

Note: Anyone wishing to speak at any Planning Commission meeting is encouraged to do so. If you wish to speak, please rise and, after you have been recognized by the Chair, give your name and complete address for the record. You will then be allowed to speak. Please note that the public testimony may be limited by the Chair and normally is not allowed after the Public Hearing is closed.

**ASHLAND PLANNING COMMISSION
SPECIAL MEETING
MAY 27, 2014
AGENDA**

- I. **CALL TO ORDER:** 7:00 PM, Civic Center Council Chambers, 1175 East Main Street.

- II. **ANNOUNCEMENTS**

- III. **AD-HOC COMMITTEE UPDATES**

- IV. **PUBLIC FORUM**

- V. **TYPE II PUBLIC HEARING**
 - A. **PLANNING ACTION: 2014-00307**
SUBJECT PROPERTY: 777 Oak Street
OWNERS: Martha Howard-Bullen
DESCRIPTION: A request for a Physical and Environmental Constraints Review and Water Resource Protection Zone Reduction Permit approval to construct a new 3,414 square foot, single-story single family residence. The application also requests a Conditional Use Permit approval for a 615 square foot Accessory Residential Unit for the property located at 777 Oak Street. The property is subject to the Physical Constraints and Water Resource permits due to the location of the proposed development within the adopted floodplain for Ashland Creek. The existing approximately 720 square foot residence on the site is proposed to be retained and added onto with the new construction. The application includes a request to remove 13 trees on site. COMPREHENSIVE PLAN DESIGNATION: Single Family Residential; ZONING: R-1-5; ASSESSOR'S MAP/TAX LOTS: 39 1E 04CA 2707.
Continued from May 13, 2014 Meeting. – Public Hearing is Closed.

- VI. **OTHER BUSINESS**
 - A. Election of Officers.

- VII. **ADJOURNMENT**

**CITY OF
ASHLAND**



In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development office at 541-488-5305 (TTY phone is 1-800-735-2900). Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting (28 CFR 35.102-35.104 ADA Title 1).

777 Oak Street

Please bring the 777 Oak Street (PA-2014-00307) materials from the May 13 packet with you to the meeting.

If you need a replacement copy please contact April Lucas at 541-552-2041 or email april.lucas@ashland.or.us



**ASHLAND PLANNING DIVISION
STAFF REPORT
Addendum
May 27, 2014**

PLANNING ACTION: 2014-00307

APPLICANT: Martha Howard-Bullen

LOCATION: 777 Oak Street

ZONE DESIGNATION: R-1-5

COMPREHENSIVE PLAN DESIGNATION: Single Family Residential

APPLICATION DEEMED COMPLETE: April 4, 2014

120-DAY TIME LIMIT: October 1, 2014

ORDINANCE REFERENCE:

- 18.20 R-1 Single Family Residential District
- 18.62 Physical and Environmental Constraints
- 18.63 Water Resource Protection Zone
- 18.104 Conditional Use Permits

REQUEST: A request for a Physical and Environmental Constraints Review permit and Water Resource Protection Zone Reduction approval to construct a new 3,414 square foot, single-story single family residence with an approximately 775 square foot garage. The application also requests a Conditional Use Permit approval for a 615 square foot Accessory Residential Unit for the property located at 777 Oak Street. The application includes a request to remove 13 trees on site.

I. Background

The application was continued from the May 13, 2014 Planning Commission meeting due to concerns regarding whether the proposal complied with the criteria for a Physical and Environmental Constraints Review Permit for Floodplain Development. The applicant submitted a revised proposal at the meeting. The Planning Commission continued the meeting to the May 27, 2014 meeting date in order for there to be time for staff and the Commission to review the revised proposal. The applicant provided a 60-day extension of the 120 day decision period, extending the application to October 1, 2014.

A. Description of Revised Proposal

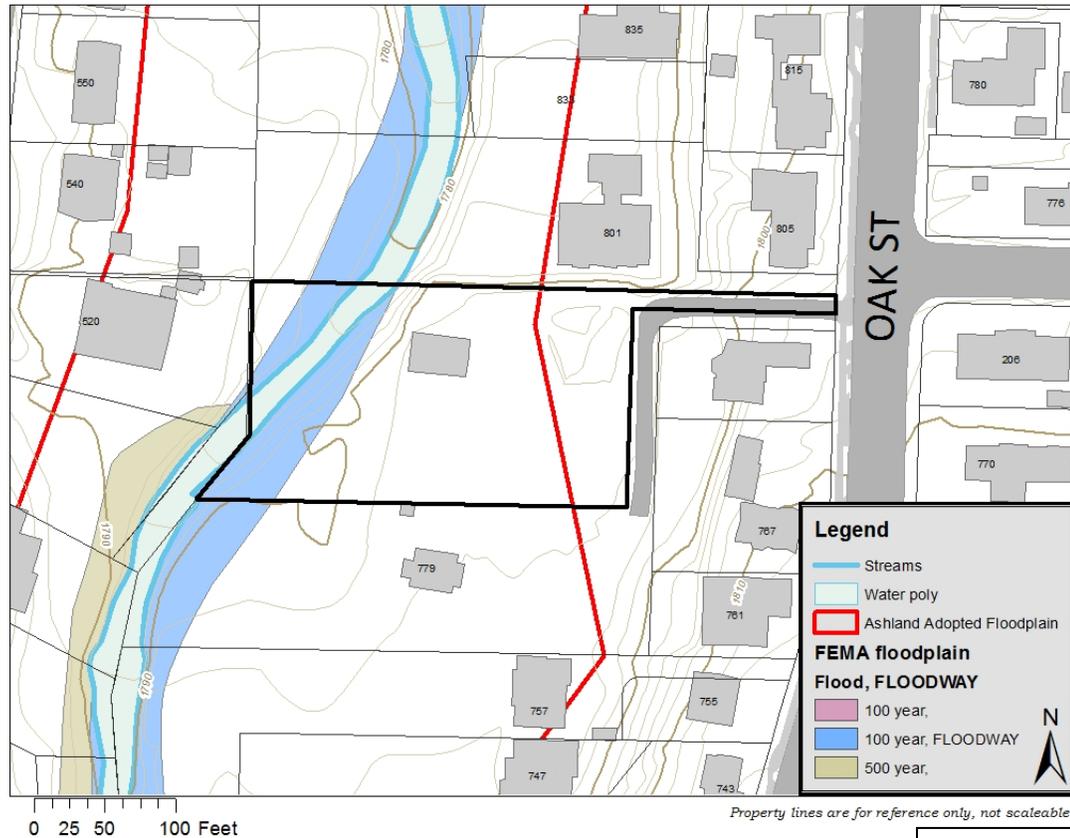
The revised proposal shifts the new primary residence, outdoor areas, garage, and parking to the east, away from Ashland Creek by 15-feet, but the revised location

remains entirely within the Floodplain Corridor. The revised proposal also includes the demolition of the existing 720 square foot vacant single family residence. Finally, the applicant's revised findings state that the change in the proposed home location removes all structures from the Water Resource Protection Zone.

