSINESS:

No old business to discuss.

COMMISSION ITEMS NOT ON AGENDA:

There were no items to discuss.

Review Board Schedule

Nov 3rd	Terry, Keith, Bill
Nov 10th	Terry, Taylor, Sam
Nov 17th	Terry, Taylor, Sam
Weds Nov 23rd	Terry
December 1st	Terry, Bill, Piper
December 8th	Terry, Bill, Keith

Project Assignments for Planning Actions

PA-2014-01956	Lithia & First	All
PA-2014-00710/711	143/135 Nutley	Swink & Whitford
PA-2014-01283	172 Skidmore	Shostrom
PA-2014-02206	485 A Street	NEED ASSIGNED
PA-2015-00178	156 Van Ness Ave	Shostrom
PA -2015-00374	160 Lithia Way	Emery
PA-2015-00878	35 S. Pioneer	NEED ASSIGNED
PA-2015-01496	35 S. Second-Winchester Inn	Shostrom
PA-2015-01695	399 Beach	Skibby
PA-2015-01769	860 C	NEED ASSIGNED
PA-2015-01517	209 Oak	Shostrom
PA-2015-02203	868 A Street	Whitford
PA-2016-00073	151 Pioneer	Swink
PA-2016-00275	574 Allison	Emery
PA-2016-00387	95 N. Main	Shostrom
PA-2016-00763	5 N. Main	Swink
PA-2016-00209	25 N. Main	NEED ASSIGNED
PA-2016-00818	175 Pioneer	Shostrom & Skibby
PA-2016-00847	252 B Street	Whitford
PA-2016-00587	872 Siskiyou Blvd	Skibby
PA-2016-01027	276 B Street	Shostrom & Leonard
PA-2016-01641	221 Oak Street	Shostrom

ANNOUNCEMENTS & INFORMATIONAL ITEMS:

Next meeting is scheduled December 7, 2016 at 6:00 pm

There being no other items to discuss, the meeting adjourned at 8:05pm

Respectfully submitted by Regan Trapp

The copy below reflects the changes and rationale made by the PAC at its meeting on November 21, 2016, as well as the additions and ~~deletions~~ the PAC made to the draft ordinance language provided to the City Council in the November 15, 2016 Council Communication from Dave Kanner. Additional comments from Planning Division staff are provided for clarification and consideration.

2.29.165 Review of artwork on Individually Listed and Contributing Structures in Historic Districts.

A. The Public Art Commission shall seek input from the Historic Commission prior to issuing a Call for Artist/RFQ for public art to be sited within a historic district ~~on structures listed on the National Register of Historic Places or on contributing properties within a Historic District on the National Register of Historic Places. Historic Commission recommendations to the Public Art Commission shall be provided within 45 days of delivery of the Call for Artist to the Community Development Department. Historic Commission recommendations shall be advisory only.~~

PAC Rationale: When the PAC initiates a project within a historic district and creates a Call for Artist/RFQ, the PAC believes that including information related to the history of the site helps to inform the potential artist. The PAC looks to the HC to provide this information.

B. The Public Art Commission shall provide proposed public art concepts on structures listed on the National Register of Historic Places or on contributing structures to the Historic Commission. The Historic Commission may not participate in the creative design process.

PAC Rationale: When a public art project is initiated by an applicant for placement on listed and contributing structures, the PAC will provide the proposed design concepts to the HC for review and comment.

Commented [MH1]: Language in former section F (below) moved up and modified. The change in the language narrows the scope of the HC review from looking at all public art installed in historic districts (i.e., free standing pieces and public art installed on structures) to reviewing art installed on listed and contributing structures.

C. B. In its review of murals ~~public art~~ proposed for installation on structures listed on the National Register of Historic Places or on contributing structures within a Historic District on the

National Register of Historic Places, the Public Art Commission shall apply the following criteria:

1. ~~Public art Murals~~ shall not be located on a building façade with a public entrance.
2. The number of murals per block face may be limited.
3. Historically significant murals (including historic advertisements) shall not be painted over, even if faded.
4. Murals shall not be allowed on an unpainted exterior building wall made of stone or brick without the consent of the City Council.
5. To the extent practicable, murals shall be applied only to the flat planes of walls.
6. Imitative materials including but not limited to asphalt siding, wood textured aluminum siding, and artificial stone should be avoided in public art installations.

Commented [MH2]: Historic Commission suggestion from Nov 2 meeting to move these items to this section

PAC Rationale: This reflects the suggested additions provided by the HC. The above language is reflected in the Mural Guidelines recently adopted by the Council.

D. The Historic Commission shall review public art proposed on structures listed on the National Register of Historic Places and on contributing structures within a Historic District on the National Register of Historic Places using the following criteria:

1. ~~The scale of the public art should be appropriate to the building and the site.~~ Public art should not be placed in a site where it is out of scale for the site and adjacent architecture.
2. ~~The installation of the public art should complement and enhance the historic nature of the building and be incorporated architecturally into the building exterior.~~
3. The location of public art on the building shall not cover or detract from significant or character-defining architectural features such as such as windows, doors, pilasters, cornices, or other building trim, feature bands, or other recessed or projecting features.
4. The visual integrity of the building should be maintained after the public art is applied to the exterior by preserving prominent vertical and horizontal lines created by architectural features such as columns, posts, piers, windows, doors, lintels, windowsills, feature bands, the foundation, base or other recessed or projecting features.
5. ~~To the extent practicable, murals shall be applied only to the flat planes of walls.~~

Commented [MH3]: Historic Commission suggestion from Nov 2 meeting to use this language.

~~6. Imitative materials including but not limited to asphalt siding, wood textured aluminum siding, and artificial stone shall be avoided in public art installations.~~

~~7. The number of murals per block face may be limited.~~

Commented [MH4]: The HC suggested to moving this up to the previous section but it was deleted.

PAC Rationale: The PAC is supportive of the above language.

~~E. D.~~ Historic Commission input to the Public Art Commission on proposed public art concepts shall be provided within 45 days of delivery of the proposal to the Community Development Department. In addition to the Public Art Commission, Historic Commission input shall be provided directly to the City Council. Historic Commission recommendations shall be advisory only.

PAC Rationale: The HC providing its review comments to the PAC enables the PAC to tweak a proposal based on HC concerns. Providing comments in 45 days ensures the timely progress of the project.

~~F. E.~~ The Community Development Department shall provide notice of Historic Commission review of proposed public art to owners of record of all properties located within 200 feet of the perimeter of the subject site. Owners of record shall be determined by the most recent property tax assessment roll. The notice shall include the street address of the individually listed or historic contributing building, a summary of the proposal, and the applicable criteria for the decision in subsections 2.29.165. B and C.

PAC Rationale: The above follows the requirements in the Land Use Code.

~~F. For public art proposed in a historic district but not attached or applied to a structure listed on the National Register of Historic Places or on contributing properties within a Historic District, the Public Art Commission shall provide proposed public art concepts to all City Commission for review. A City Commission may review the artist concept using its existing powers and criteria, and it is advisory role, provided written recommendations to the City Council. City Commission may not participate in the creative design process.~~

Commented [MH5]: Moved to section B above and modified.

Note: The HC has proposed language that prohibits the installation of public art on individually listed or historic contributing structures. The PAC does not support this proposal.

Rationale:

1. It is not the purview nor the desire of the PAC to determine what property owners can/cannot do to their property.
2. Based on the map of the downtown historic district, there are very few non-listed or contributing structures where a property owner could request a public art installation. The proposed language limits property owners whose structures are listed or contributing from proposing public art on their structure.
3. If this rule had been in place, we would not have the Calle mural.

Council Communication

November 15, 2016, Business Meeting

Discussion of removing public art review and approval requirements from Chapter 18 of the Ashland Municipal Code

FROM:

Dave Kanner, city administrator, dave.kanner@ashland.or.us

SUMMARY

The Council voted at its October 18, 2016, meeting to continue to this meeting a discussion to determine if review and approval of public art on historic structures should be removed from Ashland Land Use Ordinance (ALUO) 18.5.2, Site Design Review, and moved to the portions of the Ashland Municipal Code that govern the Historic Commission (AMC 2.24) and the Public Art Commission (AMC 2.29). However, staff is still working through issues in the code language with the two commissions and will request that this item be postponed again.

BACKGROUND AND POLICY IMPLICATIONS:

Under Ashland's municipal code, the installation of public art on structures listed on the National Historic Register and on contributing properties within a Historic District requires a land use application and site design review. At its June 20, 2016, meeting, the City Council discussed removing this requirement from the ALUO (AMC 18.5.2) and ensuring that the Historic Commission review process is preserved elsewhere in the Ashland Municipal Code. Council directed staff to provide the proposed code changes to the Public Art and Historic Commissions for review and input and to return with language on which the two commissions agreed.

This item was placed on the Council's October 18, 2016, agenda. However, staff requested a postponement, since the two commissions had not yet reviewed proposed ordinance language. The proposed changes consolidate all public art review requirements, whether by the Public Art Commission or the Historic Commission, in AMC 2.29, Public Art. The proposed code language is provided later in this Council Communication. In a nutshell, this code language incorporates current public art review standards used by the Public Art Commission, and site design review criteria currently used by the Historic Commission when reviewing exterior changes to a historic building or a contributing structure in a historic district. This proposed language was reviewed by the Historic Commission on November 3 and by the Public Art Commission on November 7.

At this point, the Public Art and Historic Commissions are in agreement on the vast majority of the content of this proposed code change, but there are still a few issues to be worked out, most notably a Historic Commission request to include language that would prohibit public art on any listed or contributing structure in a historic district. This would represent a major shift in policy that will require Council-level discussion regardless of any final recommendation on this code change.



There was much discussion at the November 7 Public Art Commission meeting (attended by the chair of the Historic Commission) of the need for a face-to-face meeting between the two bodies to iron out the few remaining differences. Such a meeting could not take place until next month at the earliest. As such, staff will request another postponement of this item.

In addition to adding a new section to AMC 2.29, staff proposes to amend AMC 18.5.2.020 by exempting public art from site design review standards. This change to 18.5.2 eliminates the requirement for a land use application, associated community development fees and written findings, and removes the possibility of an appeal to the Land Use Board of Appeals or (conceivably) to the Court of Appeals. It preserves the right of the City Council to be the final decision maker with regard to public art installations.

Proposed ordinance changes

The following code changes are proposed, consistent with prior Council discussion and direction.

Remove (boldface and strike-through) and add (boldface underlined):

18.5.2.020 .A. 4

Site Design Review is required for the following types of project proposals.

A Commercial, Industrial, Non-Residential and Mixed Uses

- 4) Any exterior change, ~~including installation of Public Art~~, **with the exception of public art** to a structure which is listed on the National Register of Historic Places or to a contributing property within a Historic District on the National Register of Historic Places that requires a building permit.

The removal of the phrase '*including installation of Public Art*' from the Site Design Review process:

1. Removes the requirement of a land use application, associated fees and written findings.
2. Removes public art from the land use appeal process.
3. Reduces the timeframe from 120+ days to 30+ days.

Add to 2.29 Public Art Commission

(Note: This is the language that was provided to the Historic and Public Art Commissions for review. It does not include the changes suggested by either commission that have been agreed upon by both.)

2.29.165 Review of artwork on Individually Listed and Contributing Structures in Historic Districts.

A. The Public Art Commission shall seek input from the Historic Commission prior to issuing a Call for Artist for public art to be sited on structures listed on the National Register of Historic Places or on contributing properties within a Historic District on the National Register of Historic Places. Historic Commission recommendations to the Public Art Commission shall be provided within 45 days of delivery of the Call for Artist to the Community Development Department. Historic Commission recommendations shall be advisory only.

B. In its review of public art proposed for installation on structures listed on the National Register of Historic Places or on contributing properties within a Historic District on the National Register of Historic Places, the Public Art Commission shall apply the following criteria:

1. **Public art shall not be located on a building façade with a public entrance.**



2. The number of murals per block face may be limited.
3. Historically significant murals (including historic advertisements) shall not be painted over, even if faded.
4. Murals shall not be allowed on an unpainted exterior building wall made of stone or brick without the consent of the City Council.

C. The Historic Commission shall review public art proposed on structures listed on the National Register of Historic Places and on contributing properties within a Historic District on the National Register of Historic Places using the following criteria:

1. The scale of the public art should be appropriate to the building and the site.
2. The installation of the public art should complement and enhance the historic nature of the building and be incorporated architecturally into the building exterior.
3. The location of public art on the building shall not cover or detract from significant or character-defining architectural features such as windows, doors, pilasters, cornices, windows, doors or other building trim, feature bands, or other recessed or projecting features.
4. The visual integrity of the building should be maintained after the public art is applied to the exterior by preserving prominent vertical and horizontal lines created by architectural features such as columns, posts, piers, windows, doors, lintels, windowsills, feature bands, the foundation, base or other recessed or projecting features.
5. To the extent practicable, murals shall be applied only to the flat planes of walls.
6. Imitative materials including but not limited to asphalt siding, wood textured aluminum siding, and artificial stone shall be avoided in public art installations.
7. The number of murals per block face may be limited.

D. Historic Commission input to the Public Art Commission on proposed public shall be provided within 45 days of delivery of the proposal to the Community Development Department. In addition to the Public Art Commission, Historic Commission input shall be provided directly to the City Council.

E. The Community Development Department shall provide notice of Historic Commission review of proposed public art to owners of record of all properties located within 200 feet of the perimeter of the subject site. Owners of record shall be determined by the most recent property tax assessment roll. The notice shall include the street address of the individually listed or historic contributing building, a summary of the proposal, and the applicable criteria for the decision in subsections 2.29.165. B and C.

F. For public art proposed in a historic district but not attached or applied to a structure listed on the National Register of Historic Places or on contributing properties within a Historic District, the Public Art Commission shall provide proposed public art concepts to all City Commissions for review. A City Commission may review the artist concept using its existing powers and criteria, and in its advisory role, provide written recommendations to the City Council. City Commission may not participate in the creative design process.

The addition of the above language:

1. Preserves the current practice of reviewing the project using the criteria stated in AMC 18.4.2.



2. Preserves the current practice of the Historic Commission working with the planning staff.
3. Preserves the current practice of the Director of Community Development providing guidance to the Historic Commission and review of their input.
4. Preserves the current practice of reviewing the project using the criteria stated in AMC 18.4.2. Building Placement, Orientation, Design.
5. Shortens the current timeline from 120+ days to 30+ days.
6. Removes the process from the land use ordinance.
7. Affords the Public Art Commission the opportunity to tweak public art proposals to accommodate the HC concerns.
8. Ensures the Historic Commission reviews public art proposed for structures on the national register and on contributing properties using criteria in AMC 18.4.2
9. Ensures all city commission have an opportunity to review proposed concepts using their existing powers and criteria
10. Ensures the Public Art Commission distributes the concepts

NOTE: This does not require the Public Art Commission to make a presentation to the Historic Commission or to other commissions.

COUNCIL GOALS SUPPORTED:

14. Encourage and/or develop public spaces that build community and promote interaction.

FISCAL IMPLICATIONS:

None

STAFF RECOMMENDATION AND REQUESTED ACTION:

Staff recommends postponing consideration of this item until after the Public Art Commission and the Historic Commission have an opportunity to jointly review it.

SUGGESTED MOTION:

I move postpone consideration of this item to January 17, 2017, or earlier if deemed appropriate by the city administrator, and direct staff to prepare ordinance changes to the above referenced chapters of the Ashland Municipal Code relating to review and approval of public art.

ATTACHMENTS:

Memo from Historic Commission dated November 9, 2016



Memo

DATE: November 9, 2016

TO: Ashland Mayor and City Council

FROM: Ashland Historic Commission

RE: Proposed amendments to review process for public art installations on historic contributing buildings

Thank you for the opportunity to review and make comments on the proposed ordinance amendments to the review process for public art installations on historic contributing buildings. The Historic Commission reviewed and discussed the proposed amendments at the November 2, 2016 meeting http://www.ashland.or.us/Files/2016-11-02_HC_Packet_Web.pdf.

The Historic Commission had a good discussion which included many positive comments such as: 1) appreciation that the draft ordinance include Historic Commission review both early (call for artists or RFP) and later in the public art process (public art concepts) for proposals in the historic districts, 2) that Section F reflects suggestion 4 of Mayor's Report to City Council dated April 17, 2016 "When concepts for public art in or near a historic district are being considered for final approval HC written input should be requested by the PAC and linked to online representations of the concepts," and 3) appreciation of the adjustments made to date in the Earthly Goods corridor public art process including the Public Arts Commission Chair presenting the RFP and the opportunity for the Historic Commission to review and comment on the RFP.

After a lengthy discussion on November 2, the Historic Commission recommended the following revisions to the proposed amendments included in the November 2, 2016 Historic Commission packet.

Draft AMC 2.29.165

- **Section A: Call for artists** (call for entries, RFQ, RFP) – use language in suggestion 1 of Mayor's Report to City Council dated April 17, 2016 "Have the PAC appear before the HC when an RFQ for new public art is being created and seek HC input for that RFQ." This would provide for Historic Commission review of the call for artists for any public art in a historic district, rather than limiting the review of the initial call for artists to public art installations on historic contributing structures.
- **Sections B - E** – amend to allow public art installations only on noncontributing structures in historic districts using process and standards outlined in sections B thru E. Prohibit public art installations on historic contributing structures. There are just under 100 buildings in the Downtown Historic District and of those, 28% are noncontributing structures (source National Register of Historic Places Nomination, August 1999).



The Historic Commission's concern is that painting or attaching public art to a historic contributing building permanently alters the building materials, structure, and/or architectural features. Additionally, the Commission discussed that public art, like buildings, can be in place for long periods of time and therefore a change to a historic contributing structure can last a generation or more. Cities in Oregon such as Portland, Salem, and Milwaukie prohibit public art installations on historic contributing buildings to address potential damage to buildings, changes to architectural features, and broader concerns regarding degree of change in the nature or character of the historic districts as a whole.

- **Subsection B.3** – allow historic murals to be restored, “Historically significant murals (including historic advertisements) may be professionally restored but shall not be painted over, even if faded.
- **Section C**
 - **Item 1: Scale** – replace with criteria from AMC 2.29.130.B.6 – “Public art should not be placed in a site where it is overwhelmed or competing with the scale of the site, adjacent architecture, large signage, bill boards, etc.”
 - **Items 5-7** – move items 5-7 to section B.
- **Section E** - increase notice are to 300 feet of the perimeter of the subject site.
- **Section F: Public art concepts** (public art proposals) – Add “Commission recommendations to the Public Art Commission shall be provided with 45 days of delivery of the artists concepts to the Commission.”
- **Other**
 - **Historic Commission Powers and Duties** – Add review of public art to list of items the Historic Commission reviews (AMC 2.24.040).
 - Clarify that public art sited or installed on structures includes murals and pieces affixed to a structure.

As a follow up to the November 2 Historic Commission meeting, Dale Shostrom, the Chair of the Historic Commission, attended the November 7 Public Arts Commission meeting. The Public Arts Commission reviewed the Historic Commission concerns listed above and there seemed to be agreement on many of the items. The need to share perspectives and work together to develop a mutually acceptable set of ordinance amendments is evident, and the Historic Commission would welcome an open dialogue and a joint meeting of the two commissions. Again, thank you for the opportunity to review and make comments on the proposed ordinance amendments.





NOTICE OF APPLICATION

PLANNING ACTION: PA-2016-01947

SUBJECT PROPERTY: 549 Fairview

OWNER/APPLICANT: James Williams/Bob Haxton

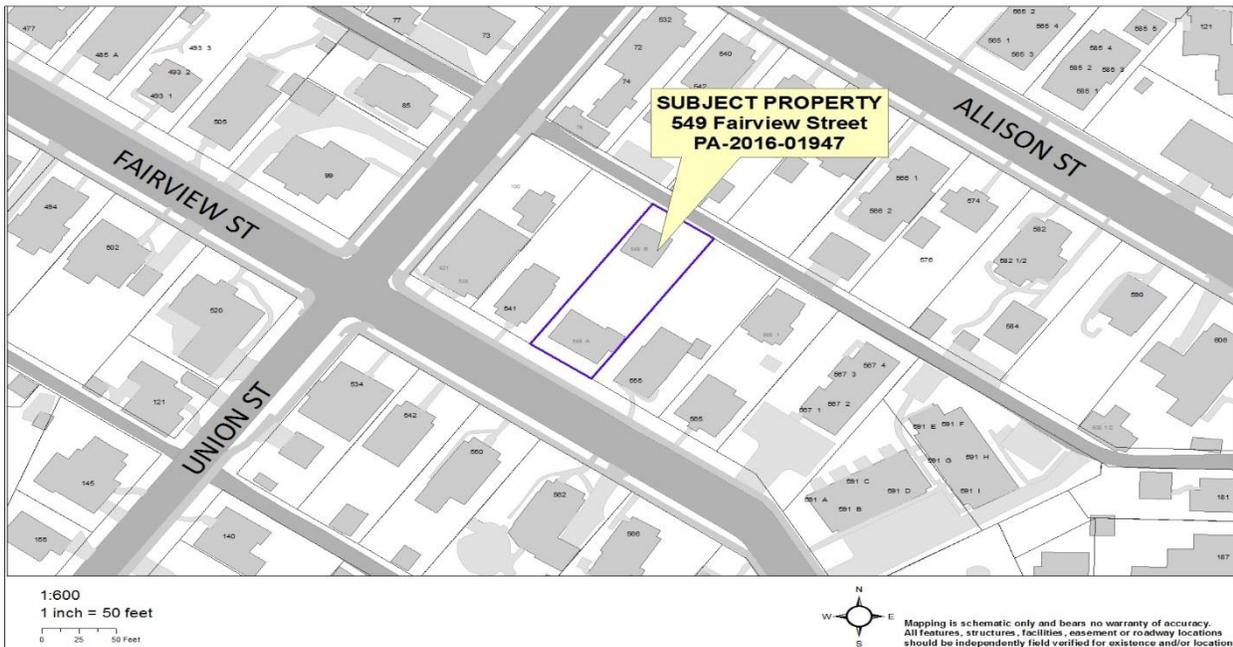
DESCRIPTION: A request for a Site Design Review to allow for the construction of a 499 square foot second dwelling unit on the subject property. The proposed structure will be two stories with a single car garage located on the first floor and the dwelling unit on the second floor. **COMPREHENSIVE PLAN DESIGNATION:** Low Density Multiple-Family Residential; **ZONING:** R-2; **ASSESSOR'S MAP:** 39 1E 09CA; **TAX LOT:** 14100.

NOTE: The Ashland Historic Commission will also review this Planning Action on **Wednesday December 7, 2016 at 7:00PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTE: The Ashland Tree Commission will also review this Planning Action on **Thursday, December 8, 2016 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTICE OF COMPLETE APPLICATION: November 29, 2016

DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS: December 13, 2016



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.5.1.050.G)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

SITE DESIGN AND USE STANDARDS

18.5.2.050

The following criteria shall be used to approve or deny an application:

- A. **Underlying Zone:** The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.
- B. **Overlay Zones:** The proposal complies with applicable overlay zone requirements (part 18.3).
- C. **Site Development and Design Standards:** The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.
- D. **City Facilities:** The proposal complies with the applicable standards in section 18.4.6 Public Facilities and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property and adequate transportation can and will be provided to the subject property.
- E. **Exception to the Site Development and Design Standards.** The approval authority may approve exceptions to the Site Development and Design Standards of part 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.
 1. There is a demonstrable difficulty meeting the specific requirements of the Site Development and Design Standards due to a unique or unusual aspect of an existing structure or the proposed use of a site; and approval of the exception will not substantially negatively impact adjacent properties; and approval of the exception is consistent with the stated purpose of the Site Development and Design; and the exception requested is the minimum which would alleviate the difficulty.; or
 2. There is no demonstrable difficulty in meeting the specific requirements, but granting the exception will result in a design that equally or better achieves the stated purpose of the Site Development and Design Standards.

TREE REMOVAL PERMIT

18.5.7.040.B

1. **Hazard Tree.** A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The applicant must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. See definition of hazard tree in part 18.6.
 - b. The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.
2. **Tree That is Not a Hazard.** A Tree Removal Permit for a tree that is not a hazard shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.10.
 - b. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.
 - c. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.
 - d. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.
 - e. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

549 Fairview
ARU Narrative

RECEIVED

NOV 10 2016

City Of Ashland

We propose a 500sf garage 20x25 with a 499sf one bedroom one bathroom studio living space above second floor. We have 3 parking spaces at garage on alley access. There is an existing single family house at street which is 1372sf. The exterior is craftsman style horizontal smooth lap siding mixed with board and batt and accents of corrugated metal. Front door is double full light wood finish. There are 3 bicycle parking spaces under entry stairs against garage. The immediate area around new building will be modestly landscaped with drip irrigation system. The water will be tied into the existing house, the sewer will tie into an existing lateral stubbed out from alley to property. A new electric service will be installed on existing house at street and run underground to new building across backyard to ARU. Roofing will be composition shingles. The driveway will be gravel or concrete 30'x20' to accommodate 3 parking spaces. There will be exterior lights at all exterior doors including both sides of the garage door. A cedar fence with a gate will extend across the back of building at alley from property line to property line.

There are no trees in the area of the new building so no tree protection is applicable. We have open space area between new building and existing house that will be a minimum of 8% of lot area and a 3' pathway from ARU to street for direct access to Fairview street.

The building is within the required minimum setbacks, 6' side yard and 10' per story in the rear yard. The lot is 7100sf and is 50'x140'. The total floor area on the property is 1372sf existing main house and 499sf new ARU a total of 1871sf floor area. The building height is 25' and is oriented towards the street. It is contemporary craftsman architecture and fits into the historical surrounding.

The total impervious surface lot coverage is 26.4%. The total square foot of the development is 999sf and the landscaped area is approximately 650sf.



Planning Division
 51 Winburn Way, Ashland OR 97520
 541-488-5305 Fax 541-488-6006

ZONING PERMIT APPLICATION

FILE # 2016-01947

DESCRIPTION OF PROJECT

DESCRIPTION OF PROPERTY

Pursuing LEED® Certification? YES NO

Street Address 549 FAIR VIEW ST
 Assessor's Map No. 39 1E 09CA Tax Lot(s) #14100
 Zoning R-2 Comp Plan Designation _____

APPLICANT

Name BOB HAXTON Phone 541-890-2412 E-Mail HAXTONDES@AOL.COM
 Address PO BOX 581 City ASHLAND Zip 97520

PROPERTY OWNER

Name JIM WILLIAMS Phone 541-944-1237 E-Mail JIM.WILLIAMS@MUSTHAVE
 Address 160 CHURCH ST City ASHLAND Zip 97520 ^{MENUS-} COM

SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OTHER

Title _____ Name _____ Phone _____ E-Mail _____
 Address _____ City _____ Zip _____
 Title _____ Name _____ Phone _____ E-Mail _____
 Address _____ City _____ Zip _____

I hereby certify that the statements and information contained in this application, including the enclosed drawings and the required findings of fact, are in all respects, true and correct. I understand that all property pins must be shown on the drawings and visible upon the site inspection. In the event the pins are not shown or their location found to be incorrect, the owner assumes full responsibility. I further understand that if this request is subsequently contested, the burden will be on me to establish:

- 1) that I produced sufficient factual evidence at the hearing to support this request;
- 2) that the findings of fact furnished justifies the granting of the request;
- 3) that the findings of fact furnished by me are adequate; and further
- 4) that all structures or improvements are properly located on the ground.

Failure in this regard will result most likely in not only the request being set aside, but also possibly in my structures being built in reliance thereon being required to be removed at my expense. If I have any doubts, I am advised to seek competent professional advice and assistance.

[Signature] 10-12-16
 Applicant's Signature Date

As owner of the property involved in this request, I have read and understood the complete application and its consequences to me as a property owner.
[Signature] 10-13-16
 Property Owner's Signature (required) Date

[To be completed by City Staff]
 Date Received 10-13-16 Zoning Permit Type 1 Filing Fee \$ 1022.00

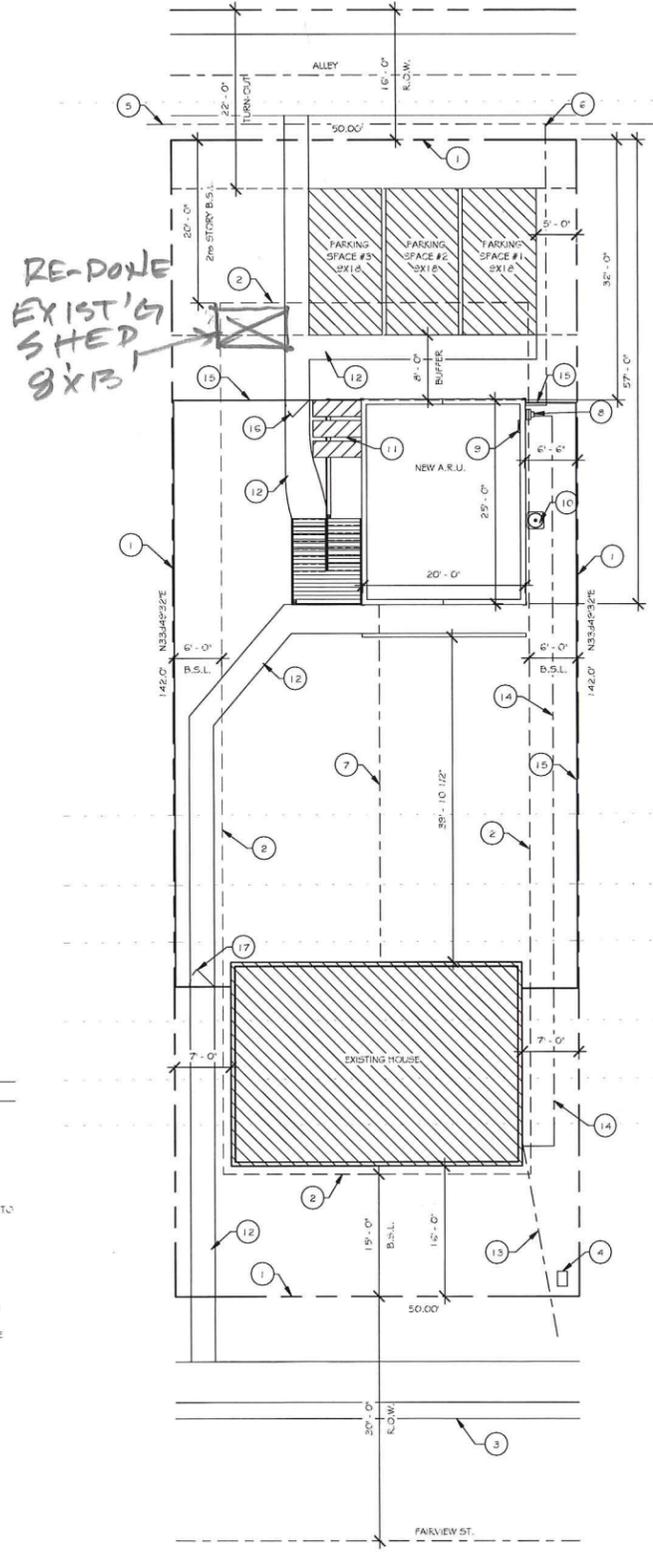
OVER >>

SSB - STANDARD B

H - 24.5 - 16' = 8.5'
 S - (102%) .445 - .02 = .425
 8.5' ÷ .425 = 20'

ABBREVIATIONS

∠	And	INT.	Interior	∠	And	INT.	Interior																																																																																																																																																																
L	Angle	JT.	Joint	∠	Angle	JT.	Joint																																																																																																																																																																
@	Centerline	KIT.	Kitchen	∠	Angle	JT.	Joint																																																																																																																																																																
Ø	Diameter or Round	LAM.	Laminate	∠	Angle	JT.	Joint																																																																																																																																																																
#	Found or Number	LAV.	Lavatory	∠	Angle	JT.	Joint																																																																																																																																																																
(E)	Existing	LT.	Light	∠	Angle	JT.	Joint																																																																																																																																																																
ADJ.	Adjustable	MAX.	Maximum	∠	Angle	JT.	Joint																																																																																																																																																																
A.F.F.	Above Finish Floor	M.C.	Mechanical Cabinet	∠	Angle	JT.	Joint																																																																																																																																																																
AL.	Aluminum	MECH.	Mechanical	∠	Angle	JT.	Joint																																																																																																																																																																
APPROX.	Approximate	MENIB.	Membrane	∠	Angle	JT.	Joint																																																																																																																																																																
ARCH.	Architectural	MTL.	Metal	∠	Angle	JT.	Joint																																																																																																																																																																
ASPH.	Asphalt	MFR.	Manufacturer	∠	Angle	JT.	Joint																																																																																																																																																																
BD.	Board	MIN.	Minimum	∠	Angle	JT.	Joint																																																																																																																																																																
B.F.	Bi-Fold	MIR.	Mirror	∠	Angle	JT.	Joint																																																																																																																																																																
B.D.G.	Building	MISC.	Miscellaneous	∠	Angle	JT.	Joint																																																																																																																																																																
B.K.	Block	MTD.	Mounted	∠	Angle	JT.	Joint																																																																																																																																																																
B.K.G.	Blocking	MUL.	Mulch	∠	Angle	JT.	Joint																																																																																																																																																																
B.M.	Beam	II	North	∠	Angle	JT.	Joint																																																																																																																																																																
B.O.	By Owner	II.C.	Not in Contract	∠	Angle	JT.	Joint																																																																																																																																																																
CAB.	Cabinet	HO. or #	Number	∠	Angle	JT.	Joint																																																																																																																																																																
CER.	Ceramic	ION.	Homol	∠	Angle	JT.	Joint																																																																																																																																																																
C.I.	Cast Iron	N.T.S.	Not To Scale	∠	Angle	JT.	Joint																																																																																																																																																																
CLG.	Ceiling	O.C.	On Center	∠	Angle	JT.	Joint																																																																																																																																																																
CLKG.	Caulking	O.D.	Outside Diameter (Dim.)	∠	Angle	JT.	Joint																																																																																																																																																																
CLO.	Closet	OFFG.	Opening	∠	Angle	JT.	Joint																																																																																																																																																																
CLR.	Clear	OFF.	Opposite	∠	Angle	JT.	Joint																																																																																																																																																																
C.O.	Cased Opening	PL.	Plate	∠	Angle	JT.	Joint																																																																																																																																																																
COL.	Column	P.LAM.	Plastic Laminate	∠	Angle	JT.	Joint																																																																																																																																																																
COMP.	Compressor	FLAS.	Plaster	∠	Angle	JT.	Joint																																																																																																																																																																
CONC.	Concrete	PLYVD.	Plywood	∠	Angle	JT.	Joint																																																																																																																																																																
CONN.	Connection	FLND.	Fanned Door	∠	Angle	JT.	Joint																																																																																																																																																																
CONSTR.	Construction	FR.	Far	∠	Angle	JT.	Joint																																																																																																																																																																
COIT.	Countertop	FT.	Foot	∠	Angle	JT.	Joint																																																																																																																																																																
CNTR.	Counter	PTH.	Partition	∠	Angle	JT.	Joint																																																																																																																																																																
CSMT.	Casement	R.	Risers	∠	Angle	JT.	Joint																																																																																																																																																																
CTR.	Center	R.#5.	Rod & Scaff	∠	Angle	JT.	Joint																																																																																																																																																																
DBL.	Double	RAD.	Radius	∠	Angle	JT.	Joint																																																																																																																																																																
DET.	Detail	REF.	Reference	∠	Angle	JT.	Joint																																																																																																																																																																
DIA.	Diameter	REFRIG.	Refrigerator	∠	Angle	JT.	Joint																																																																																																																																																																
DIM.	Dimension	REQ.	Required	∠	Angle	JT.	Joint																																																																																																																																																																
DISP.	Dispenser	RESIL.	Resilient	∠	Angle	JT.	Joint																																																																																																																																																																
DN.	Down	RM.	Room	∠	Angle	JT.	Joint																																																																																																																																																																
D.O.	Door Opening	R.O.	Round Opening	∠	Angle	JT.	Joint																																																																																																																																																																
DR.	Door	RWD.	Redwood	∠	Angle	JT.	Joint																																																																																																																																																																
DW.	Dishwasher	RWL.	Rain Water Leader	∠	Angle	JT.	Joint																																																																																																																																																																
DWR.	Drawer	S	South	∠	Angle	JT.	Joint																																																																																																																																																																
DWG.	Drawing	S.C.	Solid Core	∠	Angle	JT.	Joint																																																																																																																																																																
E	East	SCHED.	Schedule	∠	Angle	JT.	Joint																																																																																																																																																																
EA.	Each	S.D.	Soap Dispenser	∠	Angle	JT.	Joint																																																																																																																																																																
E.J.	Expansion Joint	SECT.	Section	∠	Angle	JT.	Joint																																																																																																																																																																
EL.	Elevation	S.G.D.	Sliding Glass Door	∠	Angle	JT.	Joint																																																																																																																																																																
ELEC.	Electrical	SH.	Shelf	∠	Angle	JT.	Joint																																																																																																																																																																
ENCL.	Enclosure	S.H.	Single Hung	∠	Angle	JT.	Joint																																																																																																																																																																
E.P.	Electrical Panel Board	SHT.	Shower	∠	Angle	JT.	Joint																																																																																																																																																																
EQ.	Equal	SHT.	Sheet	∠	Angle	JT.	Joint																																																																																																																																																																
EQPT.	Equipment	SIM.	Similar	∠	Angle	JT.	Joint																																																																																																																																																																
EXST.	Existing	SPEC.	Specification	∠	Angle	JT.	Joint																																																																																																																																																																
EXPO.	Exposed	SQ.	Square	∠	Angle	JT.	Joint																																																																																																																																																																
EXP.	Expansion	S.S.	Stainless Steel	∠	Angle	JT.	Joint																																																																																																																																																																
EXT.	Exterior	S.S.D.	See Structural Drawings	∠	Angle	JT.	Joint																																																																																																																																																																
FIH.	Finish	STD.	Standard	∠	Angle	JT.	Joint																																																																																																																																																																
FLSH.	Flashing	STL.	Steel	∠	Angle	JT.	Joint																																																																																																																																																																
FLUOR.	Fluorescent	STOR.	Storage	∠	Angle	JT.	Joint																																																																																																																																																																
F.M.	Flush Metal	T.B.	Towel Bar	∠	Angle	JT.	Joint																																																																																																																																																																
F.O.F.	Face of Finish	TEL.	Telephone	∠	Angle	JT.	Joint																																																																																																																																																																
F.O.S.	Face of Studs	TEMP.	Tempered	∠	Angle	JT.	Joint																																																																																																																																																																
FR.	French	T&G.	Tongue and Groove	∠	Angle	JT.	Joint																																																																																																																																																																
F.R.	Fire Rated	THK.	Thick	∠	Angle	JT.	Joint																																																																																																																																																																
F.T.	Foot or Feet	T.P.D.	Toilet Paper Dispenser	∠	Angle	JT.	Joint </tr <tr> <td>FURK.</td><td>Furring</td><td>T.O.C.</td><td>Top of Curb</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>FUT.</td><td>Future</td><td>T.O.W.</td><td>Top of Wall</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>FXD.</td><td>Fixed</td><td>T.O.S.</td><td>Top of Slab</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>GA.</td><td>Gauge</td><td>TYF.</td><td>Typical</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>GALV.</td><td>Galvanized</td><td>U.O.H.</td><td>Unless Otherwise Noted</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>G.D.</td><td>Garage Door</td><td>VERT.</td><td>Vertical</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>GND.</td><td>Ground</td><td>V.I.F.</td><td>Verify in Field</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>GR.</td><td>Grade</td><td>W</td><td>West</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>G.S.M.</td><td>Galvanized Sheet Metal</td><td>WF</td><td>Weld</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>GYP.</td><td>Gypsum</td><td>W.C.</td><td>Water Closet</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>H.B.</td><td>Hose Bibb</td><td>WD.</td><td>Wood</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>H.C.</td><td>Hollow Core</td><td>WH</td><td>Water Heater</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>HDWD.</td><td>Hardwood</td><td>W/O</td><td>Without</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>HDWR.</td><td>Hardware</td><td>WP.</td><td>Waterproof</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>HORIZ.</td><td>Horizontal</td><td>WT.</td><td>Weight</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>HR.</td><td>Hour</td><td>W.S.</td><td>Window Sill</td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>HGT.</td><td>Height</td><td></td><td></td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>HVAC</td><td>Heating Ventilating/ Air Conditioning</td><td></td><td></td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>I.D.</td><td>Inside Diameter (Dim.)</td><td></td><td></td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr> <tr> <td>INSUL.</td><td>Insulation</td><td></td><td></td> <td>∠</td><td>Angle</td><td>JT.</td><td>Joint</td> </tr>	FURK.	Furring	T.O.C.	Top of Curb	∠	Angle	JT.	Joint	FUT.	Future	T.O.W.	Top of Wall	∠	Angle	JT.	Joint	FXD.	Fixed	T.O.S.	Top of Slab	∠	Angle	JT.	Joint	GA.	Gauge	TYF.	Typical	∠	Angle	JT.	Joint	GALV.	Galvanized	U.O.H.	Unless Otherwise Noted	∠	Angle	JT.	Joint	G.D.	Garage Door	VERT.	Vertical	∠	Angle	JT.	Joint	GND.	Ground	V.I.F.	Verify in Field	∠	Angle	JT.	Joint	GR.	Grade	W	West	∠	Angle	JT.	Joint	G.S.M.	Galvanized Sheet Metal	WF	Weld	∠	Angle	JT.	Joint	GYP.	Gypsum	W.C.	Water Closet	∠	Angle	JT.	Joint	H.B.	Hose Bibb	WD.	Wood	∠	Angle	JT.	Joint	H.C.	Hollow Core	WH	Water Heater	∠	Angle	JT.	Joint	HDWD.	Hardwood	W/O	Without	∠	Angle	JT.	Joint	HDWR.	Hardware	WP.	Waterproof	∠	Angle	JT.	Joint	HORIZ.	Horizontal	WT.	Weight	∠	Angle	JT.	Joint	HR.	Hour	W.S.	Window Sill	∠	Angle	JT.	Joint	HGT.	Height			∠	Angle	JT.	Joint	HVAC	Heating Ventilating/ Air Conditioning			∠	Angle	JT.	Joint	I.D.	Inside Diameter (Dim.)			∠	Angle	JT.	Joint	INSUL.	Insulation			∠	Angle	JT.	Joint
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SITE PLAN KEY NOTES

#	Keynote Text
1	PROPERTY LINE.
2	BUILDING SETBACK LINE.
3	LINE OF EXISTING PAVEMENT.
4	EXISTING WATER METER.
5	EXISTING SEWER LATERAL IN ALLEYWAY.
6	NEW TAP AND LINE TO ADU FROM EXISTING LATERAL.
7	5" NEW WATER LINE OF EXISTING MAIN LINE AT DRIVE TO ADU.
8	LOCATION OF NEW ELECTRICAL SERVICE.
9	NEW ELECTRICAL PANEL.
10	NEW CONDENSING UNIT.
11	2'-0" x 8'-0" BICYCLE PARKING SPACES, TYP. OF 2.
12	GRAVEL PATH MIN. 3'-0" WIDE.
13	EXISTING OVERHEAD POWER LINE TO BE REMOVED AT MAIN HOME.
14	CREATE NEW UNDERGROUND POWER LINE TO SERVICE AT ADU.
15	6'-0" HIGH WOOD SLAT FENCE.
16	3'-0" GATE TO MATCH FENCE.
17	EXISTING GATE TO REMAIN.

RECEIVED
 OCT 13 2016
 City of Ashland

1 SITE PLAN - ADU
 1" = 10'-0"

Project Data

Project Description:
 CONSTRUCTION OF A NEW DETACHED GARAGE / ADU

Project Address:
 549 FAIRVIEW ST.
 ASHLAND, OR. 97520

Owner:
 JAMES WILLIAMS

Zoning:
 R-2

Legal Description:
 LOT # 14100
 MAP# 391E09CA

Existing:
 Existing: 1325 SQ. FT.
 Livable: 0 SQ. FT.
 Garage / Storage: 100 SQ. FT.
 Patio / Porch: 1472 SQ. FT.
 Total Existing: 1472 SQ. FT.

Garage / ADU:
 Livable: 499 SQ. FT.
 Garage / Storage: 499 SQ. FT.
 Patio / Porch: 0 SQ. FT.
 Total Addition: 998 SQ. FT.

Footprint Total: 1870 SQ. FT.

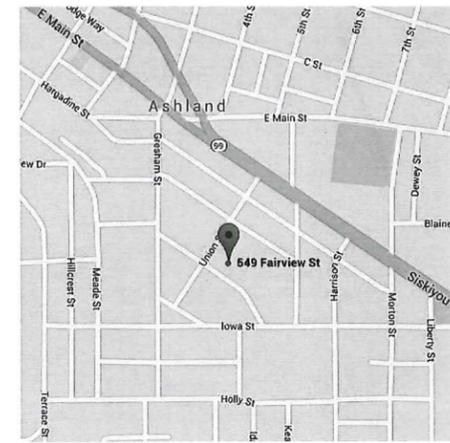
Lot Area: 7100 SQ. FT.

Non-Permeable Surfaces:
 Driveway = 764 sq. ft.

Lot Coverage:
 26.4% LOT COVERAGE

Sheet List:

#	Sheet Name
A-1	COVER SHEET
A-2	SPECIFICATIONS
A-3	ADU
A-4	BUILDING SECTIONS
A-5	FOUNDATION PLAN



VICINITY MAPS
 SCALE: N.T.S.

ARCHITECTURAL SYMBOL LEGEND

- ⊙ ARCHITECTURAL KEY NOTE BUBBLE
- ⊙ KEY NOTE LABEL FOR STRUCTURAL, ELECTRICAL, MECHANICAL ETC.
- Name Elevation ELEVATION TAG
- ⊙ SPOT ELEVATION TAG
- 1 SIM SECTION LABEL
- 11 DOOR LABEL
- 11 WINDOW LABEL
- 1 A101 INTERIOR ELEVATION CALL OUT
- 0 GRID LABEL
- Ref EXTERIOR ELEVATION CALL OUT
- 1 View Name 1/8" = 1'-0" DRAWING TITLE AND SCALE CALL OUT
- △ REVISION TAG
- 1 SIM 1 A101 DETAIL CALL OUT
- EXISTING WALL
- [- -] EXISTING WALL TO BE DEMOLISHED
- XXXXX NEW WALL

CONTRACTORS RESPONSIBILITY

CONTRACTOR SHALL THOROUGHLY REVIEW ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE DESIGNER AND THE OWNER WHEN ANY EXISTING CONDITION CONFLICTS WITH OR IS NOT COVERED BY PROJECT DOCUMENTS. CONTRACTOR TO CLARIFY WITH DESIGNER ANY DISCREPANCIES IN DESIGNER'S DOCUMENTATION PRIOR TO CONSTRUCTION. PURCHASE OF MATERIALS OR INSTALLATION.

CONTRACTOR SHALL VERIFY DIMENSIONS AND FIELD LOCATIONS NOT DIMENSIONED IN THESE DOCUMENTS.

NOTHING IN THESE DRAWINGS SHALL BE CONSTRUED AS TO ALLOW CONSTRUCTION TO PROCEED CONTRARY TO CURRENT APPLICABLE LOCAL AND STATE CODE REQUIREMENTS.

CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION OF ALL ELECTRICAL AND MECHANICAL REQUIREMENTS, INCLUDING OWNER SUPPLIED REQUIREMENTS FOR CONNECTIONS WITH EQUIPMENT OR FITTINGS.

CONTRACTOR SHALL PROVIDE DESIGN SERVICES FOR ANY ELECTRICAL, HVAC AND PLUMBING WORK INCLUDING APPROPRIATE ENGINEERING AS REQUIRED. SUBMIT DOCUMENTATION FOR BUILDING DEPARTMENT AND OWNER/DESIGNER APPROVAL PRIOR TO CONSTRUCTION.

ALL CONSTRUCTION IS NEW UNLESS OTHERWISE NOTED.

THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT INDICATE EVERY CONDITION. WORK NOT PARTICULARLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.

DO NOT SCALE DRAWINGS.

FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. WHERE DISCREPANCIES OCCUR THEY SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION.

DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. CONCRETE DIMENSIONS ARE GIVEN TO FACE OF CONCRETE AND TO THE ROUGH OPENINGS FACE AT WALL OPENINGS. PARTITION DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNLESS OTHERWISE NOTED.

DOOR OPENING LOCATIONS ARE DIMENSIONED TO THE CENTERLINE OF THE OPENING. IF NO LOCATING DIMENSION IS SHOWN, THE OPENING IS LOCATED BY THE DOOR DETAILS.

SITE BOUNDARY LINES, BOUNDARY DIMENSIONS, AND BOUNDARY DECLINATIONS ARE BASED UPON THE SITE SURVEY WHICH IS PROVIDED BY THE OWNER FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE DEEMED TO HAVE INSPECTED THE SITE AND SATISFIED HIMSELF AS TO ACTUAL GRADES, LEVELS, DIMENSIONS, AND DECLINATIONS AND THE TRUE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.

THESE DRAWINGS ARE PART OF SPECIFICATIONS PREPARED FOR CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR RESOLUTION.

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR A COMPLETE JOB.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND CLEAN-UP.

NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB.

WHERE ANY DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES, SPECIFICATIONS AND ALL APPLICABLE CODES, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.

HAXTON
 DESIGN BUILD LLC

541-590-2412
<http://www.haxtondesignbuild.com>

Client

FAIRVIEW RESIDENCE

549 FAIRVIEW ST.
 ASHLAND, OR. 97520

TNT
 DESIGN + DRAFTING

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 E-Mail: TERRY@TNTCAD.COM
 WEB SITE: TNTCAD.COM

Date Completed: 10-5-16

Scale: AS NOTED

Drawn By: TNT

Plan Alteration Date

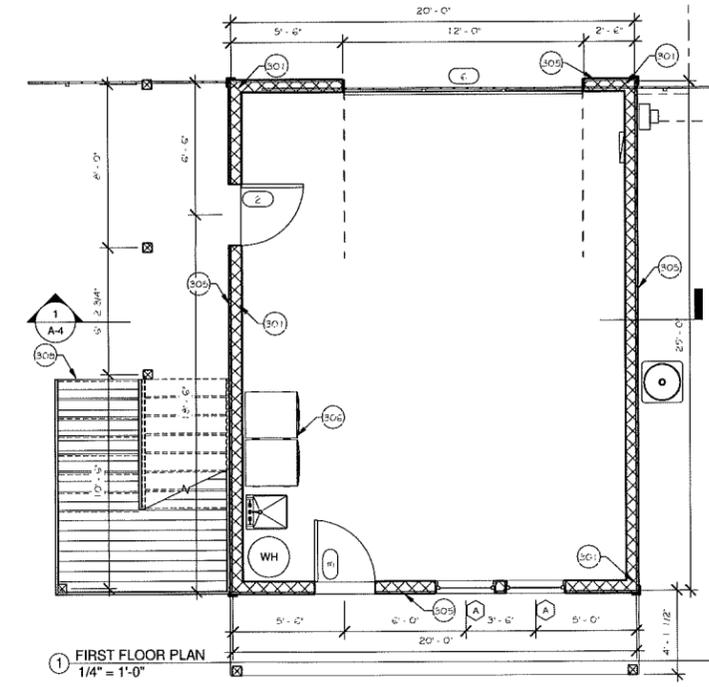
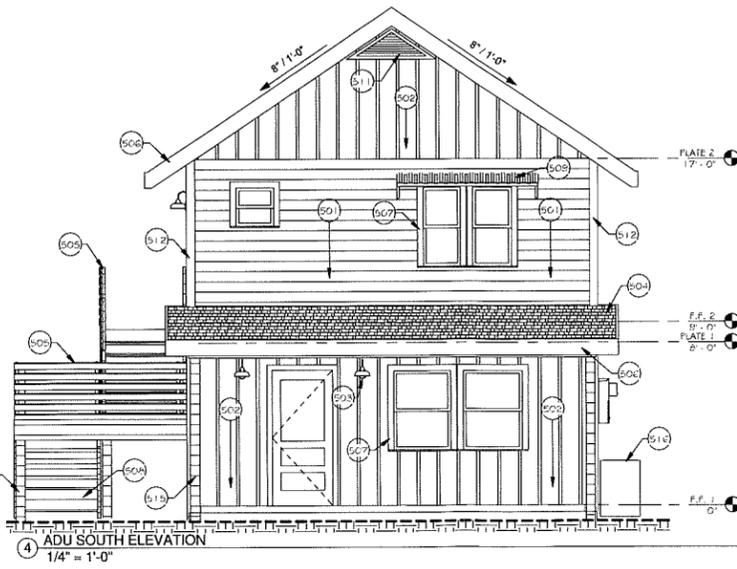
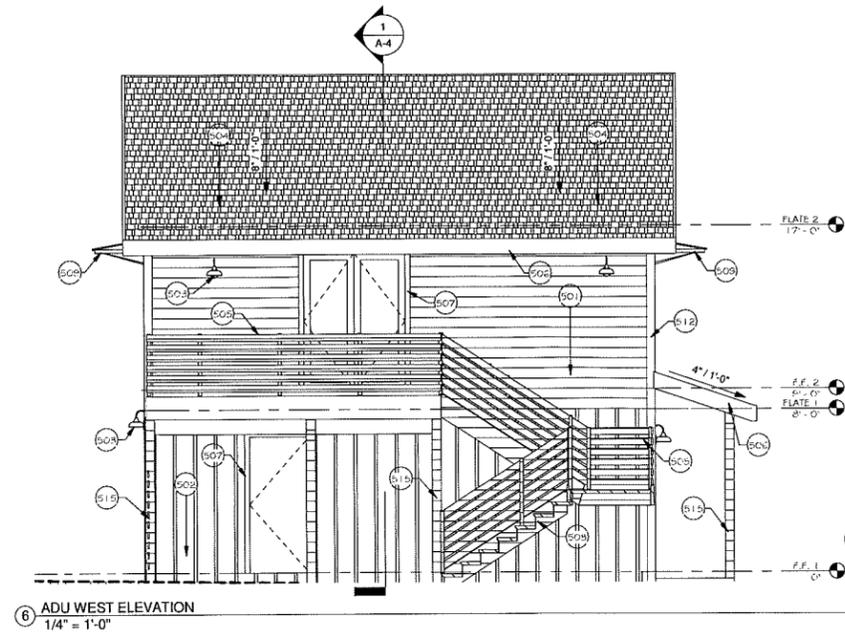
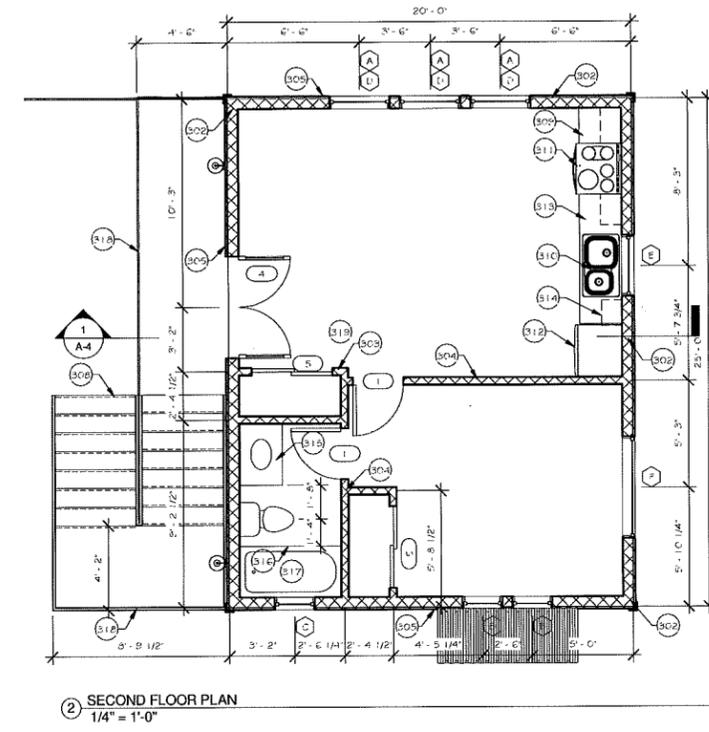
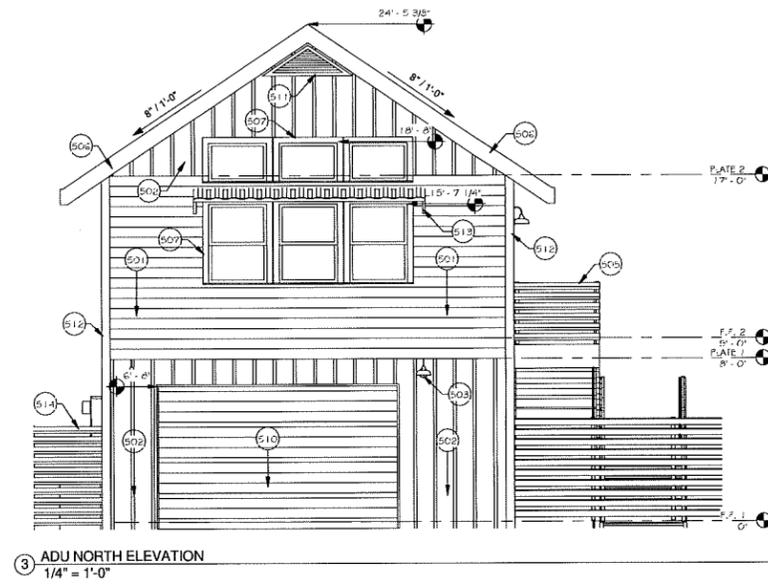
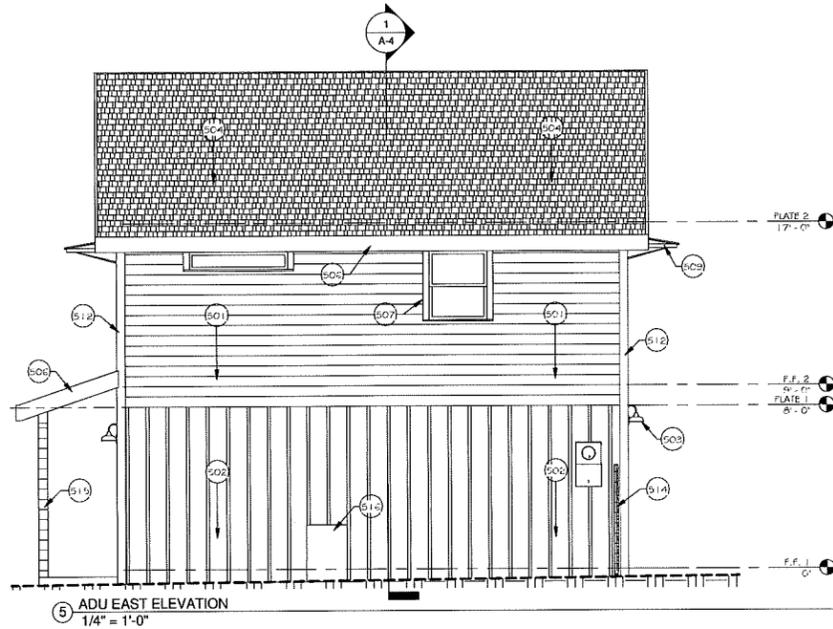
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 2nd Submittal: △
 3rd Submittal: △
 4th Submittal: △
 5th Submittal: △
 6th Submittal: △

Drawing Name

A-1

COVER SHEET

EXTERIOR FINISHES:
FIRST FLOOR & GABLES TO BE BOARD AND BATTON SIDING WITH
BATTSONS @ 12" O.C.
SECOND FLOOR TO BE HARDI BOARD LAP STYLE SIDING.
ROOF TO BE COMPOSITE SHINGLE ROOFING.
PROVIDE 1X4 TRIM AROUND ALL WINDOWS, BUILDING CORNERS
AND SIDING TRANSITION POINTS.



