



Council Business Meeting

March 05, 2024

Agenda Item	Contract for 2024 Alice Peil Stairway Replacement	
From	Jason Strait PE Scott Fleury PE	Project Manager Public Works Director
Contact	jason.strait@ashland.or.us Scott.fleury@ashland.or.us	
Item Type	Requested by Council <input type="checkbox"/> Update <input type="checkbox"/> Request for Direction <input checked="" type="checkbox"/> Presentation <input type="checkbox"/>	

SUMMARY

Before the Council is a request to approve a public improvement contract with Adroit Construction to install a replacement Alice Peil Stairway. Bids were received from three contractors with Adroit Construction providing the low bid at \$182,200 . If the contract is approved staff will work with the contractor to develop a schedule to perform onsite activities during the Spring and early Summer of 2024.

POLICIES, PLANS & GOALS SUPPORTED

City Council Goals, Visions and Values:

- Public Safety
- Quality infrastructure and facilities through timely maintenance and community investment

Department Goals:

- Maintain existing infrastructure to meet regulatory requirements and minimize life cycle costs.
- Deliver timely life cycle capital improvement projects.
- Maintain and improve infrastructure that enhances the economic vitality of the community.
- Evaluate all city infrastructure regarding planning management and financial resources.

PREVIOUS COUNCIL ACTION

N/A

BACKGROUND AND ADDITIONAL INFORMATION

The Alice Peil Stairway has served the citizens of Ashland as a shortcut from Granite Street to the Plaza since the mid-1930s when the Peil family first installed the stairway and adjoining walkway as a private means to quickly travel from their home at 52 Granite Street to their business on the Plaza. After the Peils gifted the stairway and walkway to the City, they became public right of ways that are used frequently by local pedestrians today.

The stairs were repainted and a skid/slip proof tread enhancement was done in 2008. Since that time weather related degradation (rust) has created unsafe conditions for continued use of the stair system and its replacement is needed. Public Works staff worked with ZCS Engineering to develop a replacement design and construction documents for the stairs and worked with the Planning Department on required permitting approvals for the project. This approval process also including coordination with the Historic





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Preservation Advisory Committee, who at their February 7, 2024 meeting approved the design with a recommendation to incorporate a light fixture near the top of the stairs.

Bid Process

The invitation to bid for the Alice Peil Stairway Replacement Project was posted on OregonBuys, Oregon's procurement network on January 17, 2024. Notice was given in the Daily Journal of Commerce and placed on the City's website the following day. Bids were received on February 20, 2024, with three contractors submitting bids. All bids were deemed responsive and contained the required bonds, documentation and acknowledgements. Bidding information is shown on the attached bid summary form (Attachment #1).

PROJECT DESCRIPTION:

Remove and replace the existing Alice Peil Stairway. Some changes were made from the original stair layout to bring the stairs into compliance with modern design codes (including broader stairs and updated handrails on both sides) and to incorporate modern materials where beneficial, while maintaining the fundamental steel design and function. The new stairs will also utilize design elements of nearby public spaces.

FISCAL IMPACTS

The Alice Peil Stairway Replacement is funded through the miscellaneous facility improvements within the Capital Improvement Plan. There is adequate funding for this project.

ALTERNATIVE OPTIONS

Do Nothing – The stairs are in poor condition with rust holes in the tread and peeling paint. If this option is chosen staff would recommend safety reviews on a periodic basis to ensure the risk to the public remains acceptable.

Repair Existing Stairs – See attachment #4 below for additional information on this option.

Remove Stairs and Abandon Walkway – Means of pedestrian travel from Granite to the Plaza exist in close proximity to the stairway. Removing the stairway and permanently closing the walkway would save the cost of building a new stairway and eliminate future maintenance and replacement costs. This option would require additional research as the stair and pathway are Historic Contributing on the National Register of Historic Places.

SUGGESTED NEXT STEPS

Next steps include issuing a notice to proceed after award of contract and coordinating the schedule of work activities with Adroit Construction. Notification in the City Newsletter will be issued in March and planning notifications, including placing signs at the top and bottom of the stairway have been completed.

Staff will continue to work with the City's Communication Officer about posting appropriate information on the City's website to update the public on when construction activities will be occurring as the stairs will be closed for access during this time.



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ACTIONS, OPTIONS & POTENTIAL MOTIONS

- I move to award a public improvement contract to Adroit Construction for Project No. 2019-09 Alice Peil Stairway Replacement Ivy Morton Waterline, in the amount of \$182,200.
- I move to deny the contract with Adroit Construction
- I move to deny the contract with Adroit Construction and request Public Works perform a new solicitation for the Alice Peil Stairway Replacement.
- I move to deny the contract with Adroit Construction and request Public Works issue a new solicitation to repair the existing Alice Peil Stairway.
- I move to deny the contract with Adroit Construction and request Public Works investigate abandoning the Alice Piel Stairs and Pathway.

REFERENCES & ATTACHMENTS

Attachment #1 – 20240220 2019-09 Bid Summary Final

Attachment #2 – Adroit Construction Bid

Attachment #3 – ZCS Engineering Drawings

Attachment #4 – Memo – Replace vs. Rehab

CITY OF ASHLAND - ENGINEERING DIVISION

SUMMARY OF PROPOSALS

Project: Alice Peil Stairway Replacement
 Project No.: 2019-09
 Date of Bid Opening: February 20, 2024 at 2:00 PM

Corrected Engineer's Estimate: Not Available
 No of Addenda: 0

	1	2	3	4	5
Name of Bidder & Address	Adroit Construction 185 Mistletoe Rd Ashland OR 97520	4K Contractors PO Box 2105 Battle Ground WA 98604	Vitus Construction PO Box 1097 Gold Hill OR 97525		
Sum of Bid	\$182,200	\$298,500	\$190,325		
Add Alternate (Grand Total)	NA	NA	NA		
Name of Bonding Co.	Western Surety	Old Republic Surety	Markel Insurance		
Amount of Bid Bond.	10%	10%	10%		
Nos. of Addenda Acknowledged (should be 2)	NA	NA	NA		
Completed & Signed Bid Form (including subcontract disclosure)	Yes	Yes	Yes		
Responsive Bid?	Yes	Yes	Yes		



BID AND BID SCHEDULE

NAME OF BIDDER Adroit Construction Co., Inc.
CONTACT Jason Stranberg, President
ADDRESS 185 Mistletoe Road
CITY Ashland **STATE** OR **ZIP** 97520
TELEPHONE NO. (541) 482-4098
FAX NO. (541) 482-4218
EMAIL ADDRESS JasonS@adroitbuilt.com

To the Honorable Mayor and City Council
City Hall
City of Ashland
20 East Main Street
Ashland, Oregon 97520

In response to the City of Ashland’s Invitation to Bid, this Bid is submitted as an offer by the undersigned to enter into a contract with the City of Ashland for furnishing all permits, labor, tools, machinery, materials, transportation, equipment and services of all kinds required for, necessary for, or reasonably incidental to, the completion of all the work in connection with the Alice Peil Stairway Replacement Project No 2019-09 (hereinafter “Project”) for the City of Ashland, Oregon, as described in the contract documents, including the general conditions, all applicable special conditions, plans, specifications or any supplemental documents. This offer is subject to the following declarations as to the acts, intentions and understandings of the undersigned and the agreement of the City of Ashland to the terms and prices herein submitted.