II. Project Impact

Based on the record of decision from the adoption of the Ashland Floodplain Corridor, staff does not concur with the applicant's assertion that the Floodplain Corridor line was drawn for insurance purposes only. The Ashland Floodplain Corridor line does not have any implications on whether a property owner is required to carry flood insurance. Flood protection insurance is required by Federal law on structures within the Federally Emergency Management Agency (FEMA) 100-year floodplain.

The Ashland Floodplain Corridor was adopted in 1989 by the City Council, and the decision to include area on either side of the FEMA Floodplain was to minimize risk to life and damage to private property and public infrastructure. The decision was based on documented accounts which depicted erratic behavior of floodwaters. The erratic flooding is due to the high velocity of the floodwaters that carry large pieces of debris which plugged culverts and redirected floodwaters. Water naturally follows the path of least resistance and meanders to create that course. Ashland's Floodplain Corridor takes into account the natural meandering forces of waters which were not accounted for when FEMA created the federal floodplain maps. The Ashland Floodplain Corridor does not merely establish a flood elevation. Rather, the findings discuss the width of the Ashland Floodplain Corridor was established to provide a setback from the flood source. Additionally, the adoption of development regulations for the Ashland Floodplain Corridors was in response to public safety issues posed by development in proximity to creeks with potential for flooding. Protections for the floodplain corridors are adopted in the City of Ashland Comprehensive Plan.



Figure

Above is a map, [Figure 1](#), with the elevation contours of the subject site demonstrating the “benches” created by the movement of floodplain waters through the site. There are four benches or drops in elevation between Oak Street and Ashland Creek.

The subject property is a flag lot. At Oak Street, the elevation of the lot located between Oak Street and the subject parcel is 1,804 feet. As a result, the neighboring residences adjacent to Oak Street are located on the first and highest “bench”.

Moving to the west down the driveway, the grade drops eight feet. The front property line of the subject site is 1,793 feet, which is ten feet lower than the street. This is the second “bench”. The Ashland Floodplain Corridor boundary is at 1,793 feet.

The elevation of the third “bench” is 1,792 feet and is located approximately 141 feet west of the front property line. The fourth “bench” is the final drop to the creek bank.

III. Decision Points

A. Physical and Environmental Constraints Review for Floodplain Development

The property is subject to the Physical and Environmental Constraints Review permit due proposed development occurring within the boundaries of the Floodplain Corridor Lands

for Ashland Creek. The lot is approximately 44,524 square feet. Of that, approximately 36,044 square feet is within the Floodplain Corridor and 8,480 square feet is outside of the Floodplain Corridor. According to the applicant's findings, approximately 90 percent of the property is within the Floodplain.

1. Placement of Structure

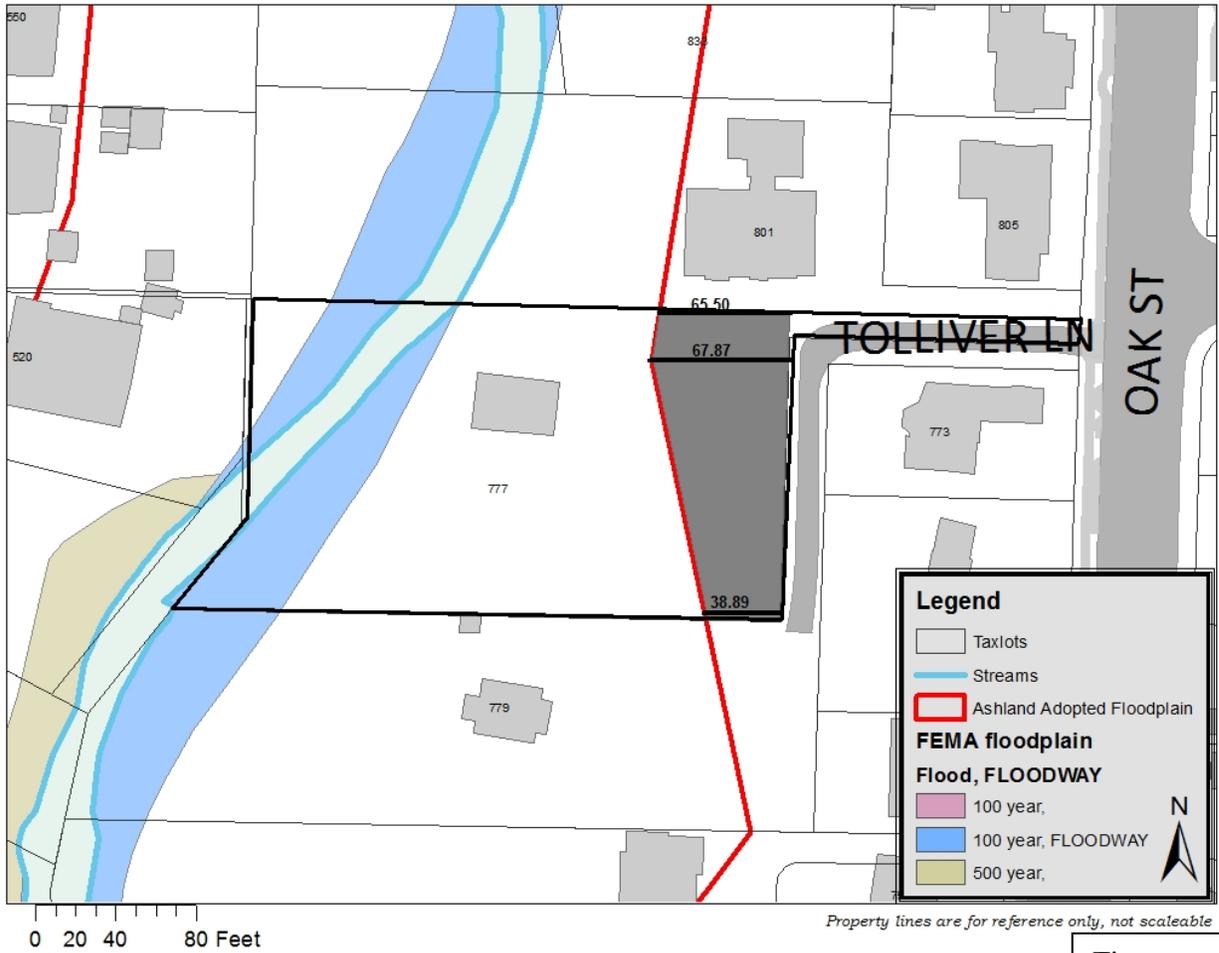
The development standards for floodplain corridor lands require residential structures to be placed outside Floodplain Corridor lands to the maximum extent feasible

