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*The comments of this pre-application are preliminary in nature and subject to change based upon the submittal of additional or different information. The Planning Commission or City Council are the final decision making authority of the City, and are not bound by the comments made by the Staff as part of this pre-application.*

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**ASHLAND PLANNING DEPARTMENT**      **SITE:**                    822 Oak Street  
**PRE-APPLICATION CONFERENCE**      **APPLICANT:**      Rogue/Overlook  
**COMMENT SHEET**                              **REQUEST:**      PLA/MLP  
April 15, 2020

**PLANNING STAFF COMMENTS:**

*This pre-application conference is intended to highlight significant issues of concern to staff and bring them to the applicant's attention prior to their preparing a formal application submittal.*

**Summary:** A Flag Lot Partition cannot have more than two lots served by a flag drive as detailed in **AMC 18.5.3.060.E**. In addition, a private drive may only serve three or fewer units; where serving four units or more in a single family zone the drive would need to be fully improved to city street standards and dedicated as a public street as required in **AMC 18.4.6.040.C.1**. Generally, staff see the following options for development of the property:

- 1) A Land Partition resulting in a total of three lots with a Variance to the allowed number of flag lots off of a flag drive.
- 2) A Performance Standards Subdivision (*concurrent Outline & Final Plan*) to create a total of three lots served from a private drive.
- 3) A Performance Standards Subdivision (*concurrent Outline & Final Plan*) to create a total of four lots using a 3.4 percent density bonus. This would require dedication of a public street or requesting a Variance to the public street requirements.
- 4) A Cottage Housing Development which requires Performance Standards Subdivision and Site Design Review approvals. (*A 37,500 square foot parent parcel could accommodate 12 cottages; with ten or more lots Outline and Final Plan would need to be submitted as two separate applications.*)

In staff's view, it would be advisable to avoid any option requiring a Variance.

**FLAG LOT PARTITION**

As noted above, a Flag Lot Partition cannot have more than two lots served by a flag drive as detailed in **AMC 18.5.3.060.E**. To partition and create more than two lots served by a flag drive would require a Variance.

**VARIANCE (Number of lots from a flag drive or public street requirement)**

Generally, a Variance requires demonstration that:

1.     *The variance is necessary because the subject code provision does not account for special or unique physical circumstances of the subject site, such as topography, natural features, adjacent development, or similar circumstances. A legal lot determination may be sufficient evidence of a hardship for purposes of approving a variance.*

2. *The variance is the minimum necessary to address the special or unique physical circumstances related to the subject site.*
3. *The proposal's benefits will be greater than any negative impacts on the development of the adjacent uses and will further the purpose and intent of this ordinance and the Comprehensive Plan of the City.*
4. *The need for the variance is not self-imposed by the applicant or property owner. For example, the variance request does not arise as result of a property line adjustment or land division approval previously granted to the applicant.*

Variations are a discretionary approval.

### **PERFORMANCE STANDARDS SUBDIVISION (OUTLINE PLAN)**

**Density & Density Bonus:** A 37,500 square foot parent parcel would have a base density of approximately 3.87 dwelling units at the R-1-5 base density of 4.5 dwelling units per acre. This would accommodate three standard sized units and one unit less than 500 square feet, or with an approximately 3.4 percent density bonus would allow four full units.

**Street Dedication:** As defined in AMC 18.6.1, a private drive may only serve three or fewer units; where serving four units or more in a single family zone a driveway would need to be fully improved to city street standards and dedicated as a public street as required in **AMC 18.4.6.040.C.1**. The applicant could request a Variance to the street dedication requirement.

**On-Street Parking:** With the exception of Cottage Housing Developments, Performance Standards subdivisions in the R-1 zone are required to provide at least one on-street parking space per dwelling unit. Parking must be on the street or in adjacent common area adjacent to street right-of-way and located within 200 feet of the unit to be served.

**Significant Natural Features:** A key element of the Performance Standards Options subdivision chapter (AMC 18.3.9) is its intent to identify and preserve significant natural features. Specifically, the chapter notes, "*The existing and natural features of the land; such as wetlands, floodplain corridors, ponds, large trees, rock outcroppings, etc., have been identified in the plan of the development and significant features have been included in the open space, common areas, and unbuildable areas (AMC 18.3.9.040.A.3.c).*" The final application will need to include detail addressing the site's trees and any other natural features such as steeply sloped areas or rock outcroppings to demonstrate that the lots, envelopes and site circulation have been located based upon careful consideration for preserving any significant natural features of the property. Tree removal permit requests would be considered in light of the Performance Standards focus on preserving natural features as well as the Tree Removal Permit criteria, and the applicants should evaluate and consider significant existing trees in initial site planning.