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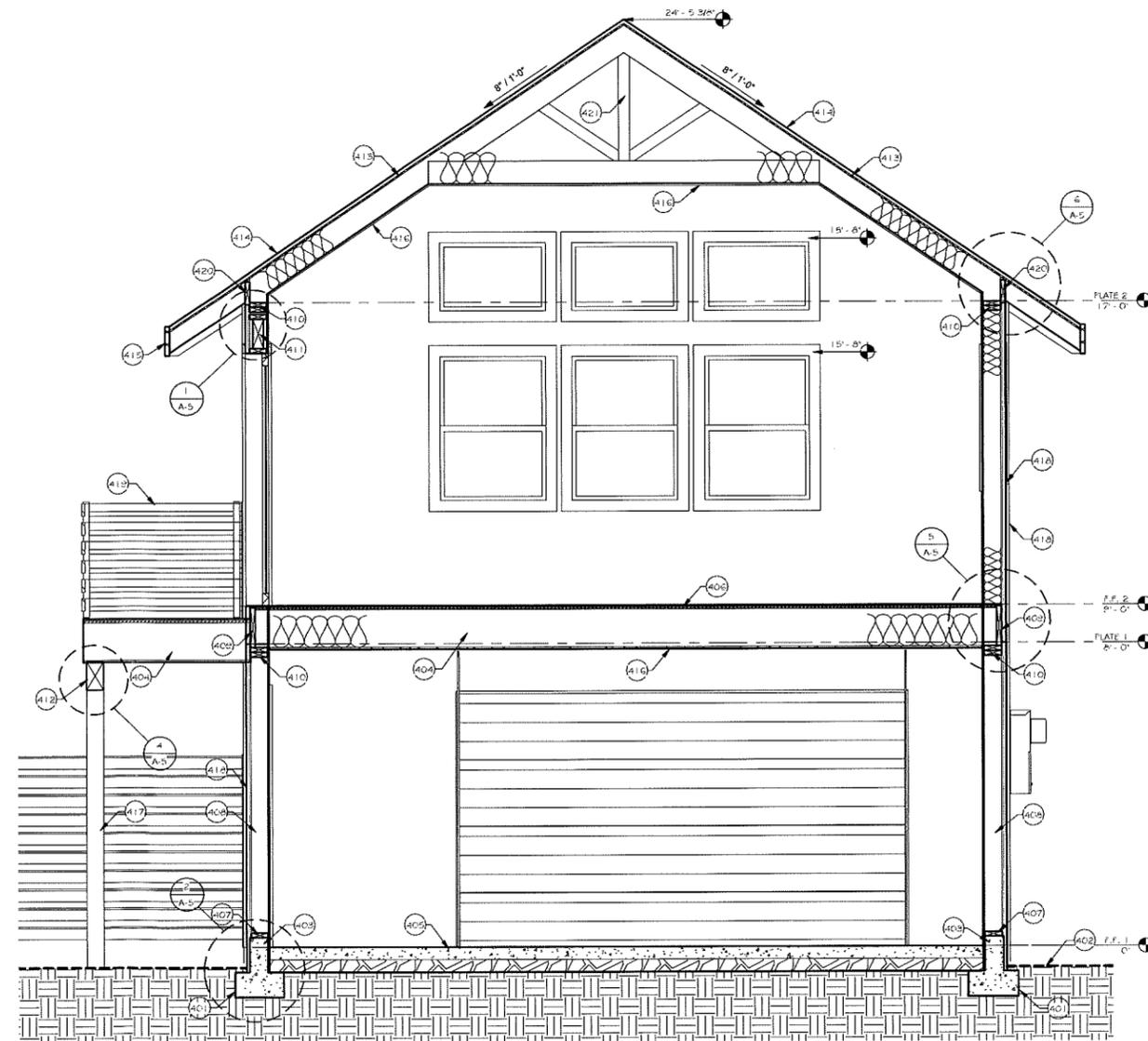
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Scale: AS NOTED
Drawn By: TNT

Plan Alteration Date
1st Submittal:
2nd Submittal:
3rd Submittal:
4th Submittal:
5th Submittal:
6th Submittal:

Drawings Name
A-3
A.D.U.

BUILDING SECTION KEY NOTES

#	Keynote Text
401	FOOTING SEE FOUNDATION PLAN FOR SIZE AND REINFORCEMENT.
402	LINE OF EXISTING FINISH GRADE.
403	CONCRETE STEM AT GARAGE MIN. 4" ABS/ME FINISH SLAB.
404	FLOOR JOISTS SEE FOUNDATION PLAN. PROVIDE R-20 BATT INSULATION AT JOIST CAVITIES AT FIRST FLOOR.
405	4" CONC. SLAB OVER 4" A.B.C.
406	NEW 1/2" 1/2" AFA RATED FLOOR SHEATHING.
407	2X TREATED SILL PLATE.
408	2X EXTERIOR LOAD BEARING WALL WITH STUDS AT 12" O.C. WITH R-21 BATT INSULATION. PROVIDE MIN. 3/8" D.S.B. SHEATHING AT EXTERIOR. 4 1/2" PAINTED 3/4" BD. FINISH AT INTERIOR.
409	SIM JOINT.
410	DOUBLE 2X 11/4" PLATE.
411	HEADER SEE FRAMING PLAN FOR SIZE.
412	BEAM SEE FRAMING PLAN FOR SIZE AND SPAN.
413	1/2" AFA RATED ROOF SHEATHING.
414	KOOFING MATERIAL PER EXTERIOR ELEVATIONS.
415	2X9 FASCIA PAINTED.
416	1/2" SAS RESISTANT OR 5/8" GYF. ECL. AT ALL CEILING. PAINTED.
417	POST SEE FRAMING / FOUNDATION PLAN FOR SIZE AND LOCATION.
418	EXTERIOR SIDING SEE EXTERIOR ELEVATIONS FOR TYPE.
419	3-2" HIGH GUARD RAIL WITH 4" HORIZ. SLATS PLACED AT 4" O.C. VERT.
420	2X EXTERIOR FLOORING WITH 60 2" DIA. VENT HOLES EACH WITH INSET SCREEN.
421	PREPARE ROOF TRUSSES @ 24" O.C. FR. OVER MIN. R-21 BATT INSULATION IN LEGS WITH MIN. R-20 BATT INSULATION IN PEAK AREA.



Section 4
1/2" = 1'-0"

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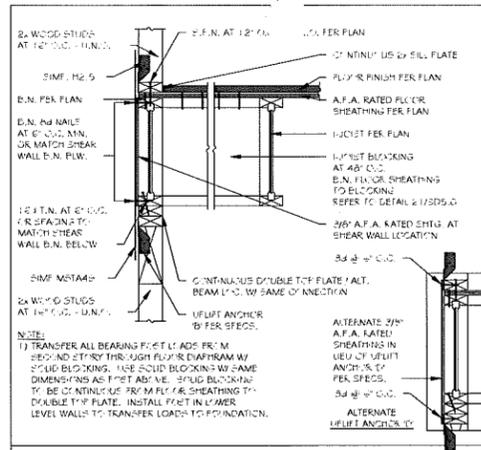
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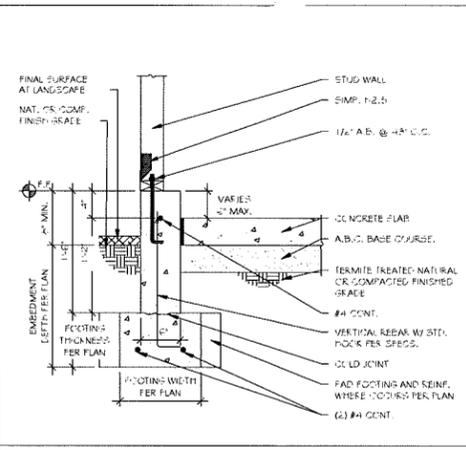
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- 4th Submittal:
- 5th Submittal:
- 6th Submittal:

Drawing Name

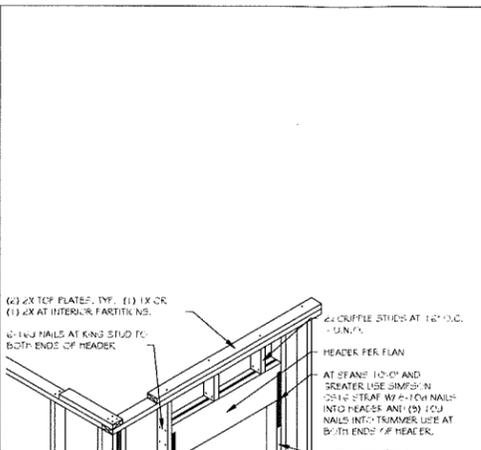
A-4
BUILDING
SECTIONS



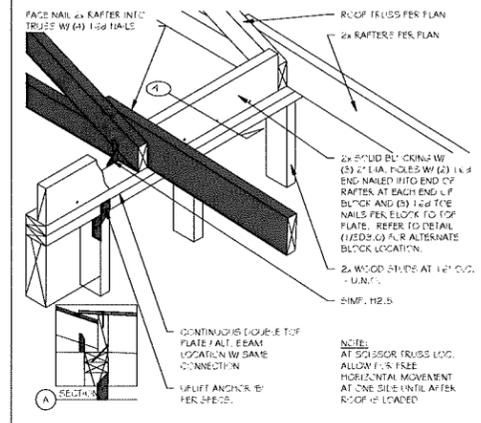
5 BCI RIM JOIST



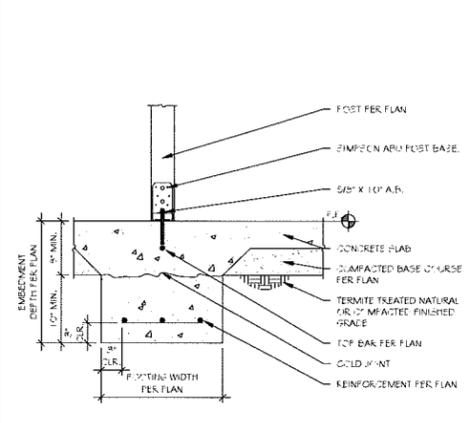
2 GARAGE FOOTING



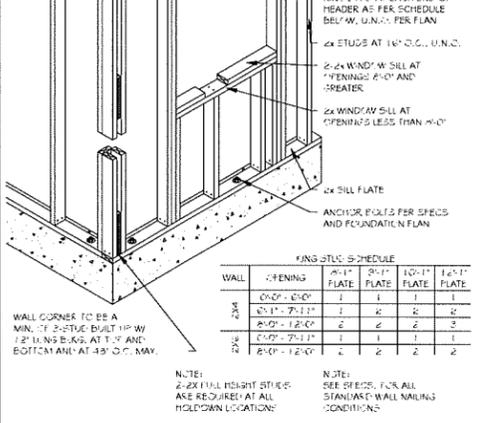
1 TYP. WALL FRAMING / HEADER



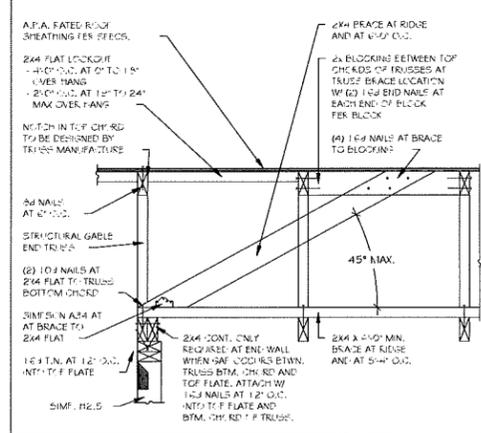
6 ROOF TRUSS TO WALL



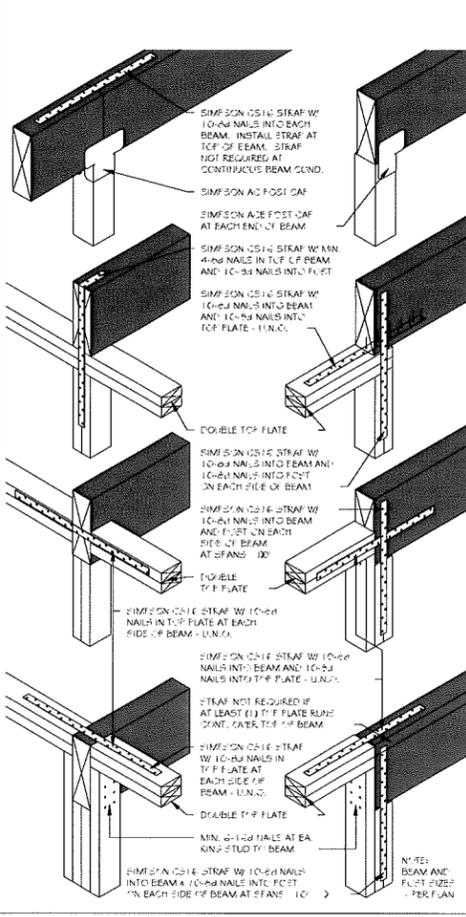
3 PAD FOOTING



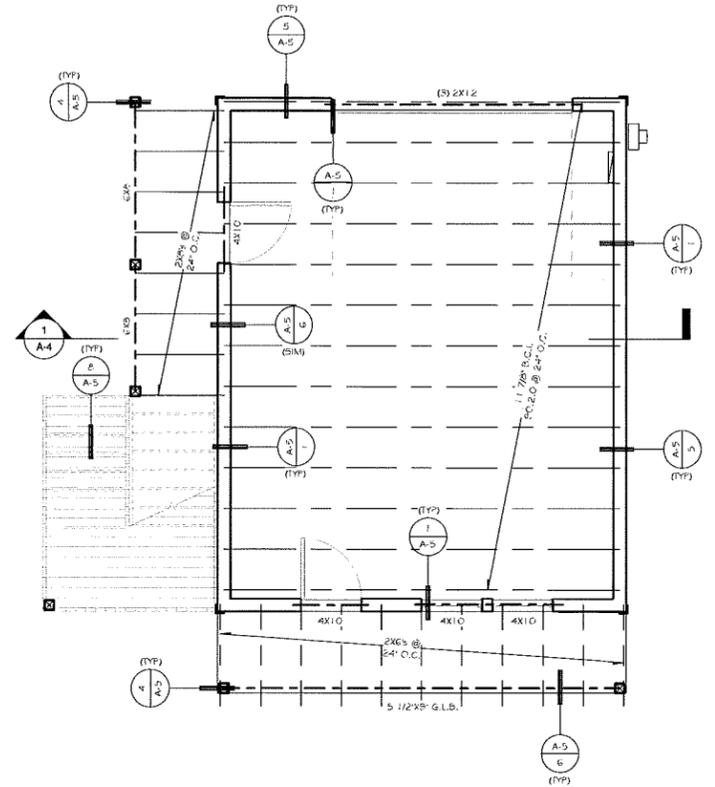
1 TYP. WALL FRAMING / HEADER



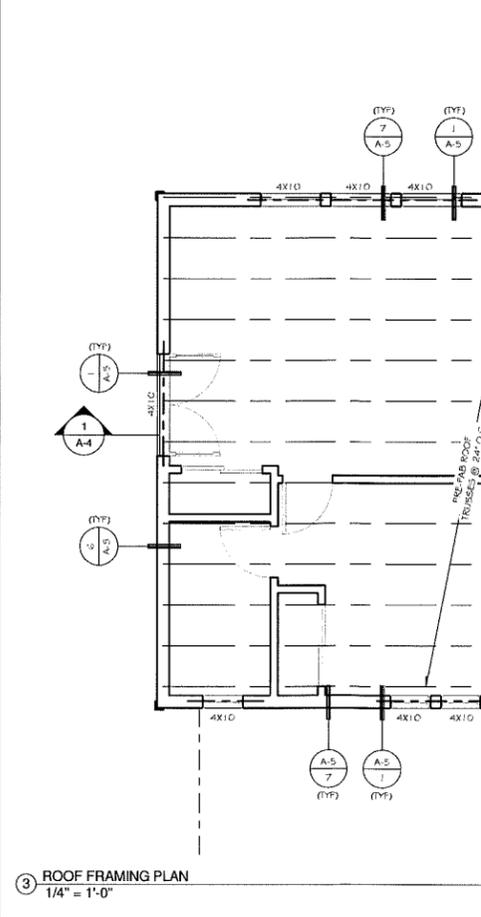
7 GABLE END BRACING



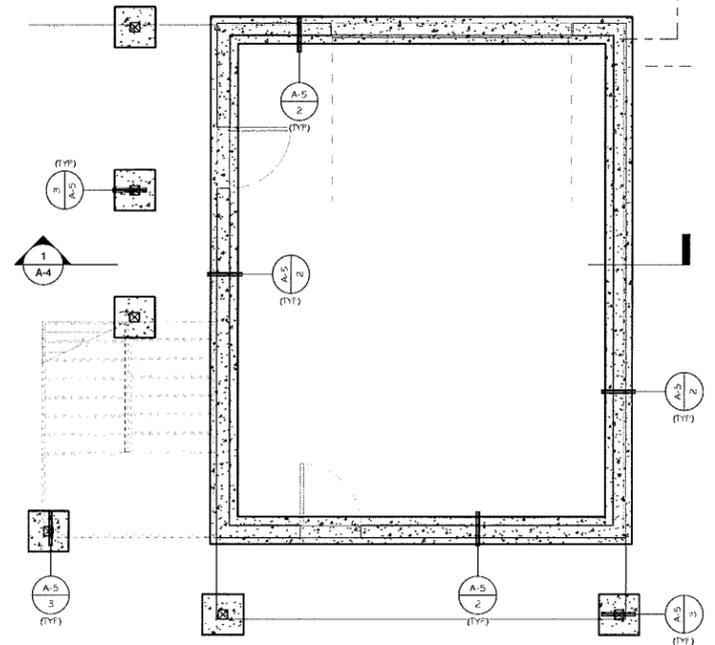
4 POST TO BEAM CONNECTION



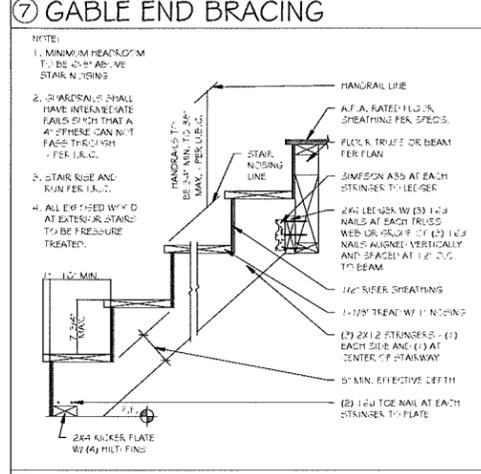
2 FLOOR FRAMING PLAN 1/4" = 1'-0"



3 ROOF FRAMING PLAN 1/4" = 1'-0"



1 FOUNDATION PLAN 1/4" = 1'-0"



8 STAIR DETAIL

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Drawn By: TNT

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3rd Submittal:
4th Submittal:
5th Submittal:
6th Submittal:

Drawing Name
A-5
FOUNDATION PLAN

ADDENDUM:

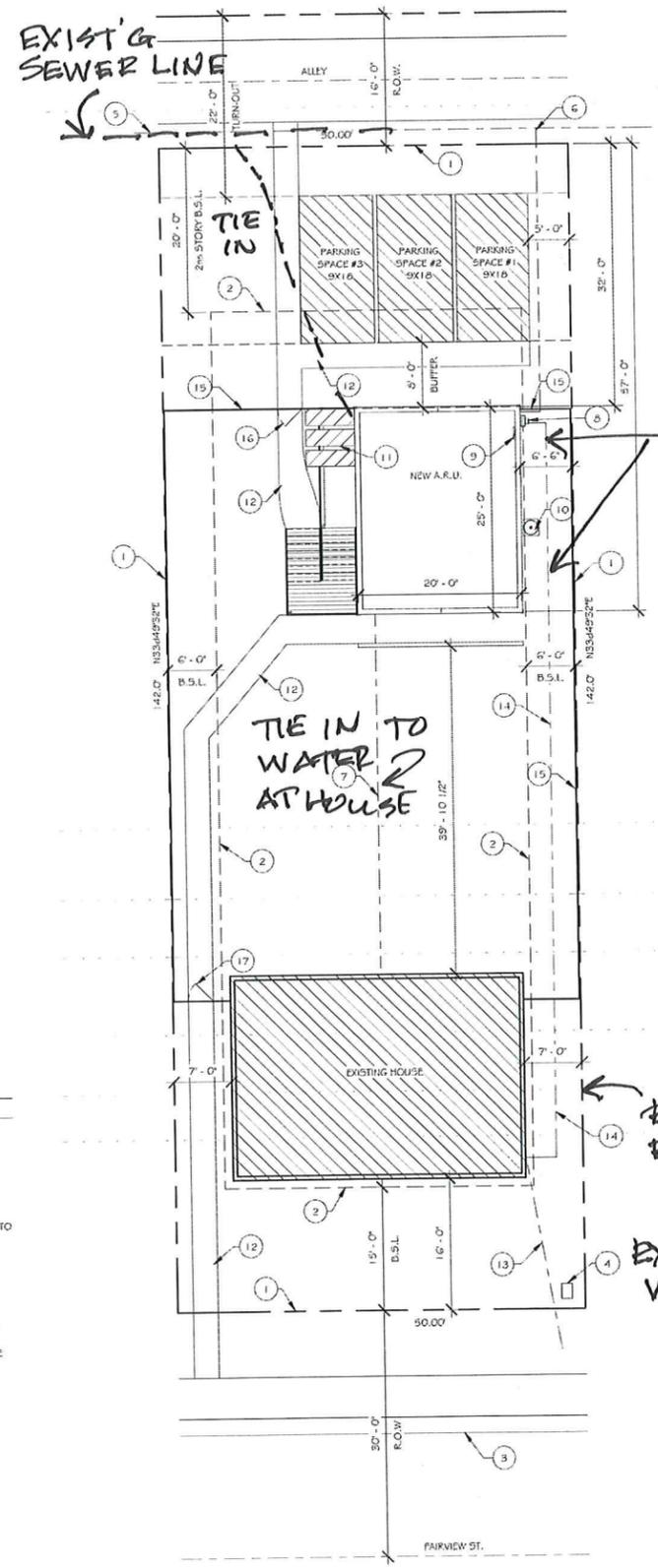
UTILITIES INFO

ABBREVIATIONS

∠	And	INT.	Interior
@	Angle	JT.	Joint
CL	Centerline	KIT.	Kitchen
Ø	Diameter or Round	LAM.	Laminate
#	Pound or Number	LAV.	Lavatory
(F)	Existing	LT.	Light
ADJ.	Adjustable	MAX.	Maximum
A.F.F.	Above Finish Floor	M.C.	Medicine Cabinet
AL.	Aluminum	MECH.	Mechanical
APPROX.	Approximate	MEMB.	Membrane
ARCH	Architectural	MIL	Metals
ASPH.	Asphalt	MFR.	Manufacturer
BD.	Board	MIN.	Minimum
B.F.	Ex-Fold	MIR.	Mirror
BLDG.	Building	MISC.	Miscellaneous
BLK.	Block	MTR.	Mounted
BLKG.	Blocking	MUL.	Mulch
BM.	Beam	N	North
B.O.	By Owner	N.I.C.	Not in Contract
CAB.	Cabinet	NO. or #	Number
CFR.	Ceramic	NOM.	Nominal
C.I.	Cast Iron	N.T.S.	Not To Scale
CLG.	Ceiling	O.C.	On Center
CLG.	Caulking	O.D.	Outside Diameter (Dm.)
CLD.	Closet	OPNG.	Opening
CLR.	Clear	OPP.	Opposite
C.O.	Cased Opening	PL	Plate
CO.	Color	P.LAM.	Plastic Laminate
COMP.	Compressor	PLAS.	Plaster
CONC.	Concrete	PLYND.	Physiocal
CONN.	Connection	PHLD.	Paneled Door
CONSTR.	Construction	FR.	Pair
CONT.	Continuous	PT.	Point
CNTR.	Counter	PTN.	Partition
CSMT.	Ceement	R.	Risers
CTR.	Center	R.A.S.	Rack & Shelf
DDL.	Double	RAD.	Radius
DET.	Detail	REF.	Reference
DIA.	Diameter	REFRIG.	Refrigerator
DIM.	Dimension	REQ.	Required
DISP.	Dispenser	RESIL.	Resilient
DN.	Down	RM.	Room
D.O.	Door Opening	R.O.	Round Opening
DR.	Door	RWD.	Rearwood
D/W.	Dishwasher	RWL.	Rain Water Leader
DWG.	Drawing	S	South
E	East	S.C.	Solid Core
EA.	Each	SCHED.	Schedule
E.J.	Expansion Joint	S.D.	Soap Dispenser
EL.	Elevation	SECT.	Section
ELEC.	Electrical	S.G.D.	Sliding Glass Door
ENCL.	Enclosure	SH.	Shelf
E.P.	Electrical Panel Board	S.H.	Single Hung
EQ.	Equipment	S/S	Stainless Steel
EQPT.	Equipment	S.S.D.	See Structural Drawings
EXST.	Existing	STD.	Standard
EXPO.	Exposed	STL.	Steel
EXP.	Expansion	STOR.	Storage
EXT.	Exterior	T.B.	Towel Bar
FIN.	Finish	TEL.	Telephone
FLR.	Floor	TEMP.	Tempered
FLASH.	Flashing	T&G.	Tongue and Groove
FLOOR.	Flooring	THK.	Thick
F.M.	Flux Metal	T.P.D.	Toilet Paper Dispenser
F.O.P.	Face of Finish	T.O.C.	Top of Curb
F.O.S.	Face of Studs	T.O.W.	Top of Wall
FR.	French	T.O.S.	Top of Slab
F.R.	Fire Rated	TYP.	Typical
F.T.	Foot or Feet	U.O.N.	Unless Otherwise Noted
FUR.	Furniture	VERT.	Vertical
FUT.	Future	V.I.F.	Verify in Field
FXD.	Fixed	W	West
G.A.	Gauge	W	With
GALV.	Galvanized	W.C.	Water Closet
G.D.	Garage Door	WD.	Wood
GND.	Ground	WH	Water Heater
GK.	Grade	W/O	Without
G.S.M.	Galvanized Sheet Metal	WP.	Waterproof
GYP.	Gypsum	WT.	Weight
H.B.	Hose Bibb	W.S.	Window Sill
H.C.	Hollow Core		
HDWD.	Hardwood		
HDWR.	Hardware		
HORIZ.	Horizontal		
HR.	Hour		
HGT.	Height		
HVAC	Heating Ventilating Air Conditioning		
I.D.	Inside Diameter (Dm.)		
INSUL.	Insulation		

SITE PLAN KEY NOTES

#	Keynote Text
1	PROPERTY LINE.
2	BUILDING SETBACK LINE
3	LINE OF EXISTING PAVEMENT
4	EXISTING WATER METER.
5	EXISTING SEWER LATERAL IN ALLENYWAY.
6	NEW TAP AND LINE TO ARU FROM SEWER LATERAL.
7	RAIN NEW WATER LINE OF EXISTING MAIN LINE AT HOME TO ARU.
8	LOCATION OF NEW ELECTRICAL SERVICE.
9	NEW ELECTRICAL PANEL.
10	NEW CONDENSING UNIT.
11	2'-0"x6'-0" BICYCLE PARKING SPACES, TYP. OF 3.
12	GRAVEL PATH MIN. 3'-0" WIDE.
13	EXISTING OVER HEAD POWER LINE TO SERVICE AT MAIN HOUSE.
14	PROVIDE NEW UNDER GROUND POWER LINE TO SERVICE AT ARU.
15	6'-0" HIGH WOOD SLAT FENCE.
16	3'-0" GATE TO MATCH FENCE.
17	EXISTING GATE TO REMAIN.



Project Data

Project Description:
CONSTRUCTION OF A NEW DETACHED GARAGE / ADU

Project Address:
549 FAIRVIEW ST.
ASHLAND, OR. 97520

Owner:
JAMES WILLIAMS

Zoning:
R-2

Legal Description:
LOT #14100
MAP# 331 EG9CA

Existing:
Usable 1325 SQ. FT.
Garage / Storage 0 SQ. FT.
Patio / Porch 100 SQ. FT.
Total Existing 1472 SQ. FT.

Garage / ADU:
Usable 499 SQ. FT.
Garage / Storage 499 SQ. FT.
Patio / Porch 0 SQ. FT.
Total Addition 998 SQ. FT.

Footprint Total: 1870 SQ. FT.

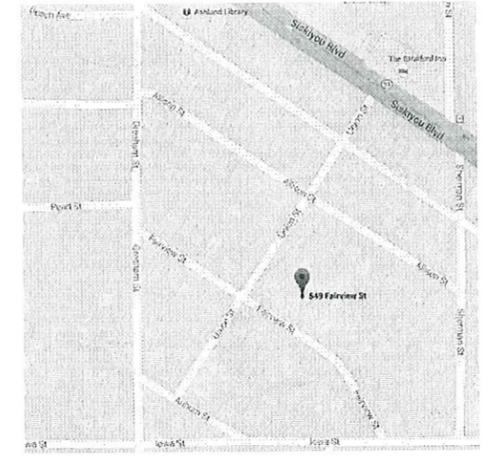
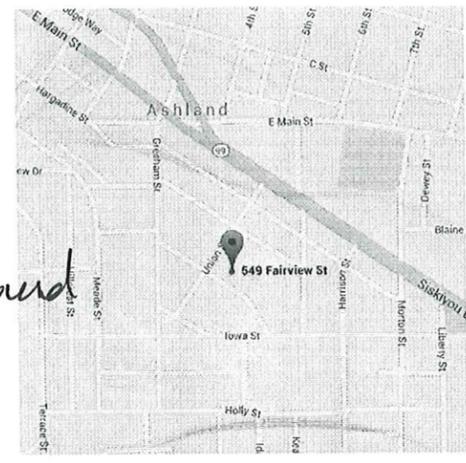
Lot Area: 7100 SQ. FT.

Non-Permeable Surface:
Driveway = 764 sq. ft.

Lot Coverage:
26.4% LOT COVERAGE

Sheet List:

#	Sheet Name
A-1	COVER SHEET
A-2	SPECIFICATIONS
A-3	A.D.U.
A-4	BUILDING SECTIONS
A-5	FOUNDATION PLAN
L-1	LANDSCAPING



VICINITY MAPS
SCALE: N.T.S.

ARCHITECTURAL SYMBOL LEGEND

- ⊙ ARCHITECTURAL KEY NOTE BUBBLE
- ⊞ KEY NOTE LABEL FOR STRUCTURAL, ELECTRICAL, MECHANICAL ETC.
- Name Elevation Ⓢ ELEVATION TAG
- Ⓢ SPOT ELEVATION TAG
- 1 A101 SECTION LABEL
- 11 DOOR LABEL
- 11 WINDOW LABEL
- 1 A101 INTERIOR ELEVATION CALL OUT
- 0 GRID LABEL
- Ref 1 EXTERIOR ELEVATION CALL OUT
- 1 View Name 1/8" = 1'-0" DRAWING TITLE AND SCALE CALL OUT
- 1 REVISION TAG
- 1 A101 DETAIL CALL OUT
- EXISTING WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW WALL

CONTRACTORS RESPONSIBILITY

CONTRACTOR SHALL THOROUGHLY REVIEW ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE DESIGNER AND THE OWNER WHEN ANY EXISTING CONDITION CONFLICTS WITH OR IS NOT COVERED BY PROJECT DOCUMENTS. CONTRACTOR TO CLARIFY WITH DESIGNER ANY DISCREPANCIES IN DESIGNER'S DOCUMENTATION PRIOR TO CONSTRUCTION, PURCHASE OF MATERIALS OR INSTALLATION.

CONTRACTOR SHALL VERIFY DIMENSIONS AND FIELD LOCATIONS NOT DIMENSIONED IN THESE DOCUMENTS.

NOTHING IN THESE DRAWINGS SHALL BE CONSTRUED AS TO ALLOW CONSTRUCTION TO PROCEED CONTRARY TO CURRENT APPLICABLE LOCAL AND STATE CODE REQUIREMENTS.

CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION OF ALL ELECTRICAL AND MECHANICAL REQUIREMENTS, INCLUDING OWNER SUPPLIED REQUIREMENTS FOR CONNECTIONS WITH EQUIPMENT OR FIXTURES.

CONTRACTOR SHALL PROVIDE DESIGN SERVICES FOR ANY ELECTRICAL, HVAC AND PLUMBING WORK INCLUDING APPROPRIATE ENGINEERING AS REQUIRED. SUBMIT DOCUMENTATION FOR BUILDING DEPARTMENT AND OWNER/DESIGNER APPROVAL PRIOR TO CONSTRUCTION.

ALL CONSTRUCTION IS NEW UNLESS OTHERWISE NOTED.

THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT INDICATE EVERY CONDITION; WORK NOT PARTICULARLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.

DO NOT SCALE DRAWINGS.

FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. WHERE DISCREPANCIES OCCUR THEY SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION.

DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

CONCRETE DIMENSIONS ARE GIVEN TO FACE OF CONCRETE AND TO THE ROUGH OPENINGS FACE AT WALL OPENINGS.

PARTITION DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNLESS OTHERWISE NOTED.

DOOR OPENING LOCATIONS ARE DIMENSIONED TO THE CENTERLINE OF THE OPENING. IF NO LOCATING DIMENSION IS SHOWN, THE OPENING IS LOCATED BY THE DOOR DETAILS.

SITE BOUNDARY LINES, BOUNDARY DIMENSIONS, AND BOUNDARY DECLINATIONS ARE BASED UPON THE SITE SURVEY WHICH IS PROVIDED BY THE OWNER FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE DEEMED TO HAVE INSPECTED THE SITE AND SATISFIED HIMSELF AS TO ACTUAL GRADES, LEVELS, DIMENSIONS, AND DECLINATIONS AND THE TRUE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.

THESE DRAWINGS ARE PART OF SPECIFICATIONS PREPARED FOR CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR RESOLUTION.

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR A COMPLETE JOB.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND CLEAN-UP.

NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB.

WHERE ANY DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES, SPECIFICATIONS AND ALL APPLICABLE CODES, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.

RECEIVED
NOV 10 2016
City Of Ashland

1 SITE PLAN - ADU
1" = 10'-0"



Client
FAIRVIEW RESIDENCE
549 FAIRVIEW ST.
ASHLAND, OR. 97520



Date Completed: 11-4-16
Scale: AS NOTED
Drawn By: TNT

Plan Alteration Date

1st Submittal:
2nd Submittal:
3rd Submittal:
4th Submittal:
5th Submittal:
6th Submittal:

Drawings Name
A-1
COVER SHEET

EXTERIOR FINISHES:

FIRST FLOOR & GABLES TO BE BOARD AND BATTON SIDING WITH BATTSONS @ 12" O.C.

SECOND FLOOR TO BE HARDI BOARD LAP STYLE SIDING.

ROOF TO BE COMPOSITE SHINGLE ROOFING.

PROVIDE 1X4 TRIM AROUND ALL WINDOWS, BUILDING CORNERS AND SIDING TRANSITION POINTS.

EXTERIOR ELEVATION KEY NOTES

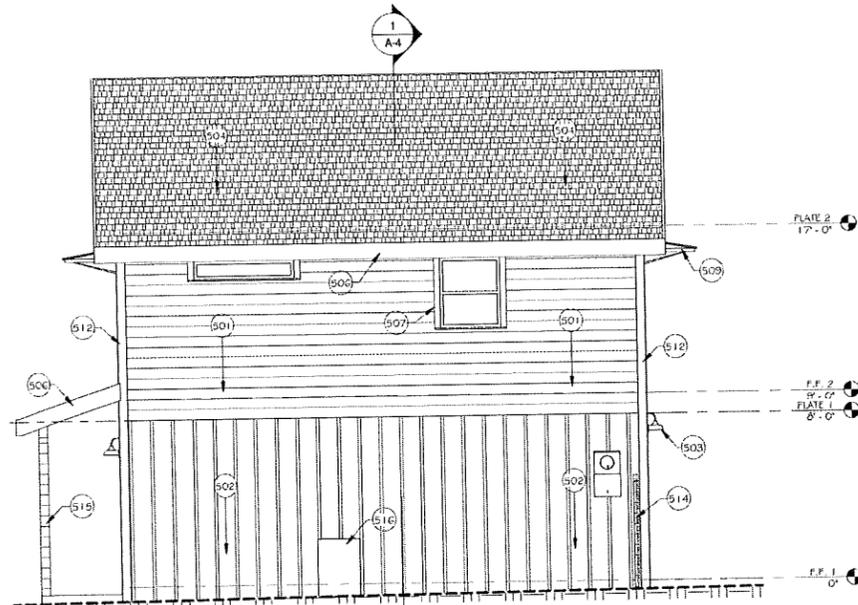
#	Keynote Text
501	1X10 DROP LAP SIDING.
502	BOARD AND BATTON SIDING WITH 2" BATTSONS AT 12" O.C.
503	EXTERIOR DOWN LIGHTING.
504	ELK BRAND OR EQUAL ARCHITECTURAL DIMENSIONAL SHINGLE ROOFING WITH 15# UNDERLAYMENT.
505	3/8" HIGH GUARD RAIL WITH 4" HORIZ. SLATS PLACED AT 6" O.C. VERT.
506	2X8 FASCIA PAINTED.
507	4" WINDOW AND DOOR TRIM PAINTED.
508	WOOD FRAMED STAIRS MAX RISE 7 3/4" MIN. TREAD 11".
509	CORRUGATED METAL AWNING WITH METAL FRAME AND BRACES.
510	STANDARD OVERHEAD GARAGE DOOR.
511	G.5.M. GABLE VENT. PAINT TO MATCH TRIM.
512	1X4 CORNER TRIM AT ALL BUILDING CORNERS.
513	CORRUGATED METAL AWNING WITH METAL FRAME AND BRACES.
514	6"x7" SHE FENCE WITH HORIZ. 1X6 WOOD SLATS.
515	K.S. 6X6 POSTS.
516	CONDENSING UNIT.

Door Schedule					
#	Width	Height	QTY	Level	Description
1	2'-0"	6'-0"	2	F.F. 2	
2	3'-0"	6'-0"	1	F.F. 1	
3	3'-0"	6'-0"	1	F.F. 1	
4	3'-0"	6'-0"	1	F.F. 2	
5	4'-0"	6'-0"	2	F.F. 2	
6	11'-10"	7'-0"	1	F.F. 1	

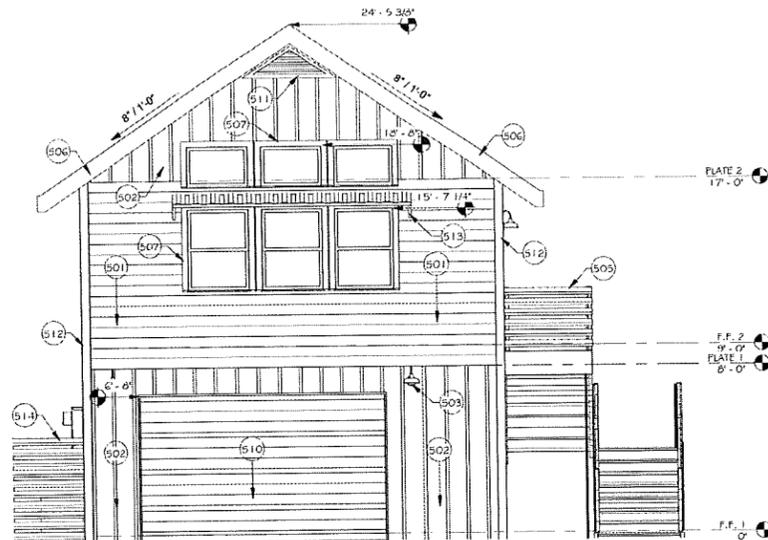
Window Schedule						
#	Width	Height	Head Height	Level	QTY	Description
A	3'-0"	4'-0"	0'-0"	F.F. 2	5	
B	2'-0"	4'-0"	0'-0"	F.F. 2	2	
C	2'-0"	2'-0"	0'-0"	F.F. 2	1	
D	3'-0"	2'-0"	0'-0"	F.F. 2	3	
E	3'-0"	3'-0"	0'-0"	F.F. 2	1	
F	5'-0"	1'-0"	0'-0"	F.F. 2	1	

FLOOR PLAN KEY NOTES

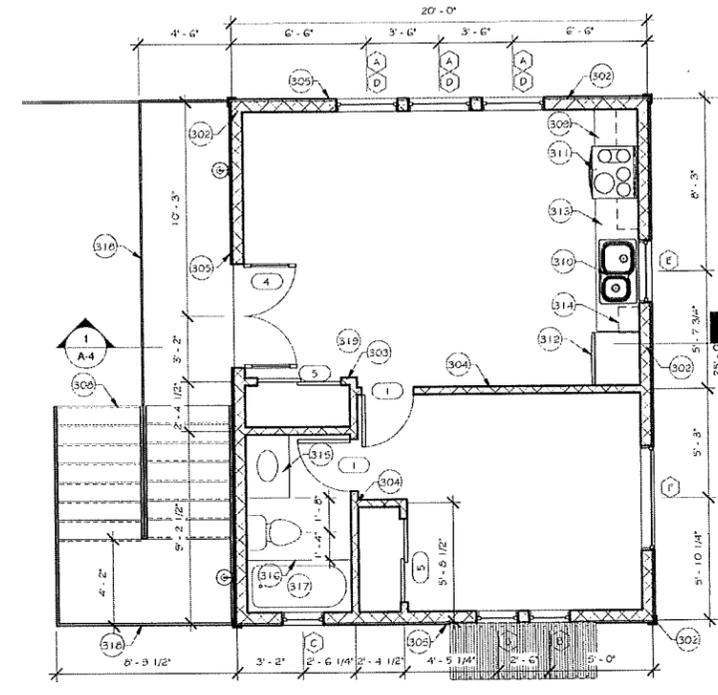
#	Keynote Text
301	2X6 EXTERIOR LOAD BEARING WALL WITH STUDS AT 16" O.C.
302	2X6 EXTERIOR LOAD BEARING WALL WITH STUDS AT 16" O.C. WITH R-21 BATT INSULATION AT LIVABLE AREAS.
303	2X4 INTERIOR NON-LOAD BEARING WALL WITH STUDS AT 16" O.C. WITH 1/2" GYP. BD. FINISH EA. SIDE PAINTED.
304	2X4 INTERIOR NON-LOAD BEARING WALL TO 7'-6" A.F.F. WITH STUDS AT 16" O.C. WITH 1/2" GYP. BD. FINISH EA. SIDE PAINTED.
305	EXTERIOR SIDING PER EXTERIOR ELEVATIONS.
306	FULL SIZED WASHER DRYER.
307	WOOD FRAMED STAIRS MAX RISE 7 3/4" MIN. TREAD 11".
308	34 1/2" HIGH BASE CABINERY WITH SOLID SURFACE COUNTER TOP AND MIN. 4" BACKSPASH AT WET LOCATIONS.
309	KITCHEN SINK.
310	ELECTRIC RANGE TOP WITH EXHAUST HOOD ABOVE.
311	REFRIGERATOR.
312	DISH WASHER BELOW.
313	UPPER CABINETS.
314	2X 1/2" HIGH VANITY CABINERY WITH 4" SOLID SURFACE COUNTER TOP AND MIN. 4" BACKSPASH.
315	TEMPERED GLASS SHOWER ENCLOSURE.
316	PROVIDE FULL MUD SET TILE TO MIN. 7'-0" A.F.F. AT SHOWER ENCLOSURE.
317	30" HIGH GUARD RAIL WITH 4" HORIZ. SLATS PLACED AT 6" O.C. VERT.
318	SOMKE DETECTOR WITH CARBON MONOXIDE DETECTOR.



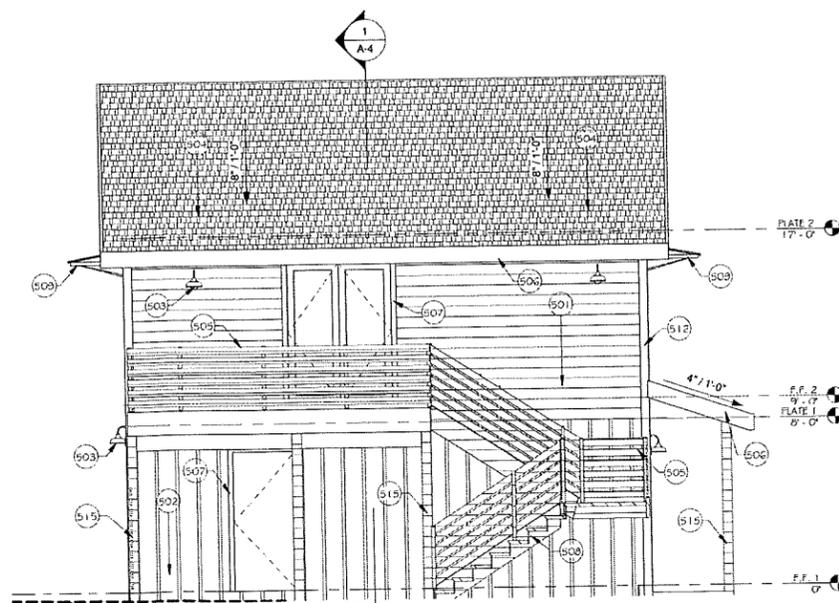
5 ADU EAST ELEVATION
1/4" = 1'-0"



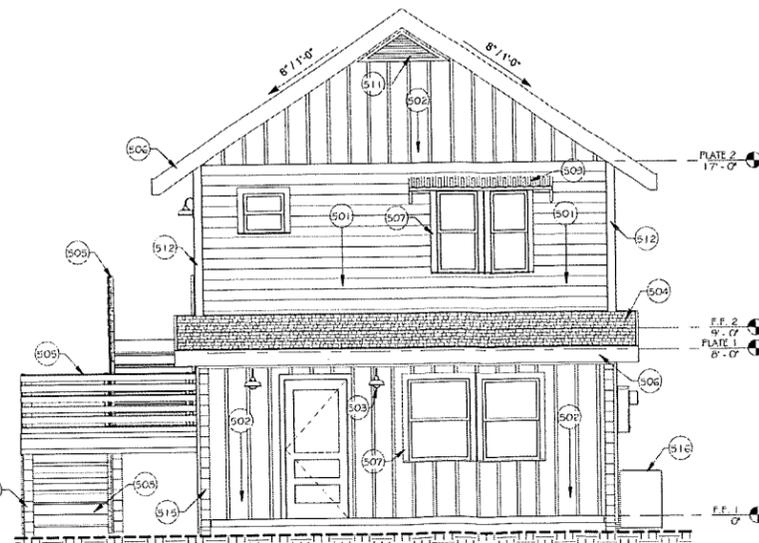
3 ADU NORTH ELEVATION
1/4" = 1'-0"



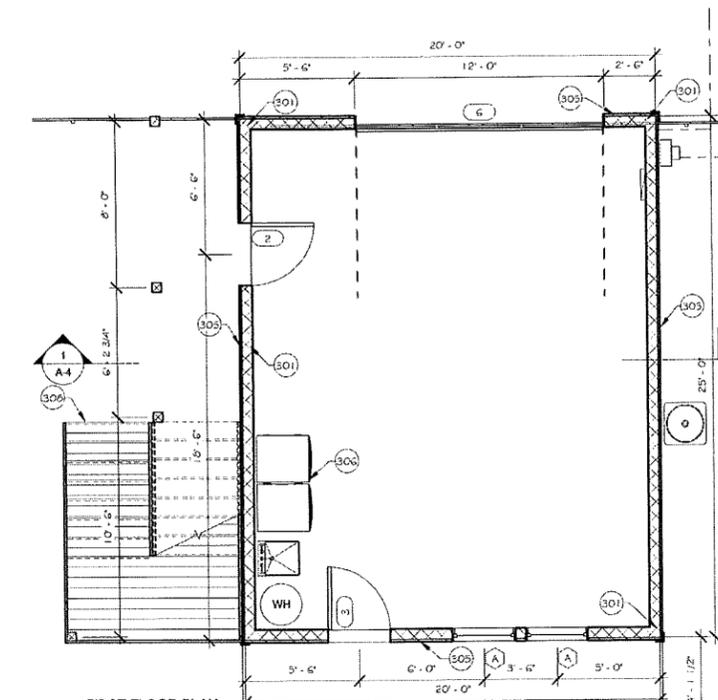
2 SECOND FLOOR PLAN
1/4" = 1'-0"



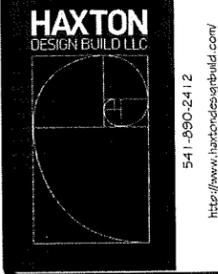
6 ADU WEST ELEVATION
1/4" = 1'-0"



4 ADU SOUTH ELEVATION
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"



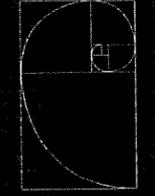
Client
FAIRVIEW RESIDENCE
549 FAIRVIEW ST.
ASHLAND, OR. 97520



Date Completed: 11-4-16
Scale: AS NOTED
Drawn By: TNT

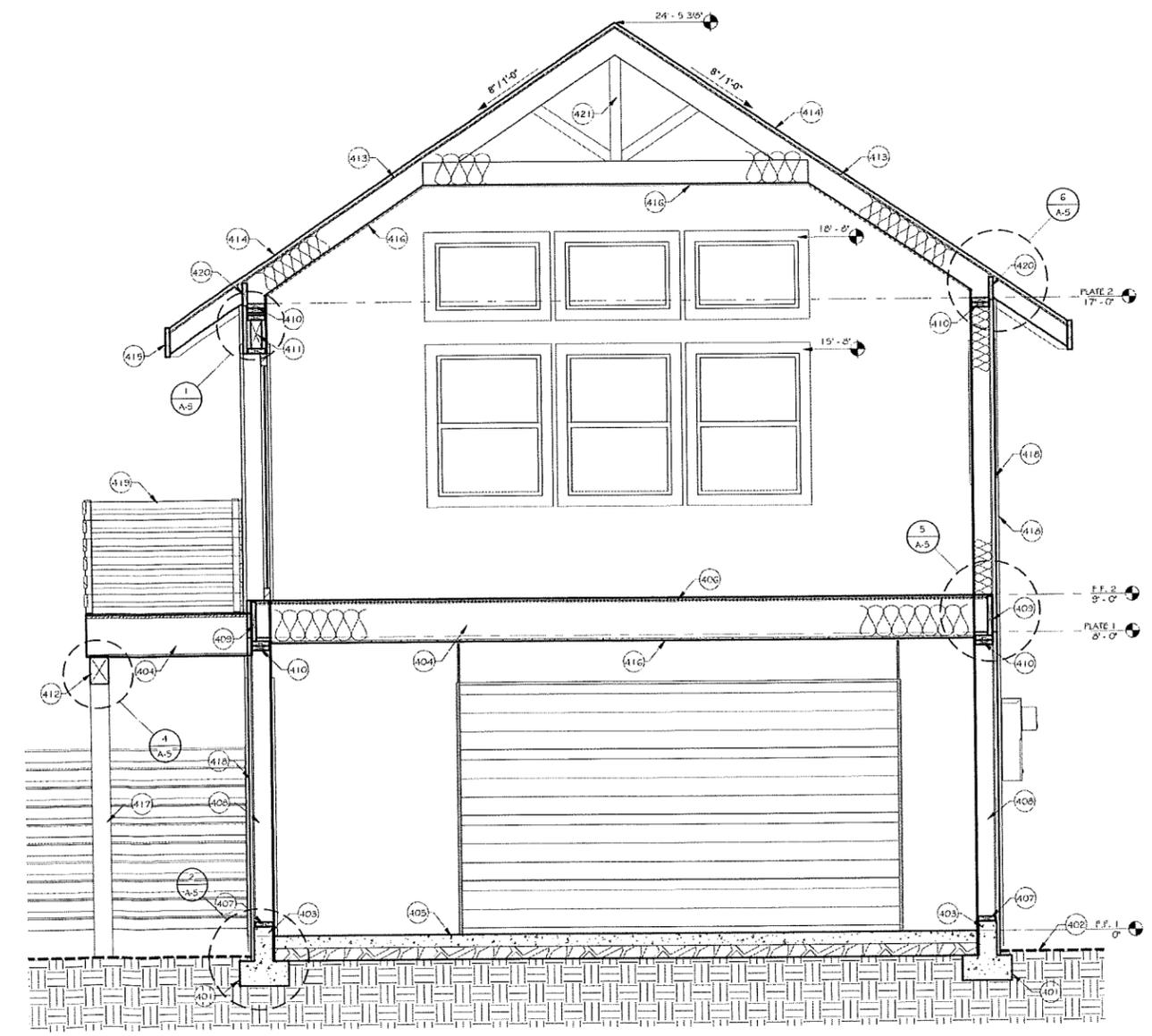
Plan Alteration Date
1st Submittal:
2nd Submittal:
3rd Submittal:
4th Submittal:
5th Submittal:
6th Submittal:

Drawn Name
A-3
A.D.U.



BUILDING SECTION KEY NOTES

#	Keynote Text
401	FOOTINGS SEE FOUNDATION PLAN FOR SIZE AND REINFORCEMENT.
402	LINE OF EXISTING FINISH GRADE.
403	CONCRETE STEM AT GARAGE MIN. 4" ABOVE FINISH SLAB.
404	FLOOR JOISTS SEE FOUNDATION PLAN. PROVIDE R-30 BATT INSULATION AT JOIST CAVITIES AT FIRST FLOOR.
405	4" CONC. SLAB OVER 4" A.B.C.
406	NEW 1 1/4" T&G APA RATED FLOOR SHEATHING.
407	2X TREATED SILL PLATE.
408	2X6 EXTERIOR LOAD BEARING WALL WITH STUDS AT 16" O.C. WITH R-21 BATT INSULATION. PROVIDE MIN. 3/8" O.S.B. SHEATHING AT EXTERIOR 4 1/2" PAINTED GYP. BD. FINISH AT INTERIOR.
409	RIM JOIST.
410	DOUBLE 2X TOP PLATE.
411	HEADER SEE FRAMING PLAN FOR SIZE.
412	BEAM, SEE FRAMING PLAN FOR SIZE AND SPAN.
413	1/2" APA RATED ROOF SHEATHING.
414	ROOFING MATERIAL PER EXTERIOR ELEVATIONS.
415	2X6 FASCIA PAINTED.
416	1/2" S&G RESISTANT OR 5/8" GYP. BD. AT ALL CEILINGS. PAINTED.
417	POST SEE FRAMING / FOUNDATION PLAN FOR SIZE AND LOCATION.
418	EXTERIOR SIDING SEE EXTERIOR ELEVATIONS FOR TYPE.
419	36" HIGH GUARDED RAIL WITH 4" HORIZ. SLATS PLACED AT 6" O.C. VERT.
420	2X BIRD BLOCKING WITH (2) 2" DIA. VENT HOLES EACH WITH INSECT SCREEN.
421	PFE-FAS ROOF TRUSSES @ 24" O.C. PROVIDE MIN. R-21 BATT INSULATION IN LEGS WITH MIN. R-30 BATT INSULATION IN PEAK AREA.