1. The undersigned has familiarized itself with the nature and extent of the Contract Documents, the project work, the site, the locality, the general nature of work to be performed by the City or others at the site that relates to the project work required by the Contract Documents, local conditions, and federal, state, and local Laws and Regulations that in any manner may affect cost, progress, performance, or furnishing of the project work.
2. The undersigned has obtained and carefully studied (or assumes responsibility for obtaining and carefully studying) examinations, investigation, exploration, tests, and studies which pertain to the conditions (subsurface or physical) at or contiguous to the site (including without limitation utility interference) or otherwise and which may affect the cost, progress, performance, or furnishing of the project work as Contractor deems necessary for the performance and furnishing of the project work at the Contract Price, within the Contract Times, and in accordance with the other terms and conditions of the Contract Documents; and no additional or supplementary examinations, investigations, explorations, tests, reports, or similar information or data are or will be required by Contractor for such purposes.

3. The undersigned has notified the City of any conflicts, errors, ambiguities or discrepancies discovered in the Contract Documents.
4. A voluntary pre-bid meeting will be held. The meeting will take place at 10:00 am on January 30, 2024 at location in Ashland (51 Winburn Way). All statements made by the Contracting Agency's representatives shall be non-binding upon the Contracting Agency unless confirmed by written addendum.
5. It is understood that the City shall investigate and determine the qualifications of the apparent low responsive bidder prior to awarding the contract. The City shall reject any bid by a nonqualified or disqualified bidder. The City of Ashland reserves the right to reject for any good cause any or all bids, waive formalities, or to accept any bid which appears to serve the best interests of the City. The City reserves the right to reject any bid not in compliance with all prescribed public bidding procedures and requirements and may reject all bids for good cause upon a finding that it is in the public interest to do so. Evaluation of bids will be based on minimum requirements established by the specifications and compliance with conditions of the Notice to Contractors and Invitation to Bid, and compliance with City public contracting rules. Additional evaluation criteria are as follows: Demonstrated previous experience with a similar scope of work. Please see paragraph 6 below.
6. As Pre-qualification the bidder shall submit a list of at least three (3) previous projects of a similar scope to that described in this ITB as part of their bid package.
7. The deadline to file a written protest or request, pursuant to the Instructions to Bidders to change contract terms, conditions or specifications is not less than ten (10) calendar days prior to bid opening. Bid closing may be extended by the City to consider a protest or request.
8. All of the contract documents, including all plans, specifications, and drawings have been examined and an examination of the site of the proposed work, together with such investigations as are necessary to determine the conditions to be encountered have been made by the undersigned and the terms and conditions of the contract and solicitation documents are hereby accepted, and that if this Offer is accepted, the undersigned will contract with the City of Ashland, Oregon, in a form substantially similar to that attached Agreement and agree to be bound to the terms and conditions of said contract and solicitation documents.
9. It is understood that the contract drawings may be supplemented by additional drawings and specifications in explanation and elaboration thereof and, if they are not in conflict with those referred to in paragraph 1 above, they shall have the same force and effect as though they were attached, and they shall be accepted as part of the contract when issued.
10. The undersigned agrees that upon written acceptance of this bid s/he will, within ten working days, of receipt of such notice, execute a formal contract agreement with the City. The undersigned further agrees that s/he will provide the following in order to execute the contract:
 - Performance Bond and Corporate Surety Payment Bond, both in the amount equal to 100% of the awarded contract;
 - Certificates of Insurance for Liability and property damage coverage;
 - Certificates of Coverage for Workman Compensation and unemployment insurance;
 - All other bonds, permits, licenses, information, etc. as required in the contract documents.
11. It is understood that all the work will be performed under a lump sum or unit price basis and that for the lump sum or unit price all services, materials, labor, equipment, and all work necessary to complete the project in accordance with the plans and specifications shall be furnished for the said lump sum or unit

price named. It is understood that the quantities stated in connection with the price schedule for the contract are approximate only and payment shall be made at the unit prices named for the actual quantities incorporated in the completed work. If there shall be an increase in the amount of work covered by the lump sum price, it shall be computed on a basis of "extra work" for which an increase in payment will have been earned and if there be a decrease in the lump sum payment, it shall be made only as a result of negotiation between the undersigned and the Owner. Furthermore, it is understood that any estimate with respect to time, materials, equipment, or service which may appear on the plans or in the specifications is for the sole purpose of assisting the undersigned in checking the undersigned's own independent calculations and that at no time shall the undersigned attempt to hold the Owner, the Engineer, or any other person, firm or corporation responsible for any errors or omissions that may appear in any estimate.

12. The undersigned submits the unit prices as those at which he will perform the work involved. The extensions of the column headed "ITEM TOTAL" are made for the sole purpose of facilitating bid comparisons and if there are any discrepancies between the unit prices and the total amount shown, the unit prices shall govern.
13. The undersigned agrees to furnish labor, tools, machinery, materials, transportations, equipment and services of all kinds required for, necessary for, or reasonably incidental to, construction of this Project with all appurtenant work as required by the plans and specifications of this Offer for the unit or lump sum prices in the "BID SCHEDULE".
14. In stating prices, it is understood that the prices include all materials and work required to complete the project in accordance with the Contract Documents, the plans and the specifications. If any material, item, or service required by the plans and specifications has not been mentioned specifically in the "BID SCHEDULE," the same shall be furnished and placed with the understanding that the full cost to the City has been merged with the several prices stated in the "BID SCHEDULE."
15. The City reserves the right to cancel this solicitation or to reject any and all bids in whole or in part when the cancellation or rejection is in the best interests of the City as determined by the City in accordance with ORS 279B.100
16. The foregoing prices shall include all labor, materials, equipment, overhead, profit, insurance, and all other incidental expenses to cover the finished work of the several kinds called for.
17. The undersigned shall furnish bonds required by the specifications and comply with the laws of the Federal Government, State of Oregon and the City of Ashland which are pertinent to construction contracts of this nature even though such laws may not have been quoted or referred to in the specifications.
18. Accompanying this Offer is a certified check, cashier's check or a bid bond, for the sum of Bid Bond of 10%, payable to the City of Ashland, Oregon, this being an amount for ten percent (10%) of the total bid based upon the estimate of quantities at the above price according to the conditions of the advertisement. If this Offer is accepted by the City and the undersigned fails to execute a satisfactory contract and bonds as stated in the Advertisement within ten (10) working days from the date of notification, then the City may, at its option, determine that the undersigned has abandoned the contract and there upon this Offer shall be considered null and void, and the bid security accompanying this Offer shall be forfeited to and become the property of the City of Ashland. If the bid is not accepted, the bid security accompanying this Offer shall be returned to the undersigned.
19. The undersigned agrees to comply with the provisions of ORS 279C.800 to 279C.870, the Oregon Prevailing Wage law. The undersigned, as bidder, acknowledges that provisions of ORS 279C.800 to 279C.870 relating to workers on public works to be paid not less than prevailing rate of wage shall be

included in the contract, or in the alternative, if the project is to be funded with federal funds and is subject to the Davis-Bacon Act (40 U.S.C. §276a), bidder agrees to comply with the Davis-Bacon Act requirements. The undersigned Contractor agrees to be bound by and will comply with the provisions of ORS 279C.838, 279C.840 or 40 U.S.C. 3141 to 3148. [OAR 137-049-0200(1)(a)(J)].