### **COTTAGE HOUSING**

**Cottage Housing Developments (CHD):** In addition to the Building Placement, Orientation and Design Standards for Residential Development considered with Site Design Review, there are specific cottage housing standards to be met, including:

- **Open Space:** Common and private open spaces will need to be demonstrated to address the requirements relative to the CHD regulations (percent of site, dimension and area requirement, percentage of units fronting on open space, distinct visual boundary, etc.).
- **Square Footage Deed Restriction:** As required in 18.2.3.090.C.8, a deed restriction is required to be placed on the property/-ies notifying future property owners of the size restrictions for the CHD.
- **Storm Water & Low-Impact Development:** Cottage Housing Developments are to include open space and landscaped features as a component of the project's storm water low impact development techniques including natural filtration and on-site infiltration of storm water. Low impact development techniques for storm water management are to be used wherever possible. Such techniques may include the use of porous solid surfaces in parking areas and walkways, directing roof drains and parking lot runoff to landscape beds, green or living roofs, and rain barrels. Cottages are to be located to maximize the infiltration of storm water runoff. In this zone, cottages shall be grouped and parking areas shall be located to preserve as much contiguous, permanently undeveloped open space and native vegetation as reasonably possible when considering all standards in this chapter.
- **Solar Access:** Structures within Cottage Housing developments meeting the standards in AMC 18.2.3.090, that cast their shadows entirely within the parent parcel of the Cottage Housing Development, shall be exempt from the Solar Access setback standards in 18.4.8.030 provided they do not cast a shadow upon the roof of a dwelling within the cottage housing development. The final application will need to address solar access requirements.

## **SITE DESIGN REVIEW**

**Site Design Review:** In addition to a Performance Standards Options subdivision to divide the property, Site Design Review approval is required when a Cottage Housing Development is requested. The underlying standards dealing with site development and design, building placement, orientation, etc.

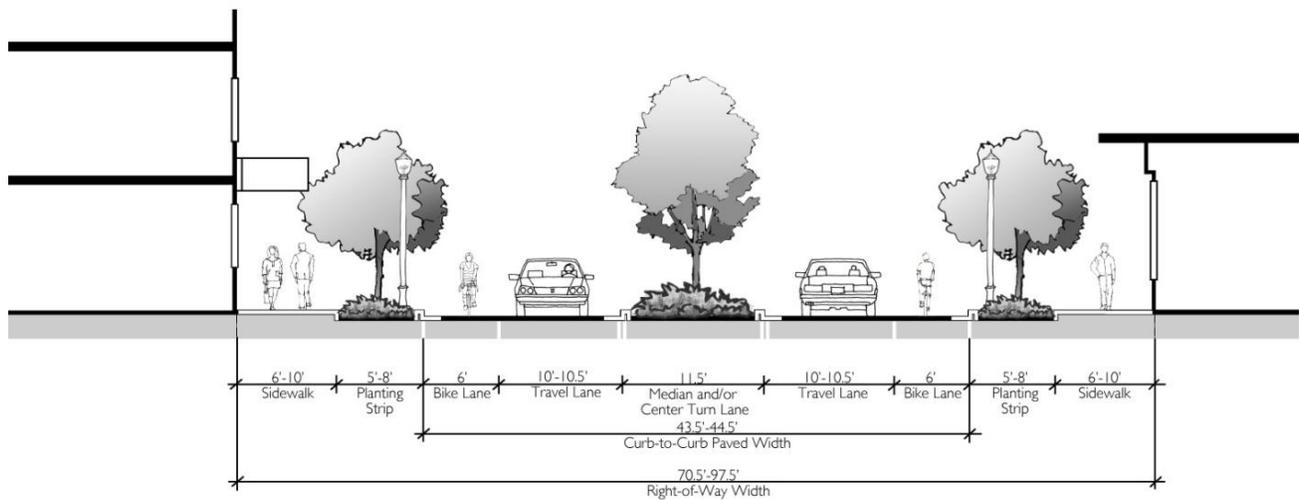
- **Adequate Capacity of Public Utilities:** The applicants will need to demonstrate that adequate water, sanitary sewer, storm sewer, and electricity services, and paved access/adequate transportation are available or can be extended to serve the proposed development. The Site Plan must show the location and size of the public utility lines that will serve the proposed parcels and detail service locations for each proposed lot, and plans will not be deemed complete without a utility plan which includes an Electric Department-approved electric service plan. (*See specific utility notes in Public Works comments at the end of this document.*)
- **Off-Street/On-Street Parking** – The final application should address the off-street parking requirements of AMC 18.4.3.040 and the Cottage Housing Ordinance.
- **Parking Lot Treatment (Swales) & Parking Lot Landscaping & Screening** – The application will need to address the standards in 18.4.3 for parking lot treatment and 18.4.4 for landscaping and screening. The parking lot standards in AMC 18.4.3 generally seek storm water to be addressed in landscaped medians or swales around the parking lot.
- **Details:** The final application materials will need to make clear the proposed lot configuration, that lot coverage is addressed, how the perimeter setback and front yard setbacks in the Performance Standards are to be addressed and provide scalable site plans and elevation drawings.

- **Curb Cuts:** Curb cuts should generally comply with controlled access standards for an avenue which require a 75-foot separation between driveways and a 50-foot distance from intersections.

**FRONTAGE IMPROVEMENTS/EXCEPTION TO STREET STANDARDS**

**Oak Street Frontage:** Oak Street is classified as an Avenue or Major Collector in Ashland’s Transportation System Plan (TSP) and city standards envision its ultimate development as illustrated below.