AMC 18.62.070.E

To the maximum extent feasible, structures shall be placed on other than Flood plain Corridor Lands. In the case where development is permitted in the Flood plain corridor area, then development shall be limited to that area which would have the shallowest flooding.

The subject lot includes a buildable area approximately 8,500 square feet in size (grey area on Figure 32) which is outside of the Floodplain Corridor. See Figure 32 on the following page. The revised application does not address why the proposed residence cannot be moved away from the source of flooding. The revised proposal locates the primary residence, garage, parking and outdoor areas entirely within the Floodplain Corridor. The application does not address the criteria from AMC 18.62.070.E.

Decision Point – *Does the application address why the proposed residence cannot be located to the maximum extent feasible on land outside of the Floodplain Corridor, and therefore meet the development standard for floodplain corridor lands in 18.62.070.E?*



Figure

Placement (continued)

The development standards for floodplain corridor land also have a provision for development when more than 50 percent or more of the lot is within the floodplain.

AMC 18.62.070.F.

Existing lots with buildable land outside the Flood plain Corridor shall locate all residential structures outside the Corridor land, unless 50% or more of the lot is within the Flood plain Corridor. For residential uses proposed for existing lots that have more than 50% of the lot in Corridor land, structures may be located on that portion of the Flood plain corridor that is two feet or less below the flood elevations on the official maps, but in no case closer than 20 feet to the channel of a Riparian Preservation Creek identified on the official maps adopted pursuant to section 18.62.060. Construction shall be subject to the requirements in paragraph D above.

A variety of development standards for the floodplain corridor may apply to a property given the lot configuration, zoning, and creation date. As a result, the applicable standards may overlap. Typically, overlapping standards are not independently applied when evaluating an application, but rather worked through in a hierarchal fashion. According to the code, whichever imposes the more stringent restrictions shall prevail.

AMC 18.62.020

Where this Chapter and any other ordinance, easement, covenant or deed restriction conflict or overlap, whichever imposes the more stringent restrictions shall prevail. It is likely that there will be some overlap between the regulations in this Chapter and those in Chapter 18.63 Water Resources. Where two (2) regulations are in conflict, the most stringent shall govern.

The applicant's findings address that approximately 90 percent of the property is within the floodplain. The findings go on to address the proposed construction as a replacement of previous non-conforming structures. According to the applicant, there were three structures which were utilized as residences. The City records find that there was one residence and two outbuildings, a barn and art studio on the site totaling approximately 1,680 square feet in area. Two structures were removed and with the revised proposal the existing vacant 720 square foot residence on the site will also be removed. According to the applicant, the existence of these structures provides justification of replacement residence in a similar location.

Generally, when non-conforming structures are removed, new construction must comply with the setback requirements and any other applicable requirements.

Staff questions the validity of replacement considering the area of existing non-conforming, vacant residence is 720 square feet. The proposed building area is approximately 4,170 square feet in size or more than 5 times the area covered by the existing non-conforming residence. Additional new areas of disturbance in the Floodplain Corridor include the significantly larger residence, garage, parking area and various outdoor living areas.

Decision Point – *Does the existing non-conforming structure justify locating the proposed residence in the Floodplain Corridor? If so, is the more than doubling of the area of disturbance in the Floodplain Corridor resulting from the proposed home and garage footprint reasonable?*

B. Water Resource Protection Zone reduction -

Ashland Creek is a federal, state and locally protected fish bearing stream. It is the highest order of stream in the City of Ashland and has a 50 foot from the top of bank

Riparian Protection Zone, from here on described as the Water Resource Protection Zone (WRPZ).

The applicant has stated that the revised proposal eliminates the request for a Water Resource Protection Zone reduction. The applicant's finding also state that the proposed patio, at rear of residence, northwest corner of the structure, will comply with the porous solid surface patio exemption.

AMC 18.63.060.B.4

Outdoor patio areas consisting of porous solid surfaces up to 150 square feet in size per lot, but not including decks, may be constructed in the upland half of the riparian buffer furthest away from the stream.

Porous solid surfaces are defined in the Ashland Municipal Code as a permeable surface built with an underlying stone reservoir that temporarily stores surface runoff before it infiltrates into the subsoil. Porous solid surfaces include pervious asphalt, pervious concrete, grass or permeable pavers.

Without details regarding the patio, it is difficult for staff to discern if the standards are met. Based on the elevation of the structure (1794.6) and the elevation of grade (1793.15), there is a low wall and an area noted of up to 12-inches of fill and stairs to get from grade to the patio deck. The patio does not appear to meet the standard because there appears to be fill under the patio area in order to raise it to the height necessary to exist the residence. The presence of fill would indicate that the patio is not a porous solid surface. Additionally, there is a wall around the patio which is not permitted in the WRPZ.

There is ample lot area outside of the WRPZ where the residence could be located and, the intent is for new construction to move away from the WRPZ.

Decision Point – *Does the proposed patio comply with the standard for exemption from the Water Resource Protection Zone ordinance and the definition of a porous solid surface?*

As noted in the previous staff report, the applicant has proposed to restore and enhance the remaining WRPZ by eliminating a previously constructed holding pond area, removal of non-native noxious plant material and the removal of dead/dying trees. The applicant's landscape architect has provided a detailed landscaping plan for the site showing re-vegetation of the site utilizing a mixture of native, riparian zone appropriate plant materials. The landscaping plan will need be revised to address the modified site layout. A condition to this effect has been added.