20. The undersigned certifies that the undersigned Contractor is not ineligible to receive a contract for a public work pursuant to ORS 279C.860 as well as the disqualification provisions of ORS 279C.440 and OAR 137-049-0370. Bidder further agrees, if awarded a contract, that every subcontractor will be eligible to receive a contract for a public work pursuant to ORS 279C.860.
21. The undersigned certifies that the undersigned Contractor has not discriminated against minority, women or emerging small businesses enterprises in obtaining any required subcontracts. The bidder understands and acknowledges that it may be disqualified from bidding on this public improvement project as set forth in OAR 137-049-0370, including but not limited to City discovery a misrepresentation or sham regarding a subcontract or that the Bidder has violated any requirement of ORS 279A.110 or the administrative rules implementing the Statute.
22. The undersigned agrees that the time of completion shall be defined in the special provisions.
23. The undersigned bidder is registered with the Oregon Construction Contractors Board (CCB), the registration is current and valid, and the bidder's registration number is stated below. [OAR 137-049-0230(1)] Bidder understands that failure to have a current CCB license shall result in rejection of this bid.
24. The undersigned bidder is licensed by the State Landscape Contractors Board, *if applicable*, the license is current and valid, and the bidder's registration number is stated below. [OAR 137-049-0200(1)(a)(K)] Bidder understands that failure to have a current LCB license shall result in rejection of this bid.
25. The undersigned is aware that no person may engage in any business within the City without first obtaining a City Business License and paying the fee prescribed pursuant to City of Ashland ordinance. The Contractor and their subcontractors shall obtain a City of Ashland Business License prior to beginning any work within the City of Ashland.
26. In determining the lowest responsible bidder, City shall, for the purpose of awarding the contract, add a percent increase on the bid of a non-resident bidder equal to the percent, if any, of the preference given to that bidder in the state in which the bidder resides. "Resident bidder" of Oregon means a bidder that has paid unemployment taxes or income taxes in this state during the 12 calendar months immediately preceding submission of the bid, has a business address in this state and has stated in the bid that the bidder is a "resident bidder" of the State of Oregon. The undersigned represents him/her self in this bid to be either a Resident or a Nonresident bidder by completing the appropriate blank below.
 - The Bidder is XX or is not _____ a Resident Bidder as defined in ORS 279A.120.
27. The undersigned hereby represents that no Councilor, Commissioner, officer, agency or employee of the City of Ashland is personally interested directly or indirectly in this Contract or the compensation to be paid hereunder and that no representation, statement or statements, oral or in writing, of the City, its Councilors, Commissioners, officers, agents or employees had induced him/her to enter into this Contract, and the papers made a part of its terms;
28. The undersigned has not directly or indirectly induced or solicited any person to submit a false or sham bid or refrain from bidding. The undersigned certifies that this bid has been arrived at independently and submitted without connection with any person, firm or corporation making a bid for the same material and is, in all respects, fair and without collusion or fraud.

29. The undersigned confirms that this firm has a Qualified Drug Testing Program for employees in place and will demonstrate this prior to award of contract. [OAR 137-049-0200(1)(c)(B)]
30. The undersigned confirms that if this contract involves asbestos abatement or removal, the bidder is licensed under ORS 468A.710 for asbestos removal.
31. The City of Ashland may waive minor informalities, reject any bid not in compliance with all prescribed public bidding procedures and requirements, and may reject for good cause any or all bids upon a finding that it is in the public interest to do so.
32. The undersigned confirms that this offer is not contingent upon City's acceptance of any terms and conditions other than those contained in this Solicitation and the Contract Documents.
33. The undersigned, by the act of submitting a bid, affirms that the undersigned has investigated and is satisfied as to the site subsurface condition to be encountered, as to the character, quality and quantities of work to be performed and materials to be furnished, and as to the requirements of the Contract.
34. The bidder understands that the City reserves the right to make changes to the Notice to Contractors / Invitation to Bid and the resulting contract by written addenda, prior to the closing time and date. Addenda will be posted to the OregonBuys website for download. The bidder must check the OregonBuys website frequently until closing.

The bidder acknowledges that the Addendum(s) listed below have been reviewed online or a copy obtained and considered as part of the submittal of this Offer and Bid Schedule.

ADDENDUM NUMBER **0** THROUGH **0** HAVE BEEN REVIEWED

35. The bidder understands that the City will be awarding the contract to the Responsible Bidder with the lowest Responsive Bid per OAR 137-049-0200(1)(b)(C). Whether a bidder is responsible will be determined by ORS 279C.375 and the City's completion of the attached Bidder Responsibility Determination Form (Exhibit L).
36. Instructions for First-Tier Subcontractors Disclosure.
Bidders are required to disclose information about certain first-tier subcontractors (those subcontractors contracting directly with the bidder) when the contract price exceeds \$100,000 (see ORS 279C.370). Specifically, when the contract amount of a first-tier subcontractor is greater than or equal to: (i) 5% of the project bid, but at least \$15,000, or (ii) \$350,000 regardless of the percentage, bidder must disclose the following information about that subcontract within two working hours of bid closing:
 - The subcontractor's name and address;
 - The subcontractor's Construction Contractor Board registration number, if one is required, and;
 - The subcontract dollar value.

If you will not be using any subcontractors that are subject to the above disclosure requirements, you are required to indicate "NONE" on the form.

THE CITY WILL REJECT A BID IF THE BIDDER FAILS TO SUBMIT A PROPERLY COMPLETED DISCLOSURE FORM WITHIN TWO HOURS OF BID CLOSING.

THIS DOCUMENT SHALL NOT BE FAXED. IT IS THE RESPONSIBILITY OF BIDDERS TO SUBMIT THIS DISCLOSURE FORM AND ANY ADDITIONAL SHEETS BY THE DEADLINE.

The disclosure should be submitted on the First-Tier Subcontractor Disclosure Form attached to this Invitation to Bid.

37. Bidder Information and Signature

Adroit Construction Co., Inc.
Firm Name of Bidder


Signature of Bidder

Jason Stranberg
Printed Name of Bidder

President
Official Title

Oregon
State of Incorporation

44384
CCB Number

Dated this 20th day of February 2024 .

Name of Bidder Adroit Construction Co., Inc.