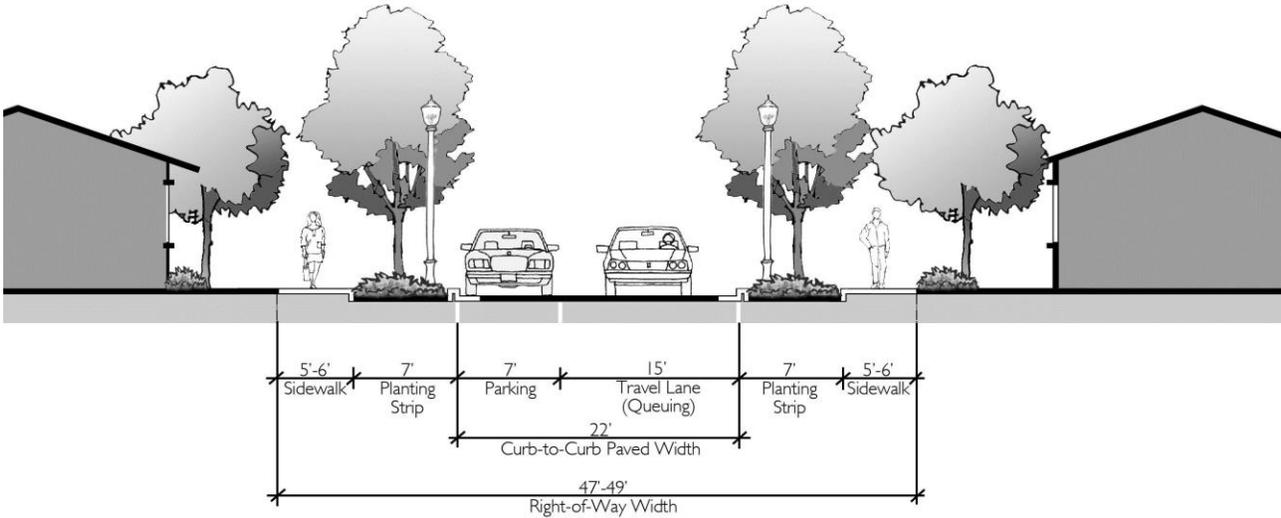
Prototypical Section: 3-Lane Avenue



Frontage improvements, including dedication of any additional right-of-way width to accommodate the city-standard avenue cross-section, would need to be installed to city standards with development, or an Exception to the Street Standards requested. *(If an Exception were approved, at a minimum the Planning Commission would likely seek the necessary dedication and that the applicant sign-in favor of a future Local Improvement District (LID) to complete standard improvements.)*

**New Street Dedication:** Generally, for a new street dedication a residential neighborhood street would be sought, and to accommodate required on-street parking the cross-section below with parking on one-side would likely be the most appropriate. *(Required on-street parking would not generally be compatible with a shared street cross-section.)*

Prototypical Section: Residential Neighborhood Street, Parallel Parking One Side



Any exception from the standard cross-section would require an Exception to Street Standards.

**PHYSICAL & ENVIRONMENTAL (P&E) CONSTRAINS REVIEW PERMIT**

Should the final application include any disturbance of hillside lands with severe constraints (i.e. slopes in excess of 35 percent), the application would need to include a Physical & Environmental (P&E) Constraints Review Permit addressing the criteria and standards in AMC 18.3.10 including:

- |                        |   |
|------------------------|---|
| <b>AMC 18.3.10.040</b> | <b>Application Submission Requirements</b>                |
| <b>AMC 18.3.10.050</b> | <b>Approval Criteria</b>                                  |
| <b>AMC 18.3.10.090</b> | <b>Development Standards for Hillside Lands</b>           |
| <b>AMC 18.3.10.100</b> | <b>Development Standards for Wildfire Lands*</b>          |
| <b>AMC 18.3.10.110</b> | <b>Development Standards for Severe Constraints Lands</b> |

*\*Note: All lands within the city are designated as Wildfire Lands, and wildfire lands standards would need to be addressed even if a P&E Permit is ultimately not required.*

**DEMOLITION**

If existing structures to be removed are in excess of 500 square feet, a Demolition/Relocation Review Permit may be required through the Building Division. This is a process that is similar to but separate from land use approval, handled through the Building Division, and with its own noticing requirements and potential for appeal. Buildings under the threshold square footage do not require a Demolition/Relocation Permit but would still require a permit in conjunction with demolition to assure that utilities are properly addressed during demolition.

**MISCELLANEOUS/GENERAL**

**Site Visit:** Prior to a hearing, staff would recommend that a Site Visit be arranged with the Planning Commission to give them an idea of the specifics of the site (*i.e. relationship to adjacent properties, existing frontage improvements, driveway locations, existing house, stature and condition of existing trees, etc.*). Site visit logistics would need to be tailored to the social distancing measures in place at the time and might involve scheduled visits by individual commissioners and/or video shot by staff on-site or via drone footage.