Section 4
1/2" = 1'-0"

Client
FAIRVIEW RESIDENCE
549 FAIRVIEW ST.
ASHLAND, OR. 97520

TNT
DESIGN + DRAFTING

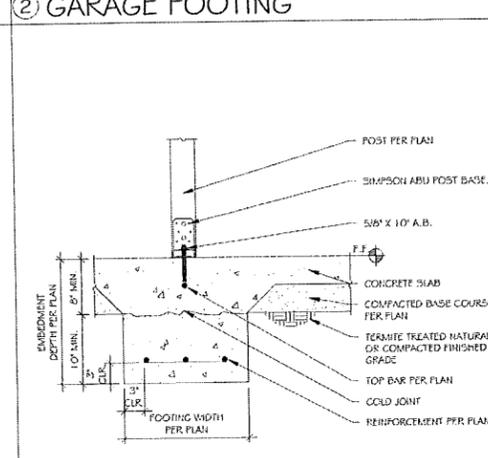
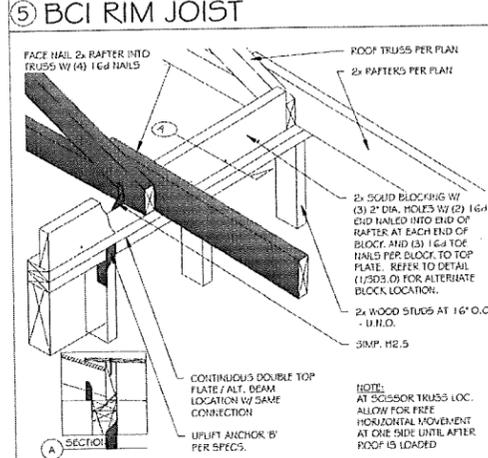
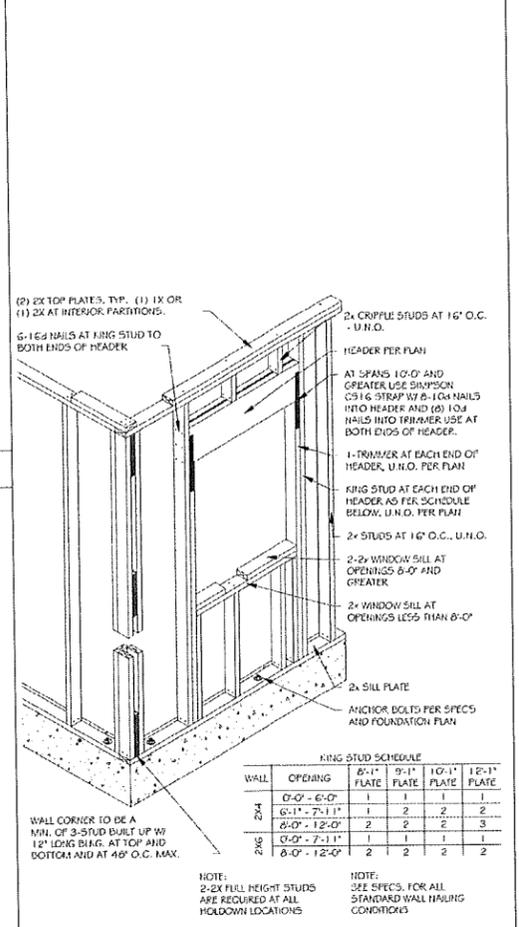
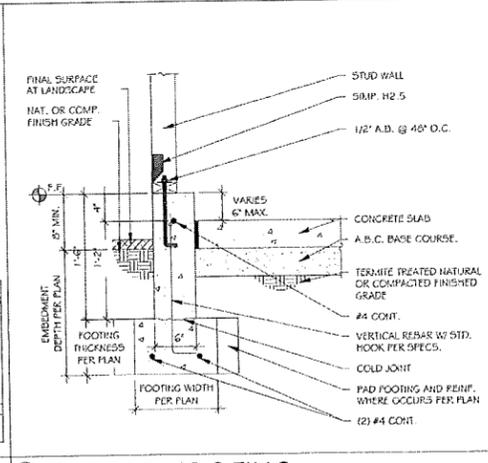
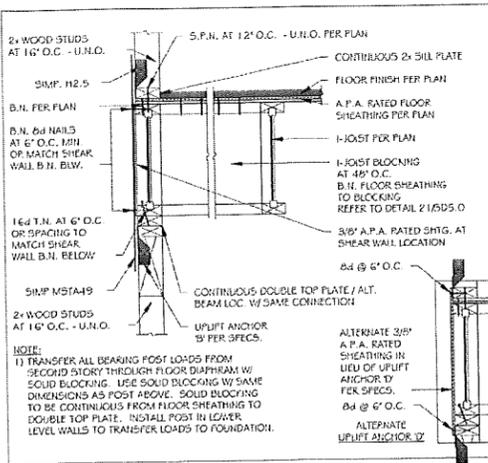
Phone: (541) 821-0698
E-Mail: TERRY@TNTCAD.COM
WEB SITE: TNTCAD.COM

Date Completed: 11-4-16
Scale: AS NOTED
Drawn By: TNT

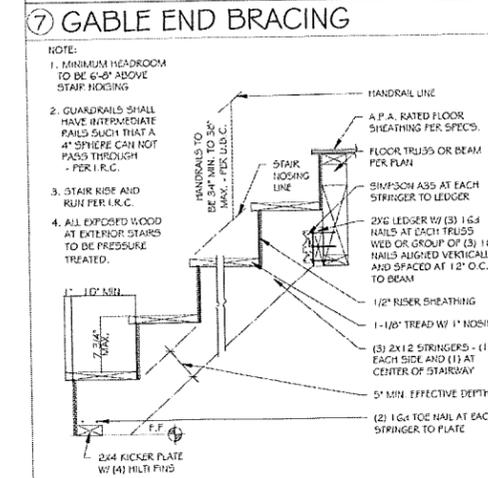
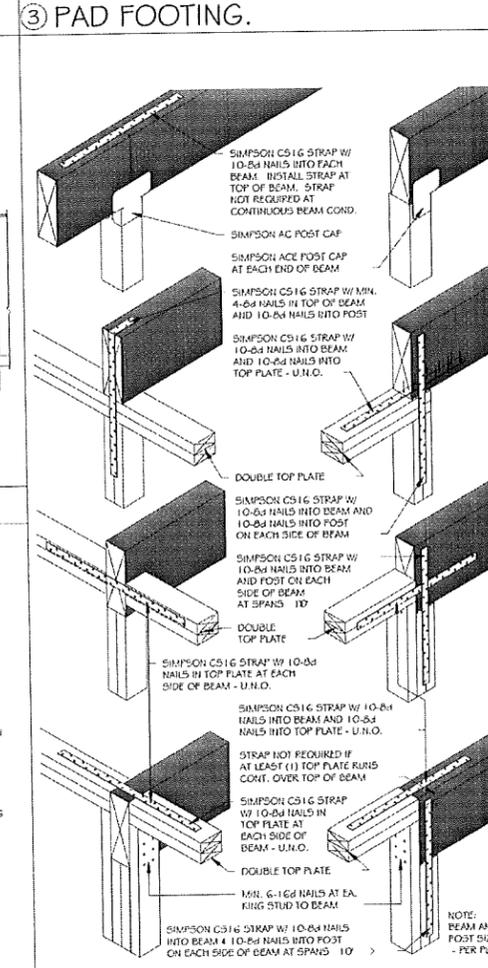
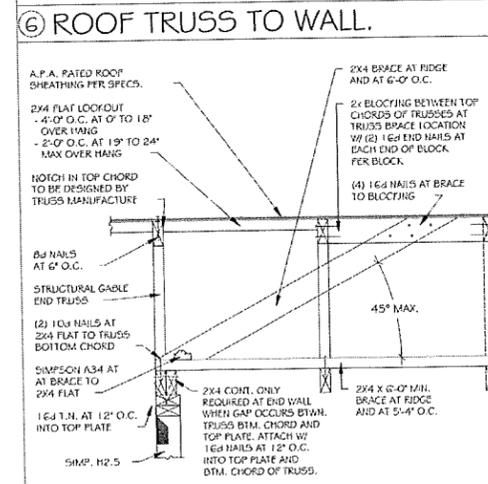
Plan Alteration Date

1st Submittal: _____
2nd Submittal: _____
3rd Submittal: _____
4th Submittal: _____
5th Submittal: _____
6th Submittal: _____

Drawings Name
A-4
BUILDING SECTIONS

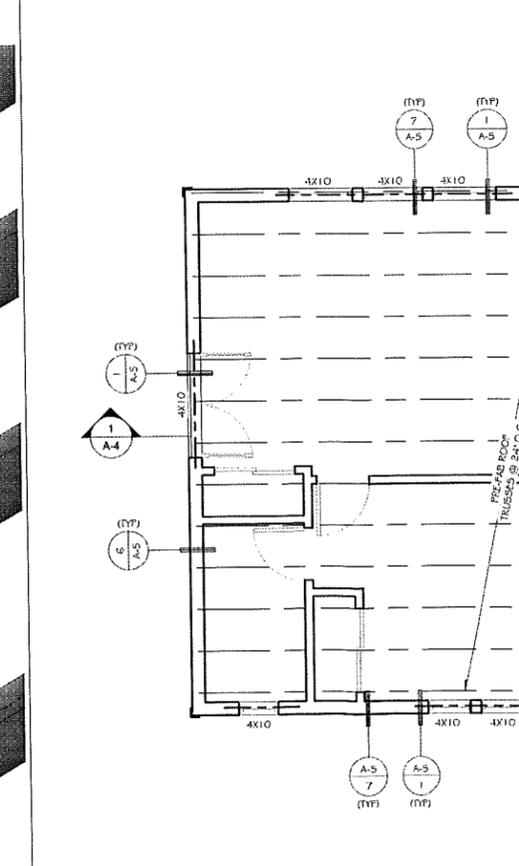
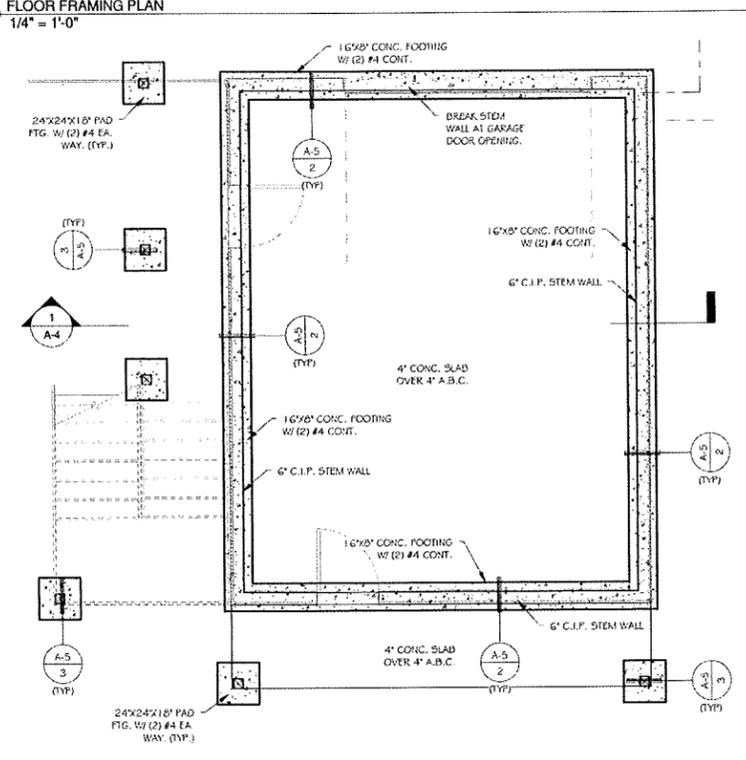
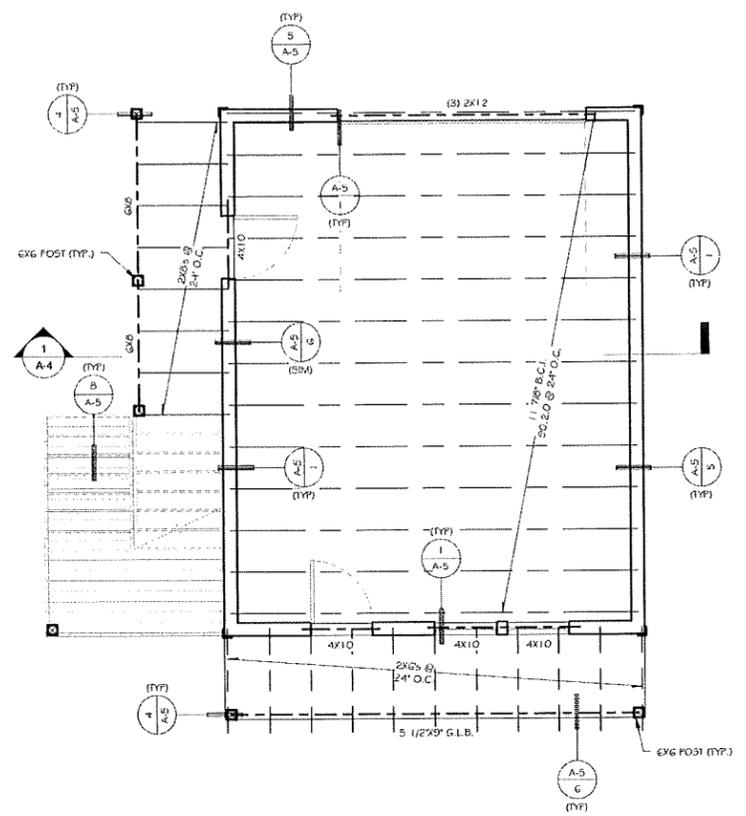


1 TYP. WALL FRAMING / HEADER



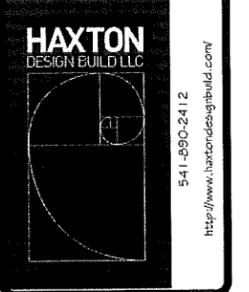
4 POST TO BEAM CONNECTION.

8 STAIR DETAIL



3 ROOF FRAMING PLAN 1/4" = 1'-0"

2 FLOOR FRAMING PLAN 1/4" = 1'-0"



Client
FAIRVIEW RESIDENCE
 549 FAIRVIEW ST.
 ASHLAND, OR. 97520



Phone (541) 821-0698
 E-Mail: TERRY@TNTCAD.COM
 WEB SITE: TNTCAD.COM

Date Completed: 11-4-16

Scale: AS NOTED

Drawn By: TNT

Plan Alteration Date

1st Submittal:

2nd Submittal:

3rd Submittal:

4th Submittal:

5th Submittal:

6th Submittal:

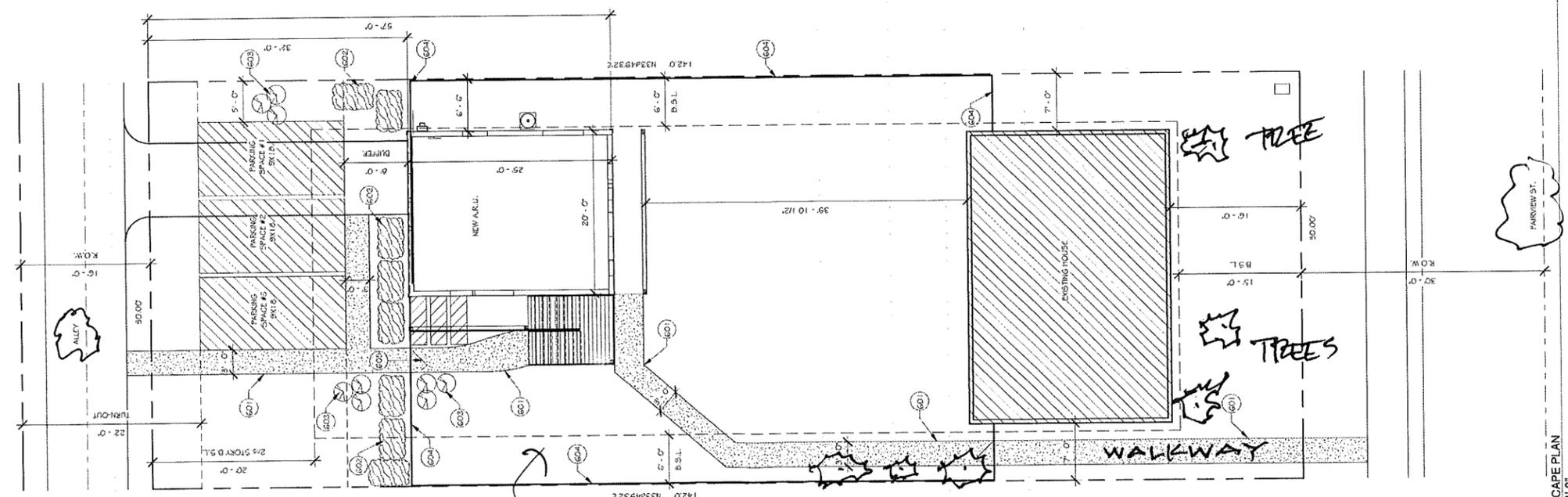
Drawings Name
A-5
 FOUNDATION PLAN

1- LANDSCAPE
2- TREES
3- OPEN AREA 8%

LANDSCAPE LEGEND
1/8" = 1'-0"

 HEDGE - NATIVE SPECIES.

 AIRIAL FLOWERS / GROUND COVER - NATIVE SPECIES



OPEN AREA LANDSCAPED
8% 650 SF APPROX
MINIMUM

TREES -
PROTECTION

1 LANDSCAPE PLAN
1/8" = 1'-0"

Client
FAIRVIEW RESIDENCE
549 FAIRVIEW ST.
ASHLAND, OR. 97520

TNT
DESIGN + GRAPHIC

Phone (541) 821-0698
E-Mail: TERRY@TNTCAD.COM
WEB SITE: TNTCAD.COM

Date Completed: 11-4-16
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1st Submittal:
2nd Submittal:
3rd Submittal:
4th Submittal:
5th Submittal:
6th Submittal:

Drawing Name
L-1
LANDSCAPING



NOTICE OF APPLICATION

PLANNING ACTION: PA-2016-02095

SUBJECT PROPERTY: 563 Rock Street

OWNER: Michael & Maxine McNab

APPLICANT: Advantage Building & Design

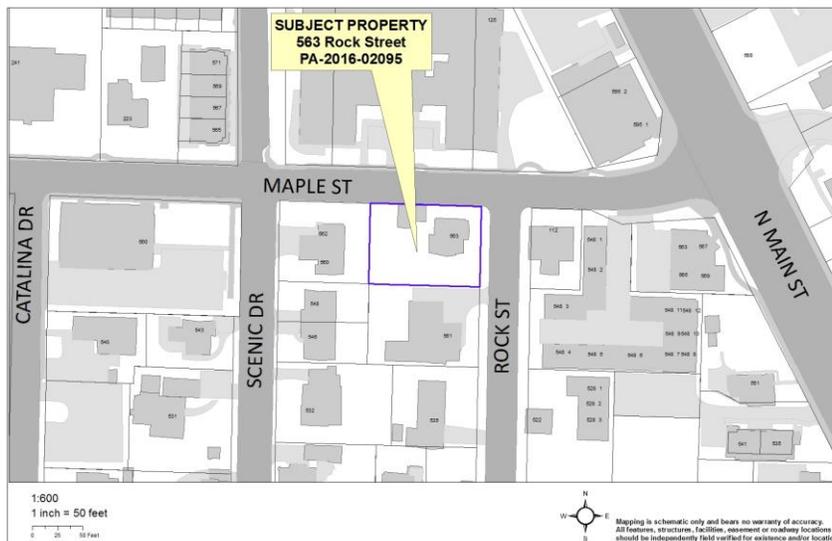
DESCRIPTION: A request for a Site Design Review to allow for the construction of a 990 square foot second dwelling unit at 563 Rock Street. The project involves restoring the existing historic contributing residence and the construction of a new second dwelling unit located off of Maple Street. The proposal also requests an Exception to Site Development and Design Standards to allow for a parking buffer less than eight feet from a residential structure. Seven non-hazardous trees are proposed for removal from the subject property as part of the application. **COMPREHENSIVE PLAN DESIGNATION:** Low Density Multiple-Family Residential; **ZONING:** R-2; **ASSESSOR'S MAP:** 39 1E 05 DA; **TAX LOT:** 5200.

NOTE: The Ashland Historic Commission will also review this Planning Action on **Wednesday December 7, 2016 at 7:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTE: The Ashland Tree Commission will also review this Planning Action on **Thursday, December 8, 2016 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTICE OF COMPLETE APPLICATION: November 29, 2016

DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS: December 13, 2016



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.5.1.050.G)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

SITE DESIGN AND USE STANDARDS

18.5.2.050

The following criteria shall be used to approve or deny an application:

- A. **Underlying Zone:** The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.
- B. **Overlay Zones:** The proposal complies with applicable overlay zone requirements (part 18.3).
- C. **Site Development and Design Standards:** The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.
- D. **City Facilities:** The proposal complies with the applicable standards in section 18.4.6 Public Facilities and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property and adequate transportation can and will be provided to the subject property.
- E. **Exception to the Site Development and Design Standards.** The approval authority may approve exceptions to the Site Development and Design Standards of part 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.
 1. There is a demonstrable difficulty meeting the specific requirements of the Site Development and Design Standards due to a unique or unusual aspect of an existing structure or the proposed use of a site; and approval of the exception will not substantially negatively impact adjacent properties; and approval of the exception is consistent with the stated purpose of the Site Development and Design; and the exception requested is the minimum which would alleviate the difficulty.; or
 2. There is no demonstrable difficulty in meeting the specific requirements, but granting the exception will result in a design that equally or better achieves the stated purpose of the Site Development and Design Standards.

TREE REMOVAL PERMIT

18.5.7.040.B

1. **Hazard Tree.** A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The applicant must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. See definition of hazard tree in part 18.6.
 - b. The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.
2. **Tree That is Not a Hazard.** A Tree Removal Permit for a tree that is not a hazard shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.10.
 - b. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.
 - c. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.
 - d. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.
 - e. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.



Planning Division
51 Winburn Way, Ashland OR 97520
541-488-5305 Fax 541-488-6006

ZONING PERMIT APPLICATION

FILE # PA-2016-02095

DESCRIPTION OF PROJECT

DESCRIPTION OF PROPERTY

Pursuing LEED® Certification? YES NO

Street Address 563 ROCK ST.

Assessor's Map No. 39 1E 05 DA Tax Lot(s) 5200

Zoning R-2

Comp Plan Designation _____

APPLICANT

Name ADVANCE BUILDING + DESIGN Phone 541-301-4970 E-Mail mlnsmith@gmail.com

Address 535 W. NEVADA ST. City ASHLAND Zip 97520

PROPERTY OWNER

Name MICHAEL + MAXINE McNAB Phone 503-303-2234 E-Mail justmaxine6@gmail.com

Address ROCK ST City ASHLAND Zip 97520

SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OTHER

Title PLANNING CONSULT Name AMY GUNTER Phone _____ E-Mail _____

Address 1424 S. IVY ST. City MEDFORD Zip 97501

Title _____ Name _____ Phone _____ E-Mail _____

Address _____ City _____ Zip _____

I hereby certify that the statements and information contained in this application, including the enclosed drawings and the required findings of fact, are in all respects, true and correct. I understand that all property pins must be shown on the drawings and visible upon the site inspection. In the event the pins are not shown or their location found to be incorrect, the owner assumes full responsibility. I further understand that if this request is subsequently contested, the burden will be on me to establish:

- 1) that I produced sufficient factual evidence at the hearing to support this request;
- 2) that the findings of fact furnished justifies the granting of the request;
- 3) that the findings of fact furnished by me are adequate; and further
- 4) that all structures or improvements are properly located on the ground.

Failure in this regard will result most likely in not only the request being set aside, but also possibly in my structures being built in reliance thereon being required to be removed at my expense. If I have any doubts, I am advised to seek competent professional advice and assistance.

[Signature] Date 11/4/16

Applicant's Signature

Date

As owner of the property involved in this request, I have read and understood the complete application and its consequences to me as a property owner.

[Signature] Date 11/4/16

Property Owner's Signature (required)

Date

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[To be completed by City Staff]

Date Received 11/4/16 Zoning Permit Type Type 1 Filing Fee \$ 1,150

City of Ashland

OVER ►►

563 Rock Street

Site Design Review

[Document subtitle]

11-4-2016

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November 4, 2016

SITE DESIGN APPLICATION

Subject Property

Addresses: 563 Rock Street
Map & Tax Lot: 39 1E 05DA; Tax Lot 5200
Property Owner: Michael and Maxine McNab
561 Rock Street
Ashland, OR 97520

General Contractor/Applicant: Advantage Building & Design
Melanie Smith
535 Nevada Street
Ashland, OR 97520

Planning Consultant: Rogue Planning and Development Services
Amy Gunter
1424 S Ivy Street
Medford, OR 97501

Lot Information: 8,800 square feet
Zoning: R-2

Project Proposal:

Two options are provided for within this application.

Option #1 consists of a request for Site Design Review for the construction of a 990-square foot, detached, second unit to the rear of the historic contributing structure located at 563 Rock Street. This proposal includes the construction of a detached, 1 ½ story garage. The existing residence will undergo a significant restoration and renovation project.

Option #2, would be implemented if the condition of the existing historic contributing home is found to warrant demolition. Option #2 provides for the construction of the 990-square foot second unit and the replacement of the residence with 1 ½ story residence with attached garage in roughly the same location as the existing residence. The property owners do not wish for the residence to be demolished but is considering all the options. In the event, that as the home is prepared for restoration and rehabilitation, the actual structural conditions may warrant demolition (more than a 40% removal of the exterior walls or the removal of the structures façade (two, street facing frontages) requires a demolition permit). If a demolition is triggered due to the conditions, and work on the structure has commenced, the delay caused by a stop work and then site review for replacement could take up to 120 days to process which is too costly of a delay for both the winterization of the structure and for the contractor that has employees and subcontractors on the job that are depending on a steady paycheck.

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Property Description:

The subject property is on the west side of Rock Street, south of Maple Street at the intersection of Rock and Maple Streets. The subject property was originally platted as Lot 4, Block 36 of the Ashland Woolen Mills Addition in 1883. The property is zoned R-2. The adjacent properties are also zoned R-2. Properties within 200-feet of the property are zoned Employment (E-1) and Healthcare (HC).

The lot is 8,800 square foot with 80-feet of frontage on Rock Street and 110-feet of frontage on Maple Street.

The property has an 11 percent grade change from west to east. Within the rear yard setback up towards Scenic Drive, a more significant slope is present. Many of the trees on the site are old fruit and nut trees in fair to poor health. They range in size from 4-inch DBH Almond up to 11-inch DBH apple. There is an 11-inch diameter at breast height (DBH) spruce to the south of the residence and an 11-inch DBH maple tree to the west of the residence. A detailed tree inventory is attached.

The property has four curb cuts, three are on Maple Street, one leads to a garage structure that is located immediately adjacent to the Maple Street right-of-way. There is also a driveway curb cut that accesses a driveway that is 12-feet from the south property line on Rock Street. This driveway curb cut exists less than the required 24-foot separation from the adjacent property's driveway approach, no changes to this driveway are proposed.

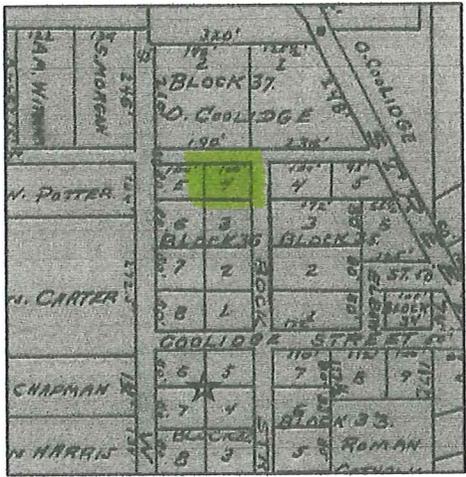
Maple Street is classified as an Avenue in the Transportation System Plan. Maple Street has a 40-foot right of way and is improved with curb and gutter. There is limited right-of-way between the existing curb line and the north property line. Rock Street is classified as a neighborhood street and is improved with curb and gutter as well. There are no sidewalks on either street along the property frontage. There are curbside sidewalks across Maple Street from the subject property from Maple Street.

There is an 8-inch water main in Maple Street, and an 4-inch water main in Rock Street. There is a 6-inch sanitary sewer main in Maple Street and a 6-inch sanitary sewer main in Rock Street. The property is served by a 15-inch storm sewer main in Maple Street and a 12-inch storm sewer main in Rock Street. Electric service to the property is from an overhead power pole on north side of Maple Street. A two-pack meter base is proposed in the location of the existing service that will serve both structures.

The subject property and the properties to the immediately adjacent properties are zoned Low Density Multi-Family Residential (R-2), within 200-feet of the property to the west is Asante, Ashland Community Hospital which is zoned Healthcare (HC). To the east on N Main and Maple are some Employment (E-1) zone properties. Across Maple Street there are primarily healthcare facilities, namely Linda Vista, an assisted living home. Across Rock Street is a 1960s ranch style home and an 1960s apartment complex.

The site is occupied by a 1720 square foot, 1 ½ story single family residence on the site. Five feet to the west of the residence, there is a 482-square foot detached carriage shed/garage directly adjacent to Maple Street. A 145-sf garden shed / chicken coop is to the west of the house near the south property line.

The residence was constructed in about 1890 and is considered a Historic Contributing Resource due to its "presence of original features and retention of the historic characteristics". Presently, the structure has little



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presence of original features as the front porch has been closed in, the windows are a mixture of vinyl and aluminum with one wood window in the second story of the early 1900's addition, the siding is a poorly installed, rotting fiberboard and the roofing is a red, three-tab asphalt shingle. The original footprint is the portion of the structure that runs parallel to Maple Street with the gable facing Rock Street. Sometime prior to 1907, a 1 ½ story addition with a saltbox style roofline was added. The rear addition on the salt box portion of the L was added in the 1920s. It is unclear when the front porch was added because it does not appear until after 1950s. A major "renovation" was undertaken in the 1960s and it is possible the porch was added at that time.

The structure was purchased by the current owners, who also own the adjacent property at 561 Rock Street in December 2015. The structure was previously owned by SunTrust Bank which began foreclosure proceedings on the property in 2013 and finalized the foreclosure in August 2015.

The structure has been vacant since at least early 2013 (winterization stickers from 2013 and 2014 intact). In December 2015, utilities were disconnected from the property.

The property owners purchased the property somewhat out of necessity due to the condition of the house which was having a negative impact on the neighborhood and on their property values. After multiple attempts to sell the property that no-one else wanted, the property owners purchased.

Upon further investigation into all the improvements that were necessary to bring the house up to a habitable condition, remodeling has been found to be quite costly when considering the numerous issues found in the residence and the poor condition of the structure. The condition of the structure for the two years leading up to purchase by the property owners, while in foreclosure, prompted complaints to City of Ashland Code Compliance.

Though there are problems with the structure, the intention is to preserve the residence by removing the fiberboard siding, the roof structure will require removal (the roofing contractor's feet went through the roof when tarping the structure), opening the floors and walls and removal of the fire place chimneys in order to get a better idea of the structural conditions of the building.

There are circumstances where the financial implications of a restoration of a structure and the potential for extremely costly construction setbacks can never be re-cooped due to the physical location of the property. In this case, the lot near the intersection of Maple and North Main Street frequently has traffic backed up past the property frontage. Maple Street has a high volume of traffic due to the presence of Asante Ashland Community Hospital (ACH), numerous medical facilities including Linda Vista which has less parking spaces than it has employees. The adjacent medical facilities generate a significant volume of traffic and neighborhood impacts from employee and patient traffic. The apartment complex also has less parking than would be required today and numerous impacts are felt from the sheer number of tenants and the temperament of tenants due to the lack of quality found in the complex. No historic contributing structures are immediately adjacent to the property; this is due to previous remodels and the ages of the adjacent structures, and the development pattern on the block where the property is located is not historic in nature. These issues all affect the ultimate value of the property when compared to properties on the next block over to the south that is slightly more insulated from the traffic impacts of Maple Street and the medical facility traffic.

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The property is the corner stone of the district yet the existing structure requires an immense amount of work to rehabilitate and restore. Every effort is going to be made to retain the residence as part of the proposed site design review.

In the event that the structure requires demolition, the elevations and findings on page 11 will address historic compatibility and site review standards for multi-family development for the replacement structure (Option #2).

The findings on the following pages address the site design review as they apply to the construction of just the new unit on the south west half of the property, the construction of a new, detached garage with bonus room above and the preservation of the historic contributing structure (Option #1).

CRITERIA from the Ashland Land Use Ordinance

OPTION 1:

Site Development Design Standards Approval Criteria: Ashland Municipal Code 18.5.2.050

A. Underlying Zone. The proposal complies with the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.

The subject property is zoned R-2, Low Density Multiple Family Residential. The parcel is 8,800 square feet and complies minimum lot area and minimum lot dimensions in the zone.

The proposed 990 square foot, single story second unit will be located to the west of the existing residence. The structure complies with the required setback to the north side (6' on south side and 28' 5 1/4" (Maple Street). The rear setback is proposed at 10' 6" from the west property line. The proposed structure is located more than 12-feet from the existing structure.

The proposed second unit will utilize smooth finish concrete board horizontal siding. In the gable ends a board and batten style or shingle is proposed. The structure is proposed to have a lower pitch roof than the historic home with 6:12 pitch proposed. Historically compatible paint has been selected for the structure with a green body, avocado gables and cream trim (see attachment on page 19)

There are varying roof forms and heights to break up the "front" of the structure into smaller roof forms. A front porch facing Maple Street has been proposed. The proposed windows are single hung vinyl with divided light uppers. The proposed finishes, including the windows and doors are consistent with the development pattern in the vicinity. Four-inch window trim is proposed.

A 361-square foot garage is proposed to be accessed via the existing Rock Street curb cut. The structure is proposed to have a bonus room above. The garage is setback from Rock Street 20-feet which is recessed behind the façade of the historic residence. A shed roof dormer is proposed on the east and west sides of the structure. The proposed roof pitch of the garage will match the pitch of the existing historic structure at 8:12. A 'cottage style' metal garage door has been proposed. The windows in the dormer will be consistent with the windows on the existing residence and the proposed second unit.

The solar setback standards are met with the development because Maple Street is the northern property line for the purposes of determining the solar setback. Maple Street has a 40-foot wide right-of-way.

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*Density: The proposed density complies with the allowed density standards found in AMC 18.2.5.080.
Allowed Density 18.2.5.080: 8,800 square feet = lots greater than 7,000 square feet are allowed two units
Proposed Density: two units*

Lot Coverage: The proposed new impervious area including new building footprint, patios, pathways, driveways, parking areas in addition to the existing footprint of the residence is 3,544 square feet. The maximum coverage is the zone is 65 percent, (5,720 sf) the proposed lot coverage of 40 percent, is less than the maximum of 65 percent in the zone.

Parking: Four parking spaces are required for the development of the property. A two-vehicle garage accessed from Maple Street is proposed. Two surface parking spaces are proposed to the east of the proposed second unit. These spaces are setback back beyond the façade of the proposed structure, more than 22-feet from the public right-of-way with a small hammer head to allow for vehicle turn around on the site to provide safe access to Maple Street. The parking pad is closer than eight feet to the existing residence. Exception findings are provided below.

Four bicycle parking spaces are required. A bicycle parking structure for two spaces is proposed to the east of the surface parking spaces. Adjacent to the bike parking structure is a trash and recycle area that will be screened from view from the public right-of-way. Bike parking will also be accommodated for within the proposed garage for the primary residence.

Energy Usage: The new unit will be constructed to the most current standards of the State of Oregon Building Standards for residential construction. The unit will be high performance, using the best practices and innovative construction technologies to gain efficiencies in design, energy systems, and materials for increased energy efficiency, superior indoor air quality, lower water usage and responsible use of natural resources. The restoration of the historic home will include measures to increase the energy efficiencies of the structure. The windows consist of a mixture of wood double hung in the upper story and a variety of vinyl and metal windows on the ground floor. New vinyl single hung windows will be installed in the structure.

Maximum Permitted Floor Area (MPFA): The allowed MPFA on the property is 2,710.4 square feet. With the proposal to retain the existing structure which has 1,720 square feet of heated habitable space and the addition of the 990-square foot second unit, the MPFA in the zone has been complied with. The proposed garage, detached by six-feet does not count towards the MPFA calculation.

B. Overlay Zones. The proposal complies with applicable overlay zone requirements (part 18.3).

The property is in the Skidmore Academy Historic District. The proposed restoration and renovation of the existing historic contributing home complies with the standards and the new unit and detached garage also can be found to comply with the standards. Findings addressing the Historic District Development Standards are found on the following pages.

C. Site Development and Design Standards.

The proposed site development complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.

The proposed parking for the historic structure is within a recessed garage accessed from Rock Street, and for the second unit, on a surface pad that is to the east of the proposed structure. The layout and design does not provide for vulnerable areas that are not visible from the units and open space. The trash / recycle area is directly adjacent

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to the units and will be screened in accordance with the screening standards. The cans will not be visible from the public right-of-way.

Each unit will have shrouded exterior lights that provides down-lighting and security for the units but will not directly illuminate adjacent properties. Fences that comply with the fence ordinance are shown along the property lines, a fence permit will be obtained prior to construction of the fence. No plant materials are proposed that prevent surveillance of the open space or the semi-private patios and balconies.

More than eight percent of the site is available as open spaces for the use of the residents. There is 704 square feet of open space required. There is a 68-square foot front porch on the proposed unit and a 300-square foot private yard area. More than 380 square feet of private yard area is proposed to the rear of the proposed garage. This 748 square feet accounts for the required open space.

Building Orientation.

Building Orientation to Street. Dwelling units shall have their primary orientation toward a street. Where residential buildings are located within 20 feet of a street, they shall have a primary entrance opening toward the street and connected to the right-of-way via an approved walkway.

The primary residence at 563 Rock Street will retain its primary orientation towards Rock Street, this orientation will not be affected by the construction of Unit #2. Proposed Unit #2 is oriented towards Maple Street. A covered front porch to provide an enhanced sense of entry has been provided. The structure is more than 20-feet from the street yet with have a clear primary entrance.

A walk way is proposed to connect the existing residence to Rock Street.

Limitation on Parking between Primary Entrance and Street. Automobile circulation or off-street parking is not allowed between the building and the street. Parking areas shall be located behind buildings, or on one or both sides.

No parking is proposed between the buildings and the street. The garage is recessed behind the street facing façade on Rock Street and the surface parking pad is to the side of Unit#2 and is behind the front façade (Maple Street).

Build-to Line. Where a new building is proposed in a zone that requires a build-to line or maximum front setback yard, except as otherwise required for clear vision at intersections, the building shall comply with the build-to line standard.

The existing front building is setback from the front property line the approximately 12-feet. This setback is not proposed to be altered.

Garages. Alleys and Shared Drives. Where a lot abuts a rear or side alley, or a shared driveway, including flag drives, the garage or carport opening(s) for that dwelling shall orient to the alley or shared drive, as applicable, and not a street.

Vehicular access to the site is via the existing driveway curb cuts accessed from the public streets. There are no shared, driveways or alleys.

Setback for Garage Opening Facing Street. The minimum setback for a garage (or carport) opening facing a street is 20 feet. This provision does not apply to alleys.

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The garage is setback from Rock Street by 20-feet.

Building Materials. Building materials and paint colors should be compatible with the surrounding area. Very bright primary or neon-type paint colors, which attract attention to the building or use, are unacceptable.

The building materials are compatible with the surrounding area. The materials are typical building materials such as smooth finish, hardi-plank siding with board and batten or wood shingle elements in the eaves. Vinyl windows and composite shingles. The paint colors are historically compatible and will not be bright primary or neon colors.

Historic District Compliance:

The roof pitch of the proposed garage is similar to the historic roof pitch of 563 Rock Street. The addition of the shed dormers modifies the features enough so that the historic architectural styles and associated features will not be replicated in the new building. There is only one wood window in the structure, it is unknown if there is a historic photograph that documents the original architectural features. Where they are able to be documented, they will be restored as much as possible. Replacement finishes on exterior walls of historic buildings shall match the original finish where it is able to be documented. There is siding under the fiberboard that appears original. No imitative materials including but not limited to asphalt siding, wood textured aluminum siding, and artificial stone are proposed. There is only one wood window in the structure, the windows in the ground floor are historically inappropriate side by side vinyl sliders. The new windows will be vinyl but will be a single hung with a divided light upper. If the roof requires reconstruction, the pitch and form of the original roof will be retained. Asphalt or composition shingle roofs in a grey color will be installed.

The proposed detached garage and the second unit, will be compatible with the associated historic building.

1. Transitional Areas. The property is at the edge of the Skidmore Academy Historic District and near high intensity medical facilities. The structures are designed to reflect the residential development on the south side of Maple.

2. Height.

The proposed buildings are both lower in height than the historic contributing structure and are proposed within range of historic building heights on and across the street.

3. Scale.

The proposed height, width, and massing of new buildings conform to historic buildings in the immediate vicinity.

4. Massing.

The proposed second unit and the detached garage both have small varied masses through the incorporation of various gables, dormers and varied roof pitch heights.

5. Setback.

The proposed second unit faces the side yard setback and is recessed behind the existing structures side yard setback. The proposed garage is setback behind the façade of the existing historic structure.

6. Roof.

The proposed roof shape, pitches, and materials are consistent with historic buildings in the immediate vicinity.

7. Rhythm of Openings.

The windows and door openings proposed in the new unit and the detached garage maintain a compatible width to height ratio.

8. Base or Platforms.

A clearly defined base, with an exposed foundation is proposed for the new second unit.

9. Form.

The proposed second units' form is consistent with that of adjacent buildings. The proposed pitch is similar to the roof pitch on the adjacent properties and is compatible to the primary pitch but does not replicate it. The form of

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the detached garage is compatible with the historic structure on the subject property and with the shed dormer, references the adjacent structure to the south.

10. Entrances.

The proposed second unit will have a well-defined primary entrance with a covered porch that has a separate gable end from the primary roof line.

11. Imitation of Historic Features.

The restoration of the historic structure will be an accurate restoration of original architectural features on the historic building.

12. Additions.

No additions are proposed.

13. Garage Placement.

The proposed detached garage is placed behind the primary historic building façade.

Streetscape. One street tree chosen from the street tree list shall be placed for each 30 feet of frontage for that portion of the development fronting the street pursuant to subsection 18.4.4.030.E.

In addition to the three existing trees that are along the street frontages, three new street trees are proposed. The street trees will be 1.5 inch caliper, eight feet tall and planted in accordance with AMC 18.4.4.030.

Landscaping and Recycle/Refuse Disposal Areas. Landscaping and recycle/refuse disposal areas shall be provided pursuant to chapter 18.4.4.

Area for a trash and recycle container is proposed. The trash can area will be screened to prevent view of the cans from the public street.

18.4.4.030 Landscaping and Screening

The landscape plan reflects the footprint of the proposed replacement residence. The landscaping between the residence and Rock Street will be installed utilizing the same materials as provided on the proposed landscape plan.

The final landscaping plan and the irrigation plan that will be submitted with the building permits complies with the Irrigation and Water Conserving Landscaping requirements of the City of Ashland. The conceptual landscaping plan submitted with the application has been designed so that plant coverage of 90 percent within five years of planting is met. Two-inches of mulch will be provided in all non-turf areas after planting. Turf areas are limited in order to comply with the Water Conserving Landscaping requirements. The proposed landscaping has been designed for crime prevention and defensible space to allow for natural surveillance. While providing screening of the residences from the busy streets.

All landscaping shall be maintained in good condition and replaced by the property owner.

D. City Facilities. The proposal complies with the applicable standards in section 18.4.6 Public Facilities, and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property, and adequate transportation can and will be provided to the subject property.

Adequate city facilities exist to service the new and existing units.

There is an 8-inch water main in Maple Street, and a 4-inch water main in Rock Street. There is a 6-inch sanitary sewer main in Maple Street and a 6-inch sanitary sewer main in Rock Street. The property is served by a 15-inch storm sewer main in Maple Street and a 12-inch storm sewer main in Rock Street. Electric service to the property is from an overhead power pole on north side of Maple Street. A two-pack meter base is proposed in the location

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of the existing service that will serve both structures. In discussion with the representatives of the various City of Ashland utility departments, the utilities on and in proximity to the property are adequate for the new 990-square foot structure.

Maple Street is classified as an Avenue. It is paved with curb, gutter along the frontage of the property which provides paved access to the development. Rock Street is a Neighborhood Collector it is paved with curb, gutter along the frontage of the property. A five-foot public pedestrian access easement is proposed along Maple Street to allow for a future installation of sidewalks until a later date when the properties to the east and west develop sidewalks. There are no sidewalks on the south side of Rock Street for the entire block between Maple and Wimer.

E. Exception to the Site Development and Design Standards. The approval authority may approve exceptions to the Site Development and Design Standards of part 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.

An exception to the required eight-foot buffer zone is requested from the parking pad for the new unit to the rear of the historic contributing residence. The structures location is fixed and the parking area is slightly elevated above the residence. In order to meet all of the spacing standards, either the parking pad is reduced by one-foot to create a compact space or an exception to reduce the buffer by merely inches is requested. There is not demonstrable difficulty in achieving compliance as the parking pad could be reduced in width but the site layout and design is being proposed in manner that provides for additional density on the property, provides off-street parking, complies with all other standards and the few inches of reduction are de minimis and will not have a negative impact on the property or on adjacent properties.

Tree Preservation, Protection, and Removal

18.4.5.030 Tree Protection: *A tree protection and preservation plan has been provided with the application. The trees along the north property line adjacent to the street will be protected by a six-foot tall, chain link fence installed at grade, at the dripline of the trees to be inspected by the City of Ashland and to remain in place throughout the duration of the project.*

18.5.7 Tree Removal:

B. Tree Removal Permit.

a. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.3.10.

There are 16 trees on or adjacent to the subject property. Of these, seven trees on the property are proposed for removal. The trees to be removed include a 14-inch DBH Almond, 11-inch DBH Apple (keeping without tree fencing due to proximity to construction but intend to not remove unless necessary), 8-inch DBH, elm, almond and peach trees, also included is the removal of a 7-inch DBH Acacia tree, a 4-inch multi-stem Almond, three small poplar trees and a dead Birch tree.

b. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.

The removal of the trees will not have impacts on erosion, soil stability, flow of surface waters, and protection of adjacent trees or existing windbreaks. Most of the trees proposed for removal are remnant orchard trees and uncared for landscape trees, none of the trees are significant in size or stature. None of the trees are part of a windbreak and there are no surface waters on the site.

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c. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.

There are many deciduous and conifer trees within 200-feet of the property. The removal of the seven tree will not have a negative impact on the densities, sizes, canopies or species diversity. Fruit trees are typically not a desirable tree and require substantial irrigation to produce fruit.

d. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.

The proposal complies with residential densities. There are two units proposed for the property which complies with the density standards.

e. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

A mitigation plan to replace five of the seven tree will be mitigated for on-site. The mitigation trees will be planted and maintained per the requirements.

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OPTION #2:

The findings below apply in the event that the structure requires removal due to the structural condition of the building.

The proposed replacement structure is a 1350 square foot, 1 ½ story residence. An attached 350 square foot garage is proposed. The garage is recessed behind the front façade of the residence. The garage will be accessed via the existing driveway curb cut from Rock Street.

**Site Development Design Standards Approval Criteria:
Ashland Municipal Code 18.5.2.050**

A. Underlying Zone. The proposal complies with the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.

The subject property is zoned R-2, Low Density Multiple Family Residential. The parcel is 8,800 square feet and complies minimum lot area and minimum lot dimensions in the zone.

The proposed 1350 square foot 1 ½ square foot primary residence is oriented towards Maple Street and complies with the minimum front yard setback with a 15-foot, 2-inch setback. The side yard abutting Maple Street is proposed at 15-feet, greater than the 10-foot required. The south side yard setback exceeds the required six-foot setback. To the rear of the proposed structure is a 990-square foot, single story, detached second unit. The structure complies with the required setback to the north side (6' on south side and 28' 5 ¼" (Maple Street). The rear setback is proposed at 10' 6" from the west property line. The proposed structure is located more than 12-feet from the existing structure.

The proposed units will utilize smooth finish concrete board horizontal siding. In the gable ends a board and batten style or shingle is proposed. The proposed roof pitch of the primary residence is 8:12, the second unit to the rear of this structure is proposed to have a lower pitch roof with a 6:12 pitch proposed. Historically compatible paint has been selected for the structure with a green body, avocado gables and cream trim (see attachment pg. 19)

There are varying roof forms and heights to break up the front facade of the structure into smaller roof forms. A recessed front porch facing Rock Street is proposed. The garage ridge is lower than the ridge of the residence. There are varying roof forms and heights to break up the front facade of the second unit into smaller roof forms on. A front porch facing Maple Street has been proposed. The proposed windows are single hung vinyl with divided light uppers. The proposed finishes, including the windows and doors are consistent with the development pattern in the vicinity. Four-inch window trim is proposed. Four-inch corner boards will be installed on the structures.

A 'cottage style' metal garage door has been proposed. The windows in the dormer will be consistent with the windows on the existing residence and the proposed second unit.

The solar setback standards are met with the development because Maple Street is the northern property line for the purposes of determining the solar setback. Maple Street has a 40-foot wide right-of-way.

Density: *The proposed density complies with the allowed density standards found in AMC 18.2.5.080.*

Allowed Density 18.2.5.080: *8,800 square feet = lots greater than 7,000 square feet are allowed two units*

Proposed Density: *two units*

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Lot Coverage: *The proposed new impervious area including building footprint, patios, pathways, driveways, parking areas in addition to the existing footprint of the residence is 3690 square feet. The maximum coverage is the zone is 65 percent, (5,720 sf) the proposed lot coverage of 42 percent, is less than the maximum of 65 percent in the zone.*

Parking: *Four parking spaces are required for the development of the property. A two-vehicle garage accessed from Maple Street is proposed. Two surface parking spaces are proposed to the east of the proposed second unit. These spaces are setback back beyond the façade of the proposed structure, more than 22-feet from the public right-of-way with a small hammer head to allow for vehicle turn around on the site to provide safe access to Maple Street. The parking pad is closer than eight feet to the existing residence. Exception findings are provided below.*

Four bicycle parking spaces are required. A bicycle parking structure for two spaces is proposed to the east of the surface parking spaces. Adjacent to the bike parking structure is a trash and recycle area that will be screened from view from the public right-of-way. Bike parking will also be accommodated for within the proposed garage for the primary residence.

Energy Usage: *The new units will be constructed to the most current standards of the State of Oregon Building Standards for residential construction. The unit will be high performance, using the best practices and innovative construction technologies to gain efficiencies in design, energy systems, and materials for increased energy efficiency, superior indoor air quality, lower water usage and responsible use of natural resources.*

Maximum Permitted Floor Area (MPFA): *The allowed MPFA on the property is 2,710.4 square feet. The proposed new primary residence is 1700 square feet, with the 990-square foot second unit, the MPFA in the zone has been complied with. (2690 < 2710.4).*

B. Overlay Zones. The proposal complies with applicable overlay zone requirements (part 18.3).

The property is in the Skidmore Academy Historic District. The proposed residential dwelling units complies with the standards. Findings addressing the Historic District Development Standards are found on the following pages.

C. Site Development and Design Standards.

The proposed site development complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.

The proposed parking for the new residence is within a recessed garage accessed from Rock Street, and for the second unit, on a surface pad that is to the east of the proposed structure. The layout and design does not provide for vulnerable areas that are not visible from the units and open space. The trash / recycle area is directly adjacent to the units and will be screened in accordance with the screening standards. The cans will not be visible from the public right-of-way.

Each unit will have shrouded exterior lights that provides down-lighting and security for the units but will not directly illuminate adjacent properties. Fences that comply with the fence ordinance are shown along the property lines, a fence permit will be obtained prior to construction of the fence. No plant materials are proposed that prevent surveillance of the open space or the semi-private patios and balconies.

More than eight percent of the site is available as open spaces for the use of the residents. There is 704 square feet of open space required. There is a 68-square foot front porch on the proposed unit and a 300-square foot private yard area. More than 380 square feet of private yard area is proposed to the rear of the proposed garage. This 748 square feet accounts for the required open space.

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Building Orientation.

Building Orientation to Street. Dwelling units shall have their primary orientation toward a street. Where residential buildings are located within 20 feet of a street, they shall have a primary entrance opening toward the street and connected to the right-of-way via an approved walkway.

The primary residence at 563 Rock Street will retain the historic orientation towards Rock Street. Proposed Unit #2 is oriented towards Maple Street. A covered front porch to provide an enhanced sense of entry has been provided. The structure is more than 20-feet from the street yet with have a clear primary entrance.

A walk way is proposed to connect the existing residence to Rock Street.

Limitation on Parking between Primary Entrance and Street. Automobile circulation or off-street parking is not allowed between the building and the street. Parking areas shall be located behind buildings, or on one or both sides.

No parking is proposed between the buildings and the street. The garage is recessed behind the street facing façade on Rock Street and the surface parking pad is to the side of Unit#2 and is behind the front façade (Maple Street).

Build-to Line. Where a new building is proposed in a zone that requires a build-to line or maximum front setback yard, except as otherwise required for clear vision at intersections, the building shall comply with the build-to line standard.

The proposed front building is setback from the front property line the 15-feet.

Garages, Alleys and Shared Drives. Where a lot abuts a rear or side alley, or a shared driveway, including flag drives, the garage or carport opening(s) for that dwelling shall orient to the alley or shared drive, as applicable, and not a street.

Vehicular access to the site is via the existing driveway curb cuts accessed from the public streets. There are no shared, driveways or alleys.

Setback for Garage Opening Facing Street. The minimum setback for a garage (or carport) opening facing a street is 20 feet. This provision does not apply to alleys.

The garage is setback from Rock Street by 20-feet.

Building Materials. Building materials and paint colors should be compatible with the surrounding area. Very bright primary or neon-type paint colors, which attract attention to the building or use, are unacceptable.

The building materials are compatible with the surrounding area. The materials are typical building materials such as smooth finish, hardi-plank siding with board and batten or wood shingle elements in the eaves. Vinyl windows and composite shingles. The paint colors are historically compatible and will not be bright primary or neon colors.

Historic District Compliance:

1. **Transitional Areas.** The property is at the edge of the Skidmore Academy Historic District and near high intensity medical facilities. The structures are designed to reflect the residential development on the south side of Maple.

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2. Height.

The proposed buildings are consistent in height as historic structures in the vicinity. Both structures are substantially lower in height than the allowed maximum in the zone.

3. Scale.

The proposed height, width, and massing of new buildings conforms to historic buildings in the immediate vicinity.

4. Massing.

The proposed residence and the second unit both have small varied masses through the incorporation of various gables, dormers and varied roof pitch heights.

5. Setback.

The proposed new residence is setback the minimum setback in the zone at 15-feet. The setback is consistent with the front setbacks of adjacent residential properties on Rock Street. The proposed second unit faces the side yard setback and is recessed behind the existing structures side yard setback.

6. Roof.

The proposed roof shape, pitches, and materials are consistent with historic buildings in the immediate vicinity.

7. Rhythm of Openings.

The windows and door openings proposed in the units maintain a compatible width to height ratio.

8. Base or Platforms.

A clearly defined base, with an exposed foundation is proposed for the new residence and the second unit.

9. Form.

The proposed units form is consistent with that of adjacent buildings. The proposed pitch is similar to the roof pitch on the adjacent properties and is consistent with the pitch of the roof on the previous residence. The proposed second unit will have a lower pitch to not mimic the pitch of the new primary residence and to be more like that found on accessory structures in the historic district on adjacent parcels.

10. Entrances.

Both structures have clearly defined entrances. The primary residence will have a recessed front entry, similar to the previous structures entry. The proposed second unit will have a well-defined primary entrance with a covered porch that has a separate gable end from the primary roof line.

11. Imitation of Historic Features.

The proposed structures will be an accurate representation of historically accurate architectural features found on the historic buildings in the vicinity. The neighborhood has a mixture of architectural styles including vernacular I-houses, craftsman, bungalow, ranch style, elements of Queen Anne and on the block the subject property is located a number of 1960s and 1970s construction.

12. Additions.

No additions are proposed.

13. Garage Placement.

The proposed detached garage is placed behind the primary structures façade.