The amended application retains the proposed request to remove 13 trees on site. The proposed Conditional Use Permit approval for an accessory residential unit is also retained in the amended proposal and no modifications to the tree removal or Conditional Use Permit request are included in the application. The discussion of the compliance of these items is addressed in the May 13, 2014 staff report.

III. Procedural - Required Burden of Proof

The criteria for Physical and Environmental Constraints approval are described in 18.62.040 as follows:

The following criteria shall be used to approve or deny an application:

- A. All applicable City ordinances have been met or will be met by the proposed development.
- B. All requirements of the Site Review Chapter have been met or will be met.
- C. The development complies with the Site Design Standards adopted by the City Council for implementation of this Chapter.
- D. That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property. All improvements in the street right-of-way shall comply with the Street Standards in Chapter 18.88, Performance Standards Options. (Ord. 2655, 1991; Ord 2836 S6, 1999)

The criteria for an reduction to the Water Resource Protection Zone are described in 18.72.090 as follows:

- A. There is a demonstrable difficulty in meeting the specific requirements of the Site Design Standards due to a unique or unusual aspect of the proposed use of a site;
- B. Approval of the variance will not substantially negatively impact adjacent properties;
- C. Approval of the variance is consistent with the stated purpose of the Site Design and Use Chapter; and
- D. The variance requested is the minimum variance which would alleviate the difficulty.

The criteria for a Conditional Use approval are described in AMC Chapter 18.72.070, as follows:

- A. That the use would be in conformance with all standards within the zoning district in which the use is proposed to be located, and in conformance with relevant Comprehensive plan policies that are not implemented by any City, State, or Federal law or program.
- B. That adequate capacity of City facilities for water, sewer, paved access to and through the development, electricity, urban storm drainage, and adequate transportation can and will be provided to and through the subject property.
- C. That the conditional use will have no greater adverse material effect on the livability of the impact area when compared to the development of the subject lot with the target use of the zone. When evaluating the effect of the proposed use on the impact area, the following factors of livability of the impact area shall be considered in relation to the target use of the zone:
 - 1. Similarity in scale, bulk, and coverage.

2. Generation of traffic and effects on surrounding streets. Increases in pedestrian, bicycle, and mass transit use are considered beneficial regardless of capacity of facilities.
3. Architectural compatibility with the impact area.
4. Air quality, including the generation of dust, odors, or other environmental pollutants.
5. Generation of noise, light, and glare.
6. The development of adjacent properties as envisioned in the Comprehensive Plan.
7. Other factors found to be relevant by the Hearing Authority for review of the proposed use.

The criteria for an Accessory Residential Unit are described in AMC Chapter 18.20.030.H, as follows:

- H. Accessory residential units, subject to the Type I procedure and criteria, and the following additional criteria:
 1. The proposal must conform with the overall maximum lot coverage and setback requirements of the underlying zone.
 2. The maximum number of dwelling units shall not exceed 2 per lot.
 3. The maximum gross habitable floor area (GHFA) of the accessory residential structure shall not exceed 50% of the GHFA of the primary residence on the lot, and shall not exceed 1000 sq. ft. GHFA.
 4. Additional parking shall be in conformance with the off-street Parking provisions for single-family dwellings of this Title.

IV. Conclusions and Recommendations

The primary issue with the proposal remains the building placement. The applicant has not addressed the floodplain development standards for locating proposed residences to the maximum extent feasible outside of the Ashland Floodplain Corridor. Specifically, the application does not address the buildable area located outside the Ashland Floodplain Corridor. Though the lot has more than 50 percent of the parcel in the Ashland Floodplain Corridor, the standards do not guarantee the replacement of existing nonconforming structures in the protected area. The modified proposal appears to have encroachments into the Water Resource Protection Zone which do not meet the exemption requirements. There is ample lot area outside of the WRPZ which could be utilized for development.

Staff believes the application as proposed should not be approved because it does not demonstrate compliance with the Floodplain Development Standards.

There is a possibility of another continuance for the applicant to make additional modifications and demonstrate compliance with the Floodplain Development Standards

based on the direction of the Planning Commission. With the previously provided 60-day extension, additional time from the applicant would not be necessary at this time.

Should the Commission believe adequate information and facts are provided to approve the project, Staff recommends the following conditions.

- 1) That all proposals of the applicant shall be conditions of approval unless otherwise modified here.
- 2) That building permit submittals shall include:
 - a) Structural engineering demonstrating the single family residence can be retained and added on-to shall be provided at the time of building permit submittals.
 - b) The new residence shall demonstrate compliance with Solar Setback Standard A. The building permit submittals shall include identification of the highest shadow producing point, identification of the height of the shadow producing point from natural grade and the solar setback measurement called out to the north property line.
 - c) That individual lot coverage shall not exceed 50 percent of the lot area in accordance with the lot coverage regulations of the zoning district. Lot coverage calculations including all impervious surfaces shall be provided with building permit submittals.
 - d) That the Fire Department requirements for Fire Apparatus Access shall be complied with either through the installation of a fire truck turnaround or fire sprinklers. Evidence of compliance shall be provided for with the building permit submittals.
 - e) That a revised landscaping and irrigation plan shall be provided with the building permit submittals. The landscaping and irrigation plan shall comply with the native plant material requirements for the Water Resource Protection Zone and the City of Ashland, landscaping and irrigation plan requirements.
- 3) That prior to the issuance of a building permit:
 - a) Tree protection fencing shall be installed according to the approved Tree Protection Plan prior to any site work, storage of materials or permit issuance. The tree protection shall be chain link fencing six feet tall and installed in accordance with 18.61.200.B.
 - b) A Tree Verification Permit shall be applied for and approved by the Ashland Planning Division prior to permit issuance, site work, building demolition, and/or storage of materials. The Verification Permit is to

inspect installation of tree protection fencing for the trees to be retained on site, and on adjacent properties.