**Fire Turn-Around:** The Fire Marshal has indicated that a fire apparatus turn-around may be required. Applicants may wish to contact Ralph Sartain in the Fire Department to verify the design requirement and acceptable options. (*In past applications (i.e. SOU Residence Halls) fire apparatus access and/or turn-around has been able to be provided using GrassPave® so that it can be incorporated into areas used for open space.*)

**Tree Preservation, Protection and Removal:** An inventory of all trees six-inches in diameter at breast height and greater on the property and within 15 feet of the property boundaries is required with the application under AMC 18.4.5. The inventory must include detailed information including but not limited to species, diameter at breast height, condition, and drip line/protection area of each tree. The plan must clearly identify trees to be preserved and how they will be protected and show those trees to be removed, and address the tree removal permit requirements in AMC 18.5.7 for significant trees to be removed. If the proposal involves a Performance Standards Options Subdivision, any tree removal permit requests would be considered in light of the Performance Standards focus on preserving natural features as well as the Tree Removal Permit criteria.

**Neighborhood Outreach:** Staff always recommends applicants approach impacted neighbors to discuss proposals and try to address any concerns as early in the process as possible. Notices will be sent to owners of neighboring properties within a 200-foot radius, signs posted on the site and advertised in the local newspaper once an application is deemed complete. In many cases, it is better if neighbors hear of the proposal from the applicants rather than by a formal notice from the city.

**Written Findings/Burden of Proof:** Applicants should be aware that written findings addressing the ordinance and all applicable criteria are required, and are heavily depended on in the decision making process for a planning action. In addition, the required plans are explained in writing below. The burden of proof is on the applicant(s) to ensure that all applicable criteria are addressed in writing and that all required plans, written findings, and other materials are submitted even if those items were not discussed in specific, itemized detail during this initial pre-application conference.

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## OTHER DEPARTMENTS' COMMENTS

**FIRE DEPARTMENT:** No comments provided. Please contact Division Chief Ralph Sartain of the Fire Department for any additional information at (541) 552-2229 or e-mail [ralph.sartain@ashland.or.us](mailto:ralph.sartain@ashland.or.us) .

**BUILDING DEPARTMENT:** No comments provided. Please contact the Building Division for any additional building codes-related information at (541) 488-5309.

**CONSERVATION DEPARTMENT:** *No project-specific comments at this time.* There may be current City of Ashland rebates for the installation of high efficiency toilets (HET) as well as some

appliances such as refrigerators, dishwashers and washing machines. Appliances may also be eligible for state tax credits through the Oregon Department of Energy. There may also be opportunities for homes to be built more sustainably or more energy efficient with financial and/or technical assistance from the City. For more information on currently available Conservation programs, please contact the City of Ashland Conservation Division at (541) 552-2062 or e-mail [Dan.Cunningham@ashland.or.us](mailto:Dan.Cunningham@ashland.or.us) .

**PUBLIC WORKS DEPARTMENT:** *See comments attached at the end of this document.* For any further information, please contact Karl Johnson at (541) 552-2415 or via e-mail to: [karl.johnson@ashland.or.us](mailto:karl.johnson@ashland.or.us) .

**ELECTRIC DEPARTMENT:** The applicant will need to contact Dave Tygerson in the Electric Department at (541) 552-2389 or e-mail [tygersod@ashland.or.us](mailto:tygersod@ashland.or.us) to discuss service requirements and fees. An approved electric service plan is required to be included in the final application submittal for the application to be deemed complete. Dave can arrange an on-site meeting to assess service requirements and will prepare a schematic service plan to be incorporated into the applicants' civil drawings. Please allow additional time for scheduling an on-site meeting with Dave Tygerson, subsequent preparation of a schematic plan, and incorporation of this plan into your submittals. *Applications will not be deemed complete without an approved electric service plan.*

**WATER AND SEWER SERVICE:** *"If the project requires additional water services or upgrades to existing services the Ashland Water Department will excavate and install in the city right-of-way all water services up to and including the meter on domestic and commercial water lines. If a fire line is required the Water Department will only install a stub out to the location where the double check detector assembly or reduced pressure detector assembly complete with a Badger brand cubic foot bypass meter should be placed in a vault external to the building. The vault and the DCDA or RPDA device housed in it are the responsibility of the property owner and should be placed at the property line. Fees for these installations are paid to the water department and are based on a time and materials quote to the developer or contractor. Meter sizes and fire line diameters will need to be provided to the Water Department at the time of a quote being requested. **The Ashland Water Department is also requiring new projects to comply with all current cross connection rules and regulations, this may require backflow prevention devices to be placed at the potential hazard or just behind the meter or connection for premises isolation depending on the degree of hazard, type of intended use of the facility or even the geographical location of the building or facility.** Please contact Steve Walker at [541-552-2326](tel:541-552-2326) or e-mail [walkers@ashland.or.us](mailto:walkers@ashland.or.us) to discuss the intended use of the facility or property and any potential cross connection hazards associated with it or for any questions regarding water connections."*

**OREGON DEPARTMENT OF TRANSPORTATION (ODOT):** *"We have no comments on the proposal."* For any additional ODOT-related information, please contact: Micah Horowitz, AICP, Development Review Planner/ODOT Southwestern Region; 100 Antelope Rd.; White City, OR 97503; 541.774.6331 or e-mail: [Micah.HOROWITZ@odot.state.or.us](mailto:Micah.HOROWITZ@odot.state.or.us)

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**ZONING DISTRICT REQUIREMENTS**

See Table 18.2.5.030.A. "Standards for Urban Residential Zones" for R-1-5 Zoning District

**Zoning:** R-1-5 (Single-Family Residential)

**Landscaping Requirements:** 50 percent of the lot area. Size- and species-specific landscaping & irrigation plan required for park rows and open space at time of formal application. Avoid using lawn. Provide irrigation system. Include street trees, one per 30 feet of street frontage.