Streetscape. One street tree chosen from the street tree list shall be placed for each 30 feet of frontage for that portion of the development fronting the street pursuant to subsection 18.4.4.030.E.

In addition to the three existing trees that are along the street frontages, three new street trees are proposed. The street trees will be 1.5 inch caliper, eight feet tall and planted in accordance with AMC 18.4.4.030.

Landscaping and Recycle/Refuse Disposal Areas. Landscaping and recycle/refuse disposal areas shall be provided pursuant to chapter 18.4.4.

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Area for a trash and recycle container is proposed. The trash can area will be screened to prevent view of the cans from the public street.

18.4.4.030 Landscaping and Screening

The landscape plan reflects the footprint of the proposed replacement residence. The landscaping between the residence and Rock Street will be installed utilizing the same materials as provided on the proposed landscape plan.

The final landscaping plan and the irrigation plan that will be submitted with the building permits complies with the Irrigation and Water Conserving Landscaping requirements of the City of Ashland. The conceptual landscaping plan submitted with the application has been designed so that plant coverage of 90 percent within five years of planting is met. Two-inches of mulch will be provided in all non-turf areas after planting. Turf areas are limited in order to comply with the Water Conserving Landscaping requirements. The proposed landscaping has been designed for crime prevention and defensible space to allow for natural surveillance. While providing screening of the residences from the busy streets.

All landscaping shall be maintained in good condition and replaced by the property owner.

D. City Facilities. The proposal complies with the applicable standards in section 18.4.6 Public Facilities, and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property, and adequate transportation can and will be provided to the subject property.

Adequate city facilities exist to service the new and existing units.

There is an 8-inch water main in Maple Street, and a 4-inch water main in Rock Street. There is a 6-inch sanitary sewer main in Maple Street and a 6-inch sanitary sewer main in Rock Street. The property is served by a 15-inch storm sewer main in Maple Street and a 12-inch storm sewer main in Rock Street. Electric service to the property is from an overhead power pole on north side of Maple Street. A two-pack meter base is proposed in the location of the existing service that will serve both structures. In discussion with the representatives of the various City of Ashland utility departments, the utilities on and in proximity to the property are adequate for the new 990-square foot structure.

Maple Street is classified as an Avenue. It is paved with curb, gutter along the frontage of the property which provides paved access to the development. Rock Street is a Neighborhood Collector it is paved with curb, gutter along the frontage of the property. A five-foot public pedestrian access easement is proposed along Maple Street to allow for a future installation of sidewalks until a later date when the properties to the east and west develop sidewalks. There are no sidewalks on the south side of Rock Street for the entire block between Maple and Wimer.

E. Exception to the Site Development and Design Standards. The approval authority may approve exceptions to the Site Development and Design Standards of part 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.

No Exceptions are proposed.

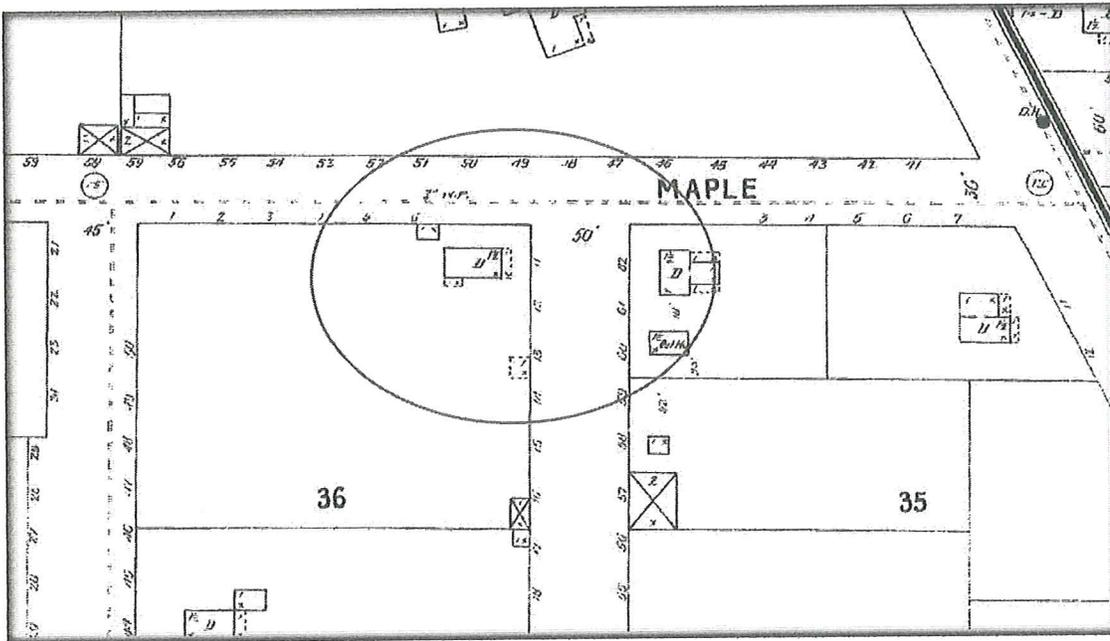
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Attachments:

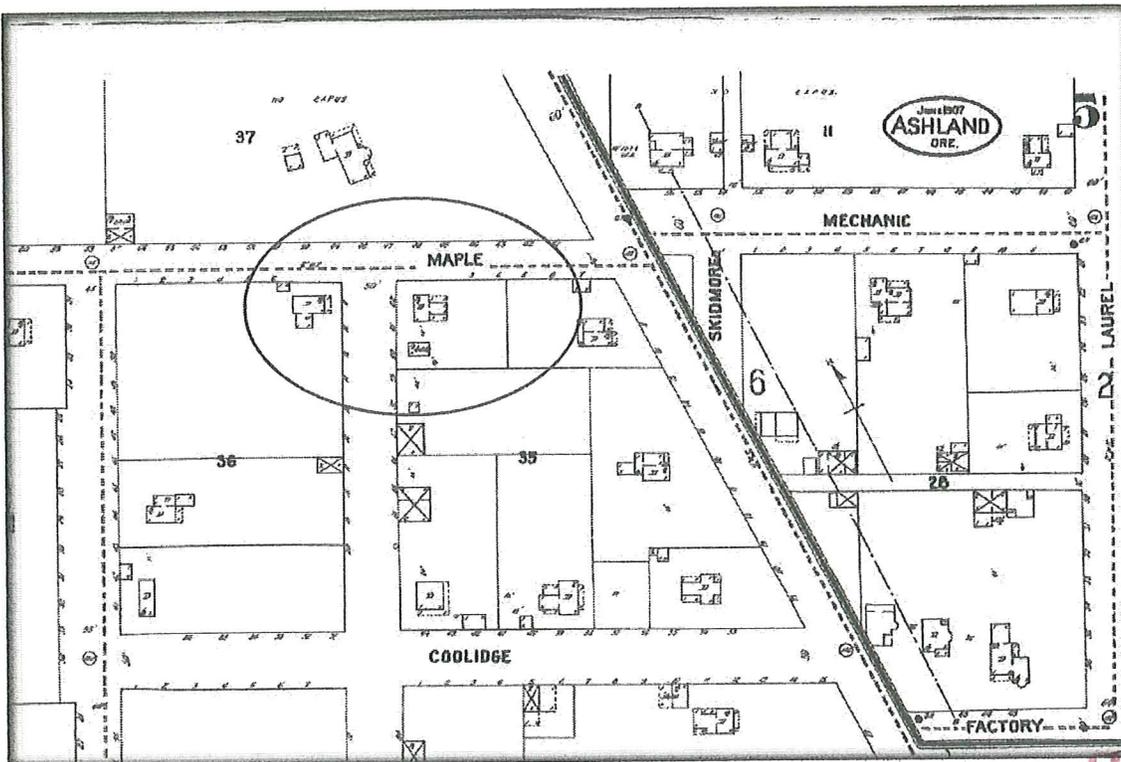
- A) Clips of 1898, 1907 and 1928 Sanborn Fire Insurance Maps
- B) Historic Resources Inventory
- C) Color examples
- D) Existing Condition Site Plan
- E) Option #1 proposal
- F) Options #2 proposal

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Sanborn Fire Insurance Map 1898

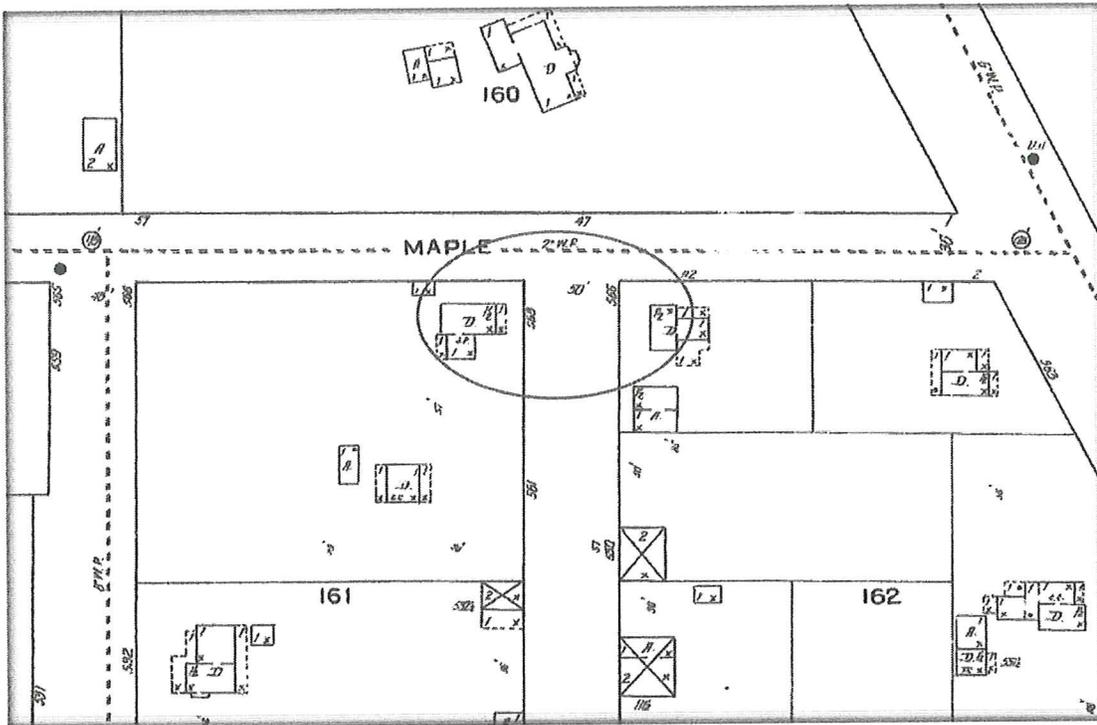


Sanborn Fire Insurance Map 1907



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Sanborn Fire Insurance Map 1928



Historic Resources Inventory

87.0 Survey #759

**NEWELL-BAILEY HOUSE
563 ROCK ST**

**Architect:
Other: Vernacular [L-House]**

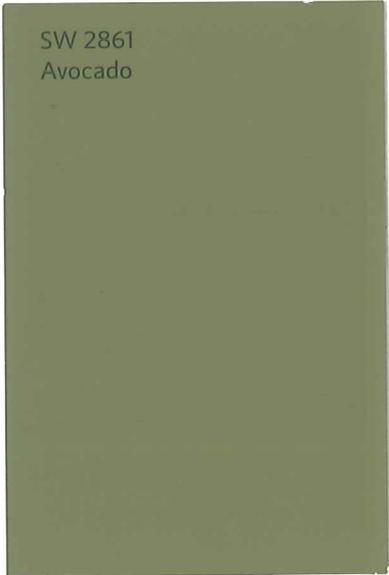
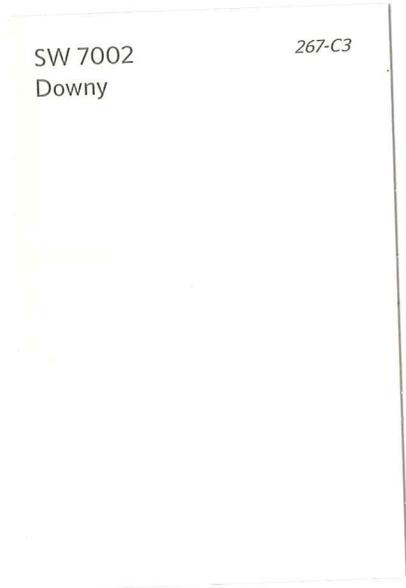
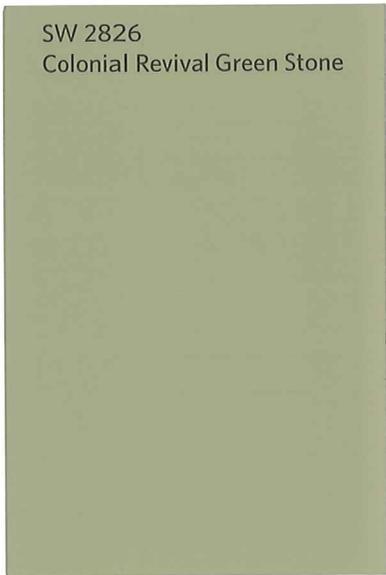
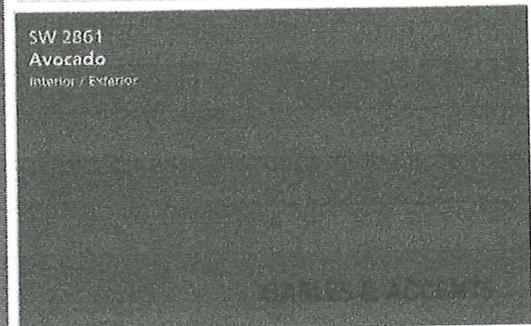
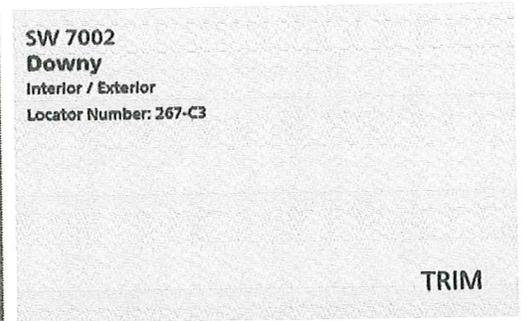
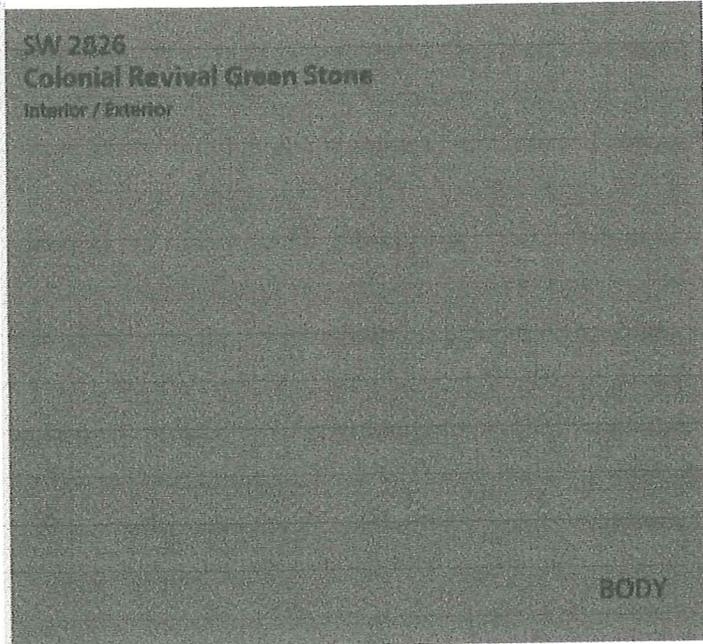
**1890
391E05DA 5200**

**Builder:
Historic Contributing**

Theresa Newell purchased this site from J. L. Handsaker in 1887 and probably began construction of the house shortly thereafter. Newell sold the property to Henrietta Bailey in 1904 for \$600. In 1909 Hosea Holmes, of Holmes Brothers grocery, purchased the house and the family retained ownership until 1938. In 1948 Francis Cox lived here.

The Newell-Bailey House is a one and one-half story vernacular L-form and retains its original siding. Although the shed porch has been enclosed and several windows have been altered with non-compatible replacement sash, the house retains sufficient integrity to relate its period of construction.

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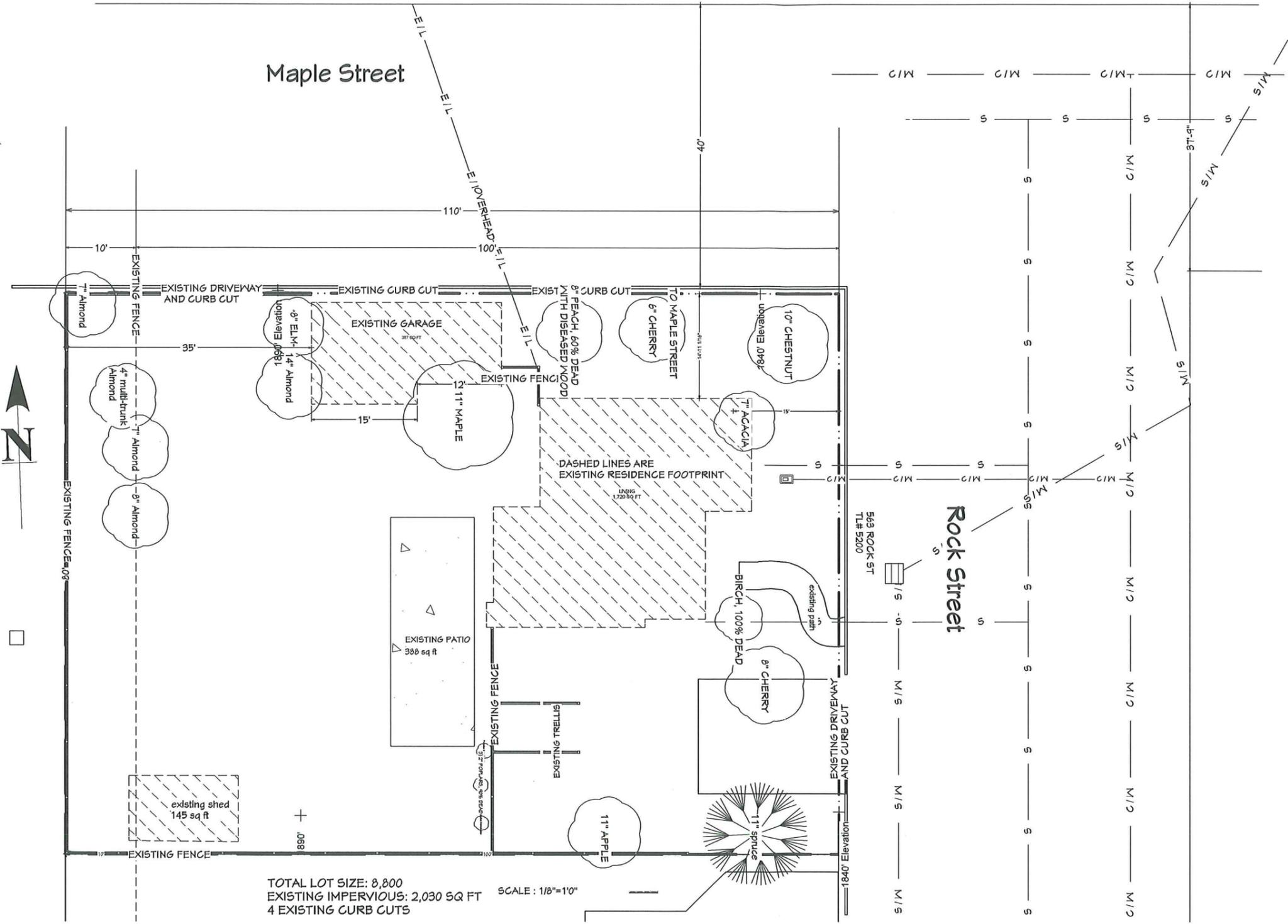


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Maple Street

Rock Street

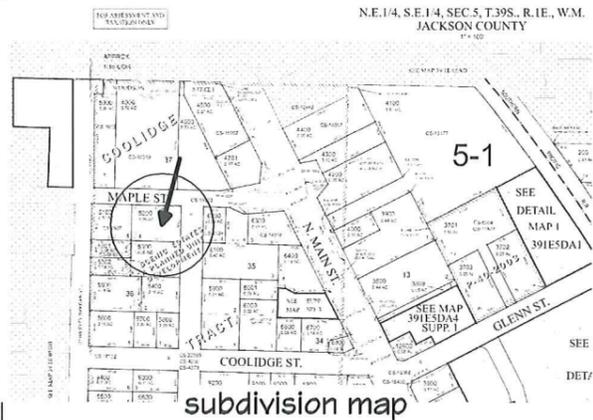


TOTAL LOT SIZE: 8,800
 EXISTING IMPERVIOUS: 2,030 SQ FT
 4 EXISTING CURB CUTS

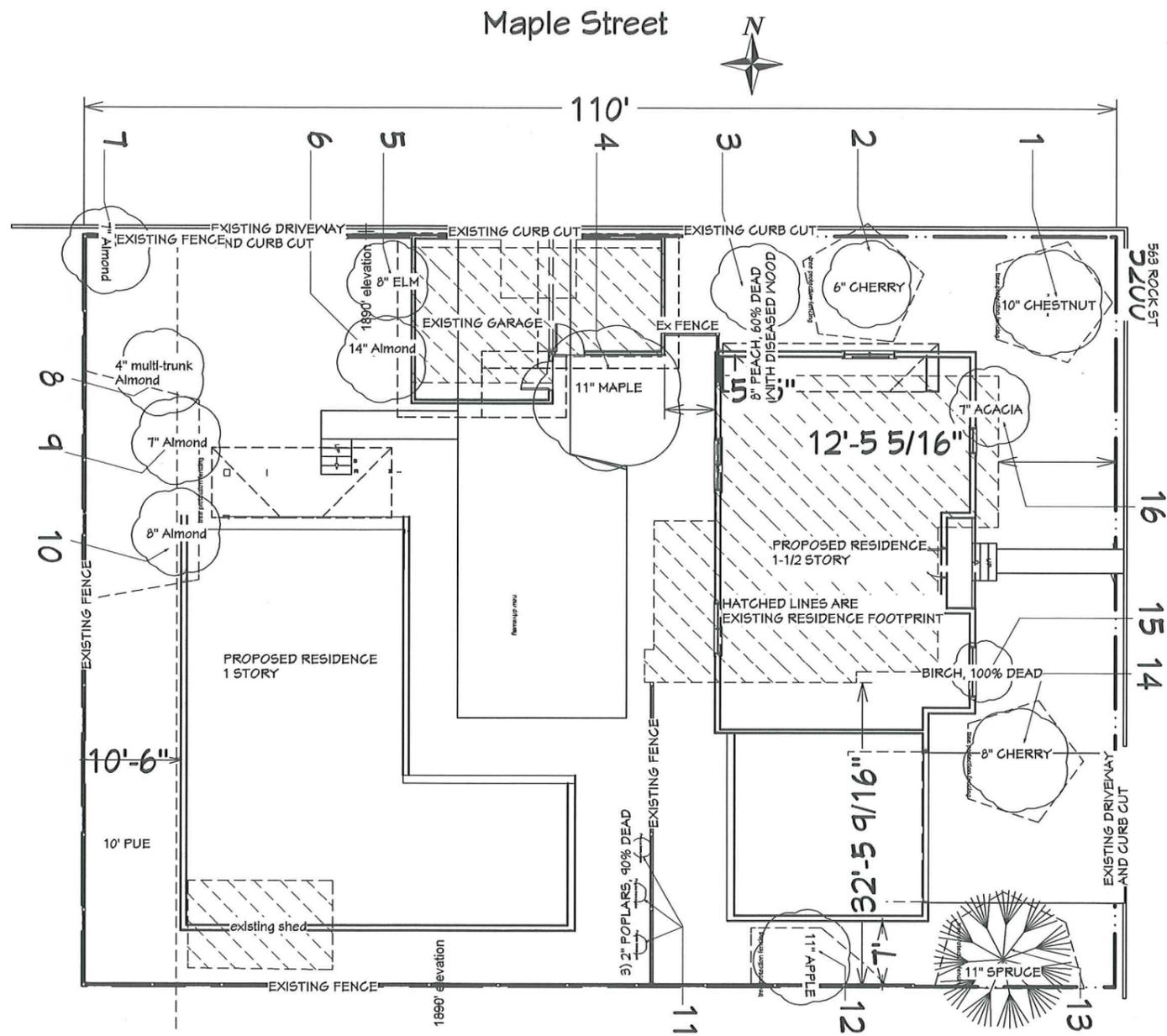
SCALE: 1/8"=1'0"

LOT SIZE: 8,800 sq ft
PROPOSED:
 Recreation area: 150 sq ft
 Percent recreation area: 8.52%
 Building foot print: 2,481
 Impervious paving and paths: 1,204
 total Impervious: 3,640
 Percent Impervious: 41.43%
EXISTING:
 Existing Impervious 2,030 as a percent 23.07%
 Difference Ex to Prop Impervious: +1,660 sq ft

HOME OWNER: Michael and Maxine McNabe
PROJECT ADDRESS: New plan for 2 residential Units
 563 Rock St., Ashland OR 07520
LEGAL ADDRESS: 391E05DA 5200
FIRE DISTRICT: Ashland
WATER DISTRICT: Ashland
STORM WATER#: Drain to Rock Street
 Culvert at curb in front of existing res
BLDG PERMIT#:
BUILDING AREA: RES #1; FLOOR 1&2: 1,360 SQ. FT.
 RES #2; FLOOR 1: 1,000 SQ. FT.
 FOUNDATION BOTH: 2,131 SQ. FT.
 GARAGE: 350 SQ. FT.
TOTAL BUILDING FOOTPRINT: 2,481 SQ. FT.
 PORCHES: 06 SQ. FT.
LIVABLE AREA: 2,360 SQ. FT.



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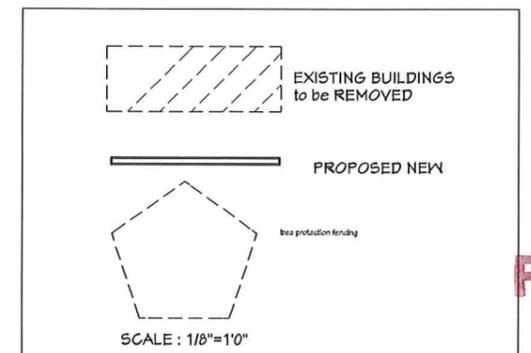
TREE INVENTORY AND PROTECTION PLAN

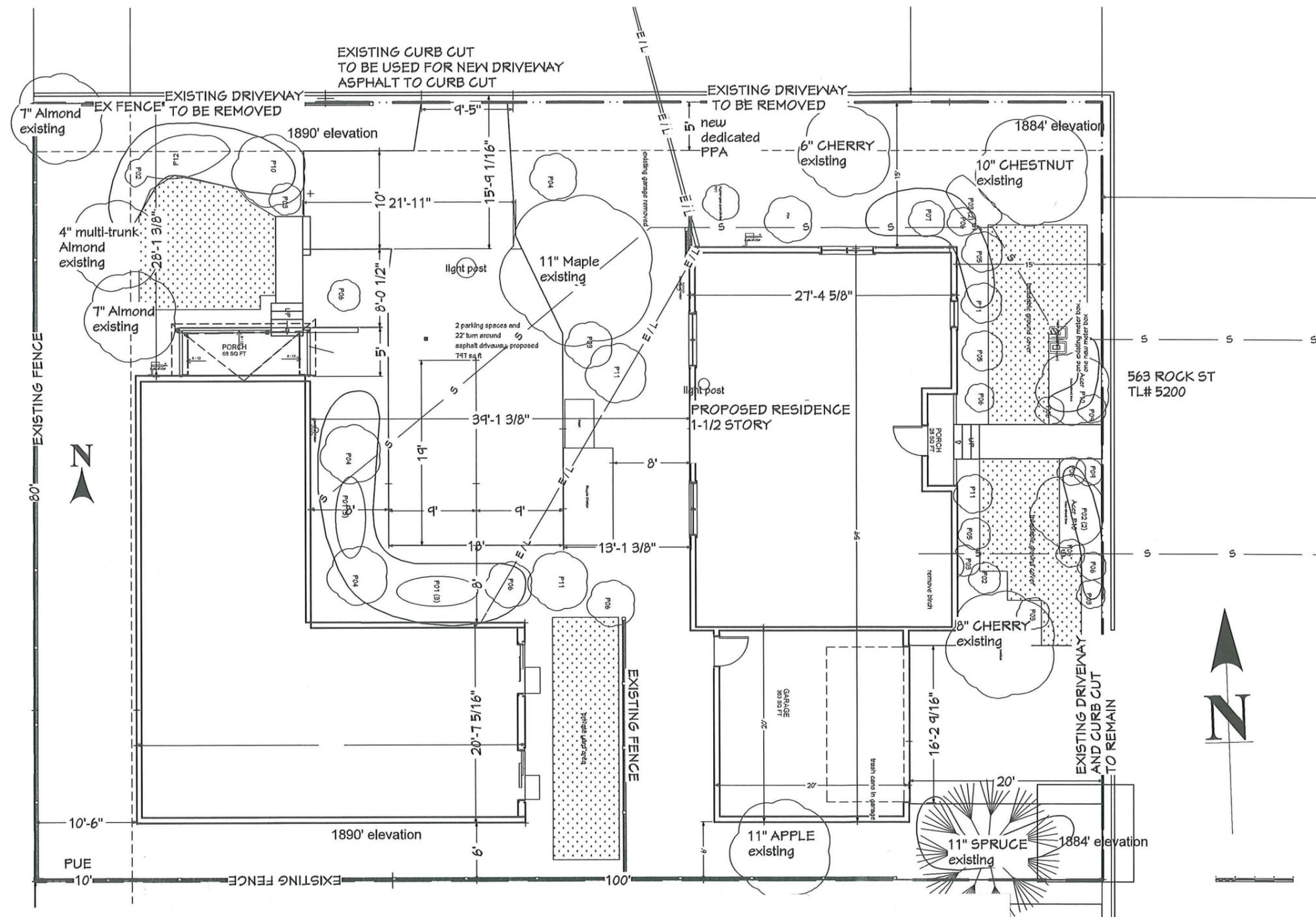
#	Species	DBH(“)	Height(‘)	Drip Line(‘)	Condition	Notes
1	Prunus spinosa (chestnut)	10”	25	12	good	
2	Prunus avium (cherry)	6”	8	5	fair	
3	Prunus persica (peach)	8	8	7	poor	REMOVE, 50% diseased
4	Acer (maple)	11	35	15	good	
5	Ulmus pumila (elm)	8	15	10	fair	REMOVE, crowded and will be damaged by garage demo
6	Prunus dulcis (almond)	14	22	12	fair	REMOVE, overgrown and will be damaged in garage demo
7	Prunus dulcis (almond)	7	25	12	good	
8	Prunus dulcis (almond)	4	multitrunk	20	fair	REMOVE, overgrown, crowding other trees, needs pruning
9	Prunus dulcis (almond)	7	20	12	fair	needs pruning
10	Prunus dulcis (almond)	8	20	12	fair	REMOVE, needs pruning, crowding
11	Poplar 3 trees	multitrunk	25	8	poor	REMOVE, 40% dead
12	Prunus (apple)	11	15	18	fair	some dead branches needs pruning
13	Picea pungens (spruce)	11	40	20	good	
14	Prunus avium (cherry)	8	15	15	fair	possible issue with driveway area
15	Betula (birch)	7	12	5	dead	REMOVE, 100% dead
16	Acacia	7	8	4	fair	REMOVE, to close to foundation, replant a different landscape shrub away from house

4 DEAD TREES TO BE REMOVED
 1 SEVERALLY DISEASED TO BE REMOVED
 5 FAIR CONDITION TREES TO BE REMOVED, replace with approved street tree. Acer, Fraxinus, etc

TREE PROTECTION AND REMOVAL NOTES:

- Fences must be erected to protect trees to be preserved as shown in diagram. Fencing shall be 6' tall temporary chainlink panels installed with metal connections to all panels in area. These fences shall be installed so that it does not allow passage of pedestrians and/or vehicles through it. Fences define a specific protection zone for each tree or group of trees. Signs to be posted on fencing identifying protected tree zone.
- Construction trailers and traffic and storage areas must remain outside fences areas at all times.
- All proposed underground utilities and drain or irrigation lines shall be routed outside the tree protection zone if possible. If lines must cross the protected area they shall be tunneled or hand dug through the tree roots.
- No material, equipment, soil or waste water may be deposited or placed within the tree protection zone, fenced area.
- Any herbicides placed under paving materials must be safe for use around trees and labeled for that use.
- The project General Contractor must monitor any grading, construction, demolition or other work that is expected to encounter tree roots, a tree professional must be consulted prior to excavation around roots.
- Trees that are remaining should be mulched prior to start of excavation and watered bi-monthly during the months of no natural rainfall. Irrigation to provide deep water to roots at least 24" below grade.
- Erosion control devices such as silt fencing, debris basins and water diversion structures shall be installed to prevent siltation or erosion within the tree protection zones.
- Any roots that are exposed during grading or construction shall be exposed to sound tissue and cut cleanly at a 90 degree angle to the root with a saw. Place damp soil around all cut roots to a depth equaling the existing finish grade within a 4 hours of cuts being made.
- No burn piles or debris piles shall be placed within the tree protection zone.
- Do not raise the soil level within the drip lines to achieve positive drainage, except to match grades with sidewalk and curbs and in those areas, feather the added topsoil back to existing grade with approximately 3:1 slope.
- All tree protection measures shall be instituted prior to any development activities and shall be removed only after completion of all construction activity.

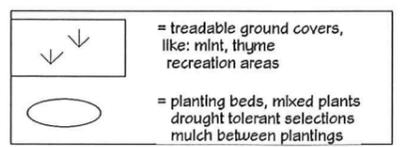




563 ROCK ST
TL# 5200

GRADING NOTES:
 1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
 2. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
 3. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.
 4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED TO TOPSOIL.
 5. PLACE FILL SLOPES WITH A GRADIENT STEEPER THAN 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

IRRIGATION:
 All irrigation to be drip system
 spray or bubblers in ground cover areas



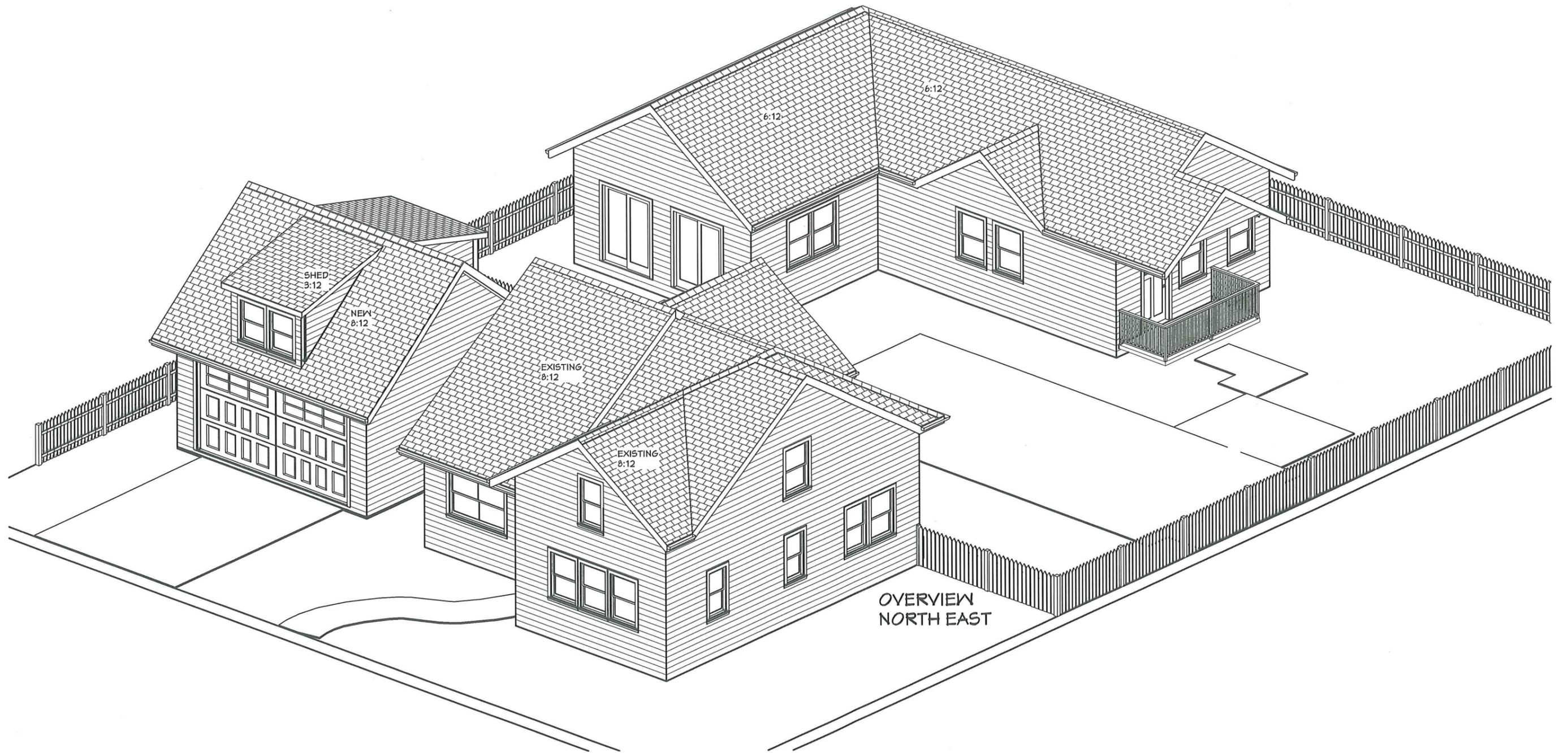
PLANTING	PLANT SPECIES	PLANT SIZE
P01	Mahonia aquifolium	1 gallon
P02	Cistus variety	1 gallon
P03	Cotoneaster Dammeri	1 gallon
P04	Abelia E goucher	1 gallon
P05	Berberis thunbergii	1 gallon
P06	Callamagrostis overdam	1 gallon
P07	Hydrangea quercifolia	1 gallon
P09	Miscanthus sinensis	1 gallon
P10	Acer buergeranum	1" calp
P11	Lagerstroemia petite vr	2 gallon
P12	Genista pilosa	1 gallon

Plant Schedule

Number	Qty	Common Names	Scientific Name	Starting Age
P01	8	oregon grape	Mahonia aquifolium	1 gallon
P02	4	Rock Rose	Cistus variety	1 gallon
P03	8	lowfast cotoneaster	Cotoneaster Dammeri	1 gallon
P04	3	Pink Abelia Ed Goucher	Abelia E goucher	1 gallon
P05	3	Japanese Barberry	Berberis thunbergii	1 gallon
P06	10	Overdam reed grass	Callamagrostis overdam	1 gallon
P07	2	Oakleaf Hydrangea	Hydrangea quercifolia	1 gallon
P09	5	Porcupine Grass	Miscanthus sinensis	1 gallon
P10	4	Trident maple	Acer buergeranum	1" calp
P11	3	Crape Myrtle	Lagerstroemia petite vr	2 gallon
P12	12	Pilosa broom	Genista pilosa	1 gallon

2" MULCH BETWEEN PLANTS

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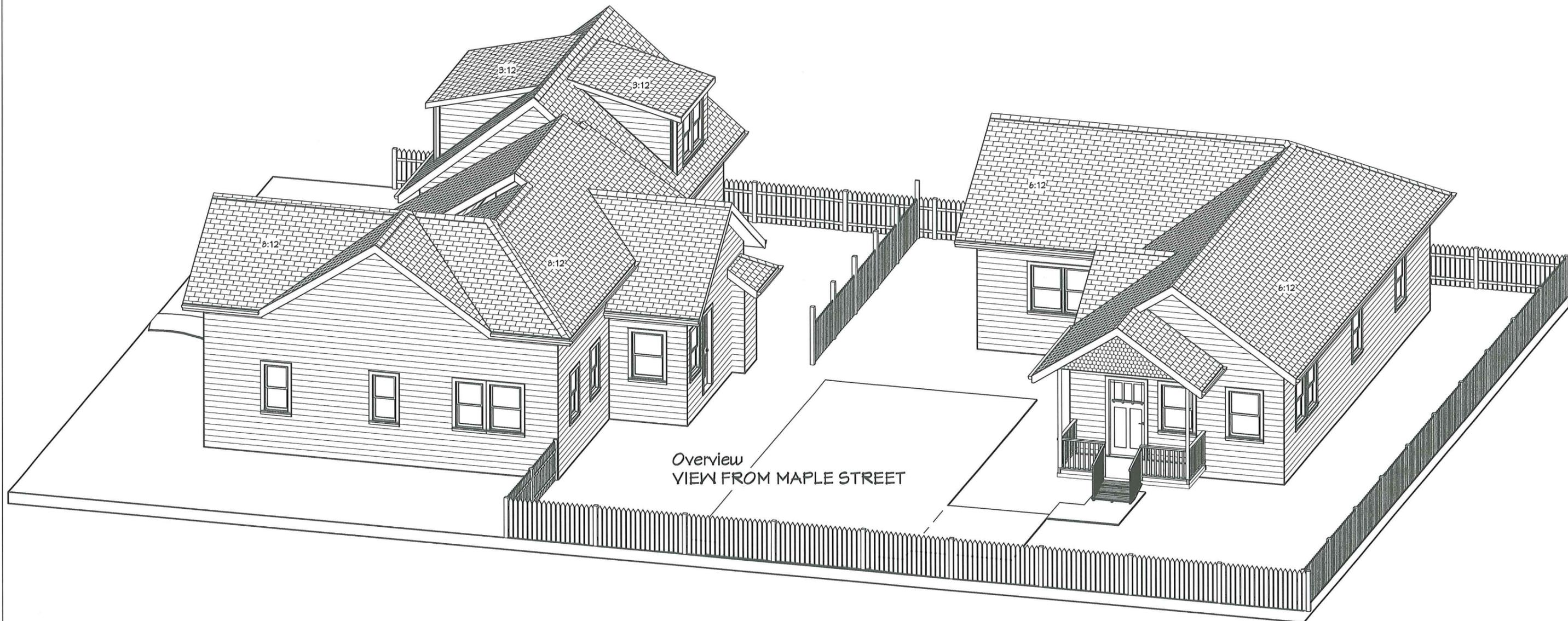


ROCK STREET VIEW
EAST ELEVATION

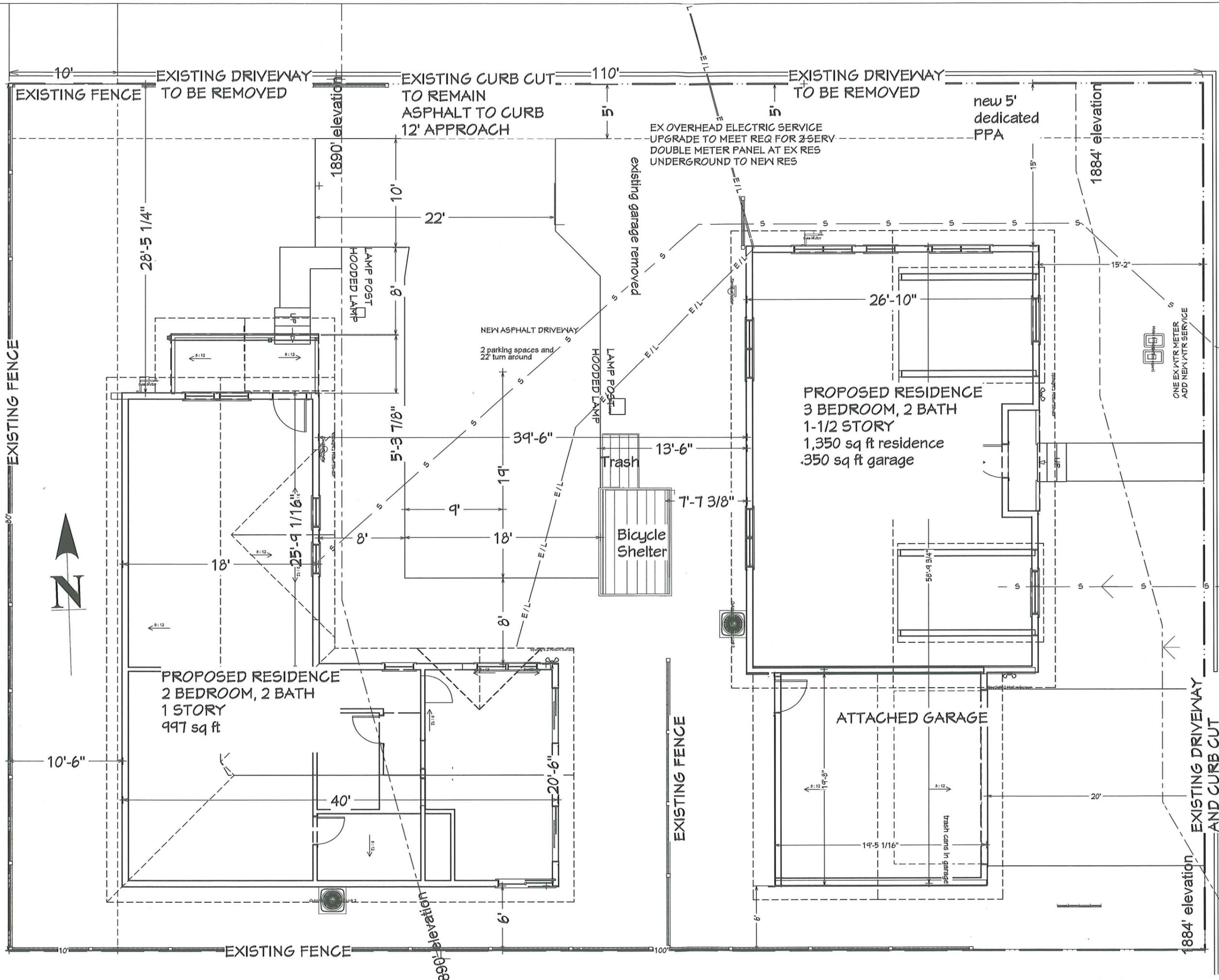
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 Recreation area: 750 sq ft
 Percent recreation area: 8.52%
 LOT SIZE: 8,800 sq ft
 Building foot print: 2,481
 Impervious paving and paths: 1,209
 total impervious: 3,690
 Percent Impervious: 41.93%



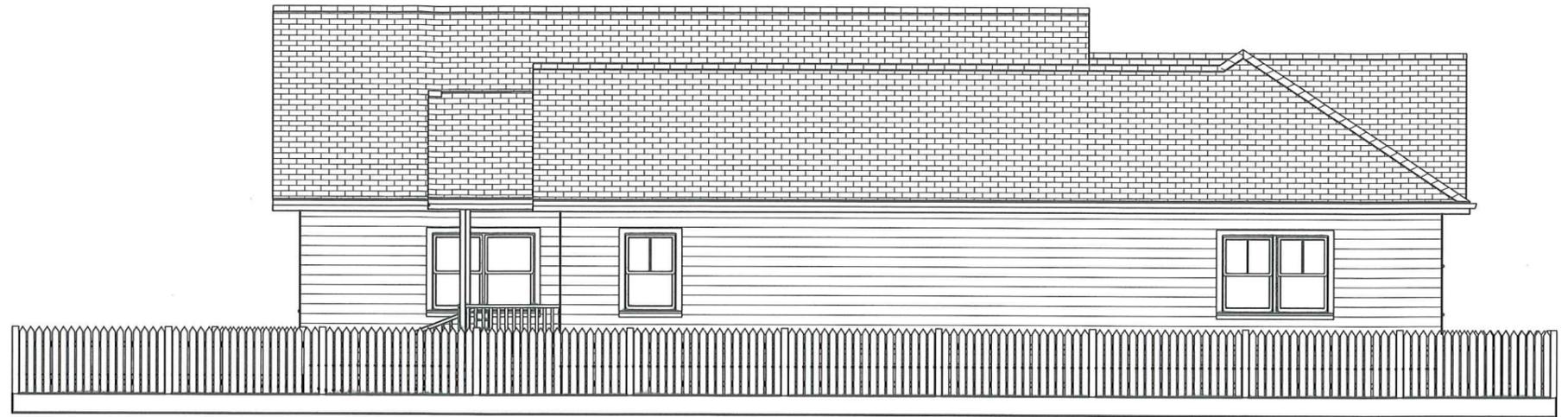
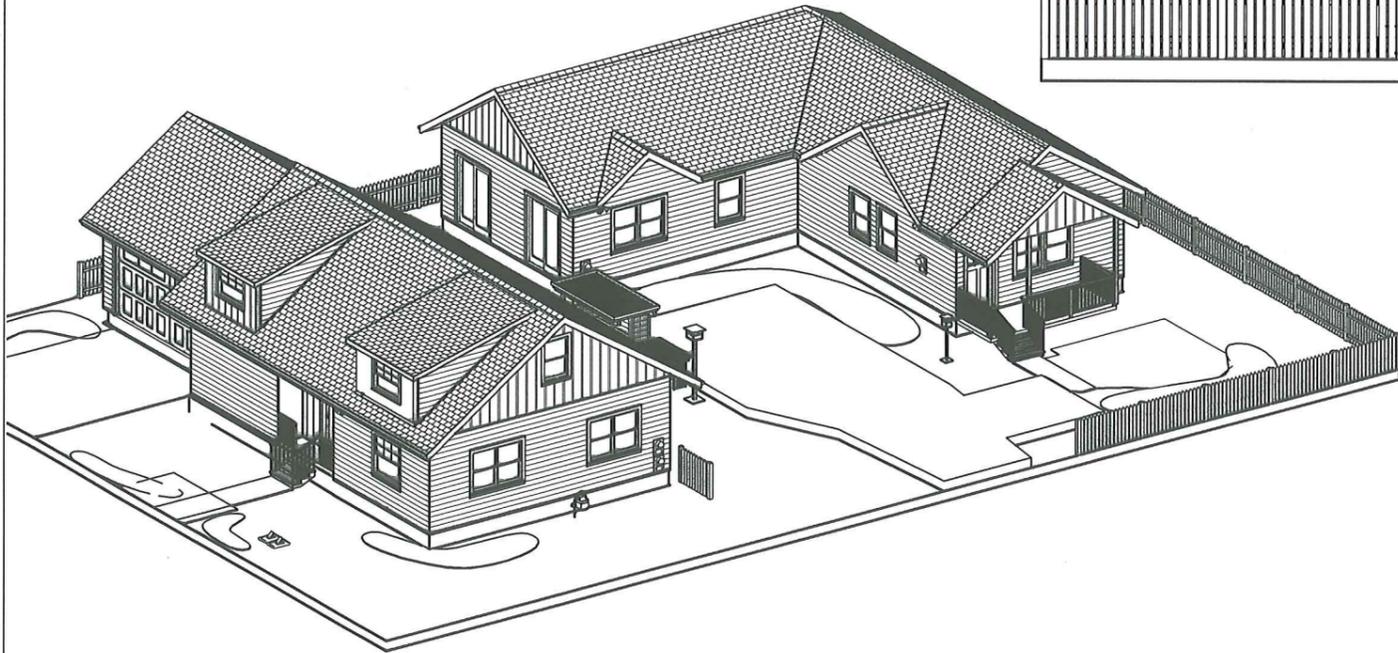
EAST VIEW
ROCK STREET FRONTAGE



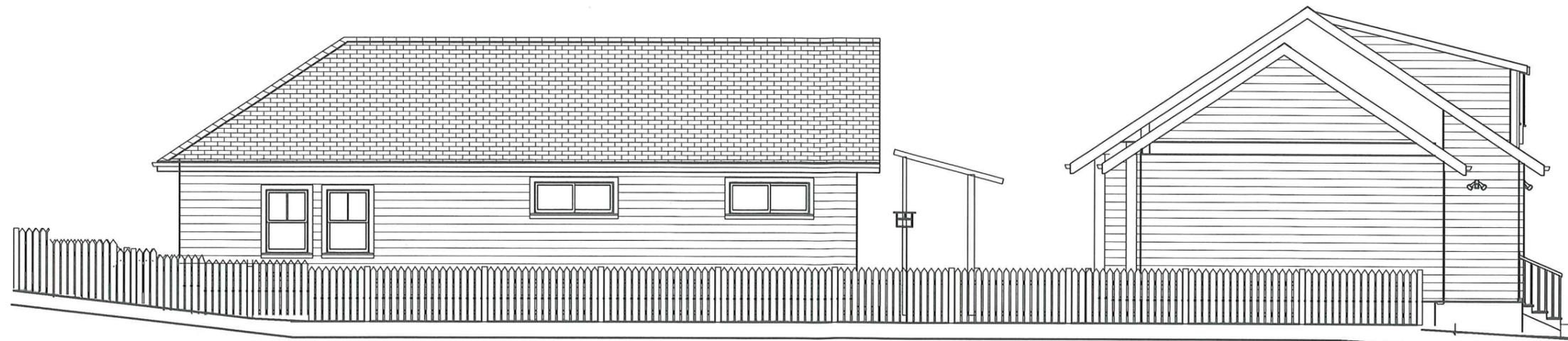
NORTH VIEW
MAPLE FRONTAGE

SIDING: CONCRETE LAP BOARD, SMOOTH FINISH
WINDOW TRIM: 4" WRAP ON 3 SIDES WITH SILL, SKIRT UNDER SILL
GABLE ENDS: BOARD AND BATTEN OR SHAKE LOOK HARDI-BOARD
WINDOWS: WHITE VINYL WITH OPTION OF DIVIDED LIGHTS IN UPPERS

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WEST ELEVATION



SOUTH ELEVATION

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NOTICE OF APPLICATION

PLANNING ACTION: PA-2016-02103

SUBJECT PROPERTY: 133 Alida Street

OWNER/APPLICANT: Mike and Karen Mallory, trustees for the Mallory Revocable Trust

DESCRIPTION: A request for Site Design Review approval to construct a 417 square foot Accessory Residential Unit for the property located at 133 Alida Street. The application includes requests for Exception to the Site Development and Design Standards for the placement and screening of parking relative to the Accessory Residential Unit. *(The proposal is based upon designation of Alida Street as the front lot line which is consistent with the established orientation of the historic contributing "James A. & Viola Youngs" house on the property.)*

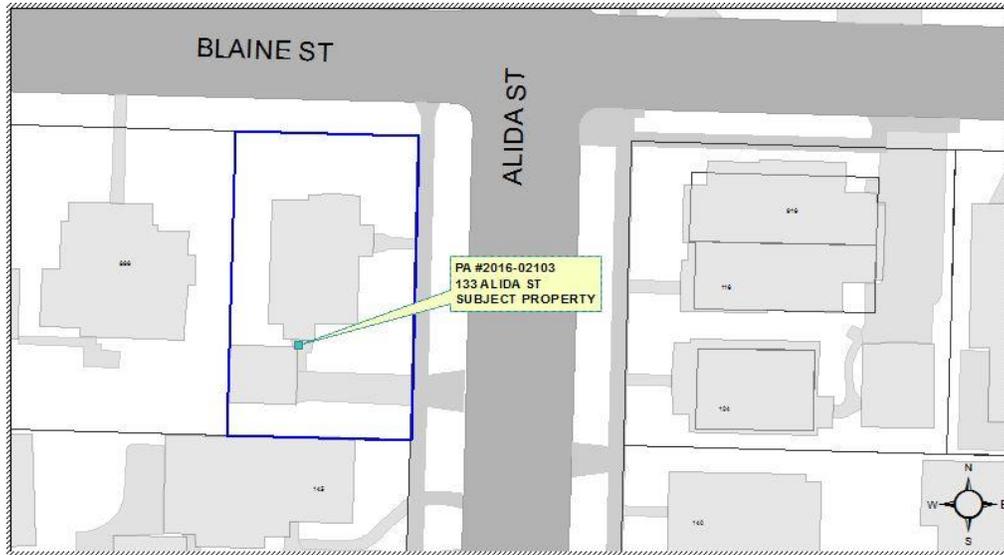
COMPREHENSIVE PLAN DESIGNATION: Low Density Multi-Family Residential; **ZONING:** R-2; **ASSESSOR'S MAP:** 39 1E 09DA; **TAX LOT #:** 3300.

NOTE: The Ashland Historic Commission will review this Planning Action on **Wednesday December 7, 2016 at 7:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTE: The Ashland Tree Commission will review this Planning Action on **Thursday, December 8, 2016 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTICE OF COMPLETE APPLICATION: November 30, 2016

DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS: December 14, 2016



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.5.1.050.G)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

SITE DESIGN AND USE STANDARDS

18.5.2.050

The following criteria shall be used to approve or deny an application:

- A. Underlying Zone: The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.
- B. Overlay Zones: The proposal complies with applicable overlay zone requirements (part 18.3).
- C. Site Development and Design Standards: The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.
- D. City Facilities: The proposal complies with the applicable standards in section 18.4.6 Public Facilities and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property and adequate transportation can and will be provided to the subject property.
- E. **Exception to the Site Development and Design Standards.** The approval authority may approve exceptions to the Site Development and Design Standards of part 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.
 1. There is a demonstrable difficulty meeting the specific requirements of the Site Development and Design Standards due to a unique or unusual aspect of an existing structure or the proposed use of a site; and approval of the exception will not substantially negatively impact adjacent properties; and approval of the exception is consistent with the stated purpose of the Site Development and Design; and the exception requested is the minimum which would alleviate the difficulty.; or
 2. There is no demonstrable difficulty in meeting the specific requirements, but granting the exception will result in a design that equally or better achieves the stated purpose of the Site Development and Design Standards.