- c) The FEMA Floodplain boundary shall be identified on site and protected with silt fencing, and the installation of this silt fencing at the Floodplain line shall be inspected and approved by the Staff Advisor prior to the issuance of a building permit.
- 4) That prior to the issuance of a certificate of occupancy:
- a) That the lowest habitable floor elevation shall be a minimum of one foot above the 100 year Floodplain level and shall be certified (by a registered surveyor) at two-feet above the FEMA base flood elevation or at or above the City of Ashland Flood Plain Corridor elevation, whichever is greater, in compliance with 18.62.070.D.
 - b) There shall be at least three off-street parking spaces situated in such a manner as to eliminate the necessity for backing out installed on site. These parking spaces shall be shown on the building permit submittals for the primary residence, and shall be installed prior to the issuance of a certificate of occupancy for the new primary residence.
 - c) Two additional parking spaces shall be installed on site in such a manner to eliminate the necessity for backing out prior to the issuance of the certificate of occupancy for the Accessory Residential Unit.
 - d) The driveway area shall be signed as a no parking, fire apparatus access land if deemed necessary by the Fire Department and the building official to maintain required fire apparatus access. The vegetation along the driveway shall be pruned to achieve a width of 20-feet wide and 13.6-foot vertical clearance.
 - e) That a separate electric meter for the accessory residential unit shall be installed in accordance with Ashland Electric Department requirements prior to issuance of the certificate of occupancy.
 - f) That an opportunity to recycle site shall be located on the site, or an individual recycle bin shall be provided to the accessory residential unit in conformance with 18.72.040 prior to issuance of the certificate of occupancy for the accessory residential unit.

**Amended Findings of Fact
for
Physical & Environmental Constraints Review Permit
for
Development in Flood Plain Corridor
Water Resource Protection Zone
Conditional Use Permit for Accessory Residential Unit**

Subject Property:
777 Oak Street
Assessor's Map 391E 04CA Tax Lot 2707
Zoning R-1-5

Proposed Use:
Single family residence & Accessory Residential Unit

Submitted to:
City of Ashland Planning Department

Submitted for:
Martha Howard-Bullen

Prepared by:

Carlos Delgado
Carlos Delgado Architect LLC
217 Fourth Street
Ashland, Oregon 97520
541.552.9502

May 16, 2014

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Project Proposal:

The applicant is amending the original proposal for the Physical and Environmental Constraints permit (dated Feb 28, 2014) and per findings and presentation submitted at the May 13, 2014 Planning Commission meeting as per the following:

- 1) Replacing the existing structures on the property with the proposed replacement residence AND removing all structures from within the Water Resource Protection Zone. All patios designated in the Water Resource Protection Zone shall comply with area and pervious surface requirements.
(refer to site plan comparison demonstrating 15 foot shift toward Flood Plain Corridor boundary)
- 2) Proposed new location of the majority of the replacement residence is shifted 15 feet towards the City of Ashland Flood Plain Corridor Line.
(refer to site plan comparison demonstrating 15 foot shift toward Flood Plain Corridor boundary)
- 3) The applicant is requesting Planning Commissioners to make a visit to the site to review the proposed replacement residence location.
- 4) Neighboring property owners have verified that they are in support of this application.
- 5) In reference to the following ordinances additional findings are submitted as follows for the proposed replacement residence:

In reference to AMC section 19.62.070 Section F:

*[Existing lots with buildable land outside the Flood plain Corridor shall locate all residential structures outside the Corridor land, unless 50% or more of the lot is within the Flood plain Corridor. **For residential uses proposed for existing lots that have more than 50% of the lot in Corridor land, structures may be located on that portion of the Flood plain corridor that is two feet or less below the flood elevations on the official maps, but in no case closer than 20 feet to the channel of a Riparian Preservation Creek identified on the official maps adopted pursuant to section 18.62.060....]***

In reference to AMC section 19.62.070 Section E:

*[To the maximum extent feasible, structures shall be placed on other than Flood plain Corridor Lands. In the case where development is permitted in the Flood plain corridor area, then **development shall be limited to that area which would have the shallowest flooding.**]*

CRITERIA FOR APPROVAL: (refer to drawings and diagrams submitted)

- 1) The Ashland Municipal Code does not prohibit development within the Flood Plain Corridor (per sections cited above). It permits the development as proposed in this application without requiring variance proceedings. The applicant's property is approximately 90% within the Corridor land and the proposal is in compliance with the development standards as submitted. The applicant is proposing a reasonable and safer replacement residence.

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2) Potential impacts of the property and nearby areas have been considered and adverse impacts have been minimized:

- The applicant chose to hire a licensed surveyor to survey the entire site East of the creek for accuracy. This Surveyor, along with his colleagues are the authority in regards to topographic mapping in this and any other topography. Through this survey and historical data he verified the Ashland 100 year flood line was not encroached by the 1997 flood on this property and established the 'Top of Bank' and more importantly established the 50' Riparian Setback.
- The proposal creates less disturbance on the site utilizing existing infrastructure (locates of power, sewer, and water utilities)
- Minimal paving for required driveway and required fire truck turnaround by proposing garage location near flag driveway.
- Required paving for parking and fire-truck turnaround is best utilized in the area above the Ashland Flood Corridor line to best preserve land and lessen adverse impacts on the property
- By proposing a single residence and ARU, the applicant is reducing the potential impact to the property while full development of the property could comprise 3 tax lots with 3x the adverse impact (a 3 tax lot subdivision was previously approved in 1990 after the 1989 adoption of the Flood Plain Corridor ordinance).
- By proposing the removal of the non-compliant existing structure out of the Water Resource Protection Zone, the adverse impact is reduced as well as enhancing the safety of nearby areas. This is exemplary of the health and safety goals of the ordinance.

3) Consideration of the potential hazards that the development may create and implement measures to mitigate the potential hazards caused by the development.

- The applicant chose to design a linear single story home that is in-line with the creek flow and thus mitigates adverse impact against potential flooding.
- Due to the level topography of the site, shifting the replacement residence further to the east does not lessen potential hazards.
- The Design Flood Elevation of the replacement residence is 1 foot higher in elevation than required by Ashland City Ordinance (per FEMA regulations).
- The flood plain corridor was created in response to life safety issues posed by development in proximity to creeks. The applicant is mitigating potential hazards by removing (3) individual 1980's era residences with a combined area of 1,680 SF. These residences were not flood proof and posed an extreme hazard to downstream neighbors in a flood event. The proposed Replacement structure will meet all current flood code requirements.

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- The local condition of the creek and flow adjacent to the property should be taken into consideration. The direction of the creek flow and accelerated waterflow towards the west during a flood event would adversely affect the west properties rather than the applicant's property.

4) Applicant has taken reasonable steps to reduce the adverse impact on the environment.