**Parking, Access and Internal Circulation:** See Table 18.4.3.040.

**Lot Coverage:** A maximum of 50 percent of the lot may be covered with building footprints, driveways, parking spaces and other lot coverage. Compliance with lot coverage standards should be demonstrated in the application. [**Note:** *Decomposed granite walkways would be considered lot coverage.*]

**Standard Setbacks: Where standard setbacks apply...** Front yards shall be a minimum of 15 feet, excluding garages which require a 20-foot front setback. Unenclosed porches shall be permitted with a minimum setback of eight feet. Side yards require six feet; the side yard of a corner lot abutting a public street shall have a ten-foot setback; rear yard, ten feet plus ten feet for each story in excess of one story. In addition, setbacks must comply with Chapter 18.4.8 which provides for Solar Access (which provides some exemptions for Cottage Housing).

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## **APPLICATION SUBMITTAL REQUIREMENTS**

**Application Requirements:** Applications for Outline Plan subdivision approval which would include a subdivision or cottage housing development are processed as a “Type II” procedure which requires a quasi-judicial decision through a public hearing at the Planning Commission. The Planning Commission’s may be appealed, in which case it is subject to an “on-the-record appeal” before the City Council. *(For further procedural detail, see: <http://www.ashland.or.us/SIB/files/Comm%20Dev/Forms%2C%20Brochures%2C%20Handouts/Flowchart Type II FY19-20.pdf> )*

The application is required to include clear, legible, scalable drawings of the proposal (i.e. plan requirements) as well as written findings addressing the applicable approval criteria in accordance with the Ashland Land Use Ordinance (ALUO), Chapter 18 of the Ashland Municipal Code. The following sections include the requirements for plans and approval criteria which are applicable to the proposal as described in the pre-application submittals. When more than one planning approval is required for the proposal, multiple sections of the ALUO may apply. The burden of proof is on the applicant(s) to ensure that all applicable criteria are addressed in writing and that all required plans, written findings, and other materials are submitted even if those items were not discussed in specific, itemized detail during this initial pre-application conference. All submittals must also include:

1. **Application Form and Fee.** Applications for Type II review shall be made on forms provided by the Staff Advisor. One or more property owners of the property for which the planning action is requested, and their authorized agent, as applicable, must sign the application. The required application fee must accompany the application for it to be considered complete. (Zoning Permit Application Form available on-line at:

<http://www.ashland.or.us/Files/Zoning%20Permit%20Application.pdf>. Fees are fully detailed at: [http://www.ashland.or.us/SIB/files/Comm%20Dev/Forms%2C%20Brochures%2C%20Handouts/2019-07-01\\_Planning\\_Fees.pdf](http://www.ashland.or.us/SIB/files/Comm%20Dev/Forms%2C%20Brochures%2C%20Handouts/2019-07-01_Planning_Fees.pdf) ).

2. **Submittal Information.** The application shall include all of the following information.

- a. The information requested on the application form (see <http://www.ashland.or.us/Files/Zoning%20Permit%20Application.pdf> ).
- b. Plans and exhibits required for the specific approvals sought.
- c. A written statement or letter explaining how the application satisfies each and all of the relevant criteria and standards in sufficient detail.
- d. Information demonstrating compliance with all prior decision(s) and conditions of approval for the subject site, as applicable.
- e. The required fee.

The Ashland Land Use Ordinance in its entirety may be accessed on-line at: <https://ashland.municipal.codes/LandUse>

**PLAN & EXHIBIT REQUIREMENTS:** *Two (2) copies of the plans below – as applicable to the final proposal - on paper no larger than 11"x 17". Note: These copies may be used for the Planning Commission packets and for the notices mailed to neighbors - please submit clear, readable, reproducible copies.*

- Two (2) Copies of the materials required for a Partition as detailed in chapter 18.5.3.040
- Two (2) Copies of the materials required for a Variance as detailed in chapter 18.5.5.040
- Two (2) Copies of the materials required for a Performance Standard Subdivision Outline Plan approval as detailed in chapter 18.3.9.040.A.2 and A.4.
- Two (2) Copies of the materials required for a Performance Standard Subdivision Final Plan approval as detailed in chapter 18.3.9.040.B.4.
- Two (2) Copies of the materials required for a Site Design Review approval as detailed in chapter 18.5.2.040.
- Two (2) Copies of the materials required for P&E Permit approval as detailed in chapter 18.3.10.040
- Two (2) Copies of a Tree Protection Plan as required chapter 18.4.5.030.
- Two (2) Copies of the plans required for a Tree Removal Permit as required in chapter 18.5.7.030

**RELEVANT CRITERIA AND STANDARDS:** *Applicants are advised that in addition to required plans, written findings addressing how the ordinance criteria are satisfied in narrative format are required. The applicable criteria are included below.*

- Two (2) copies of written findings addressing the criteria from section 18.5.3.050 & 18.5.3.060 for a Land Partition.
- Two (2) copies of written findings addressing the criteria from section 18.5.5.050 for a Variance.
- Two (2) copies of written findings addressing the criteria from section 18.3.9.040.A.3 for

Outline Plan approval.