ACCESSORY RESIDENTIAL UNITS

18.2.3.040

Where accessory residential units are allowed, they are subject to Site Design Review under chapter 18.5.2, and shall meet all of the following requirements.

- A. R-1 Zone. Accessory residential units in the R-1 zone shall meet the following requirements.
 1. One accessory residential unit is allowed per lot, and the maximum number of dwelling units shall not exceed two per lot.
 2. Accessory residential units are not subject to the density or minimum lot area requirements of the zone, except that accessory residential units shall be counted in the density of developments created under the Performance Standards Option in chapter 18.3.9.
 3. The maximum gross habitable floor area (GHFA) of the accessory residential unit shall not exceed 50 percent of the GHFA of the primary residence on the lot, and shall not exceed 1,000 square feet GHFA.
 4. The proposal shall conform to the overall maximum lot coverage and setback requirements of the underlying zone.
 5. Additional parking shall be provided in conformance with the off-street parking provisions for single-family dwellings in section 18.4.3.040, except that parking spaces, turn-arounds, and driveways are exempt from the paving requirements in subsection 18.4.3.080.E.1.



Planning Division
51 Winburn Way, Ashland OR 97520
541-488-5305 Fax 541-488-6006

ZONING PERMIT APPLICATION

FILE # 2016-02103

DESCRIPTION OF PROJECT

DESCRIPTION OF PROPERTY

Pursuing LEED® Certification? YES NO

Street Address 133 Alida St, Ashland

Assessor's Map No. 39 1E 09DA Tax Lot(s) 3300

Zoning R-2

Comp Plan Designation _____

APPLICANT

Name Mike & Karen Mallory Phone 530-598-0241 E-Mail Mallorya.ressor@gmail.com

Address PO Box 836 City Yreka, CA Zip 96097

PROPERTY OWNER

Name Same Phone _____ E-Mail _____

Address _____ City _____ Zip _____

SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OTHER

Title _____ Name _____ Phone _____ E-Mail _____

Address _____ City _____ Zip _____

Title _____ Name _____ Phone _____ E-Mail _____

Address _____ City _____ Zip _____

I hereby certify that the statements and information contained in this application, including the enclosed drawings and the required findings of fact, are in all respects, true and correct. I understand that all property pins must be shown on the drawings and visible upon the site inspection. In the event the pins are not shown or their location found to be incorrect, the owner assumes full responsibility. I further understand that if this request is subsequently contested, the burden will be on me to establish:

- 1) that I produced sufficient factual evidence at the hearing to support this request;
- 2) that the findings of fact furnished justifies the granting of the request;
- 3) that the findings of fact furnished by me are adequate; and further
- 4) that all structures or improvements are properly located on the ground.

Failure in this regard will result most likely in not only the request being set aside, but also possibly in my structures being built in reliance thereon being required to be removed at my expense. If I have any doubts, I am advised to seek competent professional advice and assistance.

Mike Mallory Karen Mallory 11/7/16
Applicant's Signature _____ Date _____

As owner of the property involved in this request, I have read and understood the complete application and its consequences to me as a property owner.

Mike Mallory Karen Mallory 11/7/16
Property Owner's Signature (required) _____ Date _____

[To be completed by City Staff]

Date Received 11-7-16 Zoning Permit Type 1 Filing Fee \$ 664.00

OVER ►►

Application Submittal
133 Alida Street
39 1E 09 DA 3300
Zoning R-2, Multi Family, Low Density Residential
Siskiyou Hargadine Historic District

Mike and Karen Mallory
PO BOX 836
Yreka CA, 96097 0836
530 598-0261

Building Designer
Michaeldavid Uri
FLS Design
779 Sylvia Street
Ashland, OR 97520
541 951-3201

Surveyor
Shawn Kampmann
Polaris Land Surveying
PO Box 459
Ashland, Oregon 97520
541 482-5009

Applicable Code Sections

18.2.2 ARU Permitted with Special Use Standards
18.2.3 Special Use Standards
18.2.4 General Regulations
18.2.5 Standards for Residential Zones
18.4.3 Parking, Access and Circulation
18.4.4 Landscaping, Lighting and Screening
18.4.5 Tree Preservation and Protection
18.4.8 Solar Access
18.5.2 Site Design Review

SUMMARY OF REQUESTS

- I. Change front lot line designation from Blaine Street to Alida Street.
- II. A basic site review approval to remove existing detached garage and replace it with a studio apartment ARU in a Multi-Residential zone (R-2).
 - An Exception allowing parking between the building and the street is requested. The Findings indicate this ordinance is typically applied to multi-family projects, and is not typically applied to ARUs, so it may be determined that this Exception is not needed.

Mallory- 133 Alida Street

Landscape Architect and Planning
Kerry KenCairn
KenCairn Landscape Architecture
545 A Street Suite 3
Ashland, OR 97520
541 488-3194

Arborist
Camp Kaye
Heartwood Tree Service
PO Box 1173
Ashland, Oregon 97520
541 840-5546

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- **An Exception to the landscape/screening buffer width between the ARU and the parking area is requested. The Exception requested is a 2 inch by 10 foot strip along the east wall of the ARU, and a 26 inch by 8 foot portion of the covered porch, both of which protrude into the 8 foot buffer. Specifically, the ARU wall and porch will protrude into the 8 foot buffer 2" for 10 feet and 26" for 8 feet.**

NARRATIVE DESCRIPTION OF PROPOSAL

The property is located on the southwest corner of Alida and Blaine Streets in the Siskiyou-Hargadine Historic District which is in the R-2 Zone. The existing residence is oriented to Alida Street and is approximately 1,050 square feet with a 320 square foot detached garage. Applicants desire to construct a second residential unit on the property.

The parcel was surveyed in September 2015 by Polaris Land Surveying, and the lot was determined to be just less than 6,000 square feet, which is less than the minimum lot size of 7,000 square feet as required for two units in the R-2 zone. The proposed structure will therefore be classified as an Accessory Residential Unit (ARU) rather than a second unit, which is limited to half the size of the main residence or 500 square feet, whichever is less. The proposed ARU is 417 square feet.

The proposed project consists of removing the existing detached garage and constructing an ARU in its place, observing all required side and backyard setbacks, and the required separation from the main residence. The existing garage is original, is in rough condition, and is a non-conforming structure in that the back wall is only six inches inside the western property line. The proposed ARU will be just over 400 square feet which will provide ample space for a single story studio apartment. The new structure has been thoughtfully designed to maintain the character of the neighborhood with minimal impact to the existing historical residence as well as adjoining properties. Thoughtful placement of windows on the south wall of the ARU and plans for mutually agreeable fencing will minimize impacts to the property to the south. The ARU will have a positive effect on the community by not only helping to ease the housing shortage, but also by encouraging a healthy lifestyle of walking and biking as the property is located within easy walking distance of the college, shopping, parks, and downtown. ARUs are part of the character of the neighborhood; in fact, if approved this will be the fourth ARU constructed along Alida street in recent years.

I. FRONT LOT LINE DESIGNATION CHANGE

Ashland Municipal Code § 18.08.420 defines the front lot line for a corner lot as being the narrower street frontage, which in this case is along Blaine Street. The residence front door and existing garage are clearly oriented east toward the Alida Street frontage, with vehicle access through the curb cut on Alida Street near the southeast corner of the lot.

Mallory- 133 Alida Street

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Access off of Blaine Street would be problematic in that vehicles would have to be parked between the street and the north side of the residence. The Blaine Street side is not the primary orientation for the home, yet R-2 design standards (for multi-family development) require parking areas to be behind buildings or to one or both sides. In this case the western side of the house would be the only possible option. The site survey shows that there is only 13.3' between the residence and the western property line, which will not accommodate a 9' wide driveway. There is a 15" cedar tree near the northwest corner of the house, and approximately 30' to the south a 16" maple tree is situated very close to the property line in the neighbor's yard. Even if the area could be used for a driveway, the 15" cedar tree would have to be removed to provide for adequate clearance, and the root system of the neighbor's maple tree would be heavily impacted by driveway construction.

The issues noted above create access problems off the narrower frontage, making this front lot line designation impractical (AMC 18.08.420). The Pre-Application comment sheet notes support for continued designation of Alida Street as the front lot line, and that such determination will be included in the public notice for the ARU. In addition, email communications and notes in the Applicant's former File PA#-2015-01266 will show Staff's acknowledgement of the access problems off Blaine Street, and support in concept for the frontage change to Alida Street. Consideration of the frontage change is instrumental in creating the most practical and attractive ARU design, allowing for a slightly wider, more attractive building that supports a more functional interior floor plan.

Historic District Design Standards:

The property is within the Siskiyou-Hargadine Historic District. The proposed ARU will maintain the style of the main residence and will comply with the Historic District Design Standards for new construction. The siding on the ARU will match the existing cove rustic siding on the main home. The light blue-grey paint color (*Silent Path* by Miller) will match the main home. New windows will be of similar style as the main home, which has been updated with vinyl-clad windows. The front of the ARU will be of the same style as the north side of the main residence. The intent is to enhance the original style of the property to ensure that it continues to be compatible with the look and feel of the neighborhood. Please refer to elevations provided.

Height: The proposed ARU is proportionately lower in height than the main home due to a smaller building size overall, as is common for ARUs in the neighborhood. The height of the ARU will be just over 14.5 feet at the peak of the gable roof, and will be consistent with similar-sized existing single-level buildings in the neighborhood.

Scale: The proposed ARU will appropriately relate to the size and proportions of the adjacent buildings. The ARU will present a cottage look which is similar to other ARUs in the area and will be compatible with the size and proportions of the main home and neighboring homes.

Mallory- 133 Alida Street

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Massing: Small varied masses are provided in the proposal; the proposal does not include uninteresting box-like forms. The ARU will have a front porch which breaks up the street-front wall, with a nested gable roof resembling the north side of the main residence. Windows will be interesting and consistent with the windows of the main home and neighborhood. All of these features will add variation, style and interest to the project.

Setback: The proposal maintains the historic façade lines of streetscapes by locating the front wall of the ARU with a slight set back from the plane of the main home. This is consistent with the streetscape setback of other historic properties in the district.

Roof Shapes: The roof line, roof pitch, and roof orientation of the ARU will be proportional to the main home. The ARU roofline, which is oriented perpendicular to the main home, is an orientation similar to other ARU buildings in the district. The front of the ARU has a traditional nested gable end compatible with the architecture of the north side of the main home.

Rhythm of Openings: The door and window openings are compatible with the main home and of other nearby homes. The main home contains a variety of window sizes and styles; the ARU will have new windows that are similar to those found in the main home. The proposed façade pattern is respectful of the historic patterns and the window-to-height ratios observed in the district.

Platforms: The proposed ARU will have a continuous concrete foundation and slab floor. The visible concrete foundation wall will present a platform similar to the main home and homes in the area. The front porch provides a clearly defined base to the building. In addition, the horizontal siding on the ARU will match the siding on the main house and will further enhance the platform.

Directional Response: The proposed ARU has a directional response consistent with similar buildings in the neighborhood. The ARU will be oriented towards the street and the entrance door of the ARU will also face east, which maintains the direction and style of the main home.

Main entrance: The entrance of the ARU will be on the east side near the north corner. The porch will be of similar style of the main home and will provide a pronounced sense of entry for the ARU without detracting from the look of the original historic main residence. Stepping stones from the parking area to the porch will further provide guidance to the entrance of the ARU. The street number and an exterior porch light mounted on the east wall will further articulate the ARU entrance.

New Electric Service:

The owners contacted the City Electric Department and confirmed that the main electric service line at the street has the capacity to serve the two separate units. The existing

Mallory- 133 Alida Street

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power drop to the south side of the primary residence will be upgraded and split into a 2-gang meter box and a separate electric service will then be routed underground to the north side of the ARU.

New Address:

The ARU will be a stand-alone residence, and will have its own address on Alida Street as assigned by the City. The number will be prominently displayed near the ADU entrance.

Utility Connections:

The owners contacted the City Water and Sewer Departments to verify that the existing water and sewer service have the capacity to serve both the main home and the ARU, and they have been advised that no additional improvements will be needed.

Street/Sidewalk Improvements:

There is an existing sidewalk on Alida Street. There is no sidewalk on this section of Blaine Street and the corner has an existing power pole and fire hydrant. The applicants will sign in favor of a Local Improvement District for future improvements on Blaine Street for the installation of sidewalks, curbs, gutters, and paving.

18.2.3.040 Accessory Residential Unit

Where accessory residential units are allowed, they are subject to Site Design Review under chapter 18.5.2, and shall meet all of the following requirements.

C. R-2 and R-3 Zones. Accessory residential units in the R-2 and R-3 zones shall meet the standards in subsection 18.2.3.040.A, except that the maximum gross habitable floor area (GHFA) of the accessory residential structure shall not exceed 50 percent of the GHFA of the primary residence on the lot, and shall not exceed 500 square feet GHFA.

Complies, the proposed ARU is 417 Square feet; the primary structure is 1,050 square feet. The ARU complies with this ordinance.

18.2.4 General Regulations

18.2.4.010 Access and Minimum Street Frontage

Complies, frontage on Blaine is 60 feet and frontage on Alida is 100 feet

18.2.4.020 Accessory Structures and Mechanical Equipment

B. Mechanical Equipment.

Complies, the mechanical equipment will be in the side and rear yard setback.

18.2.4.040 Vision Clearance Area

No visual obstruction (e.g., planting, fence, wall, sign, structure, fence, or temporary or permanent obstructions) exceeding 2 ½ in height shall be placed in "vision clearance areas" at street intersections as illustrated in Figure 18.2.4.040.A and Figure 18.2.4.040.B.

Complies, see site plan (COVER) with Vision Clearance area identified.

18.2.5 Standards for Residential Zones

18.2.5.030 Unified Standards for Residential Zones

- The lot meets all of the dimensional Standards for the R-2 zone designation.
- All setback requirements have been met (see COVER).
- Separation between the ARU and the existing home has been met at 7'-6". See East Elevation for mid-point gable height at 11'-7", with minimum separation being half that height at 5'-10".
- Lot Coverage with all improvements falls under the allowable 65% (see COVER)

18.2.5.070 Maximum Permitted Residential Floor Area in Residential Zones

N/A the ARU is separated from the existing home by more than 6 feet

18.4.3 – Parking, Access, and Circulation

18.4.3.040 Parking Ratios

Except as provided by section 18.4.3.030, the standard ratios required for automobile parking are as follows. See also, accessible parking space requirements in section 18.4.3.050.

Table 18.4.3.040 – Automobile Parking Spaces by Use	
Use Categories	Minimum Parking per Land Use <i>(Based on Gross Floor Area; fractions are rounded to whole number)</i>
Residential	
Single Family Dwelling	2 spaces for the primary dwelling unit and the following for accessory residential units. a. Studio units or 1-bedroom units less than 500 sq. ft. -- 1 space/unit. b. 1-bedroom units 500 sq. ft. or larger -- 1.50 spaces/unit. c. 2-bedroom units --1.75 spaces/unit.
Multifamily	a. Studio units or 1-bedroom units less than 500 sq. ft. space/unit. b. 1-bedroom units 500 sq. ft. or larger -- 1.50 spaces/unit. c. 2-bedroom uni d. 3-bedroom or greater units -- 2.00 spaces/unit. e. Retirement complexes for seniors 55-years or greater -- One space per unit

Based on the above Table, the single family home with the less than 500 square foot ARU requires 2 spaces for the single family home and 1 space for the ARU, for a total of three parking spaces. This proposal includes two off street parking spaces and requests on street credit of two parking spaces as there are a total of four spaces adjacent to the property (see COVER for parking assessment).

Mallory- 133 Alida Street

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18.4.3.050 Accessible Parking Spaces

Not Applicable

18.4.3.060 Parking Management Strategies

Except for single-family dwellings, the off-street parking spaces may be reduced through the application of the following credits. The total maximum reduction in off-street parking spaces is 50 percent, except as allowed for Off-Site Shared Parking credits in subsection 18.4.3.060.E, below. The approval authority may require a parking analysis prepared by a qualified professional. See 18.4.3.030.A.3 for parking analysis requirements.

This project provides two off street parking spaces and has four on street spaces at curb. The proposed ARU (under 500 feet) and existing residence require three spaces. We are proposing two off street and credit for the additional space be provided through the available on street parking. Off street spaces measure 9 x 18 feet and the on street spaces are 22 foot in length.

18.4.3.070 Bicycle Parking

This application includes three bicycle parking spaces along the back of the primary dwelling unit. The bicycles are to be hung on the back wall under a four-foot eave extension.

I. Bicycle Parking Design Standards.

The bicycle parking will be paved with a compacted crushed stone and is accessed by the main path between the house and new ARU. Security is provided by the use of steel bike hangers that can easily allow locking of the bike. The awning and bike area on the back of the primary dwelling unit is four feet in depth and eight feet in width.

18.4.3.080 Vehicle Area Design**A. Parking Location**

Except for single and two-family dwellings.

This proposal is for a single family dwelling and associated ARU.

Except as allowed in the subsection below, automobile parking shall not be located in a required front and side yard setback area abutting a public street, except alleys.

This proposal is a single-family residence with a proposed ARU, and the parking standard should be addressed in this fashion. It is common in residential zones to have parking in driveways between the building and the street, as would occur with a standard garage placement. Although this proposal is in the R-2 zone it is for a single-family residential home and an ARU and should not be reviewed as a multi-family project.

In all residential zones, off-street parking in a front yard for all vehicles, including trailers and recreational vehicles is limited to a contiguous area no more than 25 percent of the area of the front yard, or a contiguous area 25 feet wide and the depth of the front yard, whichever is greater. Since parking in violation of this section is

occasional in nature, and is incidental to the primary use of the site, no vested rights are deemed to exist and violations of this section are not subject to the protection of the nonconforming use sections of this ordinance.

This proposal includes shifting "the front" yard to Alida street which is 100 feet long. The parking area is 18 feet wide which is less than 20% of the front yard.

Parking Area Design. Required parking areas shall be designed in accordance with the following standards and dimensions as illustrated in 18.4.3.080.B. See also, accessible parking space requirements in section 18.4.3.050 and parking lot and screening standards in subsection 18.4.4.030.F.

The two proposed parking spaces contain two 9 x 18 foot spaces. The paving surface shall be compacted crushed stone.

Parking and Access Construction. The development and maintenance as provided below, shall apply in all cases, except single-family dwellings.

1. **Paving.** All required parking areas, aisles, turn-arounds, and driveways shall be paved with concrete, asphaltic, porous solid surface, or comparable surfacing, constructed to standards on file in the office of the City Engineer.

The apron for the parking will be city standard concrete, the two parking spaces are proposed to be compacted crushed stone to help with the impact to tree roots and to help control run off.

2. **Drainage.** All required parking areas, aisles, and turn-arounds shall have provisions made for the on-site collection of drainage waters to eliminate sheet flow of such waters onto sidewalks, public rights-of-way, and abutting private property.

The proposed parking will have under drains to prevent sheet flow over the sidewalk or into the street.

3. **Driveway Approaches.** Approaches shall be paved with concrete surfacing constructed to standards on file in the office of the City Engineer.

The apron for the parking will be city standard concrete, the two parking spaces are proposed to be compacted crushed stone to help with the impact to tree roots and to help control run off.

18.4.4.030 Landscaping and Screening

Landscape Buffers:

A five foot landscape buffer/screen will be provided between the proposed parking area and the southern property line as required by AMC 18.4.4.030. Planting improvements are proposed with the goal of improving aesthetics as well as providing screening for the neighbor to the south.

Mallory- 133 Alida Street

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An eight foot landscape buffer between the parking area and the ARU is required per AMC 18.4.4.030. Lot depth is such that a 2 inch by 10 foot portion of the front side of the ARU, as well as a 26 inch by 8 foot portion of the covered porch, protrude into this buffer area. We are asking for an exception to the 8 foot requirement as the 2 inch by 10 foot strip is negligible, and the covered porch produces an architecturally pleasing style consistent with the north side of the main residence. This will produce a design that equally or better achieves the stated purpose of the Site Development and Design Standards.

Landscape Plan, Irrigation Plan, Open Space, and Street Trees:

The amount of open space dedicated to the occupants is greater than 8 percent of the lot area. The existing front yard landscaping includes lawn, shrubs, Hypericum, and a few trees. With the exception of one juniper tree south of the driveway, there are no other street trees in the parkway between the curb and the sidewalk. In consideration of power lines overhead, a power pole and hydrant at the corner, and driveway visibility, two street trees will be planted with appropriate spacing in the parkway along Alida Street. The trees shall conform to the approved street tree list approved by the Ashland Tree Commission with consideration for overhead lines. The proposal further meets the requirement to upgrade landscaping by adding a landscaped buffer between the ARU and the parking area (see Landscape Buffers). The species and size of the planned landscaping will meet the Landscaping section of the Site Development and Design Standards.

The existing juniper tree located south of the driveway in the parkway appears to have required pruning around the power lines in the past causing it to become disfigured, and attempts will be made to make it more shapely. This project proposes to save all trees on site and protect trees on the adjacent properties.

The proposal intends to minimize the amount of irrigation needed for landscaping by using drought-tolerant and native species. The new landscape will require a drip irrigation system for two years until it is established. The two new street trees will have drip irrigation for several years until they are large enough to pull water from the water table. Going forward, the owners intend to build on the work conducted by this proposal to gradually convert the existing lawn and plants to a more drought-tolerant landscape consistent with nearby attractive well-designed yards.

Tree Preservation, Protection, and Removal.

There is one large Tulip Tree in the front yard along Alida Street that will receive special protection and consideration both in how parking is achieved below it and during construction. During construction the Tulip tree will be protected from all vehicles, materials and equipment by the implementation of the tree protection plan submitted with this application. Under the guidance of the consulting local arborist, the tree will be protected by construction fencing along the north side of the driveway and arcing north along the drip line. The Juniper tree in the park row will receive similar care and

protection. No trees will be removed as part of this project. Trees within 15 feet of the property line have been considered and their root zones are receiving a deep mulch to protect them during construction.

Street Trees. The purpose of street trees is to form a deciduous canopy over the street. The same effect is also desired in parking lots and internal circulation streets; rows of street trees should be included in these areas where feasible.

Two new street trees are being proposed for this project; in consideration of overhead power lines small stature Crepe Myrtles and are being proposed in the park row along Alida Street.

Irrigation.

The proposal intends to minimize the amount of irrigation needed for landscaping by using drought-tolerant and native like species. The new landscape buffer between the parking area and the ARU will require a drip irrigation system for two years until it is established. The two new street trees will have drip irrigation for several years until they are large enough to pull water from the water table. Going forward, the owners intend to build on the work conducted by this proposal to gradually convert the existing lawn and plants to a more drought-tolerant landscape consistent with nearby attractive well-designed yards.

Water Conserving Landscaping.

Landscaping Design Standards

- a. **Landscaping Coverage.** The landscape areas that have been disturbed by this project contain new landscape that will achieve 90% coverage in the next two years.
- b. **Plant Selection.** All proposed plants are drought tolerant.
- c. **Screening.** There are no proposed hedges; screening will be done with fencing.
- d. **Mulch.** The planting areas and the new trees will receive 3" of fine bark mulch
- e. **Turf and Water Areas.** There is no new turf proposed for this project.
- f. **Fountains.** N/A
- g. **Turf Location.** N/A
- h. **Berms and Raised Beds.** N/A
- i. N/A

Irrigation System Design Standards. Irrigation plans are reviewed through a Ministerial process at the time of building permit submittals, and are subject to the following standards.

The proposed irrigation system is for the new landscape only; the rest of the site has not been irrigated. The new irrigation system has a smart controller. The system is designed so that it may be added to in the future. All irrigation is drip.

J. Maintenance. All landscaping shall be maintained in good condition, or otherwise replaced by the property owner; dead plants must be replaced within 180 days of

discovery. Replacement planting consistent with an approved plan does not require separate City approval.

18.4.4.040 Recycling and Refuse Disposal Areas

Recycling. All residential, commercial, and manufacturing developments that are subject to chapter 18.5.2 Site Design Review shall provide an opportunity-to-recycle site for use of the project occupants.

A fenced area will be constructed for trash and recycling receptacles for both the main house and ARU at the northwest area of the ARU. The area will provide visual screening of the containers from the street.

18.4.4.050 Outdoor Lighting

The ARU will have exterior lighting mounted on the east wall near the front entrance that will be oriented downward to prevent glare.

18.4.4.060 Fences and Walls

Design Standards. Fences, walls, hedges, and screen planting shall meet the following standards, where height is measured pursuant to subsection 18.4.4.060.B.2, below. See Figure 18.4.4.060.B.1 for illustration of maximum fence heights.

1. Height. Fences, walls, hedges, and screen planting shall not exceed the following heights.

a. Front Yard. In any required front yard, not more than 3 ½ feet in height.

Not applicable at this time

b. Rear and Side Yard. In any rear or side yard, not more than 6 ½ feet in height.

The new property line fence shall be standard, good neighbor fencing made of wood and/or utility panel, no more than 6 1/2 feet high.

Restricted Materials.

The new property line fence shall be standard, good neighbor fencing made of wood and/or utility panel.

Deer Fencing.

Not Applicable at this time

Chapter 18.4.5 – Tree Preservation and Protection

18.4.5.30 Tree Protection

Tree Protection Plan.

A Tree Protection Plan (see Sheet L1.1) that meets all of the code requirements has been provided in this submittal package.

Tree Protection Plan Submission Requirements.

A Tree Protection Plan (see Sheet L1.1) that meets all of the code requirements has been provided in this submittal package.

Mallory- 133 Alida Street

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Tree Protection Measures Require.

A Tree Protection Plan (see Sheet L1.1) that meets all of the code requirements has been provided in this submittal package.

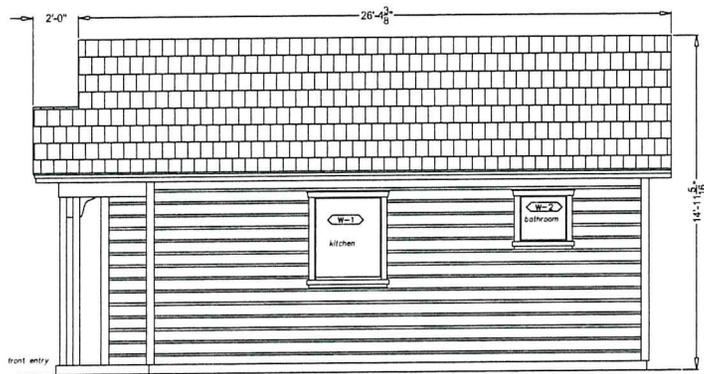
18.4.5.050 Verification Permit

All trees will be tagged per the requirements in this section. Any work will await a verification permit prior to proceeding with any tree removals on the site.

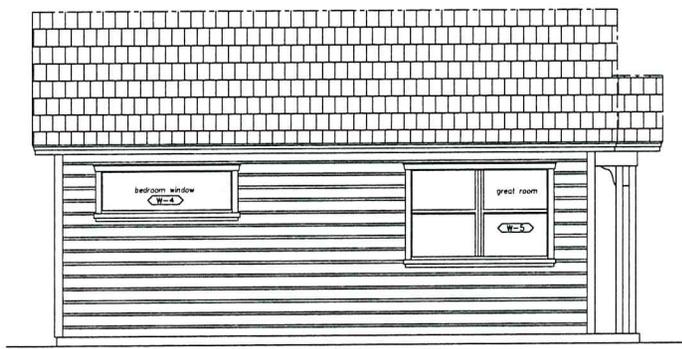
18.4.8.030 Solar Setbacks

The ARU is proposed along the southern portion of the site and has no affect on the northern property line. This ordinance is not applicable to this project.

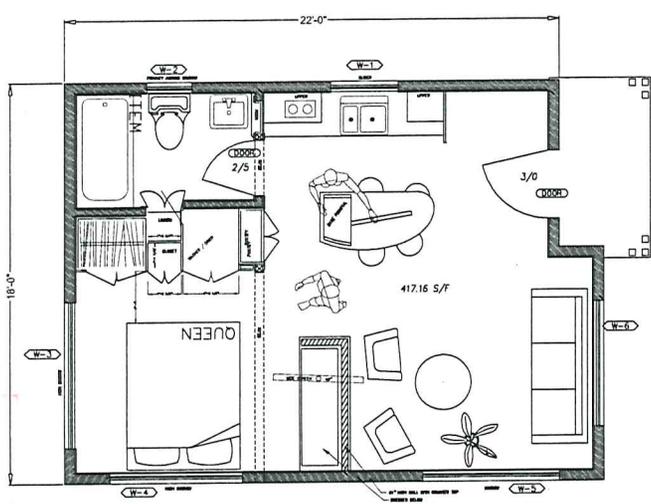
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NORTH ELEVATION



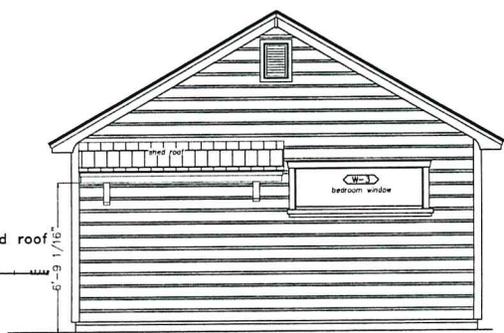
SOUTH ELEVATION



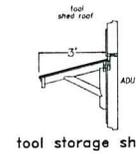
PLAN VIEW
NORTH



EAST ELEVATION



WEST ELEVATION



tool storage shed roof

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12-	LAUNDRY & CLOSETS

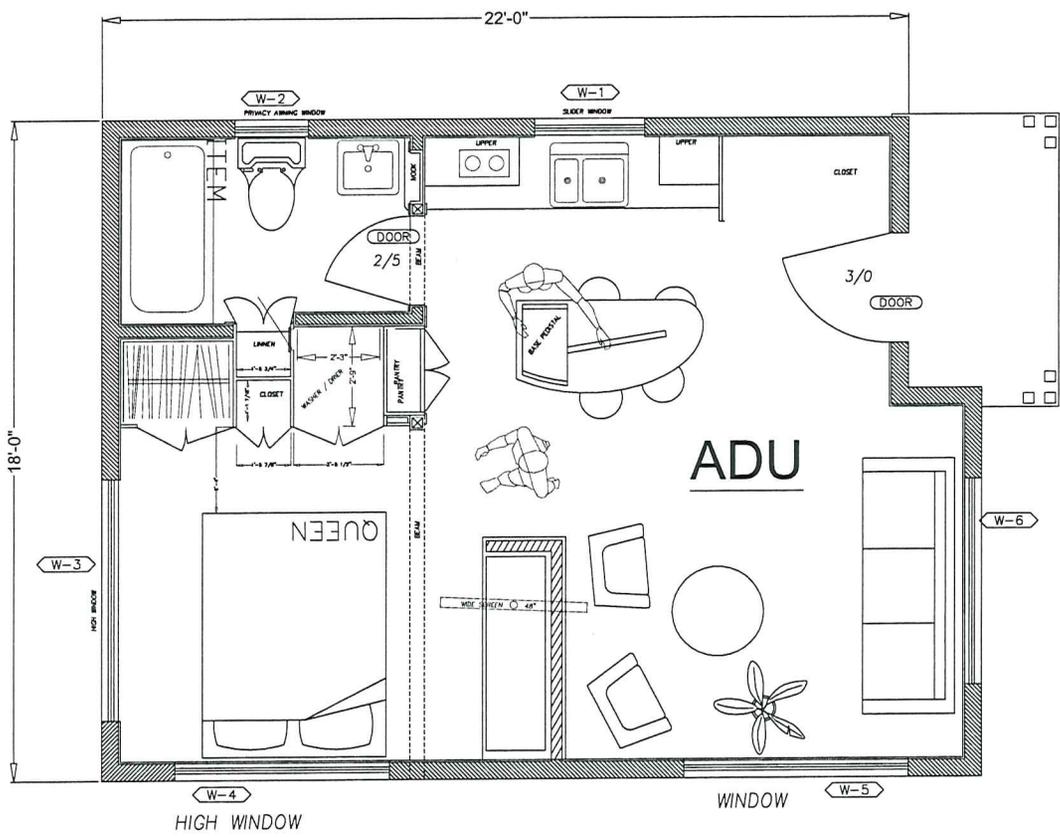
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1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30



145 ALIDA STREET

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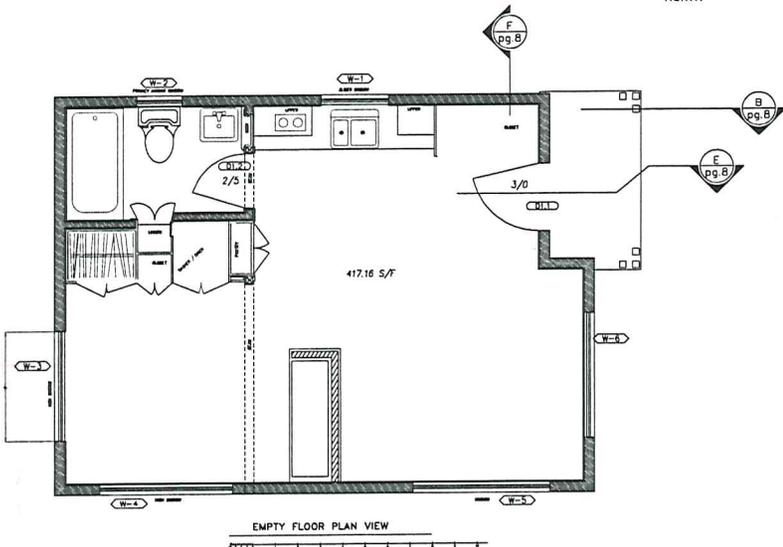
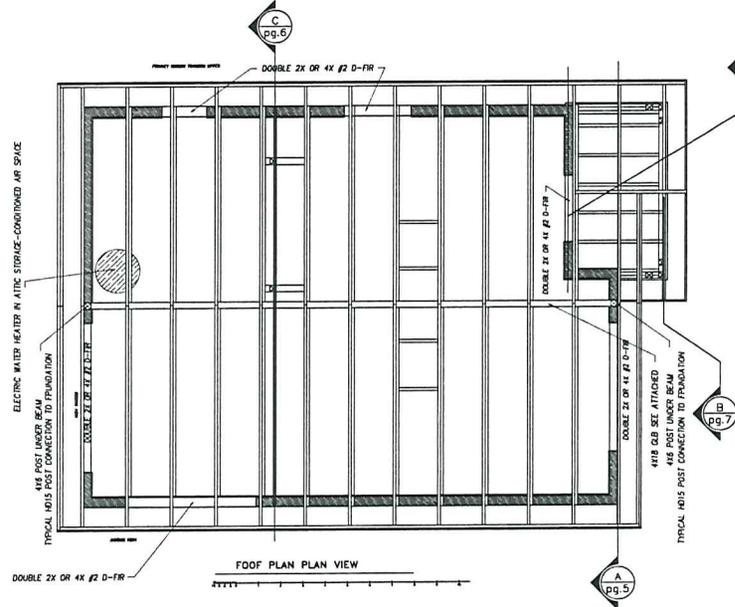
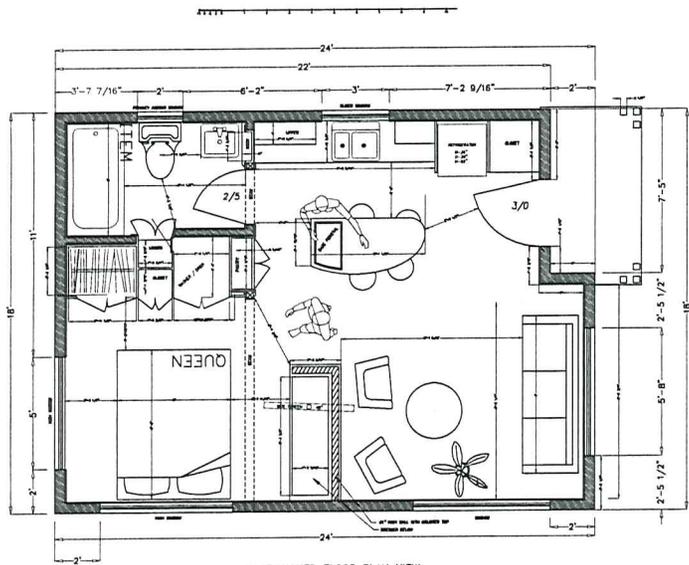
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(page 2.5)



NORTH

HEADER SCHEDULE

MAX. OPENING WIDTH	DOUBLE 2X OR 4X #2 D-FIR	
	NONBEARING	BEARING
4'-0"	4"	6"
6'-0"	6"	8"
8'-0"	8"	10"
10'-0"	10"	12"
12'-0"	12"	14"

WIND WINDOW TAG SELECT STYLE BY OWNER

TAG	TYPE	MAT	QTY.	WD	HT	NOTES
FIRST FLOOR						
W1	SL	VNL	3-0	3-6		VINYL
W2	SL	VNL	2-0	2-0		VINYL
W3	SL	VNL	5-0	1-6		VINYL
W4	SL	VNL	5-0	1-6		VINYL
W5	DBL	VNL	6-0	4-0		MATCH HOUSE GREEN
W6	DBL	VNL	5-8	4-0		MATCH HOUSE GREEN

DOOR TAG SELECT STYLE BY OWNER

TAG	TYPE	MAT	QTY.	WD	HT	SWING	NOTES
FIRST FLOOR							
D1-1	EX	FIR	1	6'8"	L		FRONT ENTRY
D1-2	6 P	FIR	1	6'8"	L		6 PNL

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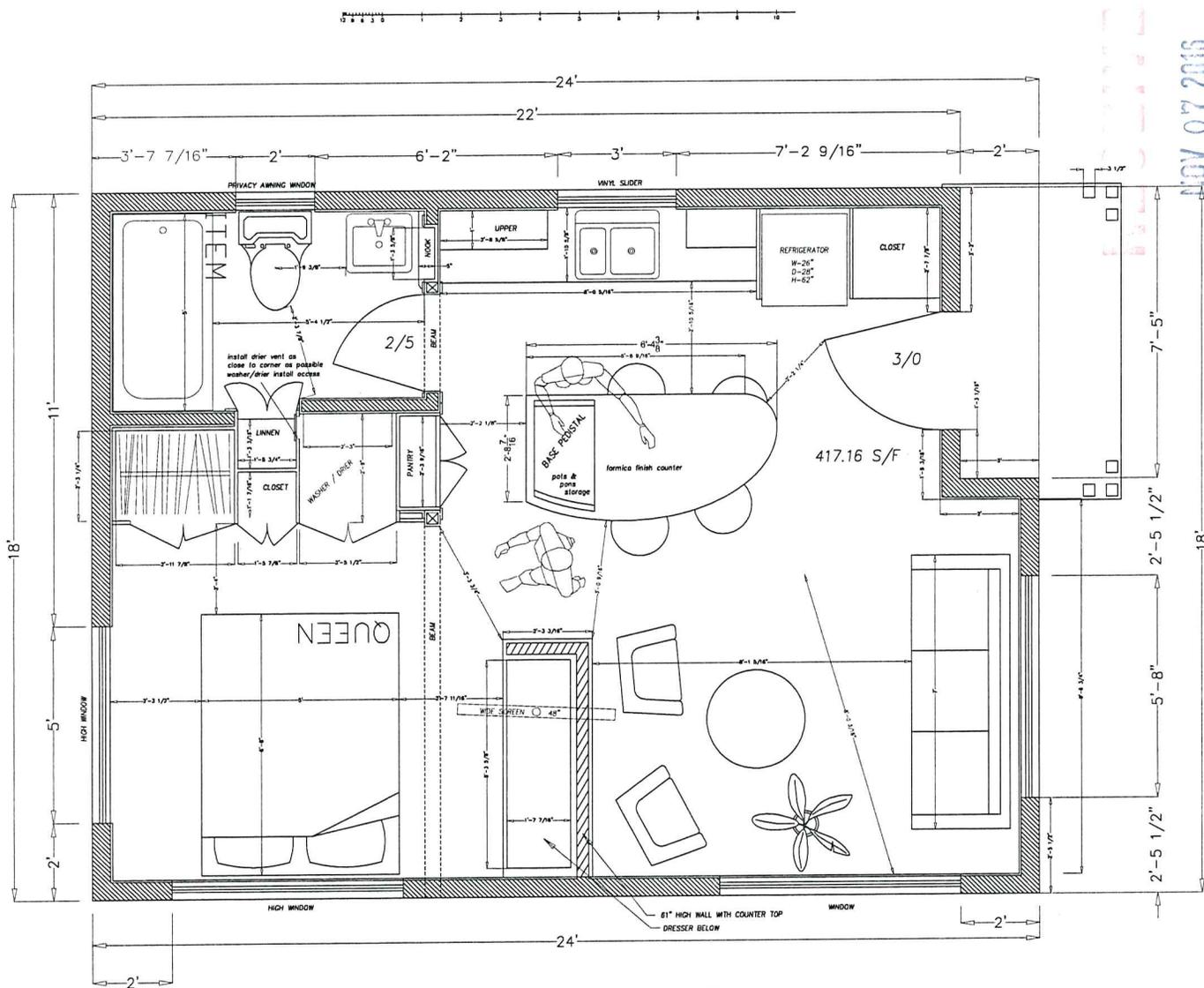
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DIMENSIONED FLOOR PLAN VIEW

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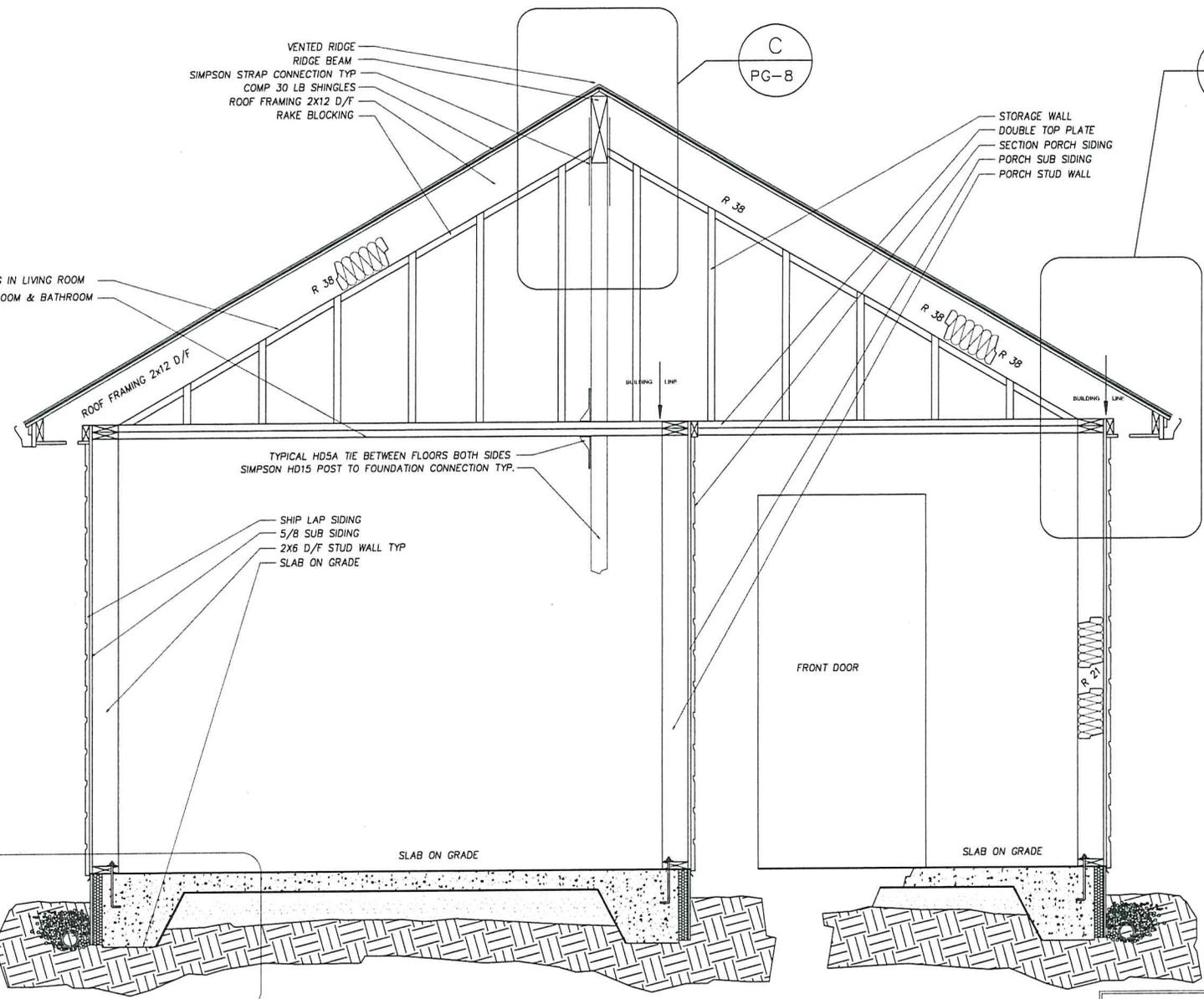
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Gay Clifton

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SECTION AT FRONT GABLE END

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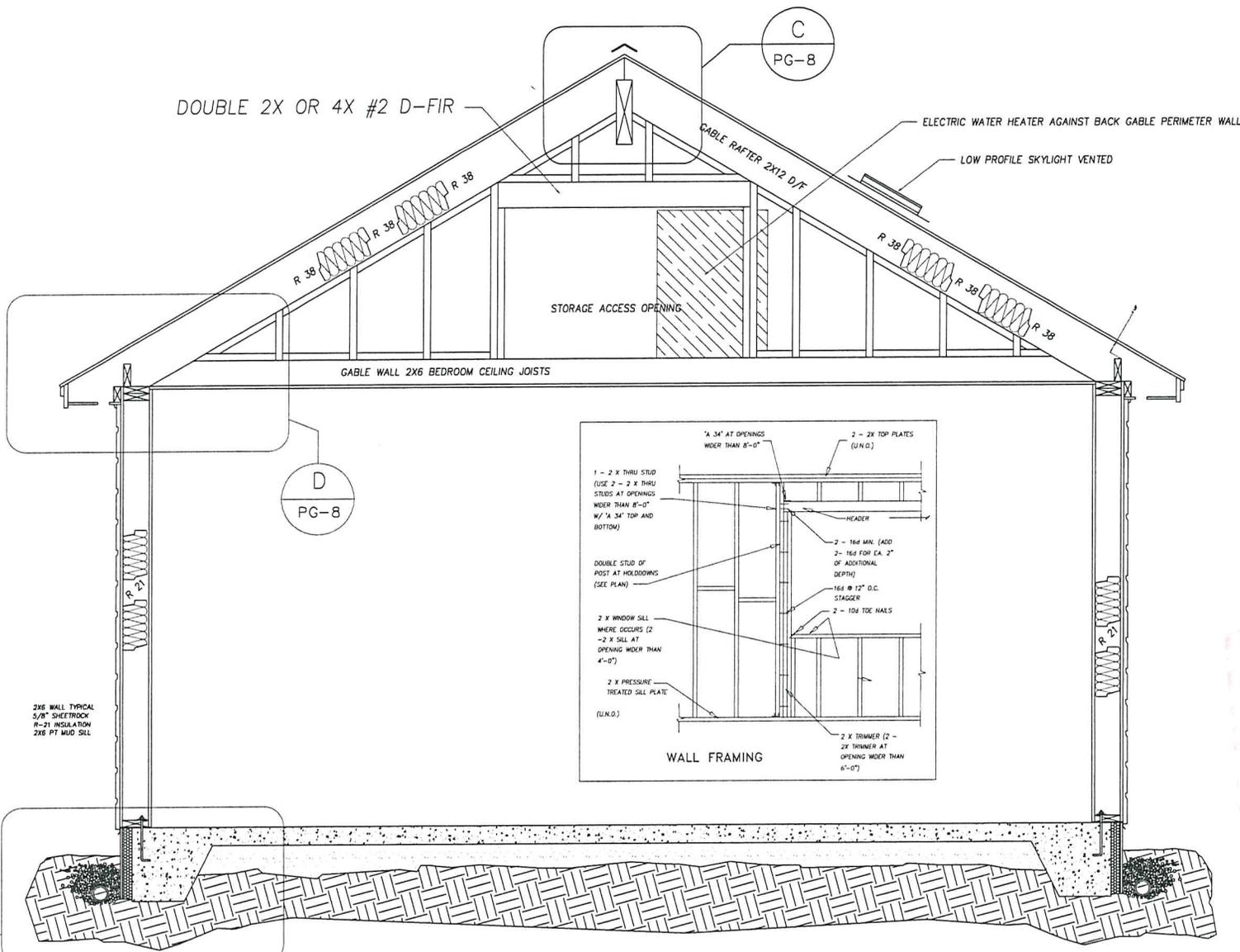
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PG-8

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2X6 WALL TYPICAL
3/8" SHEETROCK
R-21 INSULATION
2X6 PT MUD SILL

SECTION AT LOFT STORAGE WALL



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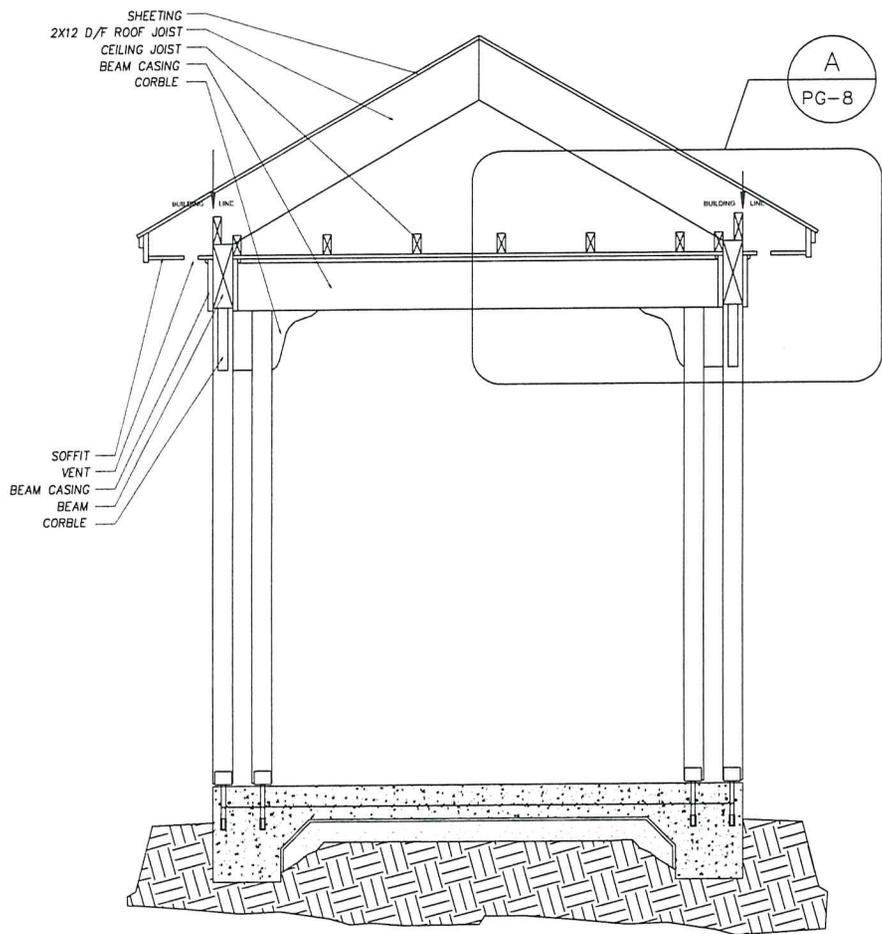
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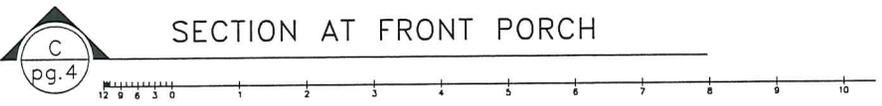
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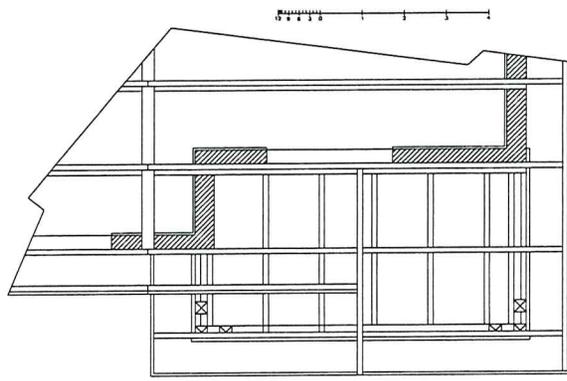


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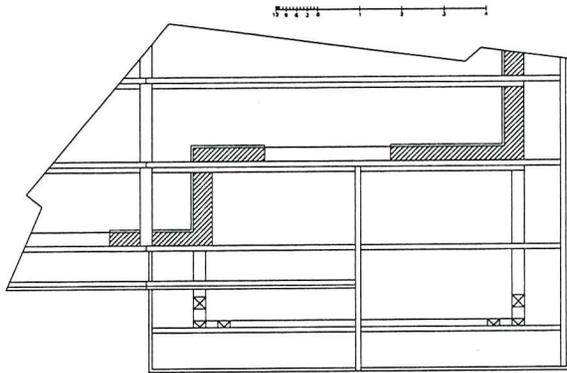
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pg. 4