Address 185 Mistletoe Road; Ashland, OR 97520

Telephone No. (541) 482-4098

Bid Item	Item Description	Unit	Bid Qty	Unit Price	Total Line Price
1	Site Mobilization and De-mobilization	LS	1	14,400	14,400
2	Site Demolition	LS	1	42,520	42,520
3	Temporary Access Protection and Pedestrian Traffic Control	LS	1	6,800	6,800
4	Steel Fabrication	LS	1	57,300	57,300
5	Coating (to include touch up)	LS	1	8,400	8,400
6	Site Work	LS	1	20,860	20,860
7	Steel Erection	LS	1	7,420	7,420
8	Removal and Restoration of Ancillary Services	LS	1	22,000	22,000
9	Survey Work	LS	1	2,500	2,500

BID SCHEDULE

BID TOTAL

\$ 182,200

Jason Stranberg

ONE HUNDRED EIGHTY TWO THOUSAND TWO HUNDRED DOLLARS

Name of Authorized Representative

Total Written in Dollars

Authorized Representative Signature

02/20/2024
Date

Sample Projects

Sample Project 1

Project: Ashland High School Science Building Stair Replacement

Description: Replacement of 3 new Steel Staircases for the Science Building at Ashland High School

Completion Date: September 2023

Amount: \$1,093,200

Contact Name: Steve Mitzel, Ashland School District #5

Email: Steve.Mitzel@ashland.k12.or.us **Phone:** 541-482-2811

Sample Project #2

Project: Southern Oregon University, Replace Madrone Hall Stairs

Description: Stair and Sidewalk Replacement at Madrone Hall on the SOU Campus.

Completion Date: September 2023

Amount: \$66,700

Contact Name: Jim McNamara, SOU Facilities

Email: mcnamaraj@sou.edu **Phone:** 541-552-6700

Sample Project #3

Project: Heimann Cancer Center for Rogue Regional Medical Center

Description: Included construction of a 79,401 SF, three story medical building with 3 sets of Steel Stairs

Completion Date: January 2022

Amount: \$40,900,000 total construction, \$350,230 Stairs

Contact Name: Ron Slack, Asante Health Systems

Email: Ronald.Slack@asante.org **Phone:** 541-973-8783

EXHIBIT E: BONDS (BID, PERFORMANCE, PAYMENT)

Bid Bond

We, Adroit Construction Company, Inc., a corporation or partnership duly organized under the laws of the State of Oregon, and authorized to transact business in the State of Oregon, as "PRINCIPAL," and,

We, Western Surety Company, a corporation or partnership duly organized under the laws of the State of South Dakota, and authorized to transact business in the State of Oregon, as "SURETY,"

hereby jointly and severally bind ourselves, our respective heirs, executors, administrators, successors and assigns firmly by these presents to pay unto the City of Ashland, Oregon, (OBLIGEE) the sum of (\$ 10% of Bid Amount) Ten Percent of Bid Amount Dollars.

The condition of the obligation of this bond, is that the PRINCIPAL herein has in response to City's *Notice to Contractors and Invitation to Bid*, submitted its Offer for the **Alice Peil Stairway Replacement Project No. 2019-09**, which Offer is incorporated herein and made a part hereof by this reference, and Principal is required to furnish bid security in an amount equal to ten (10%) percent of the total amount of the bid pursuant to ORS 279C.365 and the City's public contracting rules and contract documents.

NOW THEREFORE, if the Offer, submitted by PRINCIPAL, is accepted, and if the Contract pursuant to the Offer is awarded to the PRINCIPAL, and if the PRINCIPAL executes such contract and furnishes such good and sufficient Performance and Payment Bonds as required by the Bidding and Contract documents within the time specified and fixed by the Documents, then this obligation shall be void; otherwise it shall remain in full force and effect. If the PRINCIPAL shall fail to execute the proposed Contract and to furnish the Performance and Payment Bonds, the SURETY hereby agrees to pay the OBLIGEE the surety bond sum as liquidated damages within ten (10) days of such failure.

IN WITNESS WHEREOF, we have caused this instrument to be executed and sealed by our duly authorized legal representatives this 16th day of February, 2024.

Western Surety Co. Adroit Construction Company, Inc.
Surety Principal
12909 SW 68th Pkwy, Suite 200, Portland,OR 97223 PO Box 609, Ashland, OR 97520
Address Address

By: [Signature] By: [Signature]
Susan Wilson Jason Stranberg, President
Attorney -in-Fact

[A certified copy of the Agent's Power of Attorney must be attached hereto.]

IMPORTANT – Surety companies executing BONDS must appear on the Treasury Department's most current list (Circular 570 as amended) and be authorized to transact business in the State of Oregon.

Western Surety Company

POWER OF ATTORNEY APPOINTING INDIVIDUAL ATTORNEY-IN-FACT

Know All Men By These Presents, That WESTERN SURETY COMPANY, a South Dakota corporation, is a duly organized and existing corporation having its principal office in the City of Sioux Falls, and State of South Dakota, and that it does by virtue of the signature and seal herein affixed hereby make, constitute and appoint

Barb Pinkham, Susan Wilson, Sheri Hamilton, Shantal Young, Sandy Orr, Tamara Silvers, Individually

of Medford, OR, its true and lawful Attorney(s)-in-Fact with full power and authority hereby conferred to sign, seal and execute for and on its behalf bonds, undertakings and other obligatory instruments of similar nature

- In Unlimited Amounts -

and to bind it thereby as fully and to the same extent as if such instruments were signed by a duly authorized officer of the corporation and all the acts of said Attorney, pursuant to the authority hereby given, are hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the By-Law printed on the reverse hereof, duly adopted, as indicated, by the shareholders of the corporation.

In Witness Whereof, WESTERN SURETY COMPANY has caused these presents to be signed by its Vice President and its corporate seal to be hereto affixed on this 31st day of March, 2023.



WESTERN SURETY COMPANY

Paul T. Bruflat

Paul T. Bruflat, Vice President

State of South Dakota }
County of Minnehaha } ss

On this 31st day of March, 2023, before me personally came Paul T. Bruflat, to me known, who, being by me duly sworn, did depose and say: that he resides in the City of Sioux Falls, State of South Dakota; that he is the Vice President of WESTERN SURETY COMPANY described in and which executed the above instrument; that he knows the seal of said corporation; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said corporation and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said corporation.

My commission expires
March 2, 2026



M. Bent

M. Bent, Notary Public

CERTIFICATE

I, L. Nelson, Assistant Secretary of WESTERN SURETY COMPANY do hereby certify that the Power of Attorney hereinabove set forth is still in force, and further certify that the By-Law of the corporation printed on the reverse hereof is still in force. In testimony whereof I have hereunto subscribed my name and affixed the seal of the said corporation this 16th day of February 2024



WESTERN SURETY COMPANY

L. Nelson

L. Nelson, Assistant Secretary

FIRST-TIER SUBCONTRACTOR DISCLOSURE FORM

INSTRUCTIONS

Instructions for Submitting Form

Submit the First-Tier Subcontractor Disclosure form in any of the following manners:

- Not later than two working hours after the time set for opening Bids. (For example, before 4:00 p.m. after a 2:00 p.m. Bid Opening.) Submit according to one of the following methods:
- Print the form from the Bid Booklet, fill it in, and:
 - Deliver to the following address where it can be time and date stamped

City of Ashland
Community Development and Engineering Services Building
51 Winburn Way
Ashland, OR 97520, or

Instructions for First-Tier Subcontractor Disclosure

If the bid for this project exceeds \$100,000 bidders are required to disclose information about first-tier subcontractors that will furnish labor or labor and materials (See ORS 279C.370) if the contract amount of a first-tier subcontractor is greater than or equal to: 1) 5% of the total bid or \$15,000, whichever is greater or 2) \$350,000, regardless of the percentage of the total project Bid.