- Two (2) copies of written findings addressing the criteria from section 18.3.9.040.B.5 for Final Plan approval.
- Two (2) copies of written findings addressing the Cottage Housing Standards in section 18.2.3.090
- Two (2) Copies of written findings addressing the criteria for Site Design Review approval detailed in chapter 18.5.2.050.
- Two (2) copies of written findings addressing the criteria from section 18.4.6.020.B.1 for an Exception to Street Standards (*if applicable to the final proposal*).
- Two (2) Copies of written findings addressing the criteria for P&E Permit approval detailed in chapter 18.3.10.050 (*if applicable to the final proposal*).
- Two (2) copies of written findings addressing the criteria from section 18.5.7.040.B.2. for Tree Removal Permit to remove a tree that is not a hazard (*if applicable to the final proposal*).

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**NEXT APPLICATION DEADLINE:** First Friday of each month  
**UPCOMING PLANNING COMMISSION MEETING:** Second Tuesday of each month

<b>FEES*:</b>	Partition	\$1,092 + \$72.50 per unit
	Variance (Type I/Type II)	\$1,092/\$2,190.75
	Outline Plan Approval:	\$2,190.75 + \$143.25 per lot
	Residential Site Design Review	\$1,092 + \$72.50 per unit
	P&E Review Permit (if applicable)	\$1,092
	Property Line Adjustment	\$ 361.25
	Demolition ( <i>if applicable</i> ):	\$ 361.25
	Exceptions ( <i>if applicable</i> ):	\$ 0
	Tree Removal Permits ( <i>if applicable</i> ):	\$ 0

**\*NOTES:**

Applications are accepted on a first come-first served basis. All applications received are reviewed by staff, and must be found to be complete before being processed or scheduled at a Planning Commission meeting. Applications will not be accepted without a complete application form signed by the applicant(s) and property owner(s), all required materials and full payment. Applications are reviewed for completeness in accordance with ORS 227.178, and the first COMPLETE applications submitted are processed at the next available Planning Commission meeting.

**For further information, please contact:** April 15, 2020  
 Derek Severson, *Senior Planner*  
 Phone: 541-552-2040/ E-mail: [derek.severson@ashland.or.us](mailto:derek.severson@ashland.or.us)

## Public Works/Engineering 2020 Pre-Application Comments (Updated)

1. **Engineered Plans** - Where public improvements are required or proposed, the applicant's engineer shall submit design plans for approval of all public improvements identified on the approved plan or as specified in conditions of approval. One set of these civil plans MUST be submitted DIRECTLY to the Public Works/Engineering Department. All design plans must meet the City of Ashland Public Works Standards. Engineered construction plans and specifications shall be reviewed and signed by the Public Works Director, prior to construction. All public facilities within the development will be designed to the City of Ashland Engineering Design Standards for Public Improvements. The engineered plans shall also conform to the following:
  - If drawings are submitted to the City of Ashland digitally, they shall be true scale PDF drawings. If AutoCAD drawings are also submitted, they shall be compatible with the AutoCAD release being used by the City at that time and shall be located and oriented within the Oregon State Plain Coordinate System (NAD83-89).
  - Drawings sizes shall comply with ANSI-defined standards for page width and height. Review drawings may be submitted in B size (11x17). Bidding and construction documents may also be printed at B size; however, all final as-constructed drawings must be submitted to scale on D-size (24x36) Mylar. Digital files of the as-constructed drawings shall also be submitted. Drawings shall be drawn such that reduction of plans from full size (D sized) to half size (B sized) can be done to maintain a true scale on the half-sized plans.
2. **Street Improvement** – No additional street improvements, beyond those necessary to comply with City Street Standards, will be required at this time. The applicant proposed improvements must be reviewed and permitted by the City of Ashland Engineering Department.
3. **Right of Way** – No additional right of way dedication, beyond that necessary to comply with City Street Standards, will be required at this time.
4. **Sanitary Sewer** - The property is currently served by an 8-in sanitary sewer main in Oak Street. The applicant proposed improvements must be reviewed, approved and permitted by the City of Ashland Engineering Department.
5. **Water** - The property is currently served by a 6-in water main in Oak Street. City of Ashland Water Department shall tap existing water main and install any new water services and water meter boxes that are proposed by development. City of Ashland Water Department must be contacted for availability, placement and costs associated with the installation of the new water service. Service & Connection Fees will also be required for any new water services installed as part of this project.

6. **Storm Drainage** - The property is currently served by a 24-in storm sewer main in Oak Street. City of Ashland Engineering Department must review an engineered storm drainage plan.

### **Storm Water Facility Design Requirements**

Projects that will create or replace 5,000 square feet or more of new impervious surface (buildings, roads, parking lots, etc.) area that discharges to an MS4, must comply with the requirements of the DEQ MS4 General Permit phase 2. Below are additional requirements of the City of Ashland which either differ from or are additional to the MS4 General Permit phase 2.