DETAIL B
SOFFIT CASING PLAN VIEW



FRONT PORCH CEILING, PLAN VIEW

DETAIL C
SOFFIT CASING PLAN VIEW



FRONT PORCH ROOF, PLAN VIEW

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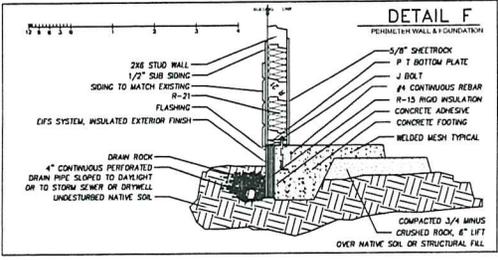
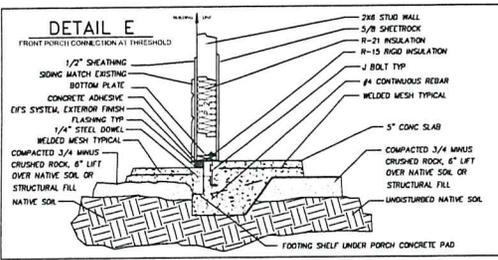
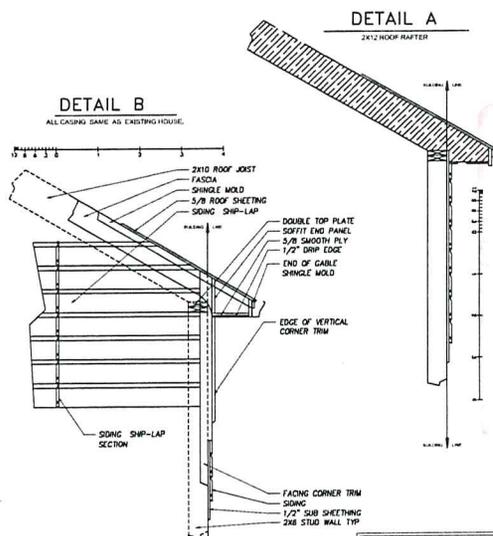
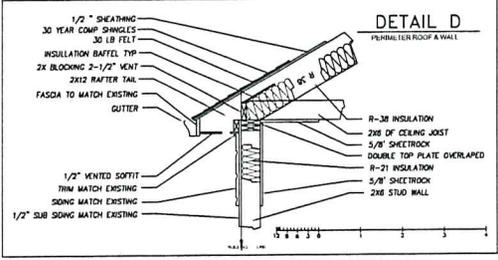
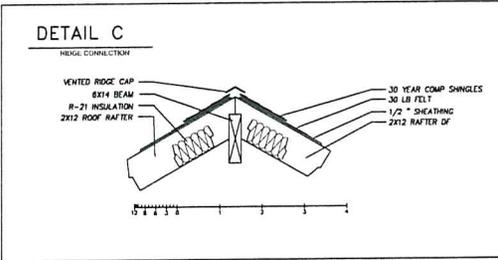
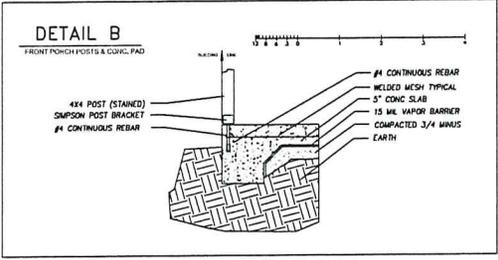
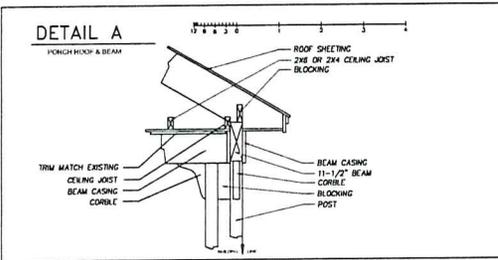
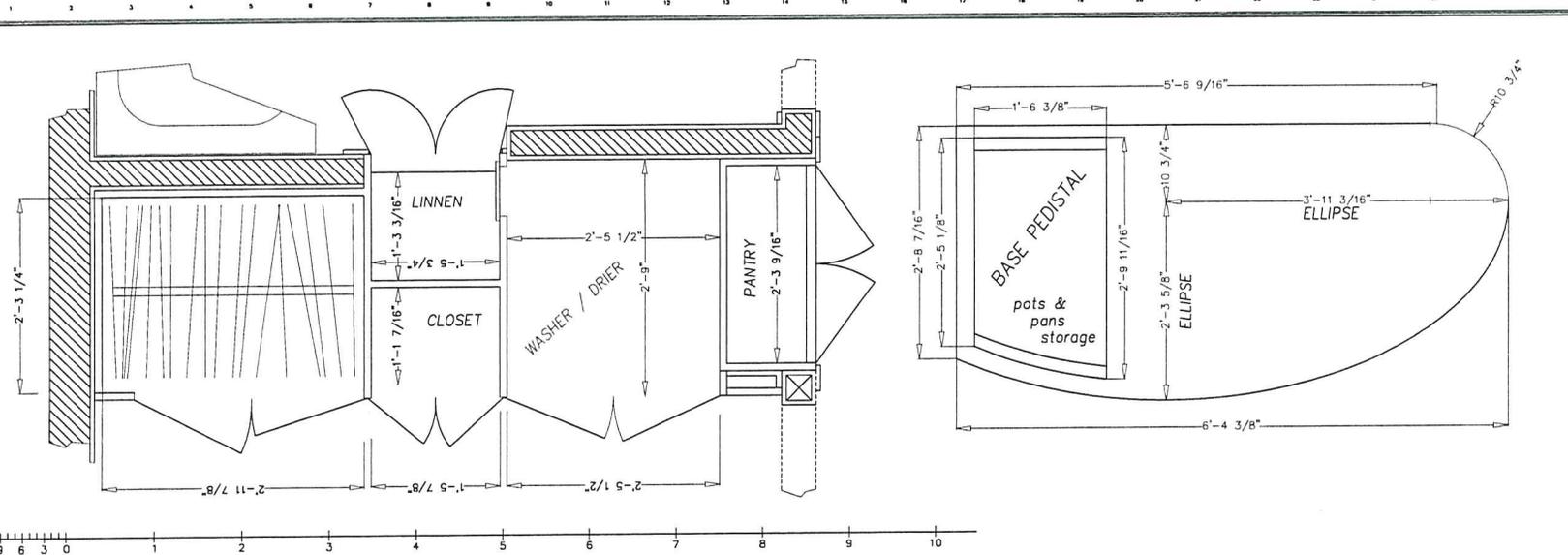
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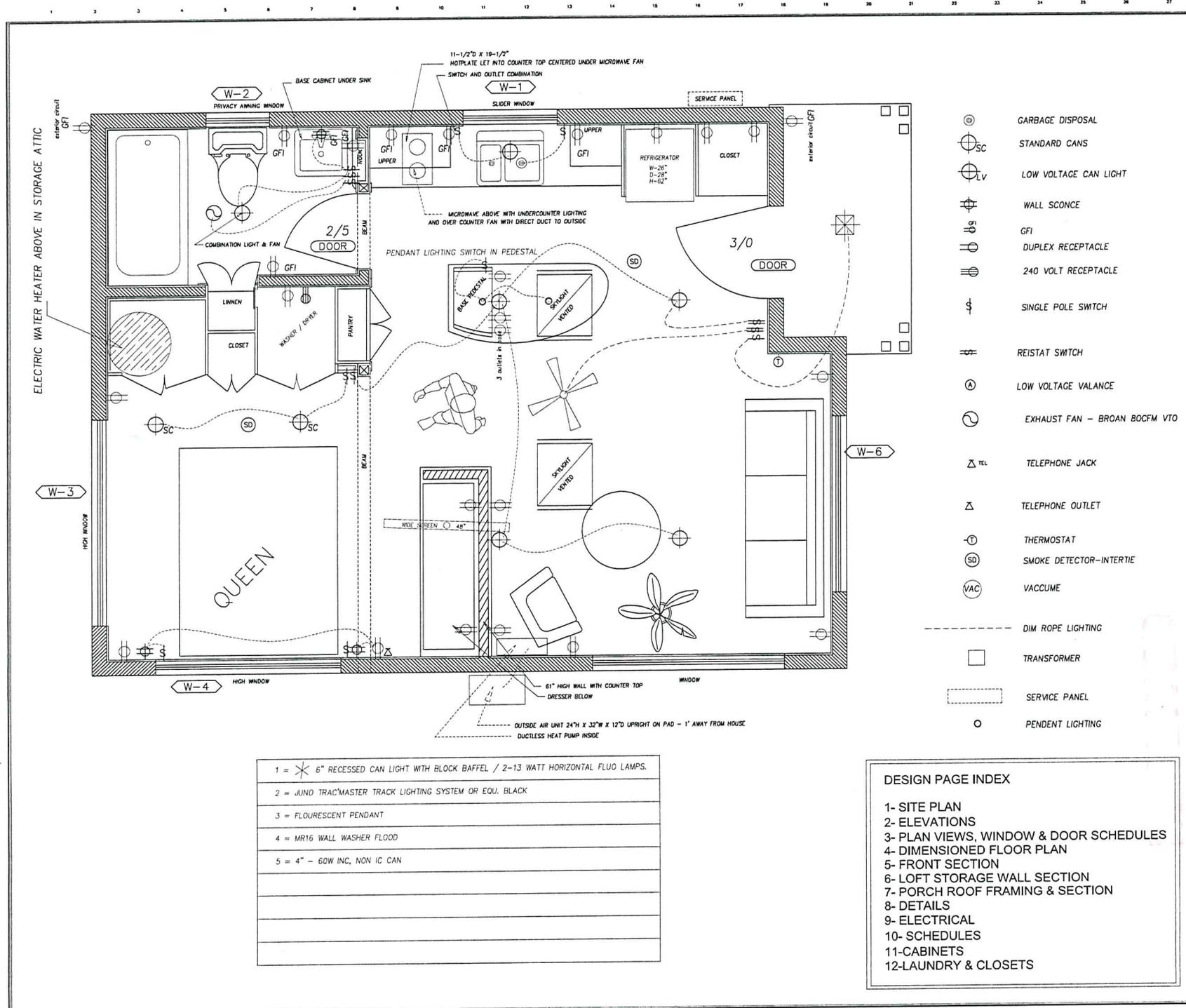
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- 1 = * 6" RECESSED CAN LIGHT WITH BLOCK BAFFEL / 2-13 WATT HORIZONTAL FLUG LAMPS.
- 2 = JUNO TRACMASTER TRACK LIGHTING SYSTEM OR EQU. BLACK
- 3 = FLOURESCENT PENDANT
- 4 = MR16 WALL WASHER FLOOD
- 5 = 4" - 60W INC. NON IC CAN

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1ST FLOOR FINISH SCHEDULE

ID	ROOM NAME	FLOOR		BASE		N. WALL		E. WALL		S. WALL		W. WALL		CEILING		REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
101	LIVING ROOM	CONCRETE	SATIN	A-MED	1-PAINT	C	3	C	3	C	3	C	3	CEILING-A	3	-
102	KITCHEN	CONCRETE	SATIN	A-MED	1-PAINT	E	3	C	3	C	3	C	3	3	3	-
103	BATHROOM 1ST FLOOR	CONCRETE	SATIN	A-MED	1-PAINT	C	4	C	4	C	4	C	4	C	4	-
104	BEDROOM	CONCRETE	SEAL	A-MED	1-PAINT	C	3	C	3	C	3	C	3	C	3	-
105	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
106	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
107	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
108	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
0	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
0	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-

DESIGN PAGE INDEX

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- 2- ELEVATIONS
- 3- PLAN VIEWS, WINDOW & DOOR SCHEDULES
- 4- DIMENSIONED FLOOR PLAN
- 5- FRONT SECTION
- 6- LOFT STORAGE WALL SECTION
- 7- PORCH ROOF FRAMING & SECTION
- 8- DETAILS
- 9- ELECTRICAL
- 10- SCHEDULES
- 11- CABINETS
- 12- LAUNDRY & CLOSETS

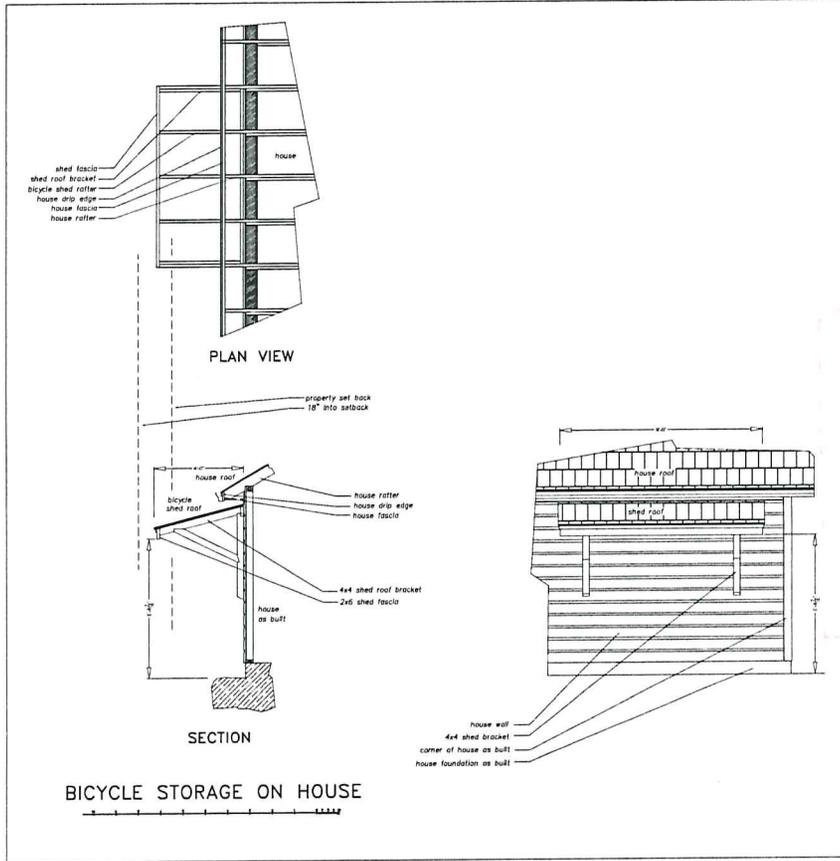
SCHEDULE KEYS

ID	MATERIAL
A	MED - BASE 3-1/2 MEDITE - 1/2" X 5/8" SHOE
B	TALL - BASE 4-1/2 MEDITE - 1/2" X 5/8" SHOE
C	5/8" SHEETROCK - TYPICAL
D	5/8" SHEETROCK FIRE RATED
E	WALL TILE
F	-
G	-
H	-
I	-
J	-
K	-
L	-

SCHEDULE KEYS

ID	FINISH
1	PAINT GRADE - SATIN
2	STAIN GRADE - SATIN
3	FINE TROWEL FINISH
4	PRODUCTION SMOOTH
5	HIGH SMOOTH FINISH
6	WALLPAPER
7	-
8	-
9	-
10	-
11	-
12	-

- 1 = 6" RECESSED CAN LIGHT WITH BLOCK BAFFEL / 2-13 WATT HORIZONTAL FLUO LAMPS.
- 2 = JUNO TRACMASTER TRACK LIGHTING SYSTEM OR EQU. BLACK
- 3 = FLOURESCENT PENDANT
- 4 = MR16 WALL WASHER FLOOD
- 5 = 4" - 60W INC, NON IC CAN

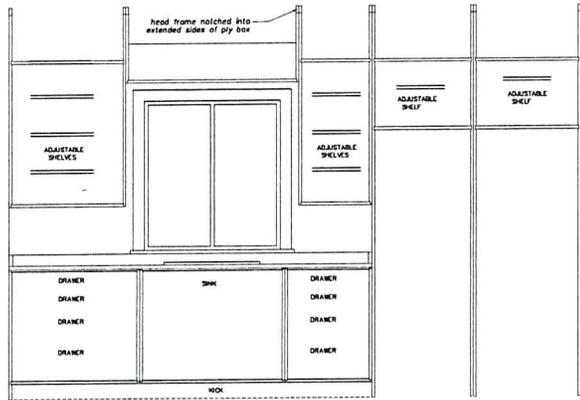


MALLORY
PROJECT 222
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DESIGNS LLC.
541-951-3201
MICHAEL DAVID URI
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97520
lucidd@97520.net

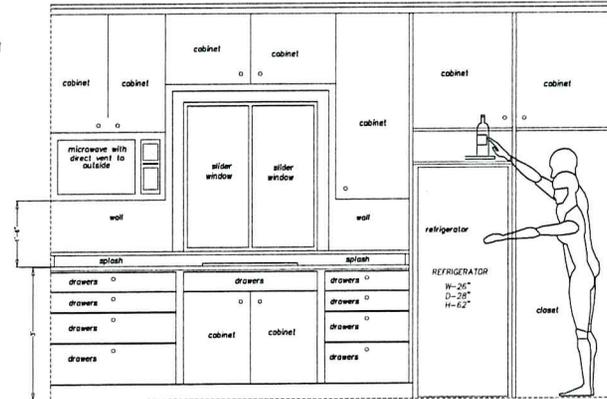
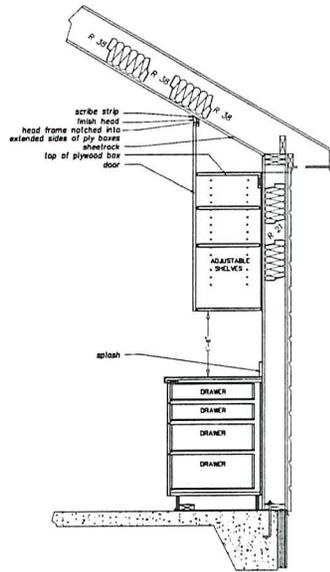
DESIGNS FOR : Mike and Karen Mallory
Remove garage and construction of new ADU
PROJECT LOCATION: 133 Alida Street
ASHLAND OREGON 97520

NOV 07 2015

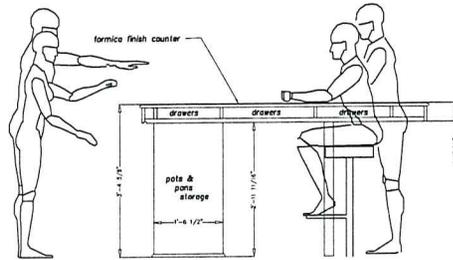
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REVIEWED: URI
DATE: 3-17-16



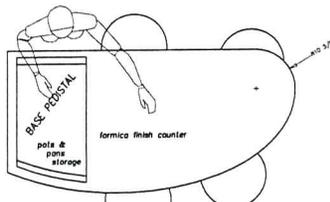
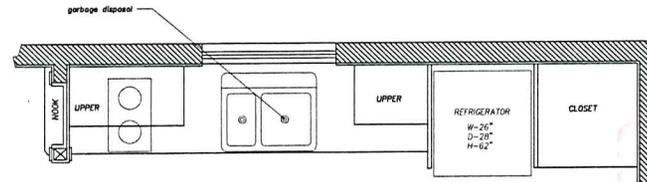
KITCHEN CABINET BOX CONSTRUCTION



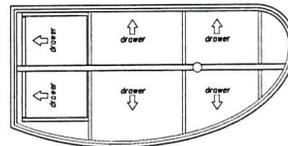
DOORS & DRAWERS LAYOUT INCLUDING MICROWAVE



ISLAND ELEVATION

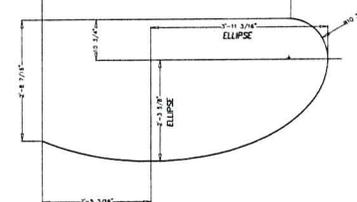


ISLAND PLAN VIEW



ISLAND COUNTER & DRAWERS FRAMING

counter top dimensions revised 25% larger



DESIGN PAGE INDEX

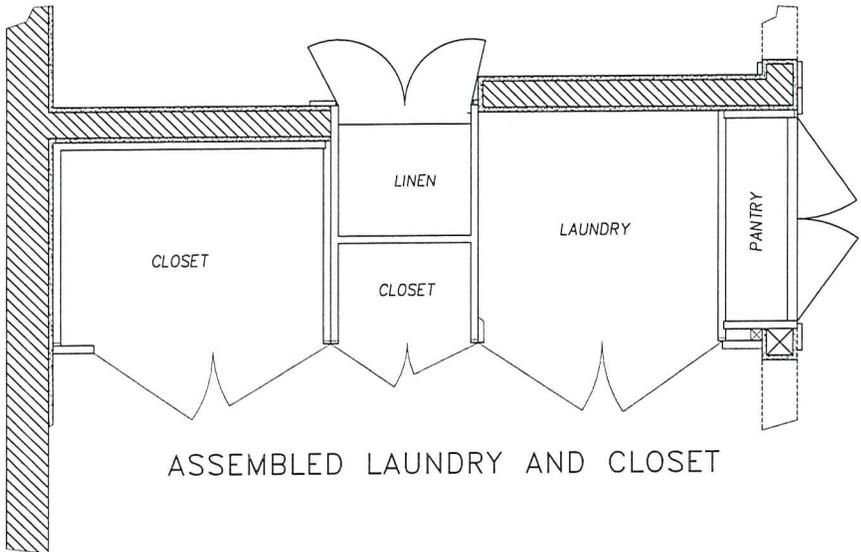
- 1- SITE PLAN
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MALLORY
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LUCID
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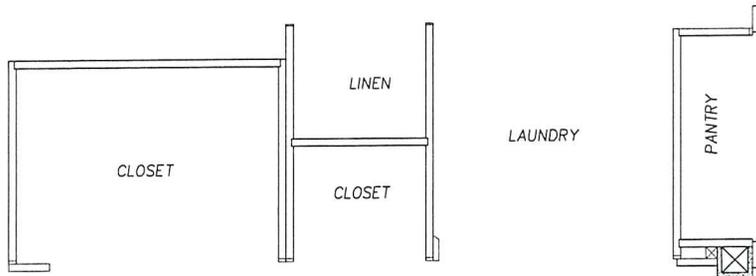
DESIGNS FOR : Mike and Karen Mallory
Remove garage and construction of new ADU
PROJECT LOCATION: 133 Allida Street
ASHLAND OREGON 97520

NOV 07 2016

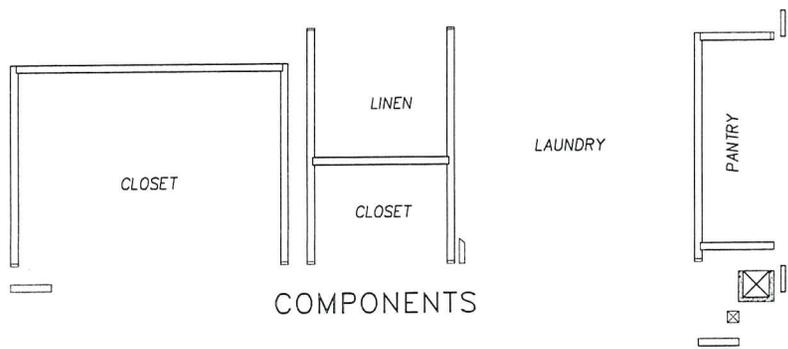
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REVIEWED: URI
DATE: 6-13-16



ASSEMBLED LAUNDRY AND CLOSET



GROUPED COMPONENTS



COMPONENTS

LAUNDRY AND CLOSET CABINET LAYOUT

DESIGN PAGE INDEX	
1-	SITE PLAN
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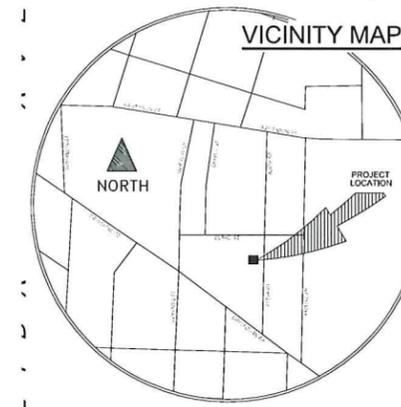
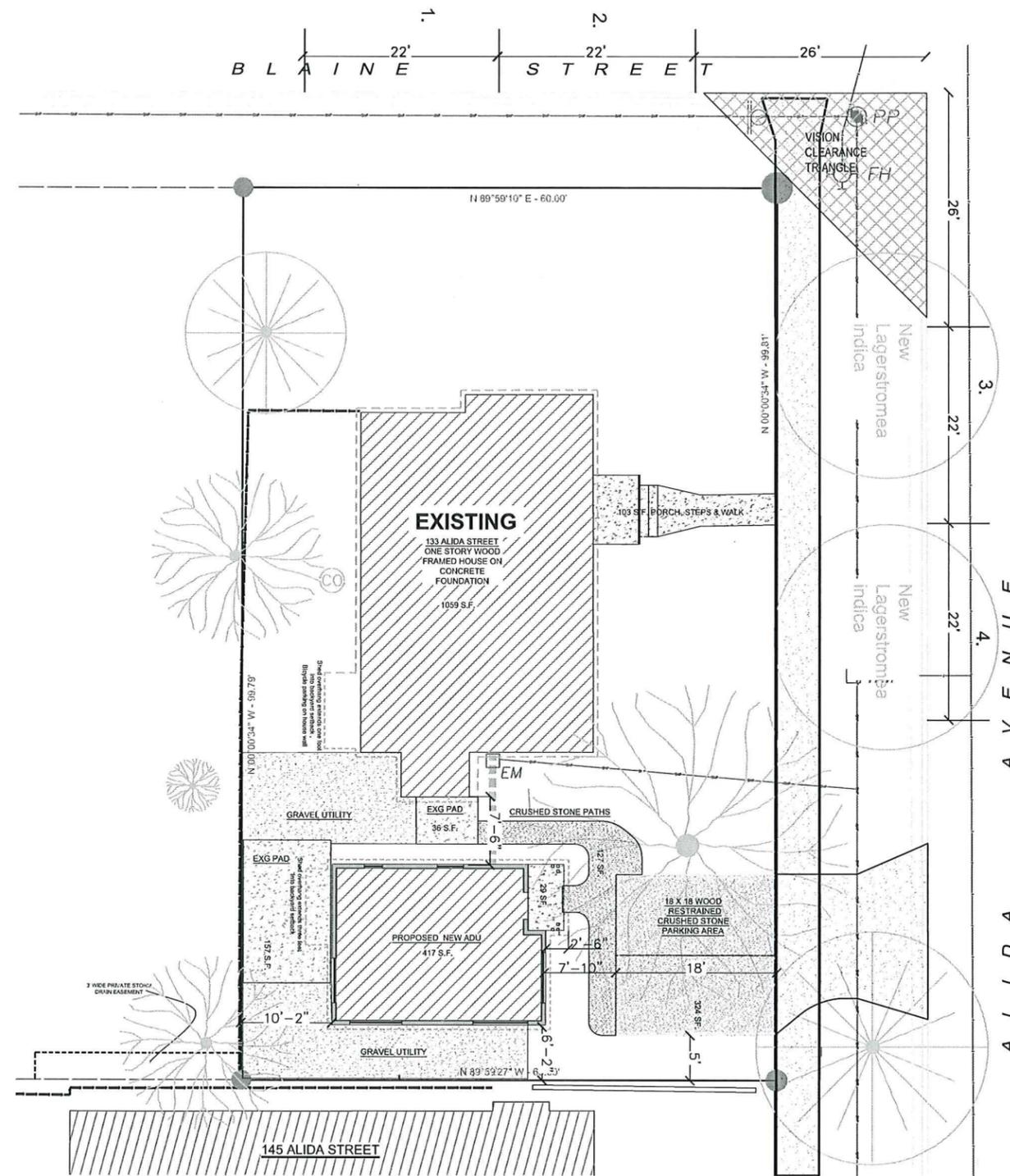
MALLORY
PROJECT 222
LUCID
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541-951-3201
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lucid@97520.net

DESIGNS FOR : Mike and Karen Mallory
Remove garage and construction of new ADU
PROJECT LOCATION: 133 Alida Street
ASHLAND OREGON 97520

NOV 07 2016

NOV 07 2016

SCALE: 1" = 1"
DRAWN: URI
REVIEWED: URI
DATE: 3-17-16



PROJECT INFORMATION:

OWNERS: MICHAEL & KAREN MALLORY
 PO BOX 836
 YREKA, CA. 96097

LANDSCAPE ARCHITECT: KERRY KENCAIRN
 KENCAIRN LANDSCAPE ARCHITECTURE
 545 A STREET, STE. #3
 ASHLAND, OR, 97520
 PHONE: (541) 488.3194

LOCATION: 133 ALIDA STREET

TAX LOT: 391E09DA 3300
 EXISTING LOT SIZE: 0.14 ACRES (5,988 ft²)

ZONING: R-2

LOT COVERAGE	
TAX LOT 391E09DA 3300	
LOT SIZE:	0.14 ACRES (5,988 ft ²)
RESIDENCE FOOTPRINT:	1,059 SQUARE FEET
PROPOSED ARU FOOTPRINT:	417 SQUARE FEET
EXISTING PAVING:	325 SQUARE FEET
PROPOSED PAVED AND GRAVEL:	796 SQUARE FEET
PROPOSED LOT COVERAGE:	2,597 SQUARE FEET
PROPOSED PERCENT COVERAGE:	43.5%
ALLOWABLE LOT COVERAGE PER R-2:	65.0% = 3,125 SQUARE FEET

SHEET KEY

COVER	SITE PLAN
L 1.0	SITE LAYOUT PLAN
L 2.0	TREE REMOVAL PROTECTION PLAN
L 3.0	IRRIGATION PLAN
L 4.0	PLANTING PLAN



Drawn By:
 SGB

SCALE: 1"=16'-0"

MALLORY ARU
 133 ALIDA STREET
 ASHLAND, OR, 97520

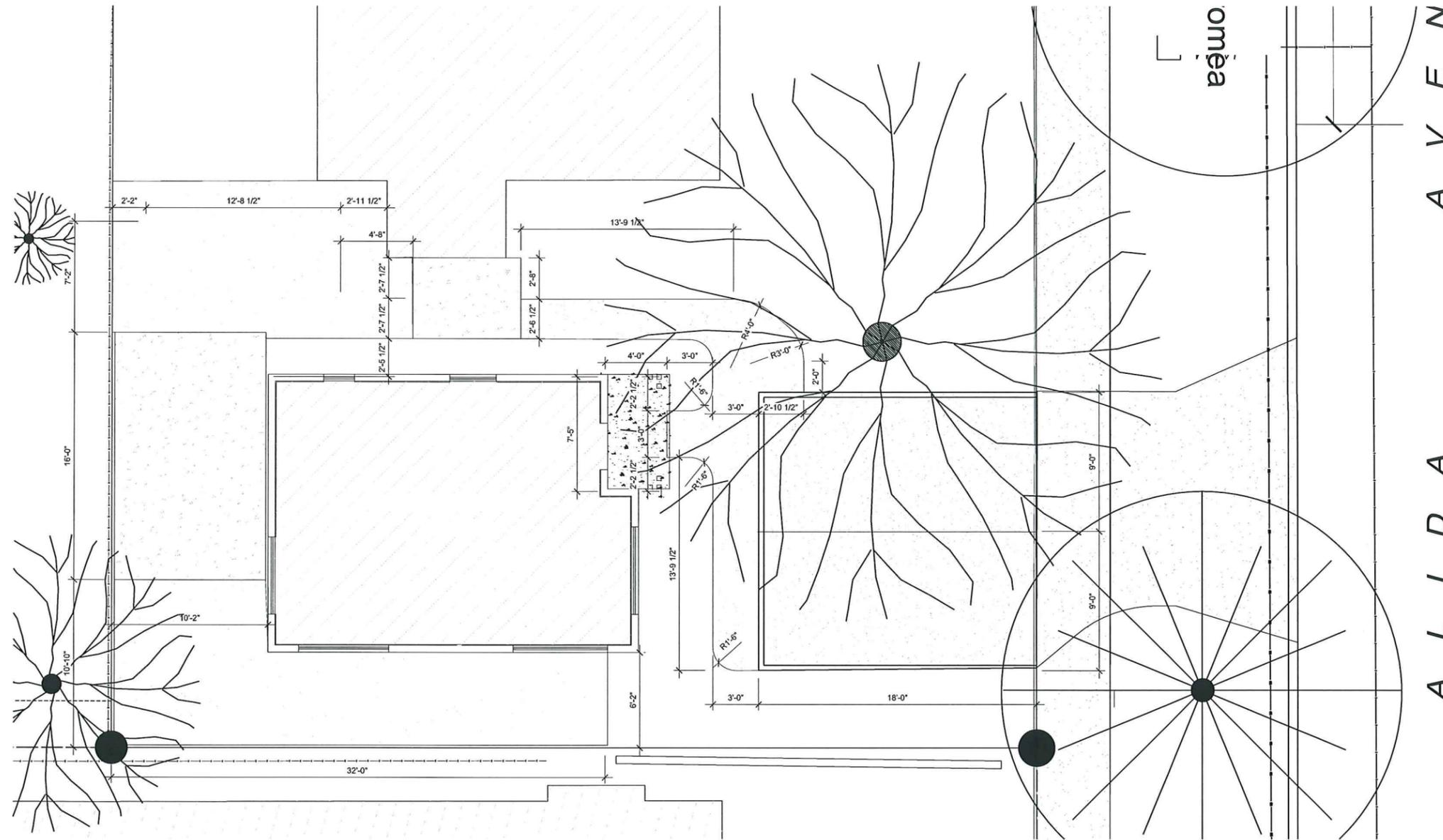
REVISION DATE

SITE PLAN

ISSUE DATE:
 OCTOBER 31, 2016

COVER

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SGB

SCALE: 1"=8'-0"

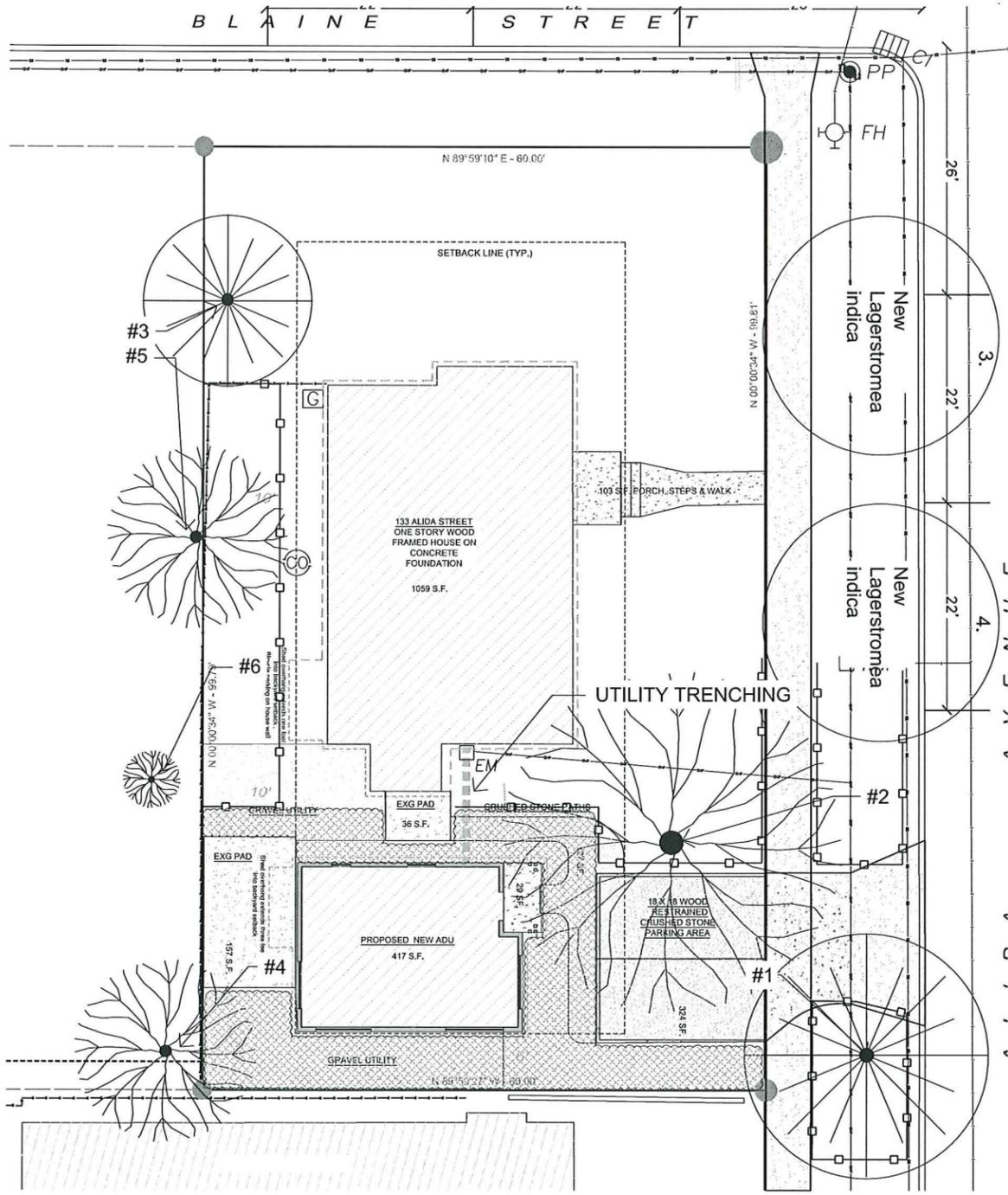
MALLORY ARU
133 ALIDA STREET
ASHLAND, OR, 97520

REVISION DATE

**SITE
LAYOUT
PLAN**

ISSUE DATE:
OCTOBER 31, 2016

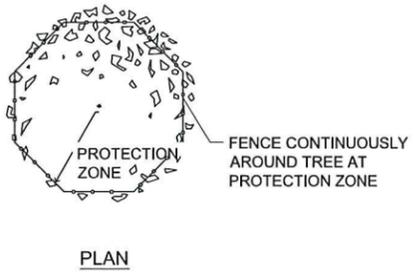
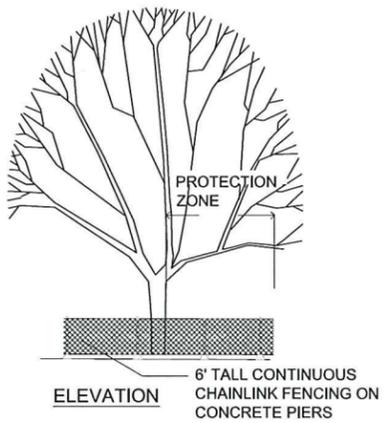
L 1.0



SPECIFICATIONS FOR TREE PRESERVATION DURING CONSTRUCTION:

- Before beginning work, the contractor is required to meet with the landscape architect or project arborist at the site to review all work procedures, access routes, storage areas, and tree protection measures.
- Fences must be erected to protect trees to be preserved as shown in diagram. Fencing shall be 6' tall temporary chain link panels installed with metal connections to all panels area integrated, these fences shall be installed so that it does not allow passage of pedestrians and/ or vehicles through it. Fences define a specific protection zone for each tree or group of trees. Fences are to remain until all site work has been completed. Fences may not be relocated or removed without the written permission of the landscape architect or project arborist.
- Chips are being laid down to prevent compaction of the soil while allowing construction activities to occur within the root zone of the trees. Chips must be redistributed if they become uneven to provide a consistent buffer to the soil.
- Construction trailers and traffic and storage areas must remain outside fenced areas at all times.
- All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree roots.
- No materials, equipment, spoil, or waste or washout water may be deposited, stored, or parked within the tree protection zone (fenced area).
- Additional tree pruning required for the clearance during construction must be performed by a qualified arborist or landscape architect and not by construction personnel.
- Any herbicides placed under paving materials must be safe for use around trees and labeled for that use. Any pesticides used on site must be tree-safe and not easily transported by water.
- If injury should occur to any tree during construction, the tree consultant should evaluate it as soon as possible so that appropriate treatments can be applied. All damage caused by construction to existing trees shall be compensated for, before the project will be considered complete.
- The consulting arborist must monitor any grading, construction, demolition, or other work that is expected to encounter tree roots.
- All trees shall be irrigated on a schedule to be determined by the landscape architect. Irrigation shall wet the soil within the tree protection zone to a depth of 30 inches.
- Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent siltation and/ or erosion within the tree protection zone.
- Before grading, pad preparation, or excavation for the foundations, footings, walls, or trenching: where tree protection zones overlap with any of this work, root prune at overlap edge by cutting all roots cleanly at a 90 degree angle to a depth of 24 inches. Roots shall be cut by manually digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root-pruning equipment.
- Any roots damaged during grading or construction shall be exposed to sound tissue and cut cleanly at a 90 degree angle to the root with a saw. Place damp soil around all cut roots to a depth equaling the existing finish grade within 4 hours of cuts being made.
- If temporary haul or access roads must pass over the root area of trees to be retained, a road bed of 6 inches of mulch or gravel shall be created to protect the soil. The road bed material shall be replenished as necessary to maintain a 6 inch depth.
- Spoil from trenches, basements, or other excavations shall not be placed within the tree protection zone, either temporarily or permanently.
- No burn piles or debris piles shall be placed within the tree protection zone. No ashes, debris, or garbage may be dumped or buried within the tree protection zone.
- Maintain fire-safe areas around fenced area. Also, no heat sources, flames, ignition sources, or smoking is allowed near mulch or trees.
- Do not raise the soil level within the drip lines to achieve positive drainage, except to match grades with sidewalks and curbs, and in those areas, feather the added topsoil back to existing grade at approximately 3:1 slope.
- Exceptions to the tree protection specifications may only be granted in extraordinary circumstances with written approval from the landscape architect.

#	SPECIES	D.B.H.	HEIGHT	CROWN RADIUS	TREE PROT. ZONE	CONDITION	NOTES
1.	Juniperus californica	17"	35'	15'	13'	GOOD	See narrative
2.	Liriodendron tulipifera	30"	80'	19'	30'	GOOD	See narrative
3.	Calocedrus decurrens	17"	52'	18'	17'	FAIR	See narrative
4.	Acer macrophyllum	14"	48'	16'	14'	GOOD	See narrative
5.	Acer macrophyllum	14"	46'	18'	14'	GOOD	See narrative
6.	Cornus nuttallii	5"	20'	5'	10'	FAIR	See narrative



TREE PROTECTION DETAILS

SPECIFIC TREE NOTES

- TREE #1**
Juniperus californica
Tolerance to construction for this tree species is not documented, similar species of juniper are listed as poor candidates for construction tolerance. The primary cause of stress is change of grade within the root zone. The construction on this site is not within the root zone of this tree.
- TREE #2**
Liriodendron tulipifera
Tolerance to construction for this species is poor to medium. The tree has light shedding of bark below lawn/crown level due to watering issues. The inner root bark is intact, the tree has approximately 5% die back equally through the canopy.
- TREE #3**
Calocedrus decurrens
Tolerance to construction for this species is moderate. This tree was recently topped, the lower portion of the tree is in good shape and there is a remedial watering plan in place to improve the response to topping and overall health.
- TREE #4**
Acer macrophyllum
Tolerance to construction for this species is poor to medium. The tree is in good shape, since this tree is off site we are using fencing and wood chips on site to protect the root zone from compaction and damage.
- TREE #5**
Acer macrophyllum
Tolerance to construction for this species is poor to medium. The tree is in good shape, since this tree is off site we are using fencing and wood chips on site to protect the root zone from compaction and damage.
- TREE #6**
Cornus nuttallii
Tolerance of this tree to construction is good. The tree multi trunked and is in good shape.



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Landscape Architecture

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541.488.3194

REGISTERED
STATE OF OREGON
REG. # 493
Kerry KenCairn
11.12.99
LANDSCAPE ARCHITECT

Drawn By:
KK

SCALE: 1"=16'-0"

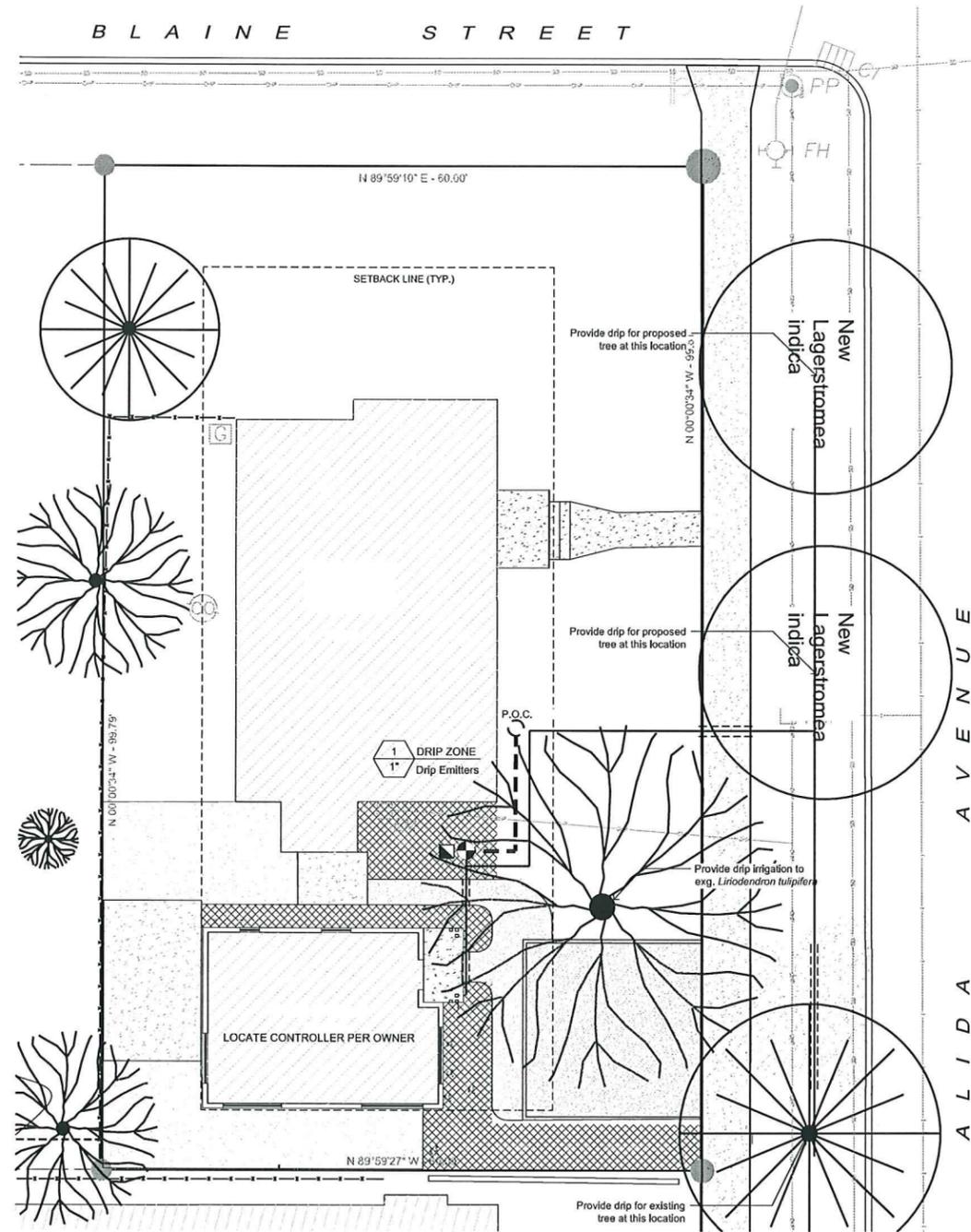
MALLORY ARU
133 ALIDA STREET
ASHLAND, OR, 97520

REVISION DATE

TREE REMOVAL PROTECTION PLAN

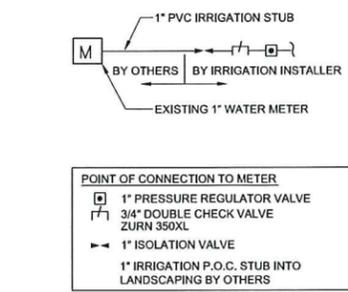
ISSUE DATE:
OCTOBER 31, 2016

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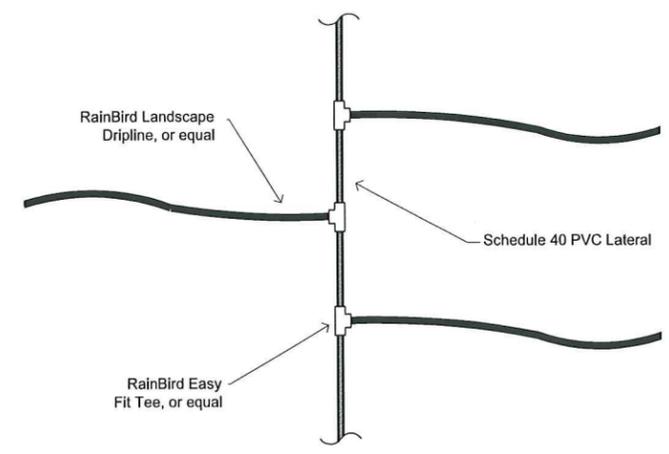


IRRIGATION LEGEND	
SYM.	ITEM
	HUNTER PCZ-101 (DRIP)
	MAIN LINE: SCH. 40 PVC (1")
	LATERAL LINES SHALL BE SCHEDULE 40 PVC. (3/4")
	SLEEVES - SCH. 40, MIN. SIZE SHALL BE 2x DIA. OF PASSING PIPE.
	ISOLATION GATE VALVE - LINE SIZE
	QUICK COUPLING VALVE: HUNTER 44RC
	CONTROLLER: HUNTER X-CORE WITH SOLAR SYNC - LOCATE PER OWNER
	ZONE I.D.
	G.P.M. APPLICATION
	VALVE SIZE
	POINT OF CONNECTION - SEE DETAIL 1 THIS SHEET
	POINT SOURCE DRIP IRRIGATION REQUIRED. USE RAINBIRD XERI-BUG DRIP EMITTERS.

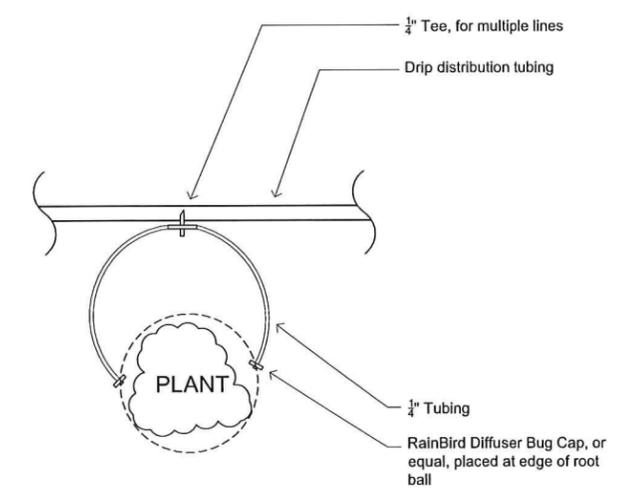
- IRRIGATION NOTES**
- MAINTAIN AT JOB SITE ONE (1) COPY OF DRAWINGS, SPECIFICATIONS, ADDENDA, AND APPROVED SHOP DRAWINGS, CHANGE ORDERS AND OTHER PROJECT DOCUMENTS.
 - RECORD ACTUAL LOCATION OF ALL CONCEALED COMPONENTS, PIPING SYSTEM, CONDUIT AND SLEEVE LOCATIONS. KEEP THIS DOCUMENT CURRENT. DO NOT PERMANENTLY CONCEAL ANY WORK UNTIL REQUIRED INFORMATION HAS BEEN RECORDED. FURNISH TWO (2) COPIES OF RECORD DRAWINGS TO THE OWNER. REDUCE ONE COPY OF RECORD DRAWING TO FIT INSIDE CONTROLLER LID. LAMINATE REDUCED COPY.
 - ALL WORK SHALL BE INSTALLED BY COMPETENT WORKMEN EXPERIENCED IN TRADE IN A NEAT AND ORDERLY MANNER ACCEPTABLE TO THE OWNER'S REPRESENTATIVE. OWNER MAY INSTALL SYSTEM THEMSELVES.
 - CONFORM TO ALL PERTINENT CODES AND REGULATIONS. COMPLY WITH THE LATEST RULES OF THE NATIONAL ELECTRICAL CODE AND THE AMERICAN MASTER PLUMBERS CODE.
 - VERIFY THAT FIELD CONDITIONS ARE AS INDICATED ON DRAWINGS. NOTIFY THE OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE OBSERVED.
 - IRRIGATION PIPE, HEADS, VALVES, BACKFLOW DEVICE AS NOTED ON LEGEND.
 - VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING WORK.
 - PIPING LAYOUT IS DIAGRAMMATIC ONLY. ROUTE PIPING IN PLANTERS AND AVOID UTILITIES AND STRUCTURES. LAYOUT SHALL FOLLOW AS CLOSELY AS PRACTICAL. THE SCHEMATIC DESIGN ON THE DRAWINGS. MAKE NO SUBSTANTIAL CHANGES WITHOUT PRIOR APPROVAL FROM THE OWNER'S REPRESENTATIVE.
 - ALL LATERAL PIPE SHALL BE 1" IN SIZE UNLESS OTHERWISE INDICATED ON THE PLAN.
 - COORDINATE ALL IRRIGATION EQUIPMENT LOCATIONS WITH OTHER CONTRACTORS. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS ARE ENCOUNTERED.
 - PIPE DEPTH - LATERAL LINES - 12 INCH MINIMUM; MAINLINE - 18 INCH MINIMUM.
 - BOTTOM OF TRENCHES AND BACKFILL MATERIAL SHALL BE FREE OF ROCKS, CLODS, AND OTHER SHARP OBJECTS. SHAKE PIPE FROM SIDE TO SIDE AT TRENCH BOTTOM TO ALLOW EXPANSION.
 - DO NOT INSTALL EMITTERS UNTIL LINES HAVE BEEN THOROUGHLY FLUSHED AND PRESSURE TESTED.
 - SHUT OFF VALVES ARE REQUIRED AT EACH POINT OF CONNECTION, VALVE BOX, AND AT EVERY LOCATION WHERE THE MAINLINE PASSES UNDER 20 FEET OF PAVEMENT.
 - COORDINATE WIRE AND CONDUIT LOCATIONS BETWEEN ELECTRIC CONTROL VALVES AND THE ELECTRIC CONTROLLER.
 - UPON COMPLETION OF ALL SYSTEMS, THE CONTRACTOR SHALL PERFORM A COVERAGE TEST TO DETERMINE THAT WATER IS BEING APPLIED CORRECTLY AND ADEQUATELY TO ALL PLANTINGS. CHANGE ANY HEADS, NOZZLES, OR ORIFICES AS MAY BE REQUIRED TO PROVIDE COVERAGE AS INDICATED ON THE DRAWINGS. PROMPTLY ADJUST HEADS TO KEEP WATER OFF BUILDINGS AND STRUCTURES WITH MINIMAL SPRAY ON PAVED SURFACES.
 - SLEEVING:**
 - LANDSCAPE CONTRACTOR SHALL VERIFY SLEEVING LOCATIONS AND COORDINATE WITH THE OWNER'S REPRESENTATIVE.
 - COORDINATE THE INSTALLATION OF ELECTRICAL SERVICE AND CONDUIT TO THE LOCATION OF THE PROPOSED IRRIGATION CONTROLLER.



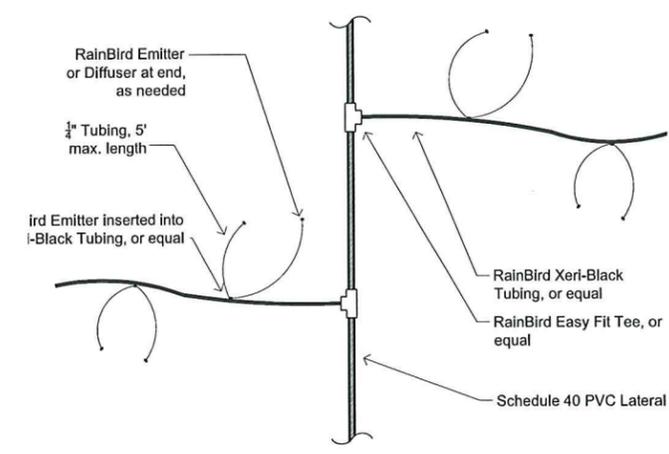
1 IRRIGATION POINT OF CONNECTION
Scale: N.T.S.



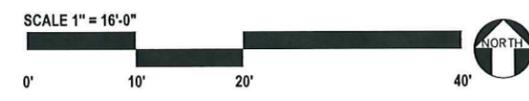
NOTE: Run dripline parallel to contours
2 PLAN DIAGRAM - LANDSCAPE DRIP LINE LAYOUT
Scale: N.T.S.



NOTE: Ends of 1/4" tubing must be moved away from plant center as plant's root zone increases.
3 PLAN DIAGRAM - EMITTERS/DISTRIBUTION TUBING DETAIL
Scale: N.T.S.



NOTE: Minimum 2 emitters per plant. Verify water needs of individual plant
4 PLAN DIAGRAM - DRILINE W/ EMITTERS DETAIL
Scale: N.T.S.