- The name of the subcontractor
- The category of work that the subcontractor will be performing
- The dollar amount of the subcontract

If the Bidder will not be using any first-tier subcontractors as defined above, the Bidder is still required to submit the form, with the appropriate box checked or enter "NONE" on the first line.

THE AGENCY MUST REJECT BIDS if the Bidder fails to submit the disclosure form with this information by the stated deadline.

FIRST-TIER SUBCONTRACTOR DISCLOSURE FORM

Project Name Alice Peil Stairway

Project Number 2019-09

Bid Opening Date February 20, 2024

Name of Bidding Contractor Adroit Construction Co., Inc.

CHECK THIS BOX IF YOU WILL NOT BE USING ANY FIRST-TIER SUBCONTRACTORS OR IF YOU ARE NOT SUBJECT TO THE DISCLOSURE REQUIREMENTS (SEE INSTRUCTIONS)

Firm Name	G- FAB	Dollar Amount
Category of Work	STEEL FAB/ERECTOR	\$ 54,960

Firm Name	BELFOR	Dollar Amount
Category of Work	DEMO	\$ 34,390

Firm Name	INFINITY ELECTRIC	Dollar Amount
Category of Work	INFINITY ELECTRIC	\$ 18,895

Firm Name		Dollar Amount
Category of Work		

Firm Name		Dollar Amount
Category of Work		

Firm Name		Dollar Amount
Category of Work		

Firm Name		Dollar Amount
Category of Work		

(Attach additional sheets as necessary)

ALICE PEIL STEEL STAIRWAY

ASHLAND, OR 97520



45 Hawthorne Street, Suite 5, Medford,
Oregon 97504 | 541-600-8588

CITY OF ASHLAND
20 EAST MAIN STREET
ASHLAND, OR 97520

ALICE PEIL
STEEL STAIRWAY

CIVIL LEGEND

HATCHES & LINE TYPES:

	NEW CONCRETE PAVING - UN-REINFORCED
	EXISTING CONCRETE SIDEWALK
	EXISTING FENCING
	PROPERTY LINE
	EXISTING STORM SEWER
	EXISTING RETAINING WALL
	EXISTING IRRIGATION
	EXISTING NATURAL GAS
	EXISTING POWER - BURIED
	NEW POWER - BURIED
	EXISTING SURFACE CONTOUR - MAJOR
	EXISTING SURFACE CONTOUR - MINOR
	EXISTING BUILDING PARAPET

SYMBOLS (NEW):

	GRADE SPOT ELEVATION
	GRADING SLOPE
	SITE LIGHT

SYMBOLS (EXISTING):

	GRADE SPOT ELEVATION
	CATCH BASIN
	ROOF DOWNSPOUT LOCATION
	STORM DRAIN CLEANOUT
	POWER METER
	POWER VAULT
	POWER TRANSFORMER
	GAS METER
	SITE LIGHT
	IRRIGATION BOX

ABBREVIATIONS

ACI	AMERICAN CONCRETE INSTITUTE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
AISI	AMERICAN IRON AND STEEL INSTITUTE
APWA	AMERICAN PUBLIC WORKS ASSOCIATION
ASTM	AMERICAN STANDARD TEST METHOD
AWS	AMERICAN WELDING SOCIETY
AC	ASPHALT
BMP	BEST MANAGEMENT PRACTICE
BOS	BOTTOM OF STAIR
BOW	BOTTOM OF WALL
fc	COMPRESSIVE STRENGTH OF CONCRETE
CONC	CONCRETE
CONT	CONTINUOUS
CRSI	CONCRETE REINFORCING STEEL INSTITUTE
DWG	DRAWING
DIP	DUCTILE IRON PIPE
EOR	ENGINEER OF RECORD
ESC	EROSION AND SEDIMENT CONTROL
(E)	EXISTING
EQ	EQUAL
GC	GENERAL CONTRACTOR
GRVL	GRAVEL
GUT	GUTTER FLOW LINE
HDPE	HIGH-DENSITY POLYETHYLENE
HMAC	HOT MIX ASPHALT CONCRETE
HORIZ	HORIZONTAL
IE	INVERT ELEVATION
KIP	1000 POUND-FORCE
KSI	KILOPOUNDS PER SQUARE INCH
LF	LINEAL FEET
LRFD	LOAD AND RESISTANCE FACTOR DESIGN
MSP	MANUAL ON STANDARD PRACTICE
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
MFG	MANUFACTURER
MAX	MAXIMUM
MIN	MINIMUM
(N)	NEW
ODOT	OREGON DEPARTMENT OF TRANSPORTATION
OC	ON CENTER
OSSC	OREGON STRUCTURAL SPECIALTY CODE
PPNL	PACIFIC POWER CORP
PVR	PAVER
PVC	POLYVINYL CHLORIDE
PGE	PORTLAND GENERAL ELECTRIC
PSF	POUNDS PER SQUARE FOOT
(P)	PROPOSED
ROW	RIGHT-OF-WAY
SIM	SIMILAR
SW	SIDEWALK
TOC	TIME OF CONSTRUCTION
TOS	TOP OF STAIR
TOW	TOP OF WALL
TYP	TYPICAL
UPC	UNIFORM PLUMBING CODE
VERT	VERTICAL

PROJECT INFORMATION

PROJECT TEAM

OWNER REPRESENTATIVE SCOTT FLEURY PUBLIC WORKS DIRECTOR 51 WINBURN WAY ASHLAND, OR 97520 (541) 488-5587	GAS COMPANY AVISTA UTILITIES 580 BUSINESS PARK DR, MSC-R12 MEDFORD OR, 97504 (541) 499-2969
ENGINEER OF RECORD SYLAS E. ALLEN, PE CONTACT: LUCAS GOWEY ZCS ENGINEERING & ARCHITECTURE 45 HAWTHORNE STREET, SUITE 5 MEDFORD, OR 97504 (541) 500-8588	WATER COMPANY CITY OF ASHLAND PUBLIC WORKS 51 WINBURN WAY ASHLAND, OR 97520 (541) 488-5587
CITY CONTACT JASON STRAIT CITY OF ASHLAND PUBLIC WORKS 51 WINBURN WAY ASHLAND, OR 97520 (541) 552-2419	