- All storm water detention facilities must have an overflow structure capable of safely passing the 25-year storm to an approved storm water facility. Peak flow for destination requirements may be calculated using the Rational Method with an ODOT Zone 5 IDF curve for a 10-year storm event (25-year storm event for bypass calculations), or any other comparable method. The flow calculations are the same as described in the RVSWDM for flow control measures.
- The default value for pre-development peak flow shall be 0.25 CFS per acre.
- Detention volume shall be sized for the 25-year, 24-hour peak flow and volume.
- An overflow spillway shall be provided to convey the 25-year peak flow for systems receiving up to 50 CFS, and 100-year peak flow for systems receiving more than 50 CFS.
- Water Quality BMPs shall provide at least 80% removal of bacteria and TSS (75 microns and larger).
- Conveyance for drainages less than 300 acres shall be sized to carry the ODOT Zone 5, 25-year event.
- Culverts with flows greater than 50 CFS shall be sized to carry the ODOT Zone 5, 50-year event.
- Existing wetlands, natural drainage ways, and open spaces shall be preserved from development to provide their natural flow attenuation, retention, or detention of runoff by providing a buffer.
- The grading plan shall indicate the direction of flow of all surface flows, including those on to and from adjoining properties. Site grading shall be designed to provide positive drainage away from all buildings and structures except those designed to withstand flooding in accordance with the building code standards for flood-proofing. Freeboard shall be specified on the grading plan per AMC 15.10.

- Bridges, Culverts & other flow limiting structures in or near riparian areas shall be permitted in accordance with the agency's requirements in AMC 18.3.10.080. Removal/fill permits shall be submitted with the plans.

7. **Erosion & Sediment Control** - The following requirements shall be met:

- All ground disturbances exceeding 1,000 square feet shall implement an Erosion and Sediment Control Plan (ESCP).
- A 1200-C permit will be secured by the developer where required under the rules of the Oregon State DEQ. City of Ashland Engineering Department must receive a copy of this permit before any construction shall begin.
- Erosion Prevention and Sediment control measures that meet the minimum standards set forth by the City of Ashland Public Works/Engineering Standard Drawing CD282 must be in place before any construction related to the project begins.
- Pollution, track out, and sediment dumping into storm water are strictly prohibited per AMC 9.08.060.
- Drainage from automotive use areas shall be limited to oil concentrations of 10 mg/l by a pre-approved means.
- Trash storage areas shall be covered or provide additional storm water treatment by an approved means.
- Off street parking areas shall conform to Ashland Municipal Code 18.4.3.080.B.5, including provisions to minimize adverse environmental and microclimatic impacts.

8. **Driveway Access** – No additional improvements/requirements will be requested at this time, but the applicant proposed improvements must be reviewed and permitted by the City of Ashland Engineering Department.

9. **Permits** – Any construction or closure within the public right of way will require a Public Works permit and before any work in the right of way commences all necessary permits MUST be obtained

10. **As-Builts** - Where public improvements are required or completed, the developer shall submit to the City of Ashland, reproducible as-built drawings and an electronic file of all public improvements constructed during and in conjunction with this project. Field changes made during construction shall be drafted to the drawings in the same manner as the original plans with clear indication of all modifications (strike out old with new added beside). As-built drawings shall be submitted prior to final acceptance of the construction, initiating the one-year maintenance period.

11. **Addresses** – Any new addresses must be assigned by City of Ashland Engineering Department.

**Ashland Fire & Rescue 2019 Pre-Application Comments (No New Comments Provided)**

**Date:** 10-10-2019  
**Project Address:** 822 Oak St  
**Permit Number:** PreApp-2019-00150  
**Project Description:** Cottage Units  
**AF&R Contact:** Ralph Sartain  
541-552-2229  
[ralph.sartain@ashland.or.us](mailto:ralph.sartain@ashland.or.us)

Fire department comments are based upon the 2014 Oregon Fire Code as adopted by the Ashland Municipal Code, and Ashland Land Use Laws:

**Reference Description - Comments**

**505.1 Addressing** - New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained.

**505 Multi-Unit Address Sign** - The developer must provide a minimum access address sign. A pre-approved address sign can also be utilized.

**OFC 503.2.8 Fire Apparatus Access Approach** -The angle of approach at the point where the public road transitions to the private fire apparatus access road must meet the City of Ashland Engineering Department specifications.

**OFC 503.2.1 Fire Apparatus Access** -More than Three Residential Lots -If the furthest point on the structures is greater than 150' from the street, the entire length of the private drive or street must meet fire apparatus access. Fire apparatus access shall have a 20-foot-wide driving surface constructed of an all-weather driving surface. Fire apparatus access must support 60,000 pounds, no parking, have a maximum slope of 10 percent, and have vertical clearance of 13' 6". The required width of a fire apparatus access road shall not be obstructed in any manner, including parking of vehicles. With the installation of fire sprinklers, 200' of the driveway is allowed to have an 18 percent slope. Inside turning radius is at least 20 feet and outside turning radius is at least 40 feet and must be indicated on site plans submitted for building permits. Fire apparatus access is required to be signed as "No Parking-Fire Lane". Final plat needs to indicate that the private drive is fire apparatus access and must state that it cannot be modified without approval of Ashland Fire & Rescue

**Fire Apparatus Access** -Shared Access Easement-If a fire apparatus access road crosses onto or over another property owners parcel, an easement must be obtained to provide access for fire apparatus. Easement language needs to include wording that indicates that the shared access easement may not be modified, removed, or obstructed in any way without prior written approval from Ashland Fire and Rescue.