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REGISTERED
STATE OF OREGON
REG. # 493

Kerry KenCairn
11/12/99
LANDSCAPE ARCHITECT

Drawn By:
SGB

SCALE 1" = 16'-0"

MALLORY ARU
133 ALIDA STREET
ASHLAND, OR, 97520

REVISION DATE

IRRIGATION PLAN

ISSUE DATE:
OCTOBER 31, 2016

L 3.0

NOV 07 2016
City of Ashland



Drawn By:
SGB

SCALE 1" = 16'-0"

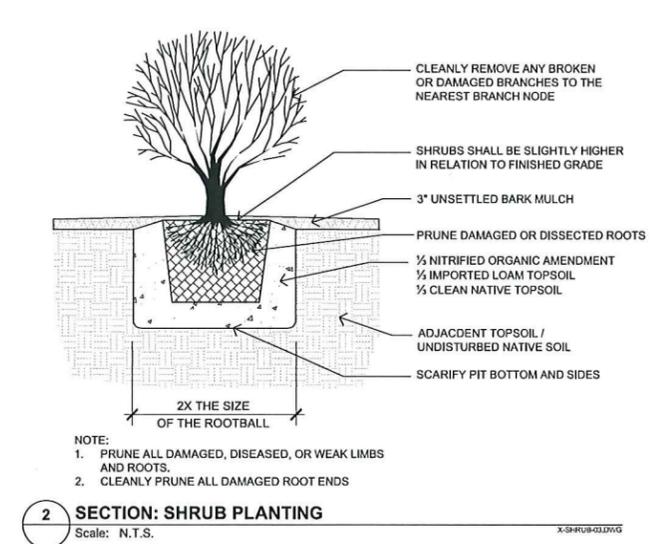
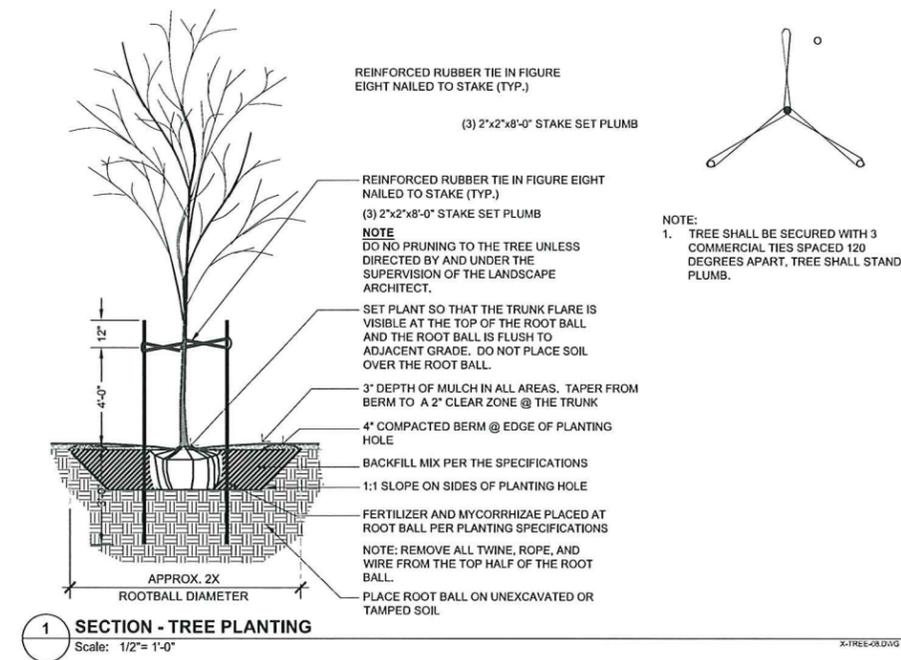
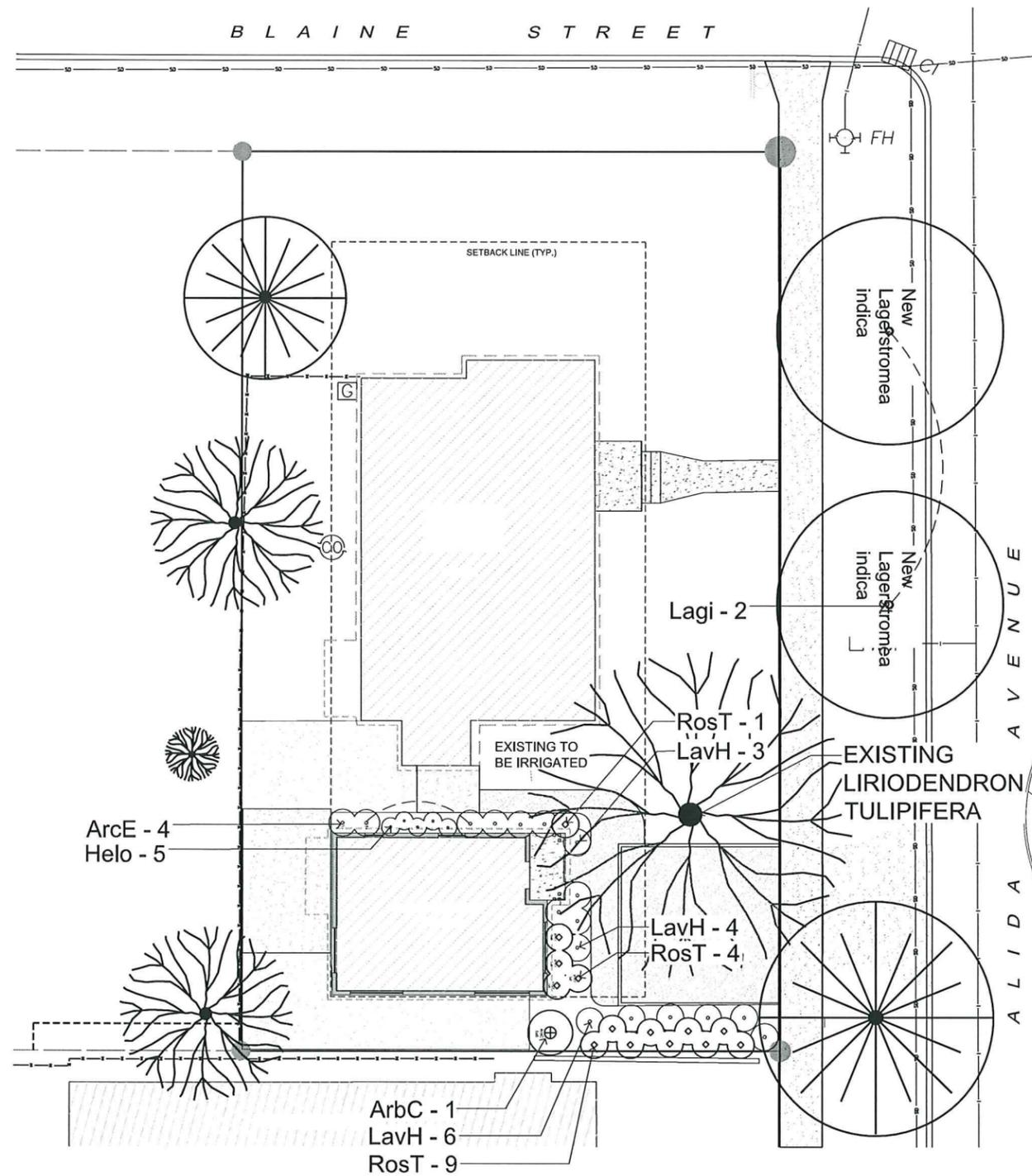
MALLORY ARU
133 ALIDA STREET
ASHLAND, OR, 97520

REVISION DATE

PLANTING
PLAN

ISSUE DATE:
OCTOBER 31, 2016

L 4.0



PLANT LEGEND

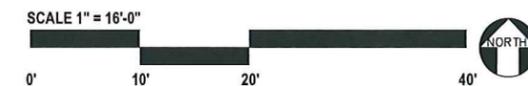
TREES

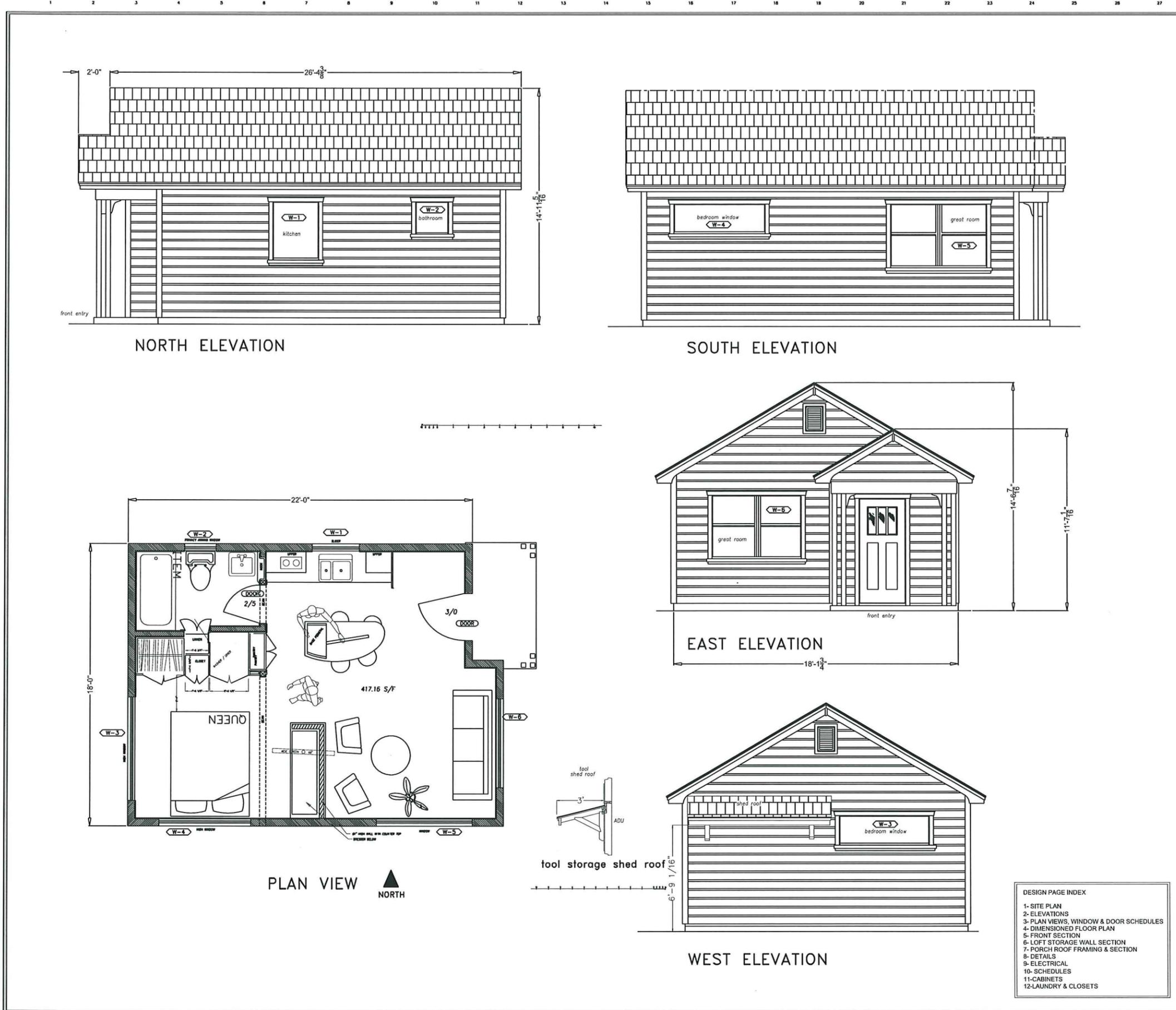
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
Lagi	Lagerstroemia indica 'Dynamite'	DYNAMITE CREPE MYRTLE - RED	1 3/4" cal.

SHRUBS

ArbC	Arbutus unedo 'Compacta'	DWARF STRAWBERRY TREE	5 gal.
ArcE	Arctostaphylos 'Emerald Carpet'	EMERALD CARPET MANZANITA	1 gal.
Helo	Helleborus orientalis	LENTEN ROSE	1 gal.
LavH	Lavandula angustifolia 'Hidcote Blue'	HIDCOTE BLUE ENGLISH LAVENDER	1 gal.
RosT	Rosmarinus 'Tuscan Blue'	TUSCAN BLUE ROSEMARY	1 gal.

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541-951-3201
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lucid@97520.net

DESIGNS FOR : Mike and Karen Mallory
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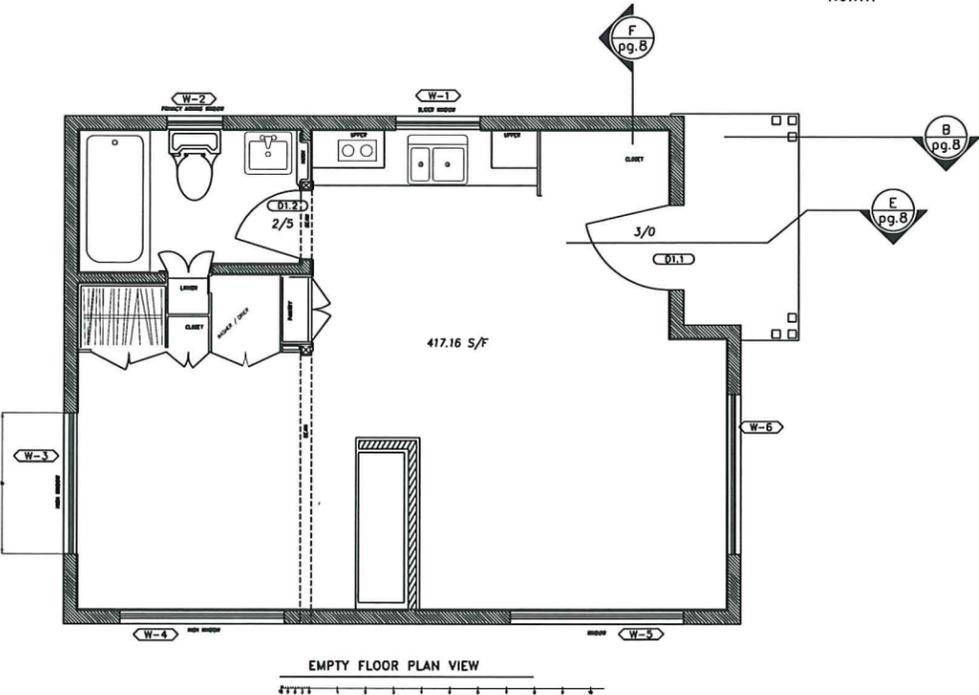
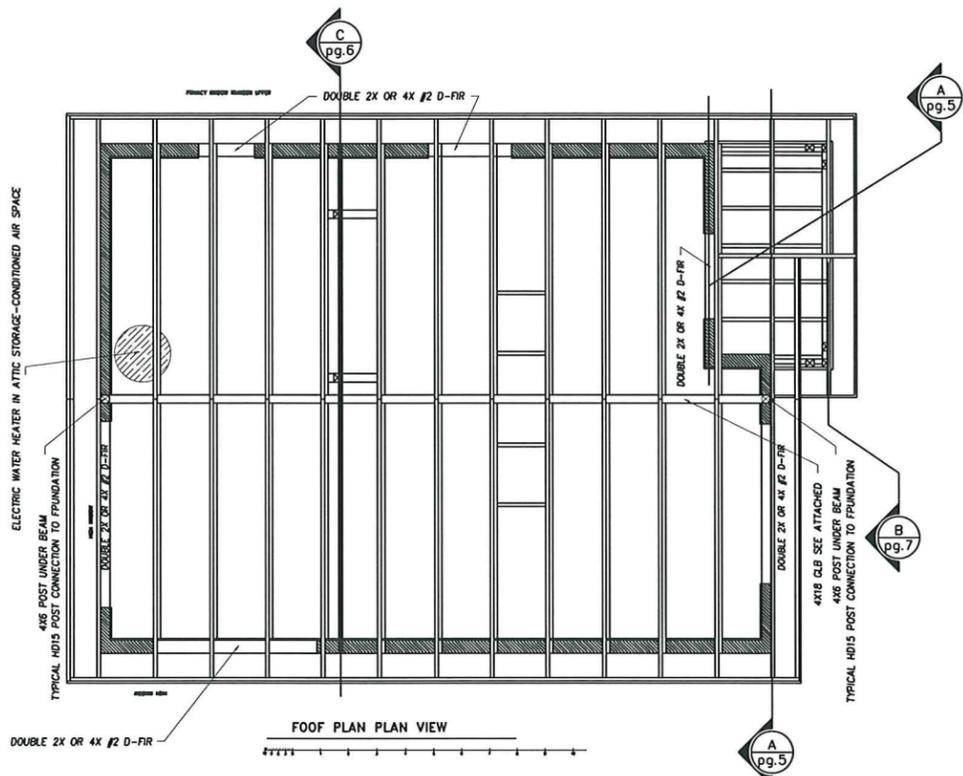
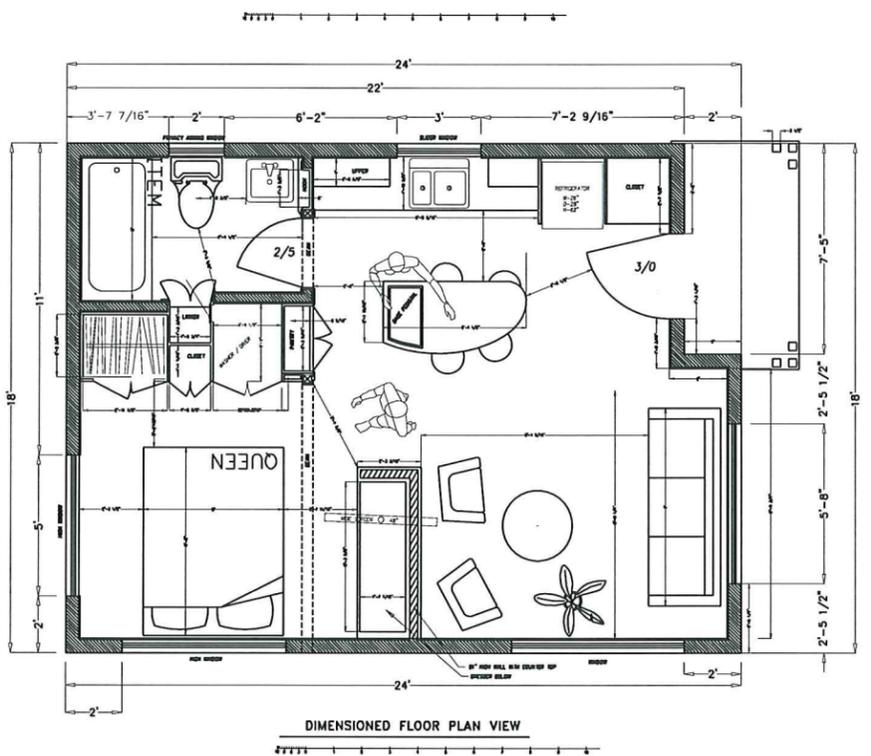
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NORTH

HEADER SCHEDULE

DOUBLE 2X OR 4X #2 D-FIR

MAX. OPENING WIDTH	DBL-2X MIN. NOMINAL HEADER "DEPTH"	
	NONBEARING	BEARING
4'-0"	4"	6"
6'-0"	6"	8"
8'-0"	8"	10"
10'-0"	10"	12"
12'-0"	12"	14"

WINDOW TAG SELECT STYLE BY OWNER

WINDOW SCHEDULE						
WINDOW FRAME (ROUGH OPENING DIM.)						NOTES
TAG	TYPE	MAT	QTY.	WD	HT	
FIRST FLOOR						
W1	SL	VNL	-	3-0	3-6	VINYL
W2	SL	VNL	-	2-0	2-0	VINYL
W3	SL	VNL	-	5-0	1-6	VINYL
W4	SL	VNL	-	5-0	1-6	VINYL
W5	DBL	VNL	-	6-0	4-0	MATCH HOUSE GREEN
W6	DBL	VNL	-	5-8	4-0	MATCH HOUSE GREEN

DOOR TAG SELECT STYLE BY OWNER

DOOR SCHEDULE							
DOOR (ROUGH OPENING DIM.)						SWING	NOTES
TAG	TYPE	MAT	QTY.	WD	HT		
1ST FLOOR							
D1-1	EX	FIR	1	-	6'8"	L	FRONT ENTRY
D1-2	6 P	FIR	1	-	6'8"	L	6 PNL
-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-

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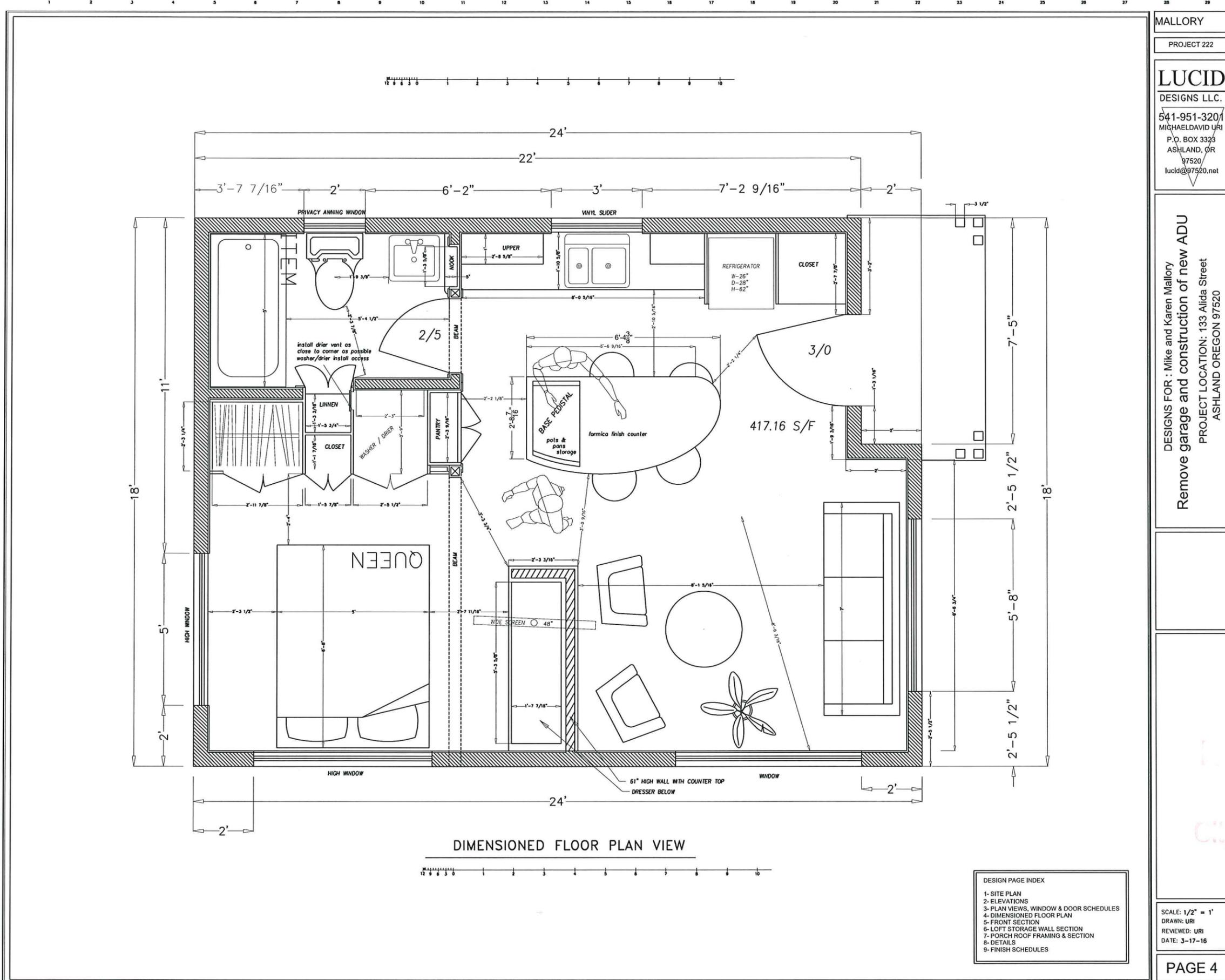
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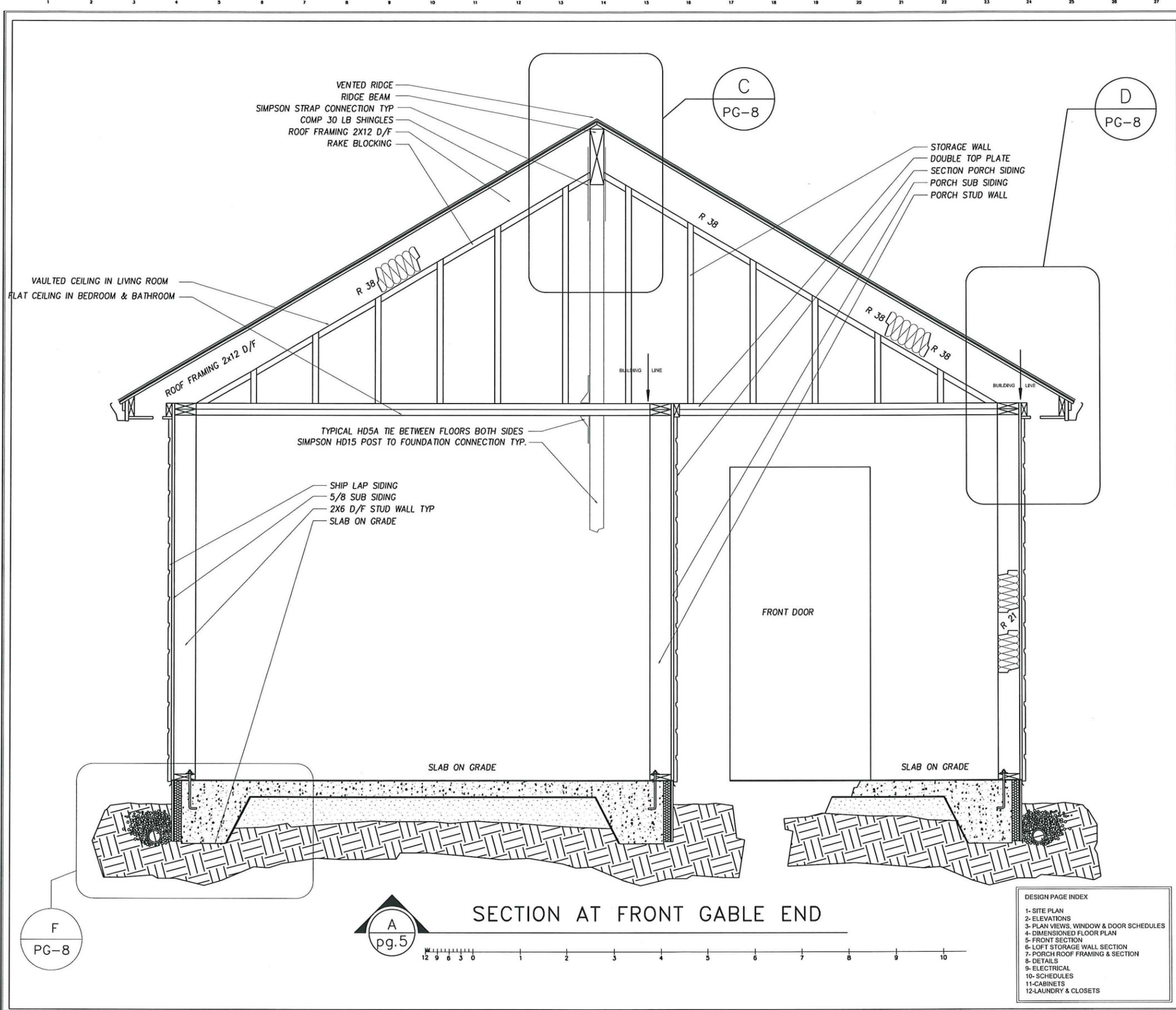
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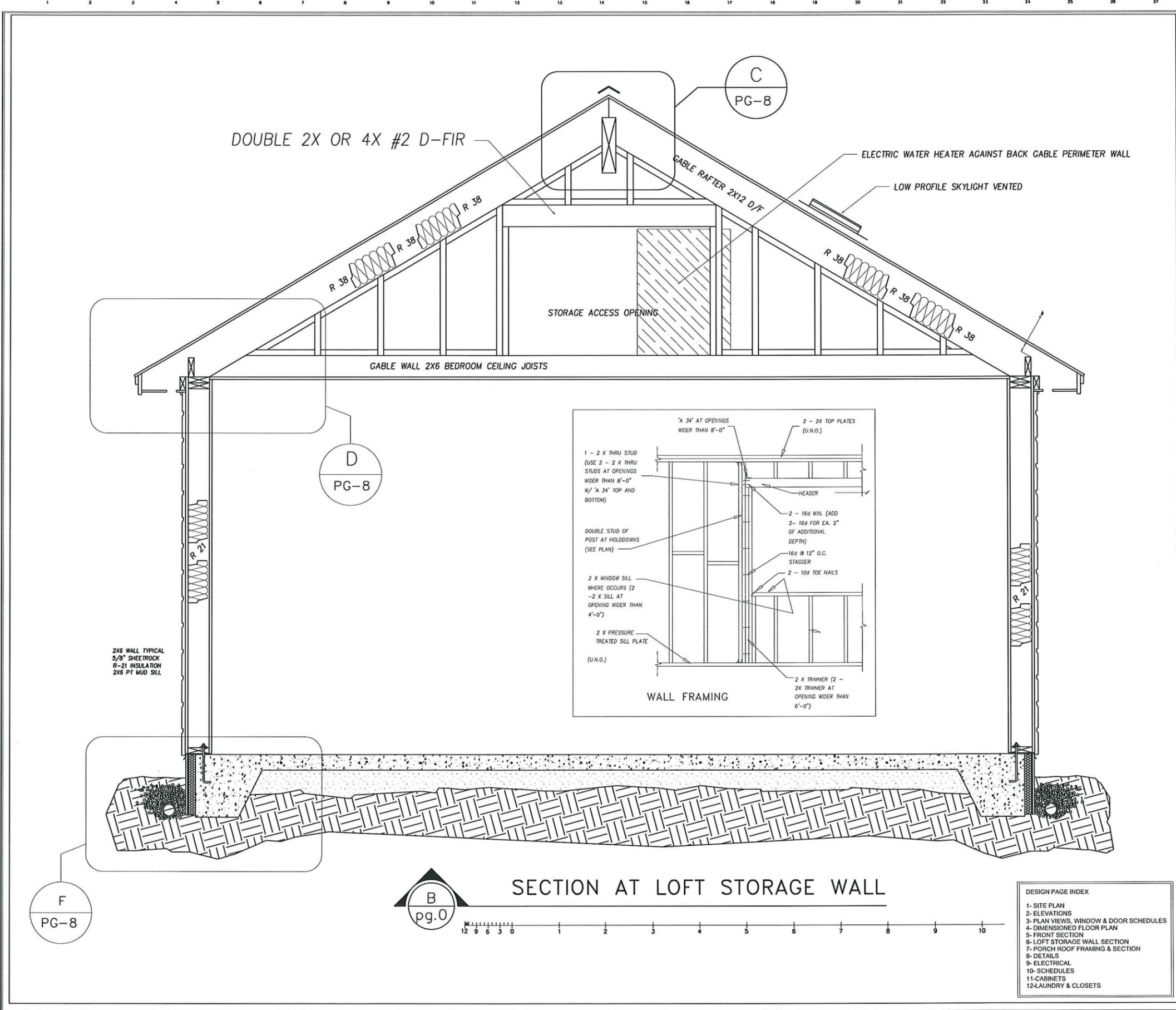
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SECTION AT LOFT STORAGE WALL



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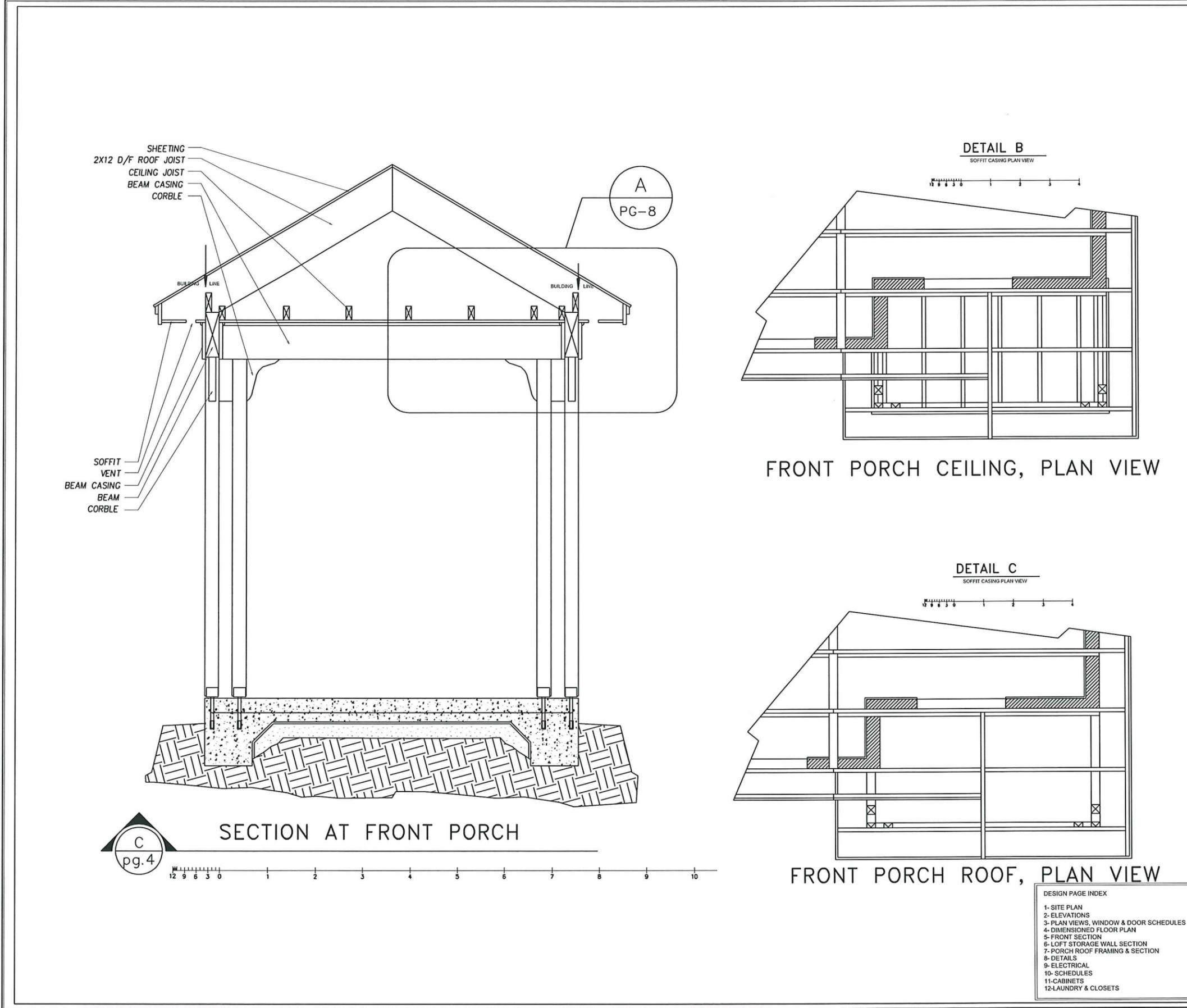
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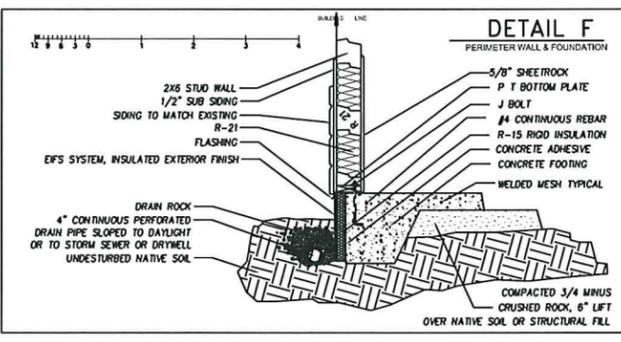
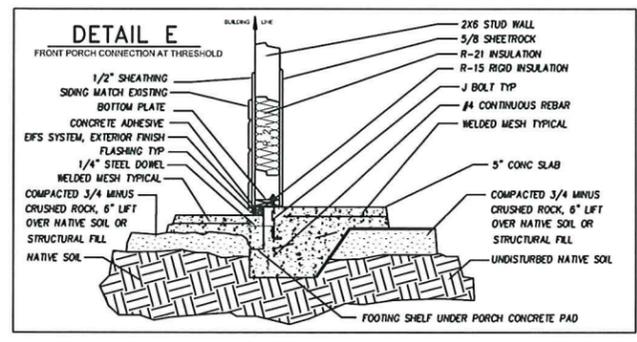
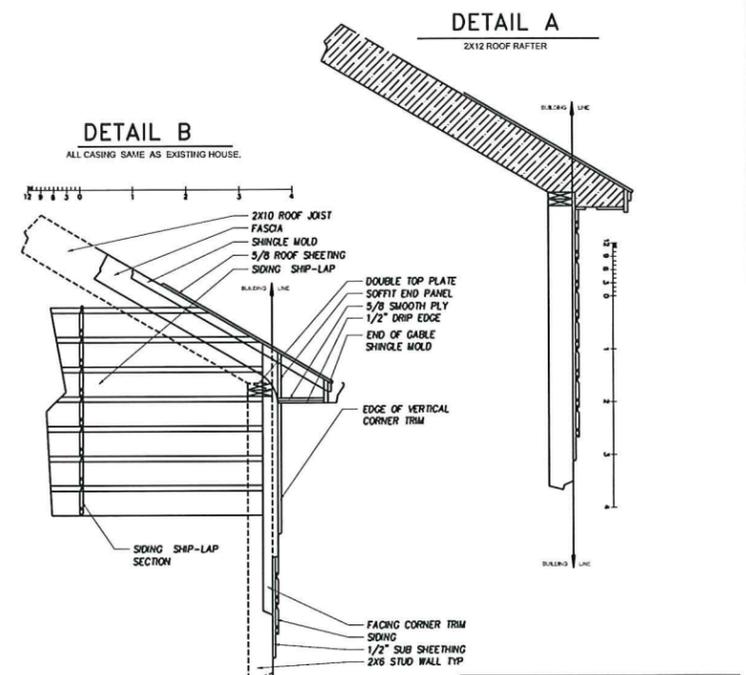
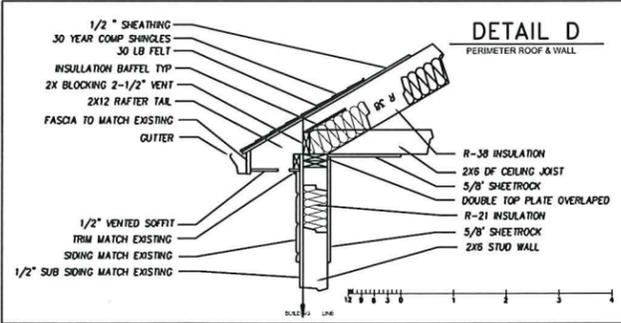
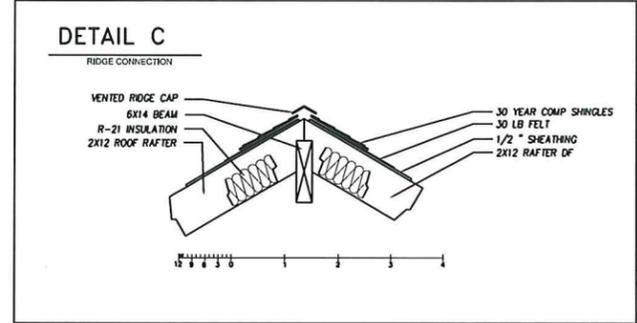
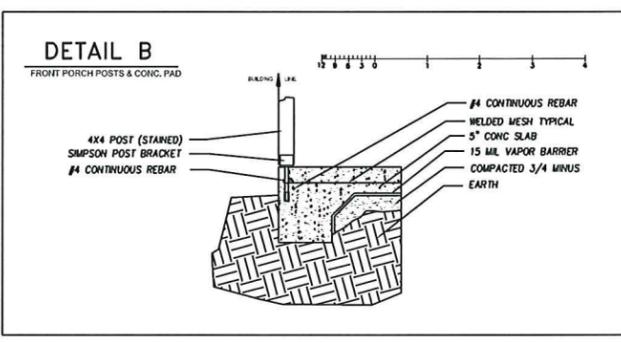
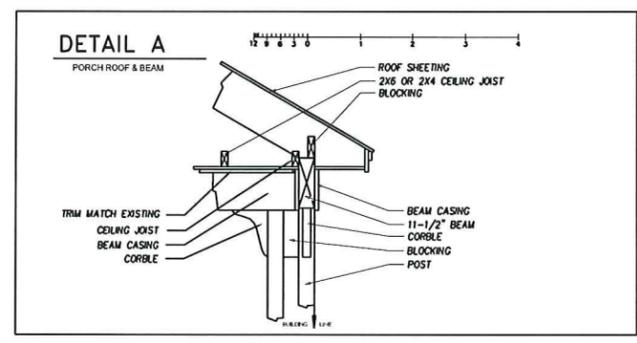
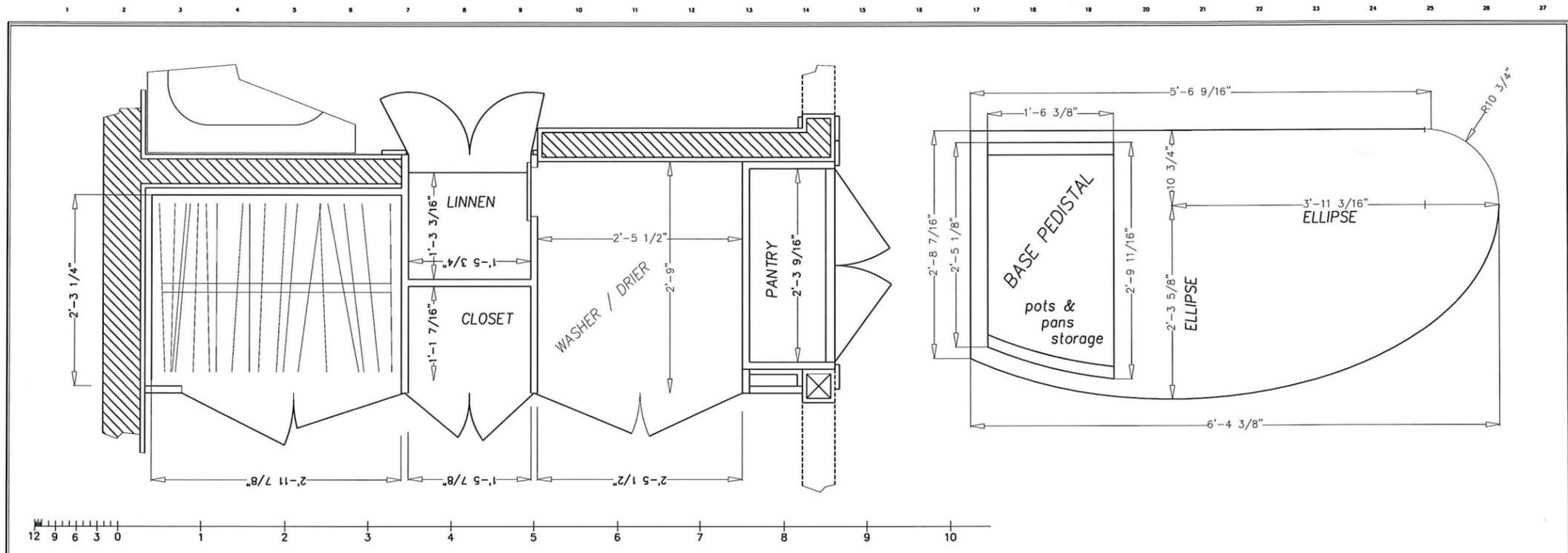
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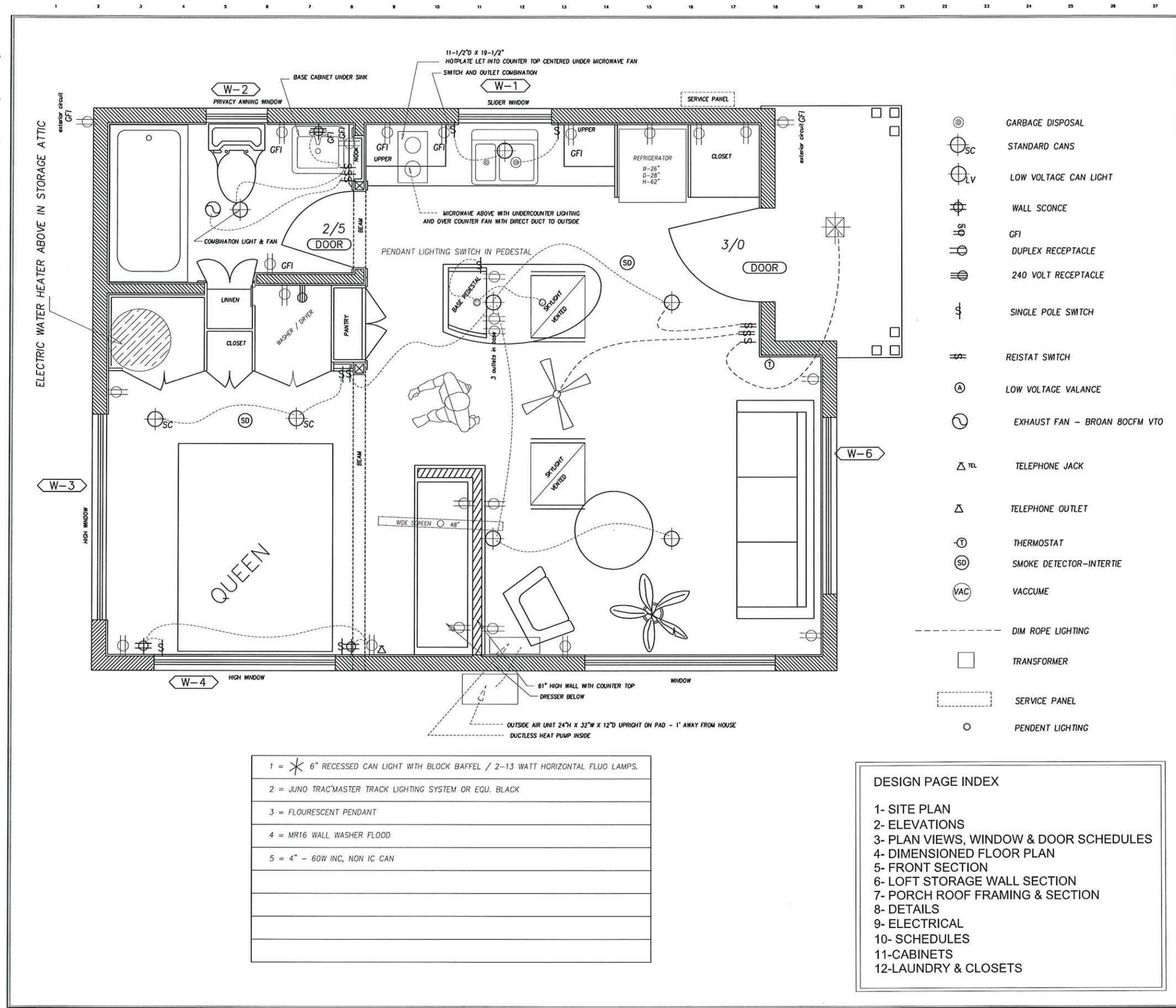
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- ⊗ GARBAGE DISPOSAL
- ⊕ SC STANDARD CANS
- ⊕ LV LOW VOLTAGE CAN LIGHT
- ⊕ WS WALL SCONCE
- ⊕ GS GFI
- ⊕ DS DUPLEX RECEPTACLE
- ⊕ TS 240 VOLT RECEPTACLE
- ⊕ SS SINGLE POLE SWITCH
- ⊕ RS REISTAT SWITCH
- ⊕ AL LOW VOLTAGE VALANCE
- ⊕ EF EXHAUST FAN - BROAN 80CFM VTO
- ⊕ TEL TELEPHONE JACK
- ⊕ TO TELEPHONE OUTLET
- ⊕ T THERMOSTAT
- ⊕ SD SMOKE DETECTOR-INTERTIE
- ⊕ VAC VACCUME
- DIM ROPE LIGHTING
- TRANSFORMER
- ⊠ SERVICE PANEL
- PENDENT LIGHTING

1	=	6" RECESSED CAN LIGHT WITH BLOCK BAFFEL / 2-13 WATT HORIZONTAL FLUO LAMPS.
2	=	JUNO TRAC MASTER TRACK LIGHTING SYSTEM OR EQU. BLACK
3	=	FLOURESCENT PENDANT
4	=	MR16 WALL WASHER FLOOD
5	=	4" - 60W INC, NON IC CAN

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1ST FLOOR FINISH SCHEDULE

ID	ROOM NAME	FLOOR		BASE		N. WALL		E. WALL		S. WALL		W. WALL		CEILING		REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
101	LIVING ROOM	CONCRETE	SATIN	A-MED	1-PAINT	C	3	C	3	C	3	C	3	CEILING-A	3	-
102	KITCHEN	CONCRETE	SATIN	A-MED	1-PAINT	E	3	C	3	C	3	C	3	3	3	-
103	BATHROOM 1ST FLOOR	CONCRETE	SATIN	A-MED	1-PAINT	C	4	C	4	C	4	C	4	C	4	-
104	BEDROOM	CONCRETE	SEAL	A-MED	1-PAINT	C	3	C	3	C	3	C	3	C	3	-
105	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
106	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
107	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
108	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
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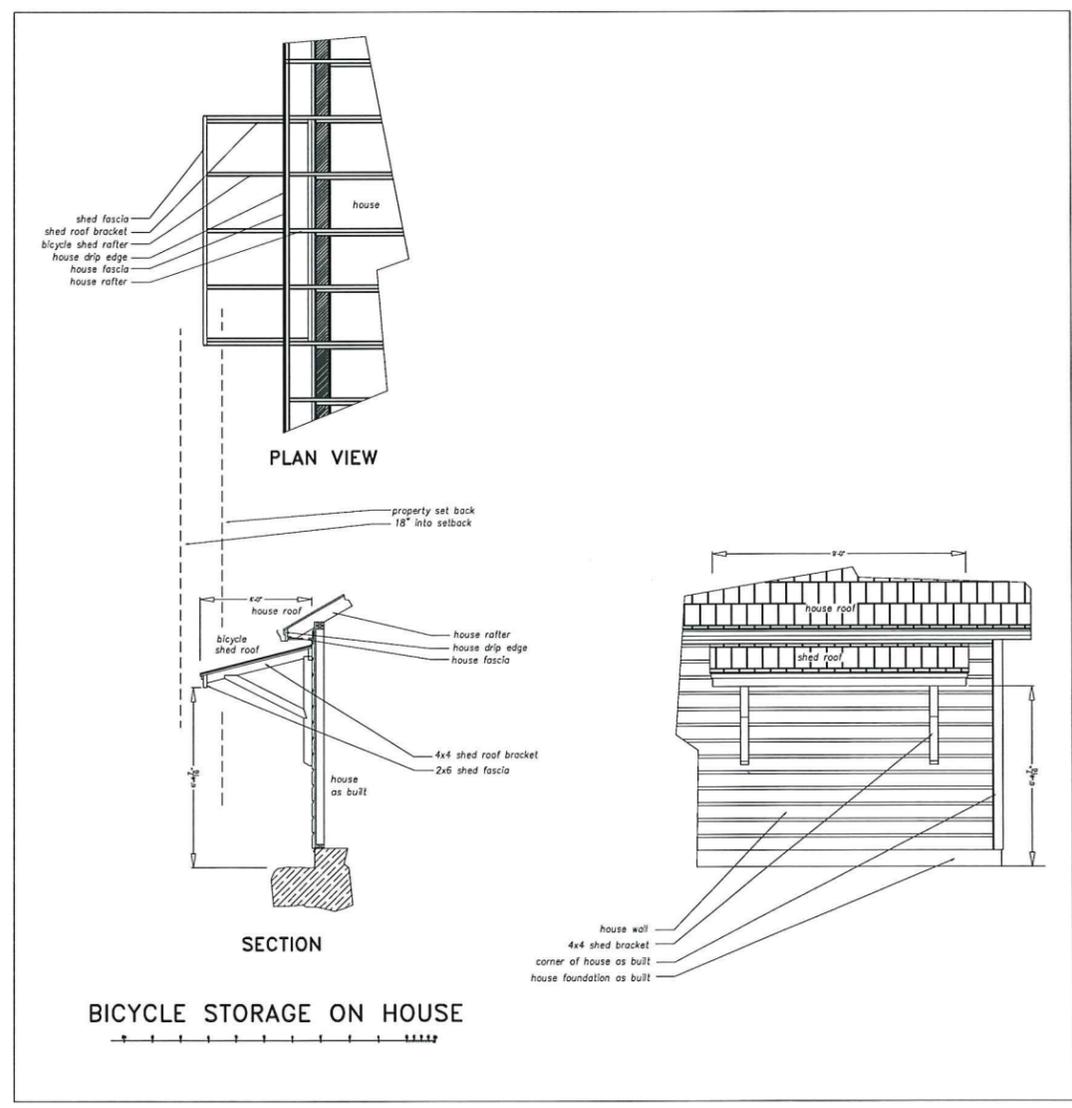
SCHEDULE KEYS

ID	MATERIAL
A	MED.- BASE 3-1/2 MEDITE.- 1/2"x 5/8"SHOE
B	TALL.- BASE 4-1/2 MEDITE.- 1/2"x 5/8"SHOE
C	5/8" SHEETROCK-TYPICAL-
D	5/8 SHEETROCK FIRE RATED-
E	WALL TILE
F	-
G	-
H	-
(I)	-
J	-
K	-
L	-

SCHEDULE KEYS

ID	FINISH
1	PAINT GRADE -SATIN-
2	STAIN GRADE-SATIN-
3	FINE TROWEL FINISH
4	PRODUCTION SMOOTH
5	HIGH SMOOTH FINISH
6	WALLPAPER
7	-
8	-
9	-
10	-
11	-
12	-

- 1 = * 6" RECESSED CAN LIGHT WITH BLOCK BAFFEL / 2-13 WATT HORIZONTAL FLUO LAMPS.
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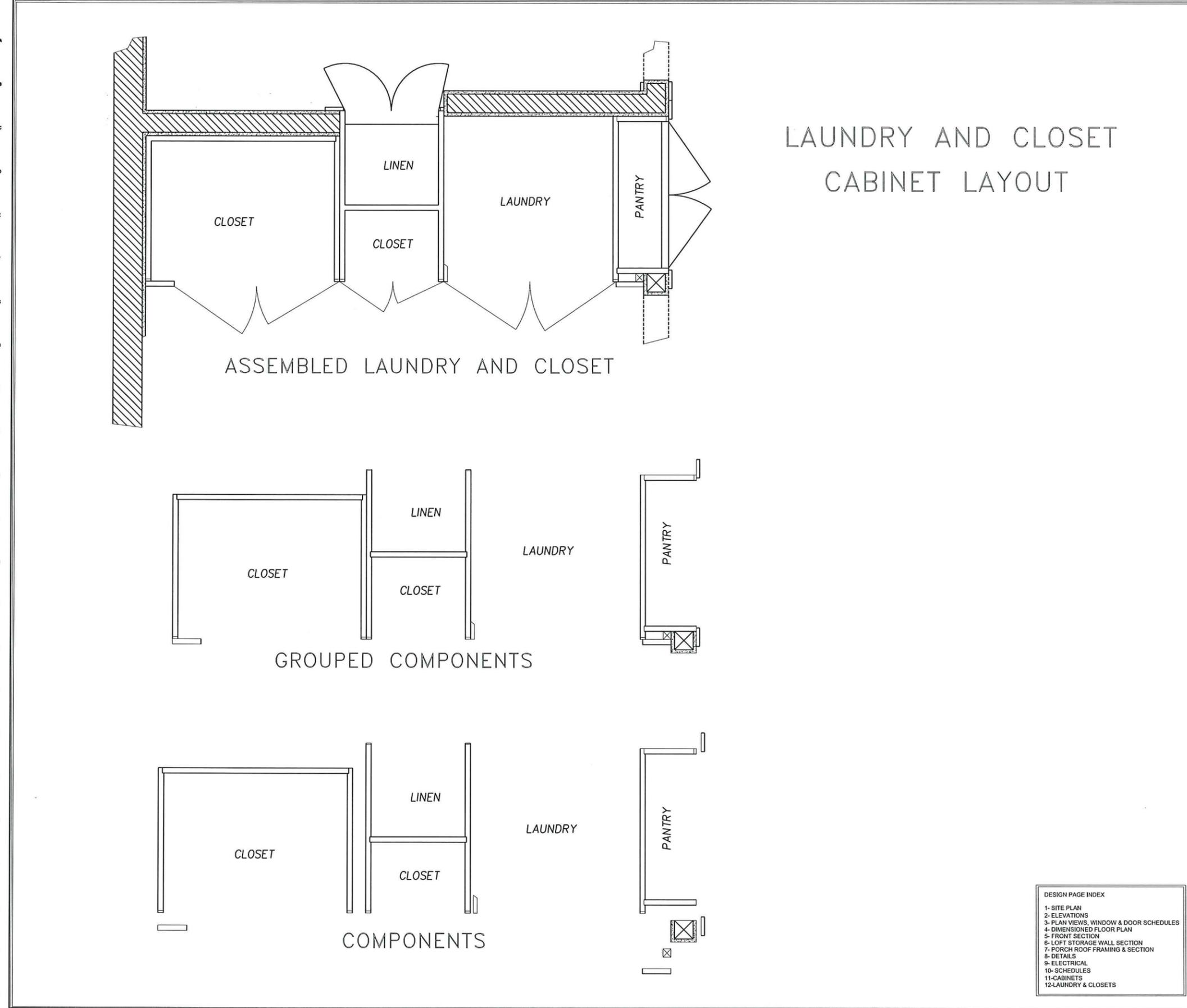
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LAUNDRY AND CLOSET CABINET LAYOUT

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NOTICE OF APPLICATION

PLANNING ACTION: PA-2016-02201

SUBJECT PROPERTY: 221 Oak Street

OWNER: Spartan Ashland Natalie Real Estate, LLC

APPLICANT: Bemis Developments, Inc.

DESCRIPTION: A request for a modification of previously approved Planning Action #2015-01517 for the property located at 221 Oak Street. The modifications requested include: 1) relocation of the recreation area to the east side of the property, between 209 and 221 Oak Street; 2) relocation of the new cottage to the west side of the property, in the previously approved recreation area; 3) the addition of four new parking spaces; 4) the removal of one tree (Tree #1), the large cedar located at the northeast corner of the property near the driveway entrance; and 5) modifications to the design of the home being reconstructed at 221 Oak Street including the exterior treatment and roof pitch. Also requested is an Exception to the Solar Setback requirement to allow the reconstructed home at 221 Oak Street to cast a shadow on the property to the north greater than would be cast by a six-foot fence built on the property line. The owner of the property to the north has agreed to the proposed Exception. *(The previous approval granted Outline & Final Plan, Site Design Review, Conditional Use Permit, Variance, Exceptions and Tree Removal Permit approvals for the properties at 209-221-225 Oak Street and 11 B Street.)* **COMPREHENSIVE PLAN DESIGNATION:** Low Density Multi-Family Residential; **ZONING:** R-2; **ASSESSOR'S MAP:** 39 1E 09BB; **TAX LOTS:** 15900.

NOTE: The Ashland Historic Commission will also review this Planning Action on **Wednesday December 7, 2016 at 7:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTE: The Ashland Tree Commission will also review this Planning Action on **Thursday, December 8, 2016 at 6:00 PM** in the Community Development and Engineering Services building (Siskiyou Room), located at 51 Winburn Way.

NOTICE OF COMPLETE APPLICATION: November 30, 2016

DEADLINE FOR SUBMISSION OF WRITTEN COMMENTS: December 14, 2016



The Ashland Planning Division Staff has received a complete application for the property noted above.

Any affected property owner or resident has a right to submit written comments to the City of Ashland Planning Division, 51 Winburn Way, Ashland, Oregon 97520 prior to 4:30 p.m. on the deadline date shown above.