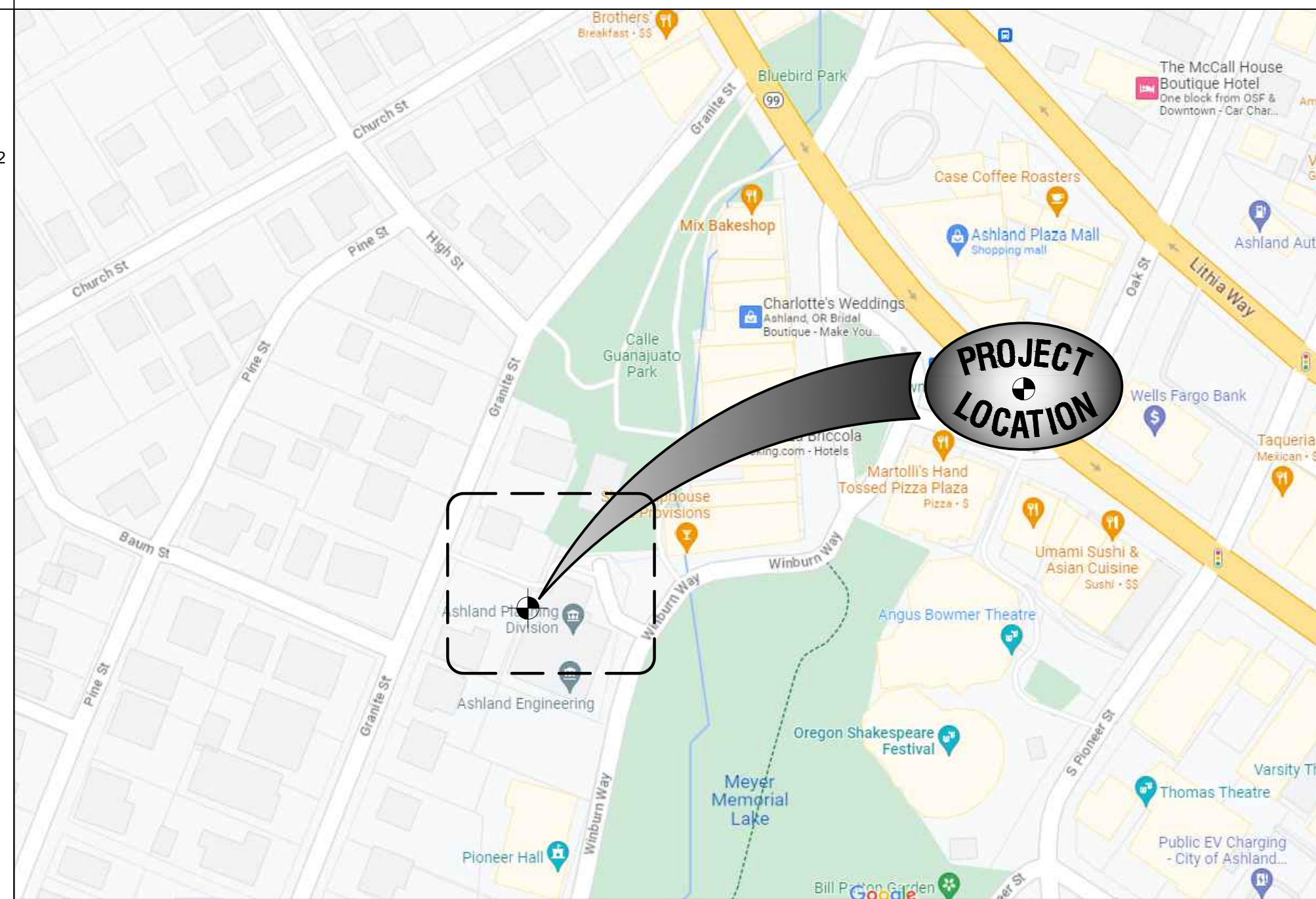
LOT INFORMATION:

SITE LOCATION:	51 WINBURN WAY ASHLAND, OR 97520
TAX MAP:	T39S-R01E-S09BB
TAX LOT:	14800 - 0.38 ACRES 7500 - 1.30 ACRES 7100 - 0.02 ACRES
AREA OF DISTURBANCE:	±630-SF
ZONING:	C-1-D

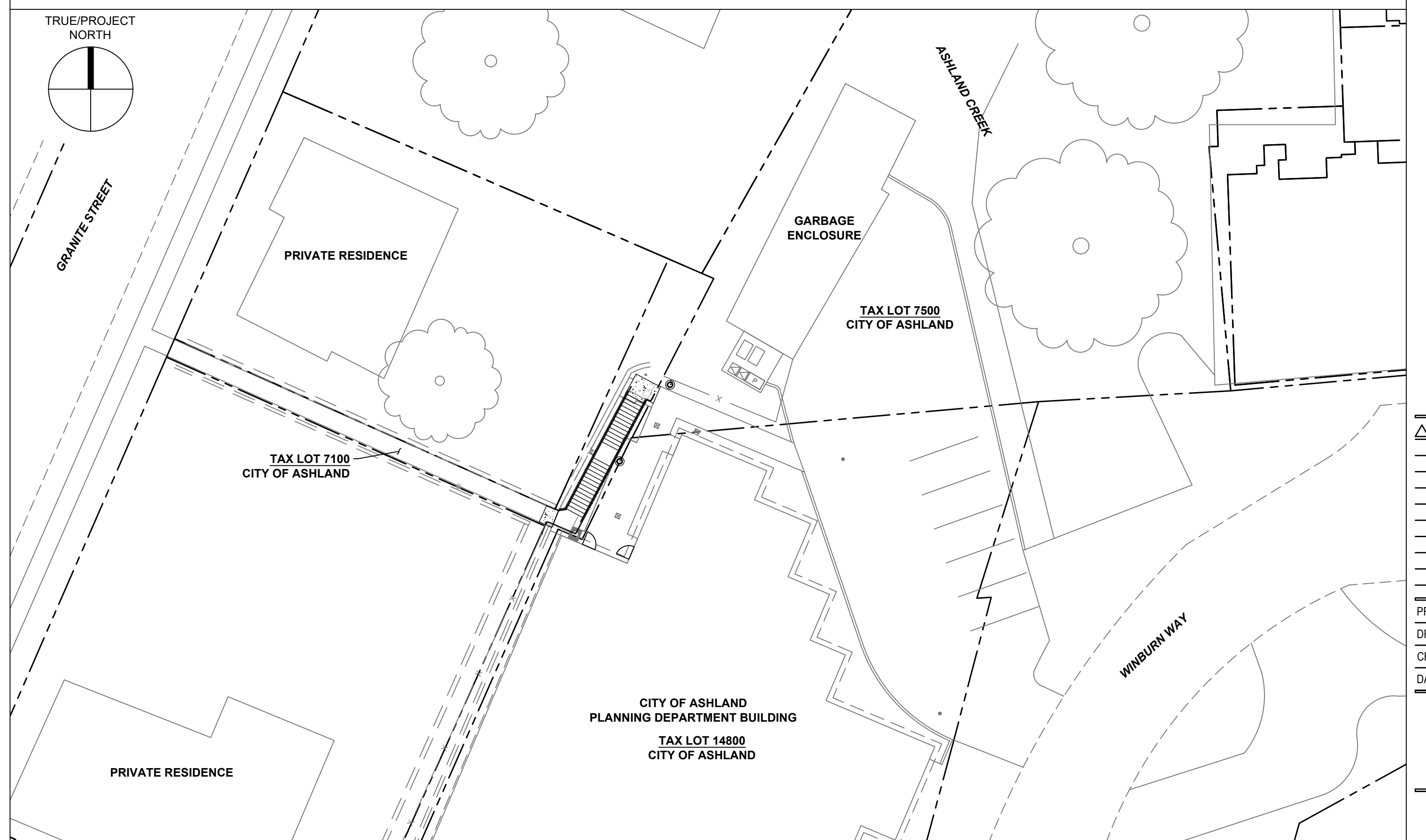
ATTENTION:
OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).