- The applicant chose to design a linear single story home that is in-line with the creek flow and thus mitigates adverse impact against potential flooding.
- Proposed location avoids development under dripline of 55" diameter Poplar tree to ensure health of this natural attribute on the property as well as ensuring the existing soil stabilization.
- The applicant has hired a Landscape Architect to integrate the property into as natural setting as possible. The design ensures the restoration of the Riparian Zone and enhancement beyond requirements. She has conducted a complete tree survey using a licensed Arborist, is removing (4) dead trees within the WRPZ (these 4 are among the 13 to be removed) and she is planting 14 Native Riparian Zone appropriate and approved trees in their place and additional native plantings to stabilize the creek banks. She is also filling in a dry pond that was illegally built by a former land owner.

ENCLOSURES:

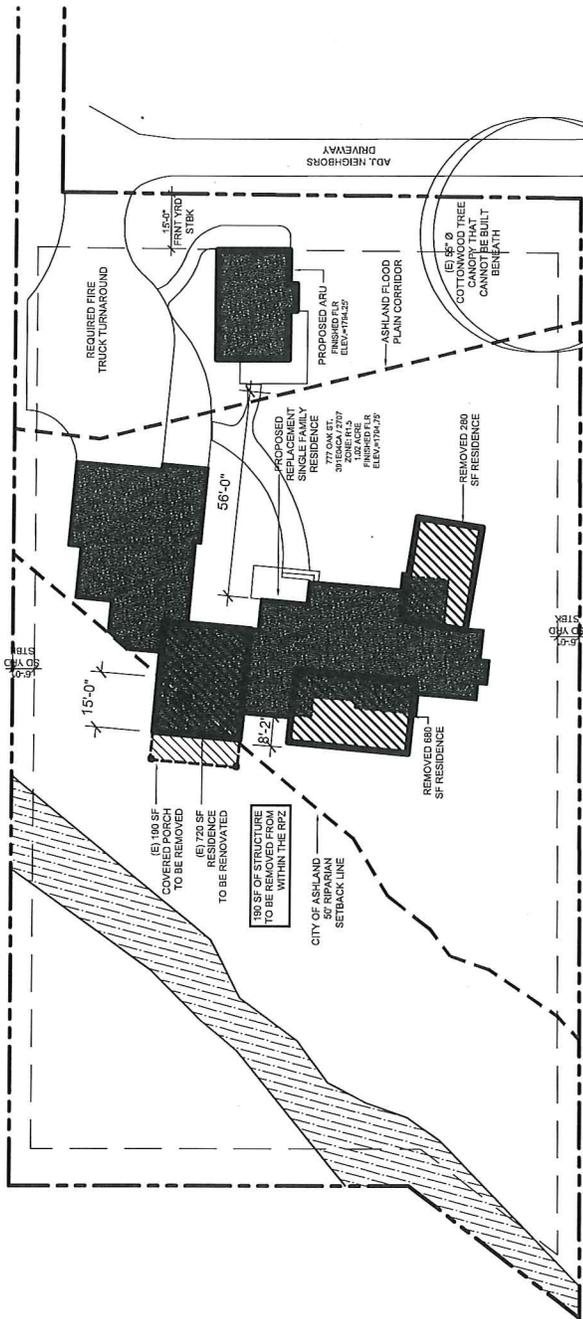
8.5 x 11 sheets

Comparative site plan submittals – revised proposal

11 x 17 sheets

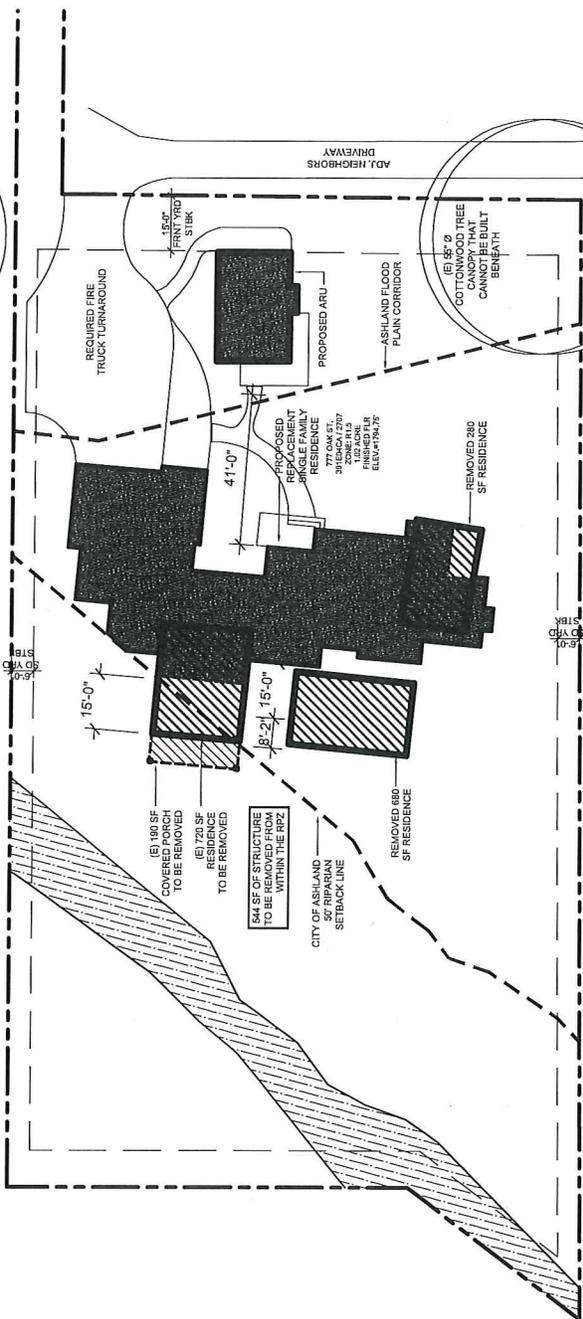
**EXISTING STRUCTURE and STRUCTURES PHOTOS
FLOOD LINE SITE PLAN and SITE SECTION
REVISED PROPOSAL SITE PLAN**

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PREVIOUS PROPOSED SITE PLAN

UTILIZING 84.7% OF (E) RESIDENCE EXTERIOR WALL LINES ALLOWABLE THROUGH BLDG CODE



REVISED PROPOSED SITE PLAN

MOVING ALL STRUCTURE TO THE WEST AND SHIFTING THE MAJORITY OF THE PROPOSED RESIDENCE 15' TO THE EAST TOWARD THE FLOOD PLAIN CORRIDOR LINE