**OFC Appendix D 105 as amended by AMC 15.28.070 K & L Aerial Ladder Access** – Structures exceeding 24 feet in height above the lowest level of fire apparatus access are required to provide access roads capable of accommodating fire department aerial apparatus. These access roads are required to be 26 feet in width in the immediate vicinity of the building.

**D105.1** Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

**D105.2** Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

**D105.3 Proximity to building** - At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

**D105.4 Obstructions** - Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official.

**OFC 503.1.1 Firefighter Access Pathway** – An approved footpath around the structure is required so that all exterior portions of the structure can be reached with the fire hose. Any changes in elevation greater than two feet in height (such as retaining walls) require stairs. The stairs shall be an all-weather surface, and meet the requirements as specified in the Oregon Structural Specialty Code.

**Fire Apparatus Turn Around** - An approved fire apparatus turnaround may be required for this project. Fire apparatus access roads greater than 150 feet in length are required to provide a fire apparatus turn around. The turnaround must be identified in an approved manner with "No Parking-Fire Lane" signs and must remain clear at all times. Please refer to the City of Ashland Minimum Turn-Around Standards diagram to determine which layout works best for your project.

**Fire Flow** – Fire flow is determined by table B105.1 in Appendix B of the Oregon Fire Code. An increase or reduction as referenced by this code section may be required or allowed. Square footage of a structure for the purpose of determining fire flow includes all areas under the roof including

garages, covered decks, basements and storage areas. A fire flow reduction of up to 75% can be allowed with the installation of a fire sprinkler system.

**AMC Fire Hydrant Spacing** - The allowable distance between hydrants on new streets serving residential or commercial properties shall not exceed 350 feet.

**AMC Fire Hydrant Distance to Structures** - Hydrant distance is measured from the hydrant, along a driving surface, to the approved fire apparatus operating location. Hydrant distance shall not exceed 300 feet. Hydrant distance can be increased to 600 feet if approved fire sprinkler systems are installed.

**507.5 Reflectors** - Fire hydrants with reflectors may be required for this project.

**507.5 Hydrants Before Construction** - The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

**507.5.5 Fire Hydrants Clearance** - Hydrants must have 3 feet of clearance extending from the center nut of the hydrant all the way around. Fences, landscaping and other items may not obstruct the hydrant from clear view. Hydrants must be shown on site plan when submitting for building permits.

**OFC 503.1.1 Fire Sprinkler System** – The installation of a fire sprinkler system may be an acceptable means to mitigate deficiencies related to other fire requirements such as fire flow, hose reach, fire lane width, fire apparatus turn-around, distance to fire hydrants, and fire department work areas.

**Gates and Fences** – Obstructions such as gates, fences, or any other item which would block or reduce the required fire apparatus access width must be shown on the plans and approved by Ashland Fire and Rescue.

**Wildfire Hazard Areas** – On lands designated in the Wildfire Lands Overlay, a “Fuel Break” as defined in Ashland Municipal Code, section 18.3.10.100 is required.

**AMC 18.3.10.100 Wildfire Hazard Areas** - All structures shall be constructed or re-roofed with Class B or better non-wood roof coverings, as determined by the Oregon Structural Specialty Code. No structure shall be constructed or re-roofed with wooden shingles, shakes, wood-product material or other combustible roofing material, as defined in the City's building code.

**Vegetation** – existing and intentionally planted vegetation is required to meet AMC 18.3.10.100B(2) General Fuel Modification Area Standards. The Fire Wise landscaping brochure provides diagrams and examples of how to meet these requirements. [www.ashlandfirewise.org](http://www.ashlandfirewise.org). Contact Ashland Fire & Rescue Forestry Division for a fuel break inspection.

**Fire Season** – If work will be completed during fire season, check fire season fire prevention requirements found at [www.ashland.or.us/fireseason](http://www.ashland.or.us/fireseason).

**Accessory Residential Units in Wildfire Hazard Areas** - Accessory Residential Units on land zoned RR in the Wildfire Hazard Areas are required to install a residential fire sprinkler system.

### **Construction General Information/Requirements**

- Development shall comply with access and water supply requirements in accordance with the *Oregon Fire Code in effect at the time of development submittal. Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (fire hydrants) is required to be installed prior to construction when combustible material arrives at the site.*
- *Specific fire protection systems may be required in accordance with the Oregon Fire Code. This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on information provided only.*
- *Design and installation shall meet the Oregon requirements of the International Fire, Building, Mechanical Codes and applicable NFPA Standards.*

Final determination of fire hydrant distance, fire flow, and fire apparatus access requirements will be based upon plans submitted for Building Permit review. Changes from plans submitted with this application can result in further requirements. Any future construction must meet fire code requirements in effect at that time. The fire department contact for this project is Fire Marshal Ralph Sartain. He may be contacted at (541) 552-2229 or [ralph.sartain@ashland.or.us](mailto:ralph.sartain@ashland.or.us).