ATTENTION:
EXISTING BUILDINGS, PROPERTY LINES, HARDSCAPE, AND UTILITIES ILLUSTRATED IN THESE PLANS ARE APPROXIMATED BASED ON MAPS AND AS-BUILT DRAWINGS OBTAINED FROM THE CITY OF ASHLAND PUBLIC WORKS FILES. LAYOUT INDICATED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. ALL MEASUREMENTS, LINES, AND ALIGNMENTS WITHIN PROJECTED WORK ZONE SHALL BE FIELD VERIFIED AS REQUIRED PRIOR TO CONSTRUCTION. REPORT TO ENGINEER IN EVENT OF DISCREPANCY.

VICINITY MAP



SITE MAP



REVISION ID:	DATE:
PROJECT NO:	M-0287-21
DRAWN:	MRL
CHECKED:	LGG
DATE:	11-10-23

COVER SHEET

GO.0

ONE INCH EQUALS FULL SCALE

100% CONSTRUCTION DOCUMENTS

DEMOLITION, PROTECTION, AND ESC NOTES:

- GENERAL DEMOLITION AND PROTECTION NOTES:**
- *** CONTRACTOR SHALL FIELD VERIFY LIMITS OF ASPHALT/CONCRETE/ETC. DEMOLITION AND ADJUST AS REQUIRED.
 - *** PROVIDE SMOOTH VERTICAL SAWCUT AT ALL EXTERIOR LIMITS OF CONCRETE REMOVAL.
 - *** UPON MOBILIZATION, CONTRACTOR SHALL POTHOLE EXISTING BURIED UTILITIES AND STRUCTURES (AS INDICATED) TO VERIFY HORIZONTAL AND VERTICAL ALIGNMENT, SIZE, AND MATERIAL.
 - *** CONTRACTOR SHALL REPORT TO ENGINEER FOR DIRECTION IN EVENT OF DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS.
 - *** CONTRACTOR SHALL COORDINATE VEHICULAR AND PEDESTRIAN ACCESS REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION.
 - *** CONTRACTOR SHALL COORDINATE UTILITY SHUTOFF(S) WITH OWNER AND UTILITY PROVIDER 48 HOURS MINIMUM PRIOR TO CONSTRUCTION TO ENSURE MINIMAL SERVICE DISRUPTION DURING OPERATION HOURS.
 - *** WHERE INDICATED, EXISTING STRUCTURES, HARDSCAPE, AND UTILITIES/APPURTENANCES SHALL BE PROTECTED THROUGHOUT ALL PHASES OF CONSTRUCTION.

- GENERAL EROSION CONTROL NOTES:**
- *** THESE REQUIREMENTS SHALL BE CONSIDERED A MINIMUM. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS REQUIRED TO FACILITATE CONSTRUCTION. ALL COSTS FOR EROSION CONTROL MEASURES SHALL BE BORN BY THE CONTRACTOR.
 - *** THIS PLAN HAS BEEN PREPARED TO ADDRESS THE OVERALL PRIMARY EROSION CONTROL MEASURES THAT MUST BE IMPLEMENTED FOR CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST SPECIFIC EROSION CONTROL MEASURES TO ACCOMMODATE FOR ADDITIONAL PHASED CONSTRUCTION. ANY MODIFICATIONS TO THIS PLAN SHALL BE REVIEWED AND APPROVED BY THE AGENCIES HAVING JURISDICTION AND THE PROJECT ENGINEER PRIOR TO COMMENCEMENT OF WORK.