05-16-2014

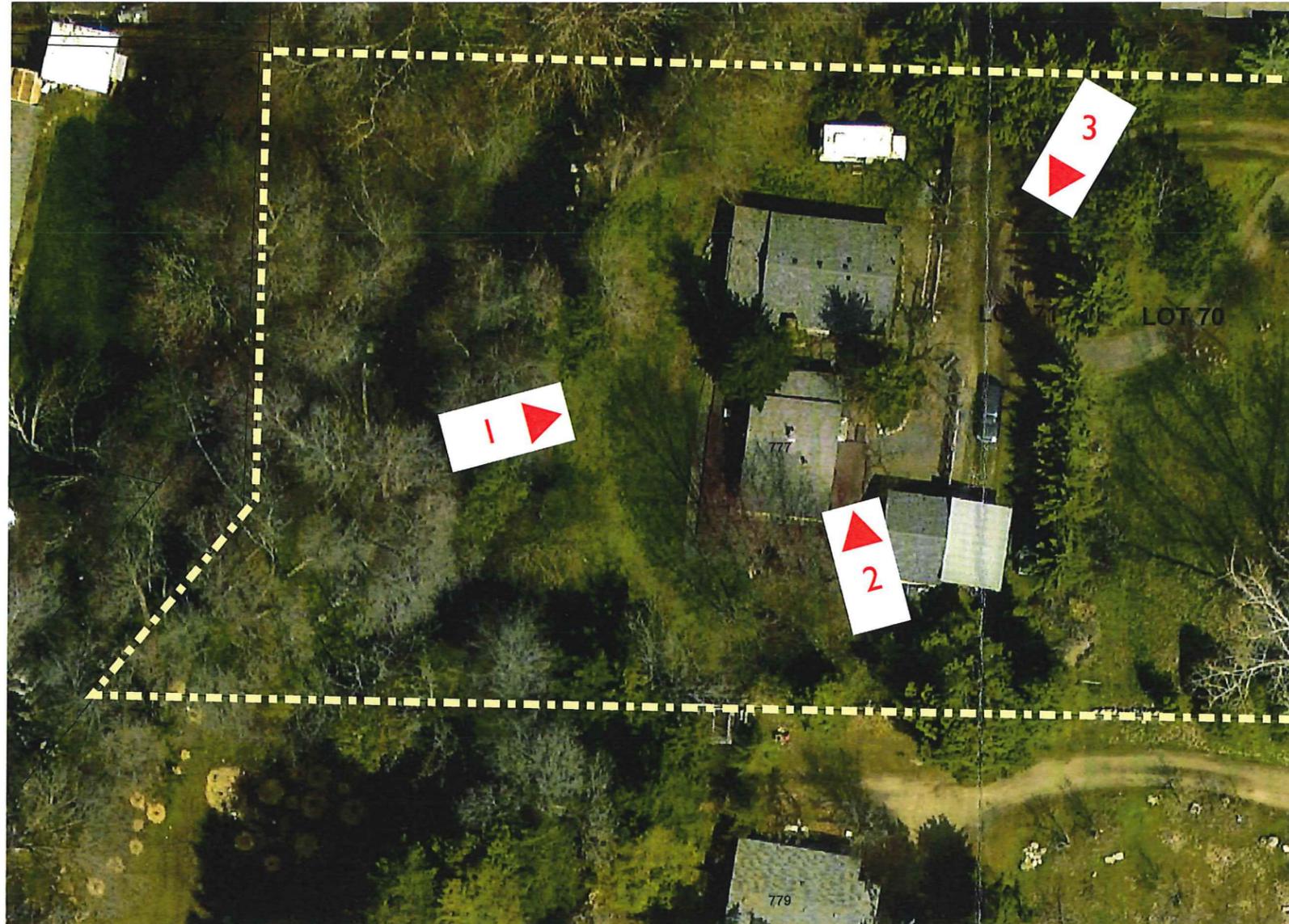
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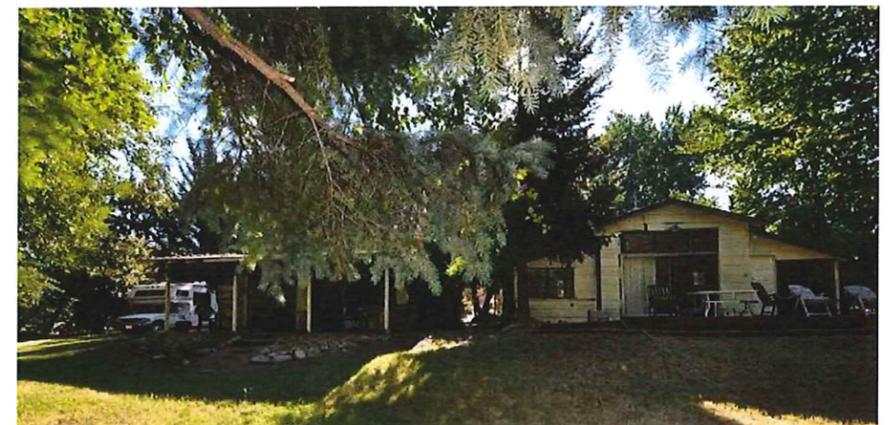
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VIEW 3