Ashland Planning Division Staff determine if a Land Use application is complete within 30 days of submittal. Upon determination of completeness, a notice is sent to surrounding properties within 200 feet of the property submitting application which allows for a 14 day comment period. After the comment period and not more than 45 days from the application being deemed complete, the Planning Division Staff shall make a final decision on the application. A notice of decision is mailed to the same properties within 5 days of decision. An appeal to the Planning Commission of the Planning Division Staff's decision must be made in writing to the Ashland Planning Division within 12 days from the date of the mailing of final decision. (AMC 18.5.1.050.G)

The ordinance criteria applicable to this application are attached to this notice. Oregon law states that failure to raise an objection concerning this application, by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. Failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to allow this Department to respond to the issue precludes an action for damages in circuit court.

A copy of the application, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost, if requested. All materials are available at the Ashland Planning Division, Community Development & Engineering Services Building, 51 Winburn Way, Ashland, Oregon 97520.

If you have questions or comments concerning this request, please feel free to contact the Ashland Planning Division at 541-488-5305.

OUTLINE PLAN APPROVAL

18.3.9.040.A.3

Approval Criteria for Outline Plan. The Planning Commission shall approve the outline plan when it finds all of the following criteria have been met.

- a. The development meets all applicable ordinance requirements of the City.
- b. Adequate key City facilities can be provided including water, sewer, paved access to and through the development, electricity, urban storm drainage, police and fire protection, and adequate transportation; and that the development will not cause a City facility to operate beyond capacity.
- c. The existing and natural features of the land; such as wetlands, floodplain corridors, ponds, large trees, rock outcroppings, etc., have been identified in the plan of the development and significant features have been included in the open space, common areas, and unbuildable areas.
- d. The development of the land will not prevent adjacent land from being developed for the uses shown in the Comprehensive Plan.
- e. There are adequate provisions for the maintenance of open space and common areas, if required or provided, and that if developments are done in phases that the early phases have the same or higher ratio of amenities as proposed in the entire project.
- f. The proposed density meets the base and bonus density standards established under this chapter.
- g. The development complies with the Street Standards.

FINAL PLAN APPROVAL

18.3.9.040.B.5

Final Plan approval shall be granted upon finding of substantial conformance with the Outline Plan. This substantial conformance provision is intended solely to facilitate the minor modifications from one planning step to another. Substantial conformance shall exist when comparison of the outline plan with the final plan meets all of the following criteria.

- a. The number of dwelling units vary no more than ten percent of those shown on the approved outline plan, but in no case shall the number of units exceed those permitted in the outline plan.
- b. The yard depths and distances between main buildings vary no more than ten percent of those shown on the approved outline plan, but in no case shall these distances be reduced below the minimum established within this Ordinance.
- c. The open spaces vary no more than ten percent of that provided on the outline plan.
- d. The building size does not exceed the building size shown on the outline plan by more than ten percent.
- e. The building elevations and exterior materials are in conformance with the purpose and intent of this ordinance and the approved outline plan.
- f. That the additional standards which resulted in the awarding of bonus points in the outline plan approval have been included in the final plan with substantial detail to ensure that the performance level committed to in the outline plan will be achieved.
- g. The development complies with the Street Standards.
- h. Nothing in this section shall limit reduction in the number of dwelling units or increased open space provided that, if this is done for one phase, the number of dwelling units shall not be transferred to another phase, nor the open space reduced below that permitted in the outline plan.

SITE DESIGN AND USE STANDARDS

18.5.2.050

The following criteria shall be used to approve or deny an application:

- A. **Underlying Zone:** The proposal complies with all of the applicable provisions of the underlying zone (part 18.2), including but not limited to: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards.
- B. **Overlay Zones:** The proposal complies with applicable overlay zone requirements (part 18.3).
- C. **Site Development and Design Standards:** The proposal complies with the applicable Site Development and Design Standards of part 18.4, except as provided by subsection E, below.
- D. **City Facilities:** The proposal complies with the applicable standards in section 18.4.6 Public Facilities and that adequate capacity of City facilities for water, sewer, electricity, urban storm drainage, paved access to and throughout the property and adequate transportation can and will be provided to the subject property.
- E. **Exception to the Site Development and Design Standards.** The approval authority may approve exceptions to the Site Development and Design Standards of part 18.4 if the circumstances in either subsection 1 or 2, below, are found to exist.
 1. There is a demonstrable difficulty meeting the specific requirements of the Site Development and Design Standards due to a unique or unusual aspect of an existing structure or the proposed use of a site; and approval of the exception will not substantially negatively impact adjacent properties; and approval of the exception is consistent with the stated purpose of the Site Development and Design; and the exception requested is the minimum which would alleviate the difficulty.; or
 2. There is no demonstrable difficulty in meeting the specific requirements, but granting the exception will result in a design that equally or better achieves the stated purpose of the Site Development and Design Standards.

MINOR MODIFICATIONS

18.5.6.040

- C. **Minor Modification Approval Criteria.** A Minor Modification shall be approved only upon the approval authority finding that all of the following criteria are met.
 1. Minor Modification applications are subject to the same approval criteria used for the initial project approval, except that the scope of review is limited to the modification request. For example, a request to modify a commercial development's parking lot shall require Site Design Review only for the proposed parking lot and any changes to associated access, circulation, etc. Notice shall be provided in accordance with chapter 18.5.1.
 2. A modification adding or altering a conditional use, or requiring a variance, administrative variance, or exception may be deemed a Major Modification and/or may be subject to other ordinance requirements.
 3. The approval authority shall approve, deny, or approve with conditions the application, based on written findings; except that conditions of approval do not apply, and findings are not required, where the original approval was approved through a Ministerial review.

EXCEPTION TO SOLAR SETBACKS

18.4.8.020.C

- C. **Exceptions and Variances.** Requests to depart from section 18.4.8.030 Solar Setbacks are subject to 18.4.8.020.C.1 Exception to the Solar Setback, below. Deviations from the standards in section 18.4.8.050 Solar Orientation Standards are subject to subsection 18.5.2.050.E Exception to the Site Development and Design Standards.
 1. **Solar Setback Exception.** The approval authority through a Type I review pursuant to section 18.5.1.050 may approve exceptions to the standards in 18.4.8.030 Solar Setbacks if the requirements in subsection a, below, are met and the circumstances in subsection b, below, are found to exist.
 - a. That the owner or owners of all property to be shaded sign, and record with the County Clerk on the affected properties' deed, a release form supplied by the City containing all of the following information.
 - i. The signatures of all owners or registered leaseholders holding an interest in the property in question.

- ii. A statement that the waiver applies only to the specific building or buildings to which the waiver is granted.
 - iii. A statement that the solar access guaranteed by this section is waived for that particular structure and the City is held harmless for any damages resulting from the waiver.
 - iv. A description and drawing of the shading which would occur.
- b. The approval authority finds all of the following criteria are met.
- i. The exception does not preclude the reasonable use of solar energy (i.e., passive and active solar energy systems) on the site by future habitable buildings.
 - ii. The exception does not diminish any substantial solar access which benefits a passive or active solar energy system used by a habitable structure on an adjacent lot.
 - iii. There are unique or unusual circumstances that apply to this site which do not typically apply elsewhere.

TREE REMOVAL PERMIT

18.5.7.040.B

1. Hazard Tree. A Hazard Tree Removal Permit shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The applicant must demonstrate that the condition or location of the tree presents a clear public safety hazard (i.e., likely to fall and injure persons or property) or a foreseeable danger of property damage to an existing structure or facility, and such hazard or danger cannot reasonably be alleviated by treatment, relocation, or pruning. See definition of hazard tree in part 18.6.
 - b. The City may require the applicant to mitigate for the removal of each hazard tree pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.
2. Tree That is Not a Hazard. A Tree Removal Permit for a tree that is not a hazard shall be granted if the approval authority finds that the application meets all of the following criteria, or can be made to conform through the imposition of conditions.
 - a. The tree is proposed for removal in order to permit the application to be consistent with other applicable Land Use Ordinance requirements and standards, including but not limited to applicable Site Development and Design Standards in part 18.4 and Physical and Environmental Constraints in part 18.10.
 - b. Removal of the tree will not have a significant negative impact on erosion, soil stability, flow of surface waters, protection of adjacent trees, or existing windbreaks.
 - c. Removal of the tree will not have a significant negative impact on the tree densities, sizes, canopies, and species diversity within 200 feet of the subject property. The City shall grant an exception to this criterion when alternatives to the tree removal have been considered and no reasonable alternative exists to allow the property to be used as permitted in the zone.
 - d. Nothing in this section shall require that the residential density to be reduced below the permitted density allowed by the zone. In making this determination, the City may consider alternative site plans or placement of structures of alternate landscaping designs that would lessen the impact on trees, so long as the alternatives continue to comply with the other provisions of this ordinance.
 - e. The City shall require the applicant to mitigate for the removal of each tree granted approval pursuant to section 18.5.7.050. Such mitigation requirements shall be a condition of approval of the permit.

November 17, 2016

City of Ashland Planning Department

Solar Access Waiver 221 Oak Street

Findings:

The drawings previously submitted to the city of Ashland planning and building departments indicated a remodel of the existing house at 221 Oak Street. At that time, we tried to determine what the original house looked like knowing that many of the building components were not original to the house. The house had a 6:12 roof which was retained for the submittal as it was a remodel.

On September 1, 2016 Kistler Small White Architects received an email from Michael L Smith who is the great grandson of Elliot Frank Smith. He and his father both grew up in the house and sent along 2 photographs of the house included as attachment 1 and attachment 2. At that time the owner of the property determined that the remodeled building should be restored to its original condition. Kistler Small White counted siding boards in the photographs and measured interior studs that had been exposed on the second floor to calculate the wall plate height at the eaves and the height of the ridge of the original house and in so determined that the original slope was 14 to 12. The eave height is approximately 2'-6" lower and the ridge height is approximately 7'-5" taller than the previous submittal.

The proposed elevations have been shown to the historic commission, the city planning department, and the owners of the property to the North, John and Mary Blaize, everyone has indicated that the proposed elevations look much better than what had been previously submitted. John and Mary have signed the solar access waiver knowing that they will experience more shade from the building, and are excited the house could be restored to its original character.

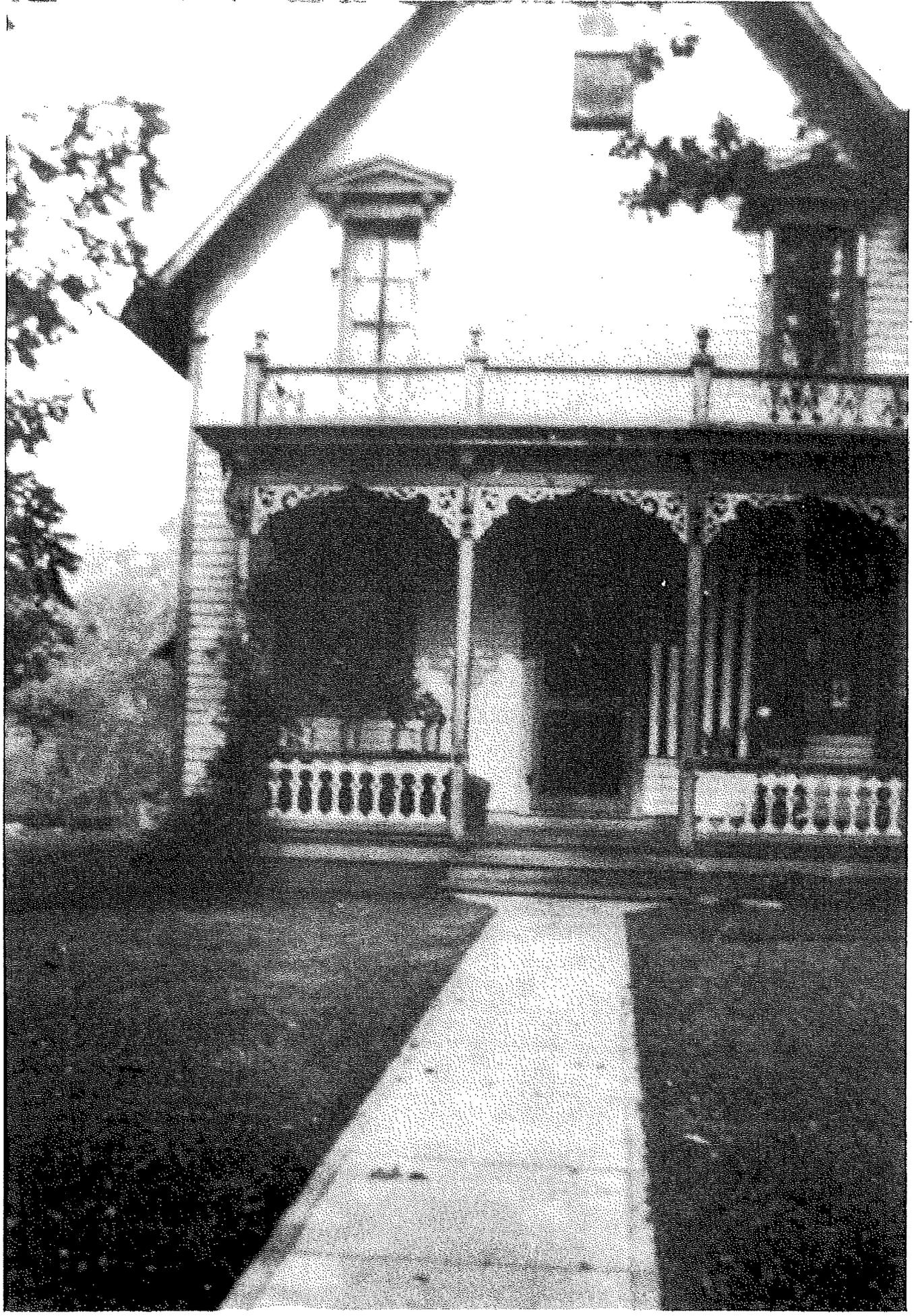
Paul Skelton

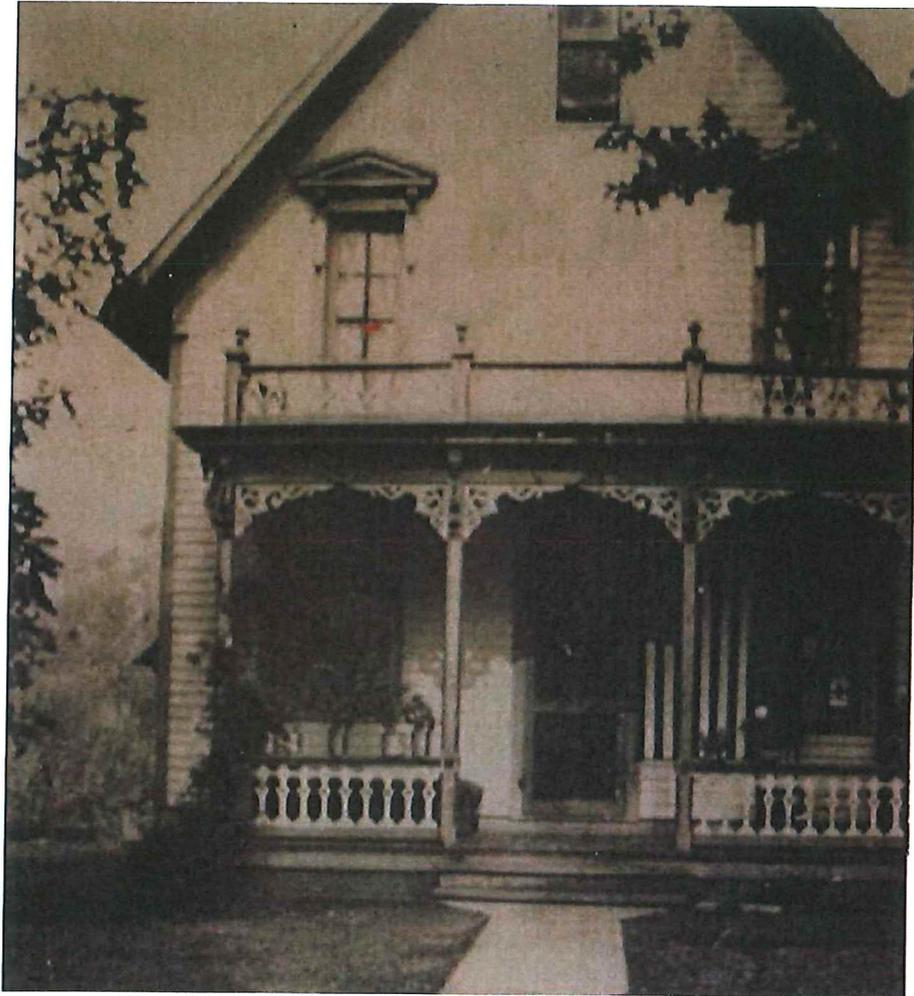
Kistler Small White Architects

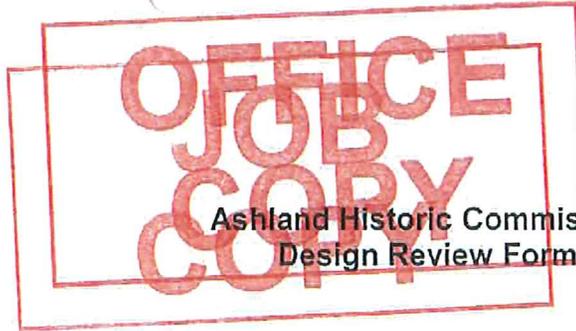
RECEIVED
NOV 20 2016
City Of Ashland



DEREK: RE: 221 OAK ST. - WE WERE SENT THESE PHOTOS IN SEPT.







Ashland Historic Commission
Design Review Form

Applicant Bemis Development Date Oct. 27, 2016
Address 221 Oak Street
Proposed Action Revised Elevations & Original Plans.

- Commercial Residential
 New Construction Changes to Existing Structure

Historic Review Board Comments:

- ① Original Plans of Oct 27, 2016 Approved as submitted. Meets requested siding use.
- ② Revised Elevations with Photos: Heartily recommend these changes, especially roof pitch, porch and ginger-bread, windows style as shown on these revised elevations.

In the spirit of protecting the historic design and compatibility of your project, if you wish to amend your building plan in order to apply any recommendations of the Historic Review Board, we encourage you to prepare an addendum and resubmit it to the Building Department.

Applicant Signature

Historic Review Board Signature

B STREET TOWNHOMES SITE PLAN REVISION

November 16, 2016

City of Ashland Planning Department

For the subject property located at the North-West corner of Oak and B Streets we propose the following changes:

1. Relocate the Recreation Area to the East side of the project between 209 Oak and 221 Oak Street. This provides a more centrally located recreation space for the residents of the development promoting a stronger community atmosphere. The proposed area will be comprised of a concrete paver plaza space with a gas fire pit feature, chair and bench seating, picnic tables, and lawn areas for activities. A nice feature of this location is the proximity of the existing established trees. This space also provides an accessible route from the proposed parking lot to the business occupancy located at 209 Oak Street. The proposed size of the recreation area is 3,025 sq. ft. which is 8.41% of the entire site.
2. Relocation of the New Cottage to the previous recreation area. This new location provides more separation between buildings and is not forced in between the new townhouses and 221 Oak Street.
3. In this revised plan, the parking between 221 Oak Street and the garage building is expanded providing 4 additional parking spaces. The minimum count for code required parking for the project is 19, maximum allowed on site is an additional 10%, for a total of 21 spaces, which is shown in the current plan. The trash enclosure previously located at the recreation area is now centrally located in a corner of this expanded parking lot. The back door and porch for 221 Oak Street will be relocated to the South side of the building providing vehicular access to the revised parking lot.
4. Due to the visibly unhealthy character of the existing cedar tree located at the North-East corner of the property near the existing driveway we propose to remove this tree.

The rest of the project is unchanged. If you have any questions please call us at 541.488.8200.

Sincerely,

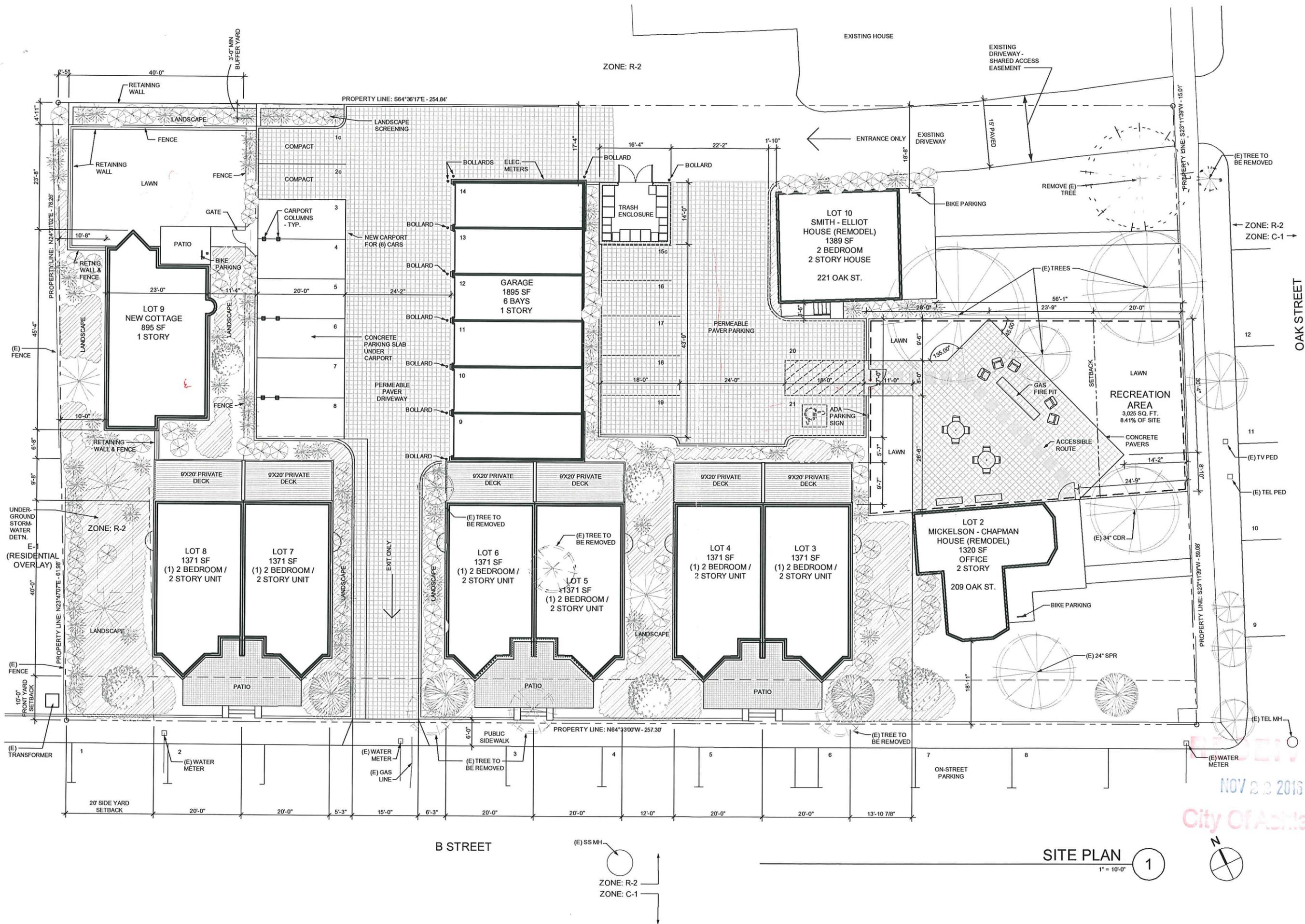


Paul Skelton

Kistler Small White Architects

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66 WATER STREET
SUITE 101
ASHLAND, OR
97520
TEL.: 541.488.8200

THESE DRAWINGS SHALL BE USED FOR:
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RECORDATION
CONVEYANCE
ISSUANCE OF A PERMIT

PERMIT SET



B STREET BRICKSTONE TOWNHOUSES
11 B STREET, ASHLAND, OREGON

REVISIONS

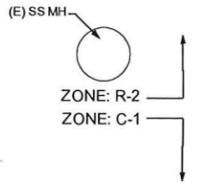
NOV 23 2016
City of Ashland

SITE PLAN

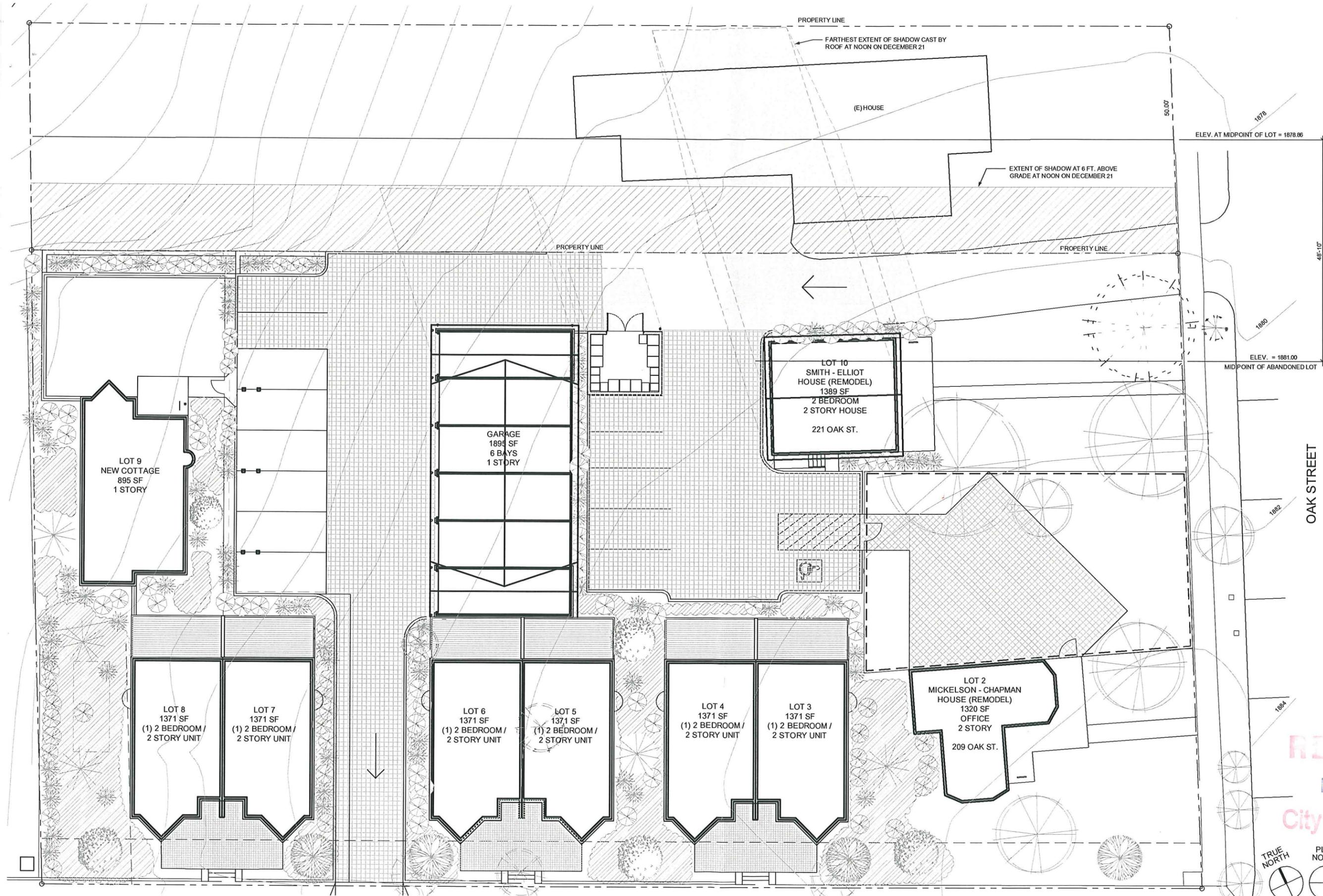
PROJECT: 14-028
ISSUE DATE: 11-17-16
SHEET:

A0.4

SITE PLAN 1
1" = 10'-0"



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SOLAR ACCESS WAIVER PLOT PLAN

11 x 17: 1" = 20'
24 x 36: 1" = 10'

1

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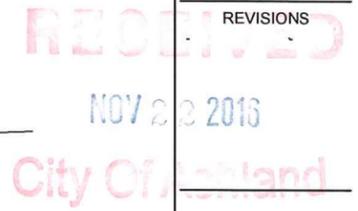
PERMIT SET



B STREET BRICKSTONE TOWNHOUSES
HOUSE (2) REPLACEMENT

ASHLAND, OREGON

221 OAK STREET.



REVISIONS

SOLAR ACCESS PLOT PLAN

PROJECT: 14-028
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A0.6

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ASHLAND, OREGON

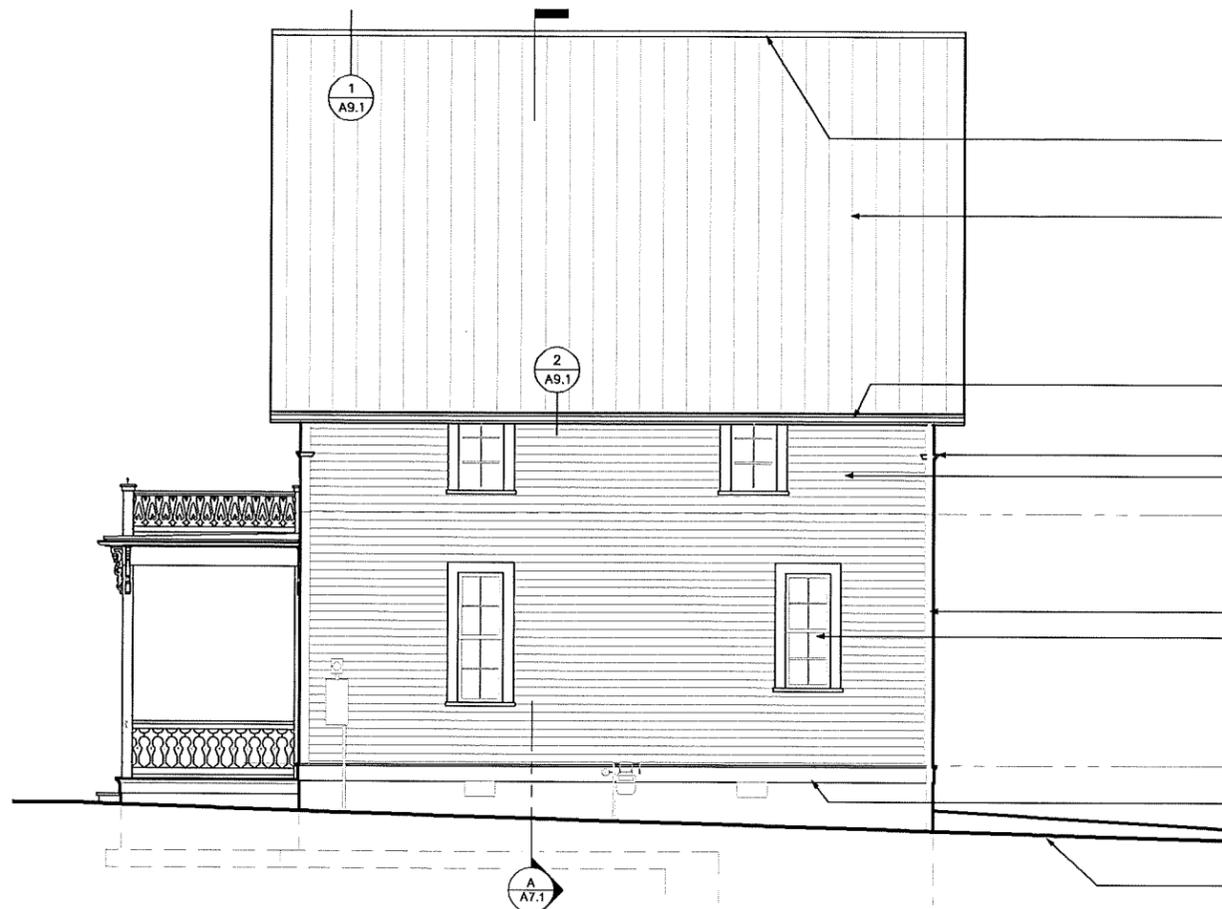
B STREET BRICKSTONE TOWNHOUSES
HOUSE (2) REMODEL
221 OAK STREET.

REVISIONS

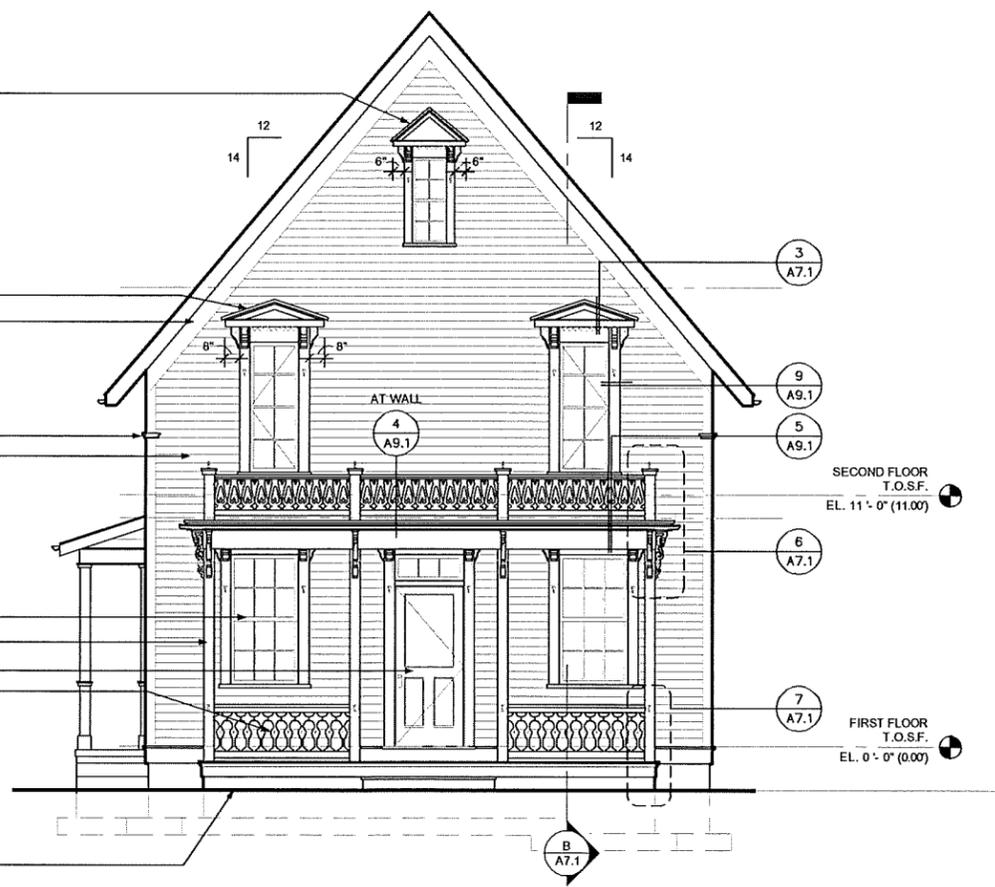
EXTERIOR
ELEVATIONS

PROJECT: 14-028
ISSUE DATE: 11-17-16
SHEET:

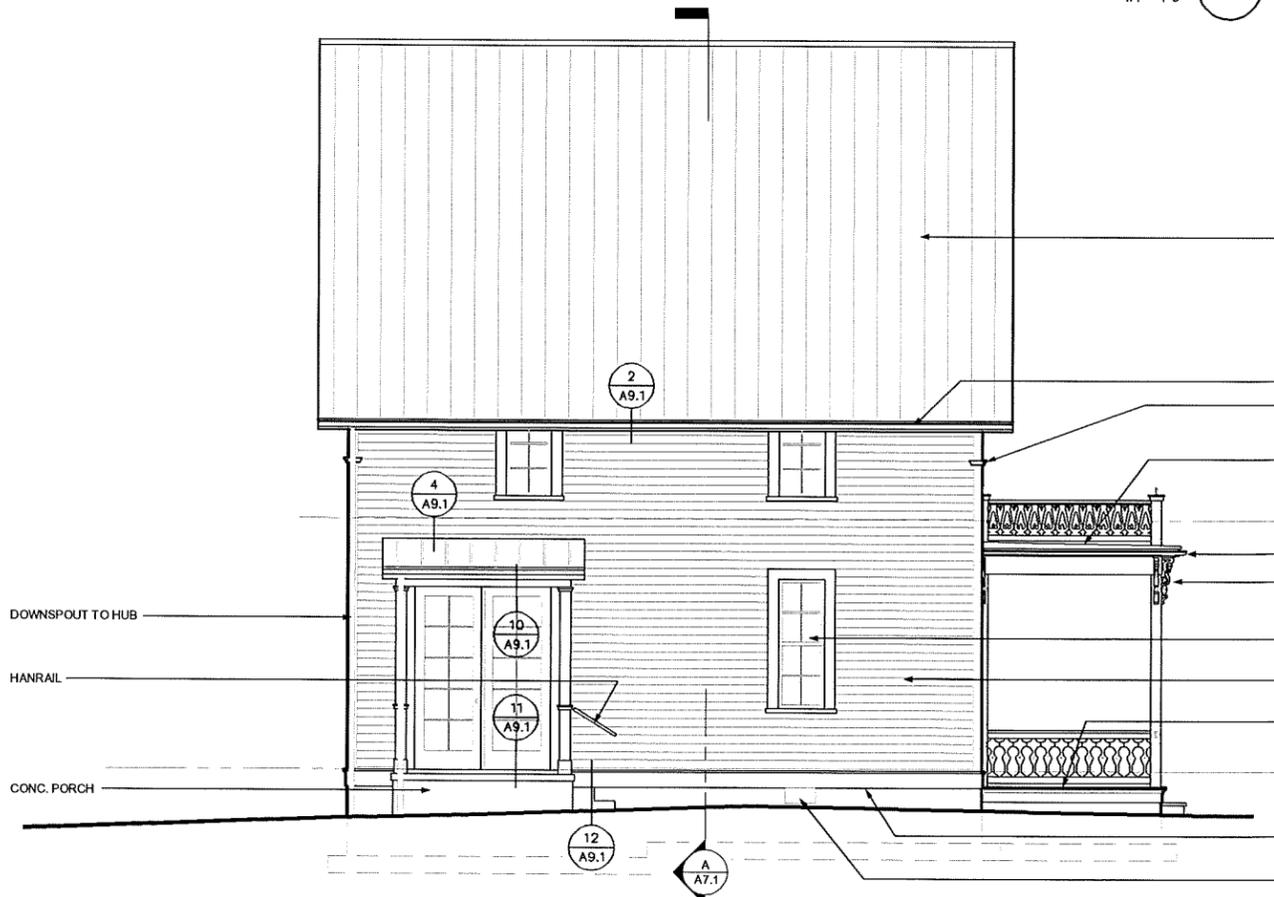
A6.1



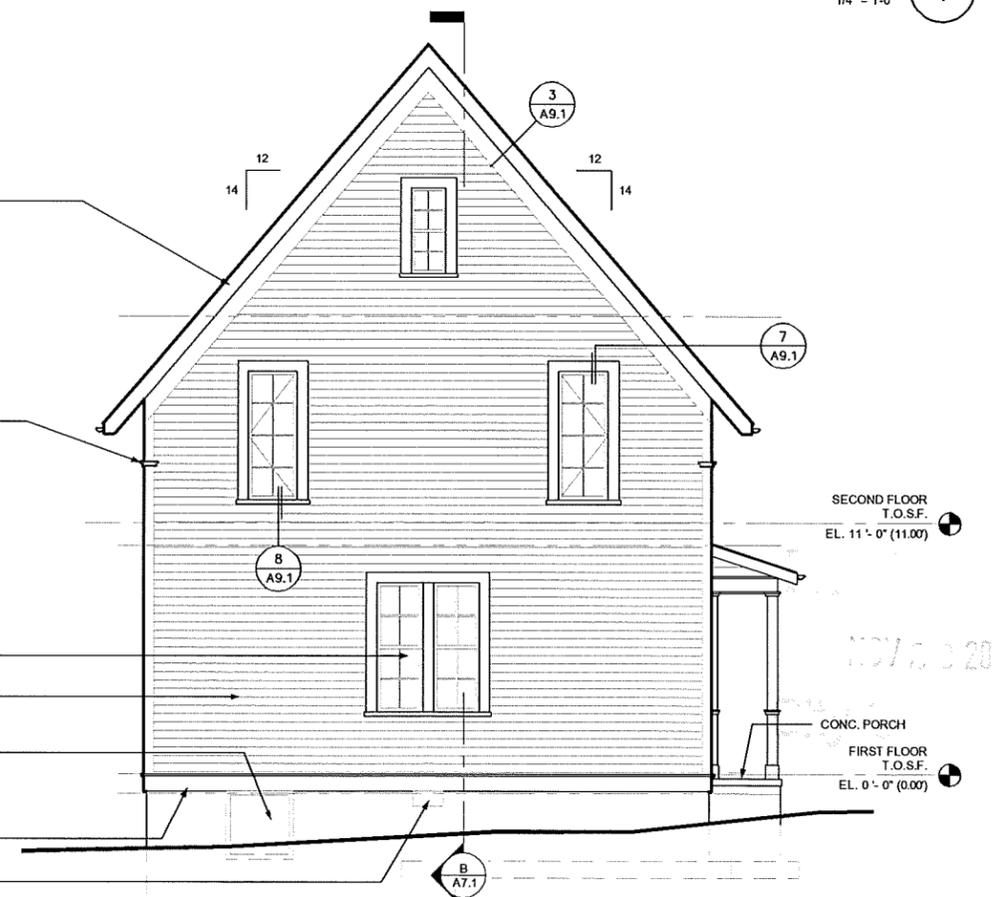
HOUSE 2 - NORTH ELEVATION 3
1/4" = 1'-0"



HOUSE 2 - EAST ELEVATION 1
1/4" = 1'-0"

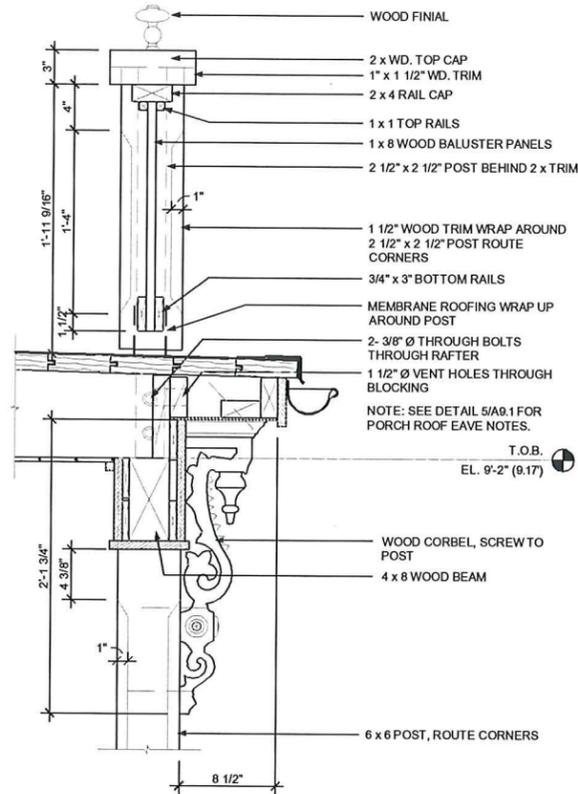


HOUSE 2 - SOUTH ELEVATION 4
1/4" = 1'-0"

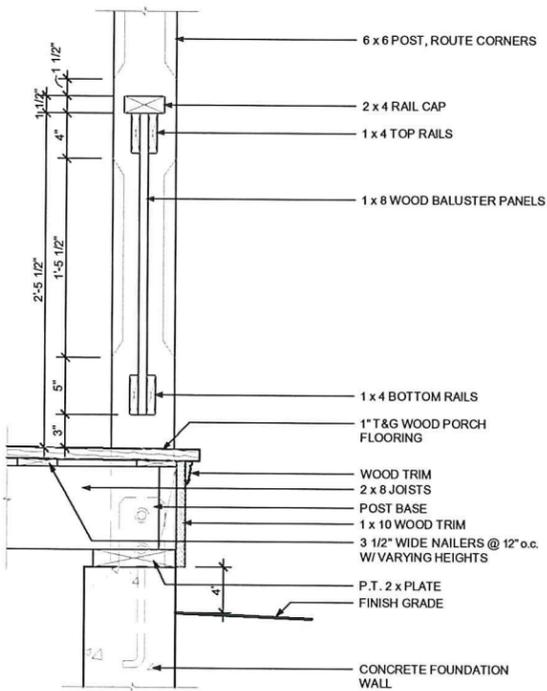


HOUSE 2 - WEST ELEVATION 2
1/4" = 1'-0"

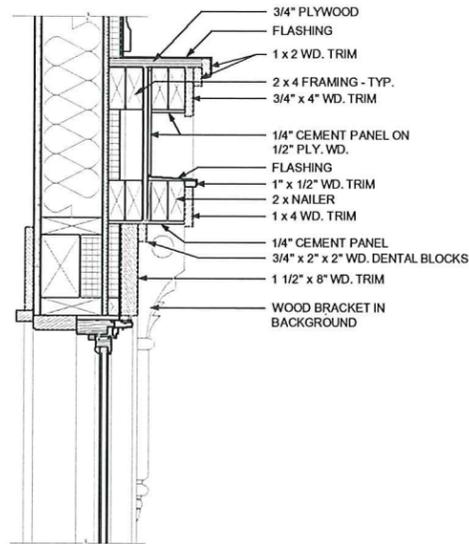
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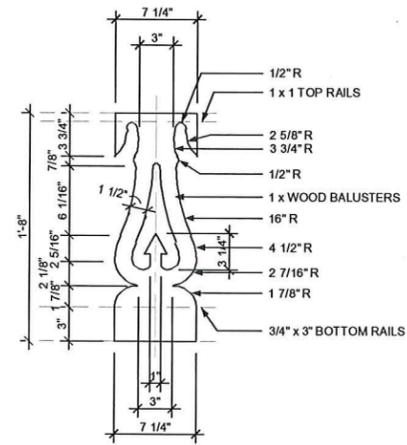
ENTRY PORCH ROOF RAILING
1-1/2"=1'-0" (6)



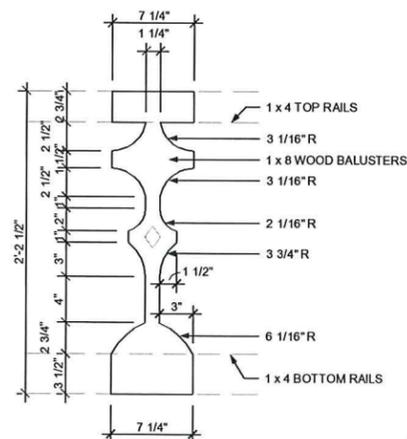
ENTRY PORCH RAILING
1-1/2"=1'-0" (7)



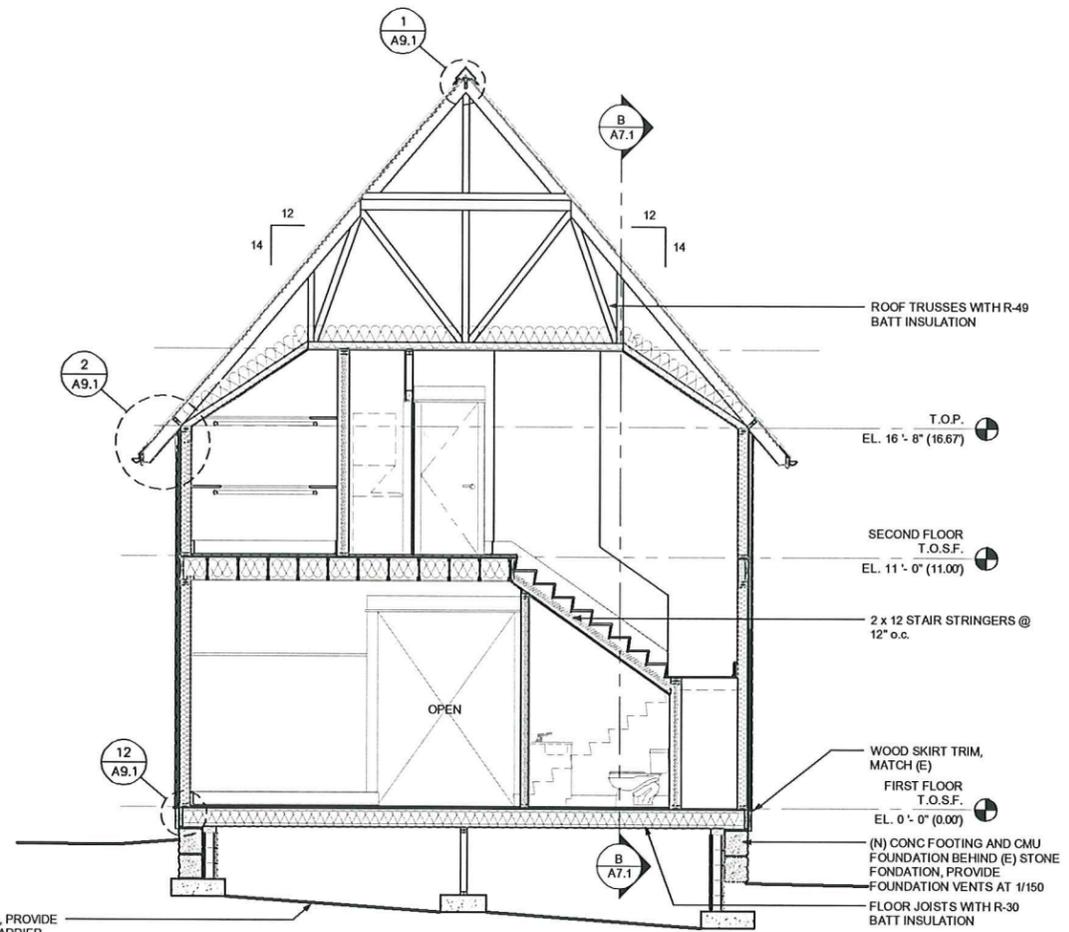
WINDOW PEDIMENT
1-1/2"=1'-0" (3)



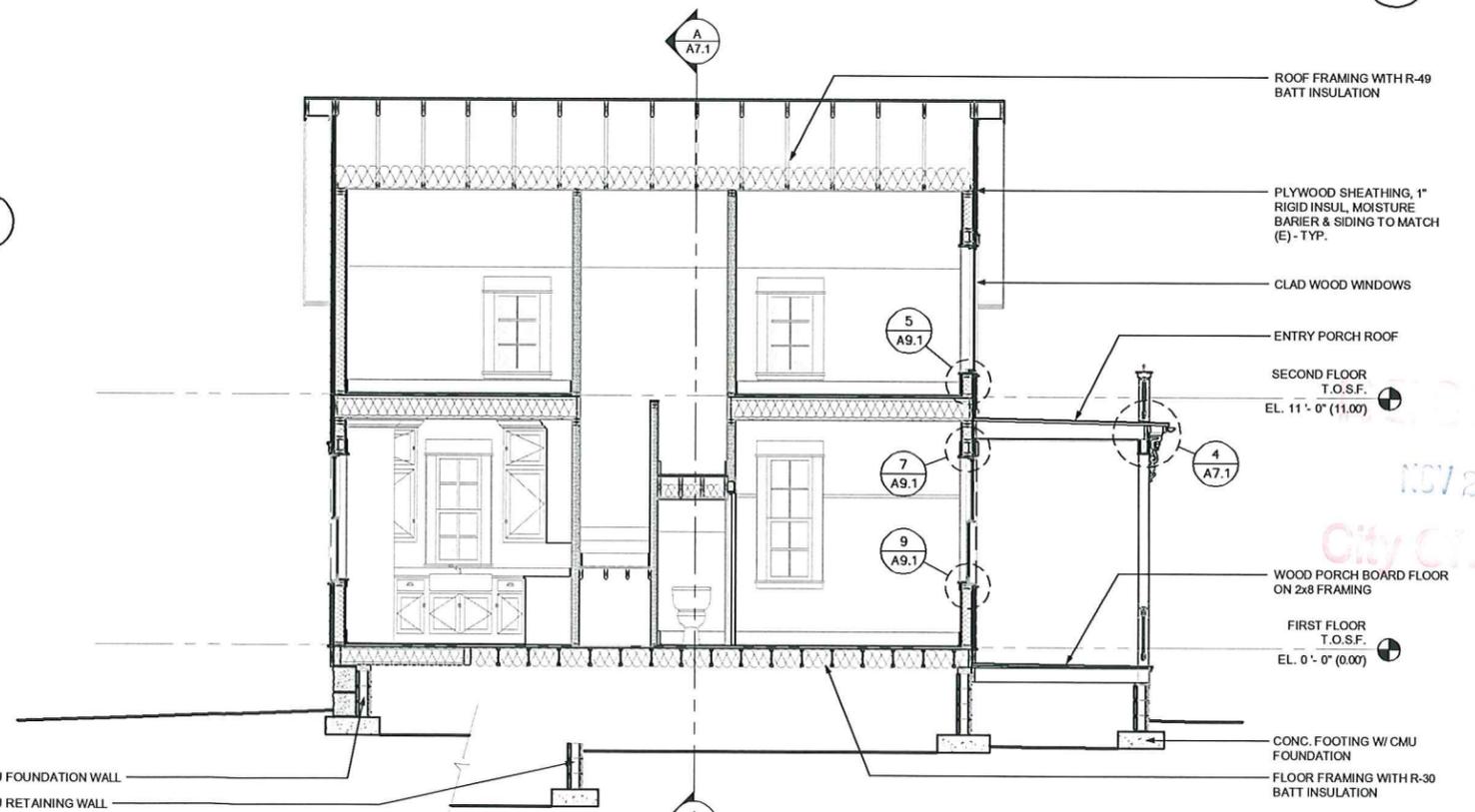
ROOF BALUSTER
1-1/2"=1'-0" (4)



RAILING BALUSTER
1-1/2"=1'-0" (5)



BUILDING SECTION A-A
1/4"=1'-0" (1)



BUILDING SECTION B-B
1/4"=1'-0" (2)

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PERMIT SET



**B STREET BRICKSTONE TOWNHOUSES
HOUSE (2) REMODEL**
221 OAK STREET.
ASHLAND, OREGON

REVISIONS
NOV 23 2013
City of Ashland

BUILDING SECTIONS

PROJECT: 14-028
ISSUE DATE: 11-17-16
SHEET:

A7.1

December 2016



Ashland Historic Review Board Schedule Meet at 3:00pm, Lithia Room*

December 8th	Terry, Bill, Keith
December 15th	Terry
December 22nd	Terry
December 29th	Terry
January 5th	Terry

*Call 541-488-5305 to verify there are items on the agenda to review

PROJECT ASSIGNMENTS FOR PLANNING ACTIONS

PA-2014-01956	Lithia & First	All
PA-2014-00710/711	143/135 Nutley	Swink & Whitford
PA-2014-01283	172 Skidmore	Shostrom
PA-2014-02206	485 A Street	NEED ASSIGNED
PA-2015-00178	156 Van Ness Ave	Shostrom
PA -2015-00374	160 Lithia Way	Emery
PA-2015-00878	35 S. Pioneer	NEED ASSIGNED
PA-2015-01496	35 S. Second-Winchester Inn	Shostrom
PA-2015-01695	399 Beach	Skibby
PA-2015-01769	860 C	NEED ASSIGNED
PA-2015-01517	209 Oak	Shostrom
PA-2015-02203	868 A Street	Whitford
PA-2016-00073	151 Pioneer	Swink
PA-2016-00275	574 Allison	Emery
PA-2016-00387	95 N. Main	Shostrom
PA-2016-00763	5 N. Main	Swink
PA-2016-00209	25 N. Main	NEED ASSIGNED
PA-2016-00818	175 Pioneer	Shostrom & Skibby
PA-2016-00847	252 B Street	Whitford
PA-2016-00587	872 Siskiyou Blvd	Skibby
PA-2016-01027	276 B Street	Shostrom & Leonard
PA-2016-01641	221 Oak Street	Shostrom



ASHLAND HISTORIC COMMISSION Membership List

Commissioner's Name	Term Expiration	Mailing Address	Home Phone	Work Phone	E-Mail Address
Dale Shostrom Chairman	4-30-2018				shobro@jeffnet.org
Keith Swink	4-30-2018				kswink@mind.net
Sam Whitford	4-30-2018				skwhippet@mind.net
Terry Skibby	4-30-2018				terryskibby321@msn.com
Tom Giordano	4-30-2017				tomarch@charter.net
Bill Emery	4-30-2017				bill@ashlandhome.net
Taylor Leonard	4-30-2019				tttaylor1@yahoo.com
Piper Von Chamier	4-30-2019				piper@kencairnlandscape.com
Carol Voisin Council Liaison					carol@council.ashland.or.us
Mark Schexnayder		City of Ashland Planning Dept.		552-2044	mark.schexnayder@ashland.or.us
Regan Trapp Admin. Staff		City of Ashland Planning Dept.		552-2233	regan.trapp@ashland.or.us