VIEW 2



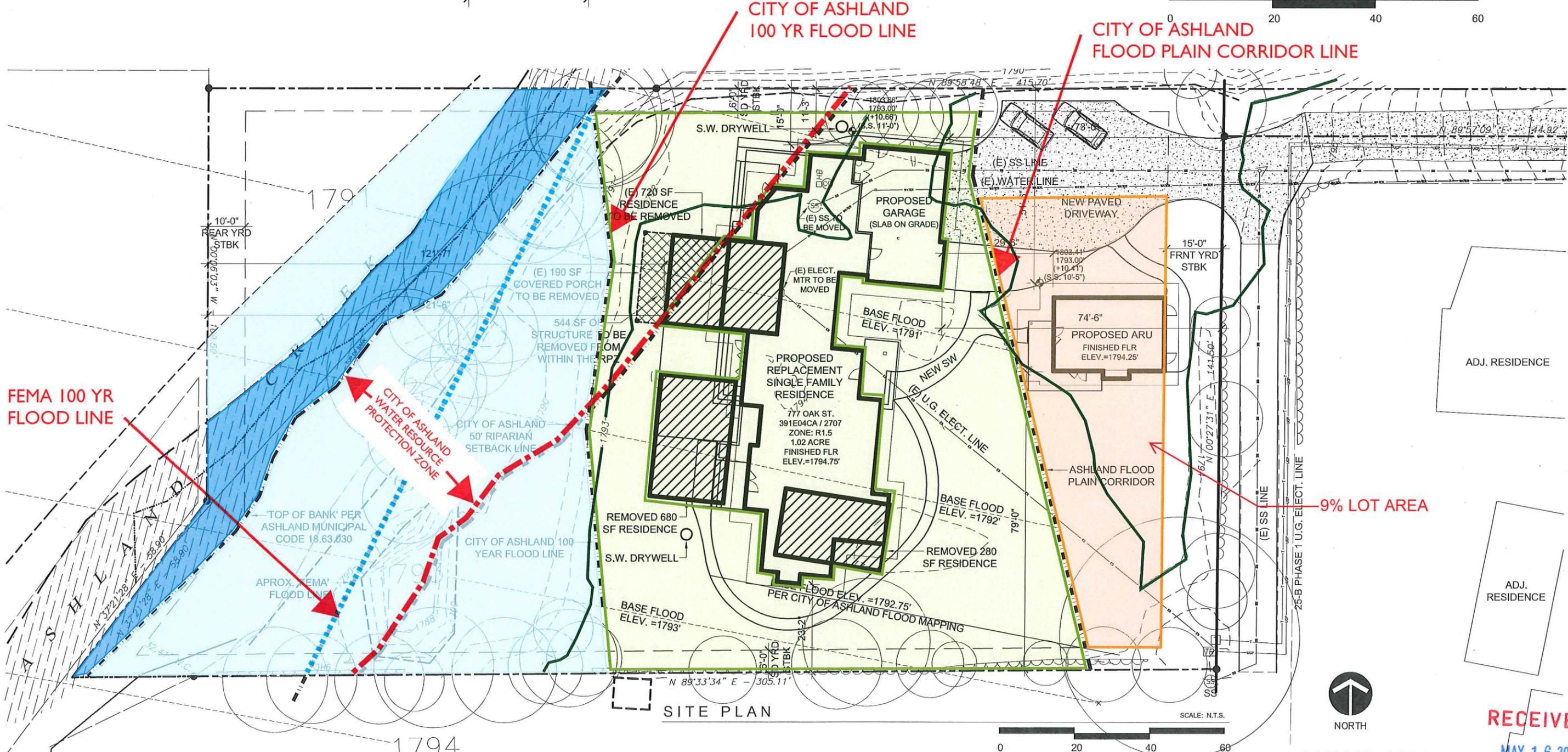
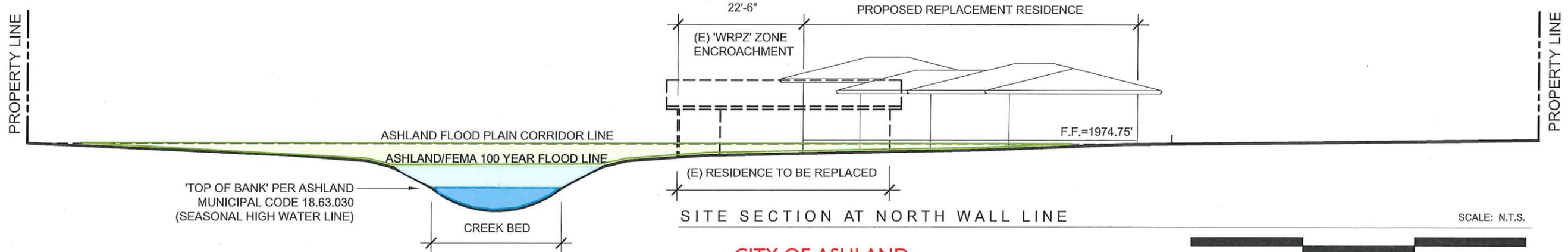
VIEW 1

777 OAK STREET - EXISTING STRUCTURE & PRE-EXISTING STRUCTURES

MAY 13, 2014

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MAY 13, 2014

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NEW PROPOSAL

- 1) RESIDENCE REPLACEMENT SHIFTED BEYOND WRPZ
- 2) MAJORITY OF RESIDENCE MOVED 15 FEET FURTHER FROM WRPZ BOUNDARY
- 3) ELIMINATE REQUEST TO TO REDUCE WRPZ BOUNDARY

GRADING CALCULATIONS FOR AREAS WITHIN THE ASHLAND CREEK FLOOD PROTECTION ZONE

BUILDING CONSTRUCTION AREA	
145.7 CY	STRUCTURAL FILL PROPOSED TO BE IMPORTED FOR BUILDING FOUNDATION AREA
80 CY	STRUCTURAL FILL AND PAVING PROPOSED TO BE IMPORTED FOR AREAS OUTSIDE OF THE BUILDING FOOTPRINT ON SITE FILL (GENERATED FROM BUILDING EXCAVATION) TO BE REUSED FOR NON-STRUCTURAL GRADING
80 CY	
305.7 CY	TOTAL PROPOSED FILL FOR DEVELOPED CONSTRUCTION SITE
347.4 CY	CUT PROPOSED FOR BUILDING FOUNDATION AREA
41.7 CY	REMAINING ALLOWABLE FILL AMOUNT GENERATED FROM BUILDING EXCAVATION (TO ACHIEVE NO NET GAIN)
RESTORATION POND AREA	
41.7 CY	ON SITE FILL (REMAINING FILL GENERATED FROM BUILDING EXCAVATION)
PROJECT TOTALS	
225.7 CY	HAUL OFF GENERATED FROM BUILDING EXCAVATION
0 CY	NET CUT / FILL

LEGEND:

— (P) 225' —	PROPOSED CONTOUR MINOR
— (P) 2250 —	PROPOSED CONTOUR MAJOR
FS	FINISH SURFACE
FG	FINISH GRADE
TW	TOP OF WALL
TS	TOP OF STEP
BS	BOTTOM OF STEP
LP	LOW POINT



GRADING PLAN

Laurie Sager
 AND ASSOCIATES LANDSCAPE ARCHITECTS INC
 700 MISTLETOE ROAD, SUITE 201
 ASHLAND, OREGON 97520



Revision Date:
 Drawn By: CB
 11x17 Scale 1" = 20'-0"
 24x36 Scale 1" = 10'-0"

HOWARD - BULLEN RESIDENCE
 777 OAK STREET
 ASHLAND, OREGON

L-3.0

RECEIVED
 MAY 16 2014

MAY 13, 2014