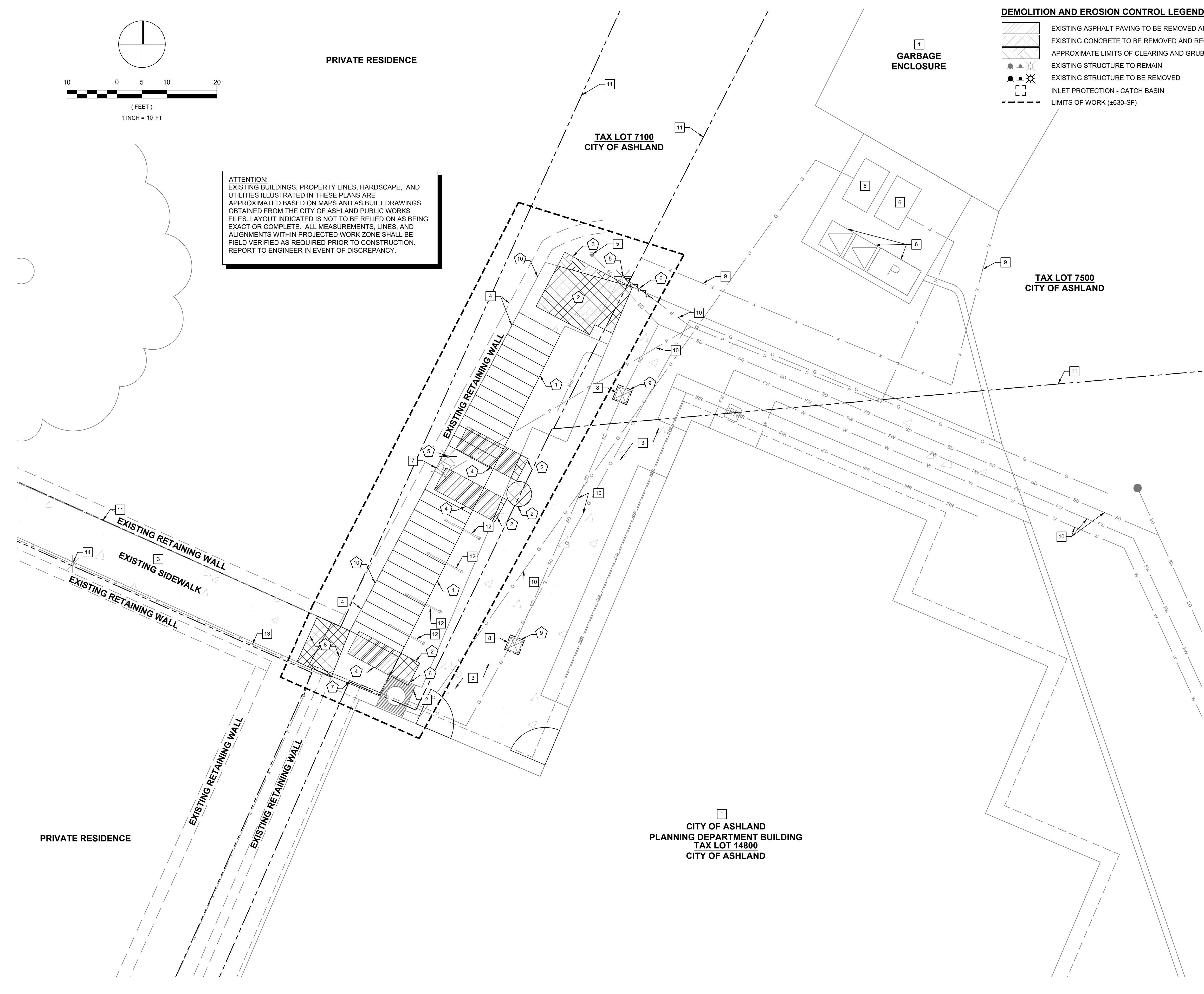
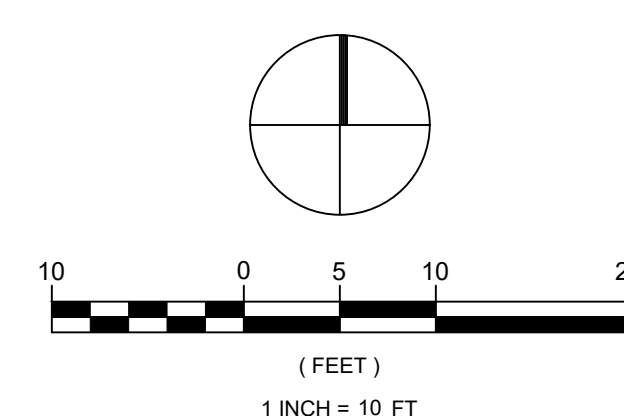
- DEMOLITION AND EROSION CONTROL NOTES:**
1. STEEL STAIRCASE TO BE REMOVED AND RECYCLED. CONTRACTOR TO BREAK UP EXISTING COLUMN FOOTINGS AND REMOVE FOOTINGS AND EXISTING COLUMNS FROM PROJECT SITE. CONTRACTOR MAY ELECT TO CUT TWO SOUTHERNMOST COLUMNS ABOVE MAN GATE AND ABANDON IN PLACE. REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
 2. CONCRETE SIDEWALK TO BE REMOVED AND RECYCLED TO ACCOMMODATE SITE IMPROVEMENTS. REFER TO SHEETS C6.1 AND C6.3 PLANS FOR ADDITIONAL INFORMATION.
 3. APPROXIMATE LIMITS OF CLEARING AND GRUBBING / GRADING TO ACCOMMODATE NEW SITE IMPROVEMENTS (425-CF).
 4. ASPHALT PAVEMENT TO BE REMOVED TO ACCOMMODATE NEW STAIRWAY FOOTINGS. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING GAS METER. USE OF MECHANIZED EXCAVATION EQUIPMENT PROHIBITED WITHIN 5' OF GAS METER. REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
 5. SITE LIGHT TO BE REMOVED AND REPLACED.
 6. POWER SERVICE TO SITE LIGHT TO BE REROUTED FOR USE WITH NEW SITE LIGHT. SEE SHEET C3.0 FOR ADDITIONAL INFORMATION.
 7. FENCING AND POSTS TO BE REMOVED.
 8. G.C. TO GRIND AND REMOVE 43" OF EXISTING CONCRETE SIDEWALK FROM BENEATH EXISTING STEEL LANDING TO ACCOMMODATE CONSTRUCTION OF NEW RETAINING WALL CAP. SEE SHEET 3.0 AND DETAIL 5 ON SHEET C4.0 FOR ADDITIONAL INFORMATION. CONTRACTOR TO FIELD VERIFY AND REPORT TO ENGINEER OF RECORD FOR FIELD DIRECTIVE IN EVENT OF DISCREPANCY.
 9. FURNISH AND MAINTAIN 'TYPE 3' INLET PROTECTION PER ODOT RD1010 AT ALL CATCH BASINS.
 10. EXISTING MATURE IVY TO BE REMOVED. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE UNDERLYING STONE AND MORTAR RETAINING WALL. USE OF MECHANIZED CLIPPERS OR SIMILAR MEANS PROHIBITED.
 11. LOCATION OF EXCAVATION BENEATH EXISTING GAS METER TO FACILITATE CONSTRUCTION OF NEW STAIRWAY FOOTING. USE OF MECHANIZED EXCAVATION EQUIPMENT OR SIMILAR MEANS PROHIBITED WITHIN 3' OF GAS METER. REFER TO SHEET C6.1 FOR ADDITIONAL INFORMATION.

- PROTECTION NOTES:**
1. BUILDING TO REMAIN. NO WORK IN THIS AREA.
 2. GAS METER TO REMAIN. SYMBOL DEPICTS ACTUAL SIZE.
 3. CONCRETE SIDEWALK TO REMAIN.
 4. STONE AND MORTAR RETAINING WALL TO REMAIN.
 5. CAST IRON DOWNSPOUT TO REMAIN.
 6. PAD MOUNTED TRANSFORMER, VAULT, AND MECHANICAL EQUIPMENT TO REMAIN.
 7. ELECTRICAL JUNCTION BOX FIXED TO EXISTING STAIRS TO REMAIN. CONTRACTOR TO DESIGN BUILD NEW JUNCTION BOX MOUNTING SYSTEM. REFER TO SHEET C3.0 FOR ADDITIONAL INFORMATION.
 8. CATCH BASIN/AREA DRAIN/CLEANOUT TO REMAIN, TYPICAL.
 9. FENCING, POSTS, AND GATE TO REMAIN.
 10. UNDERGROUND UTILITY TO REMAIN, TYPICAL.
 11. APPROXIMATE LOCATION OF PROPERTY LINE, TYPICAL.
 12. EXISTING BICYCLE PARKING TO REMAIN.
 13. APPROXIMATE LOCATION OF EXPOSED POWER CONDUIT. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE CONDUIT AND MAINTAIN FUNCTIONALITY OF EXISTING SITE LIGHTING.
 14. APPROXIMATE LOCATION OF EXISTING SITE LIGHTING TO REMAIN.

DEMOLITION AND EROSION CONTROL LEGEND:

- EXISTING ASPHALT PAVING TO BE REMOVED AND RECYCLED
- EXISTING CONCRETE TO BE REMOVED AND RECYCLED
- APPROXIMATE LIMITS OF CLEARING AND GRUBBING
- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO BE REMOVED
- INLET PROTECTION - CATCH BASIN
- LIMITS OF WORK (4630-SF)

ATTENTION:
EXISTING BUILDINGS, PROPERTY LINES, HARDSCAPE, AND UTILITIES ILLUSTRATED IN THESE PLANS ARE APPROXIMATED BASED ON MAPS AND AS BUILT DRAWINGS OBTAINED FROM THE CITY OF ASHLAND PUBLIC WORKS FILES. LAYOUT INDICATED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. ALL MEASUREMENTS, LINES, AND ALIGNMENTS WITHIN PROJECTED WORK ZONE SHALL BE FIELD VERIFIED AS REQUIRED PRIOR TO CONSTRUCTION. REPORT TO ENGINEER IN EVENT OF DISCREPANCY.



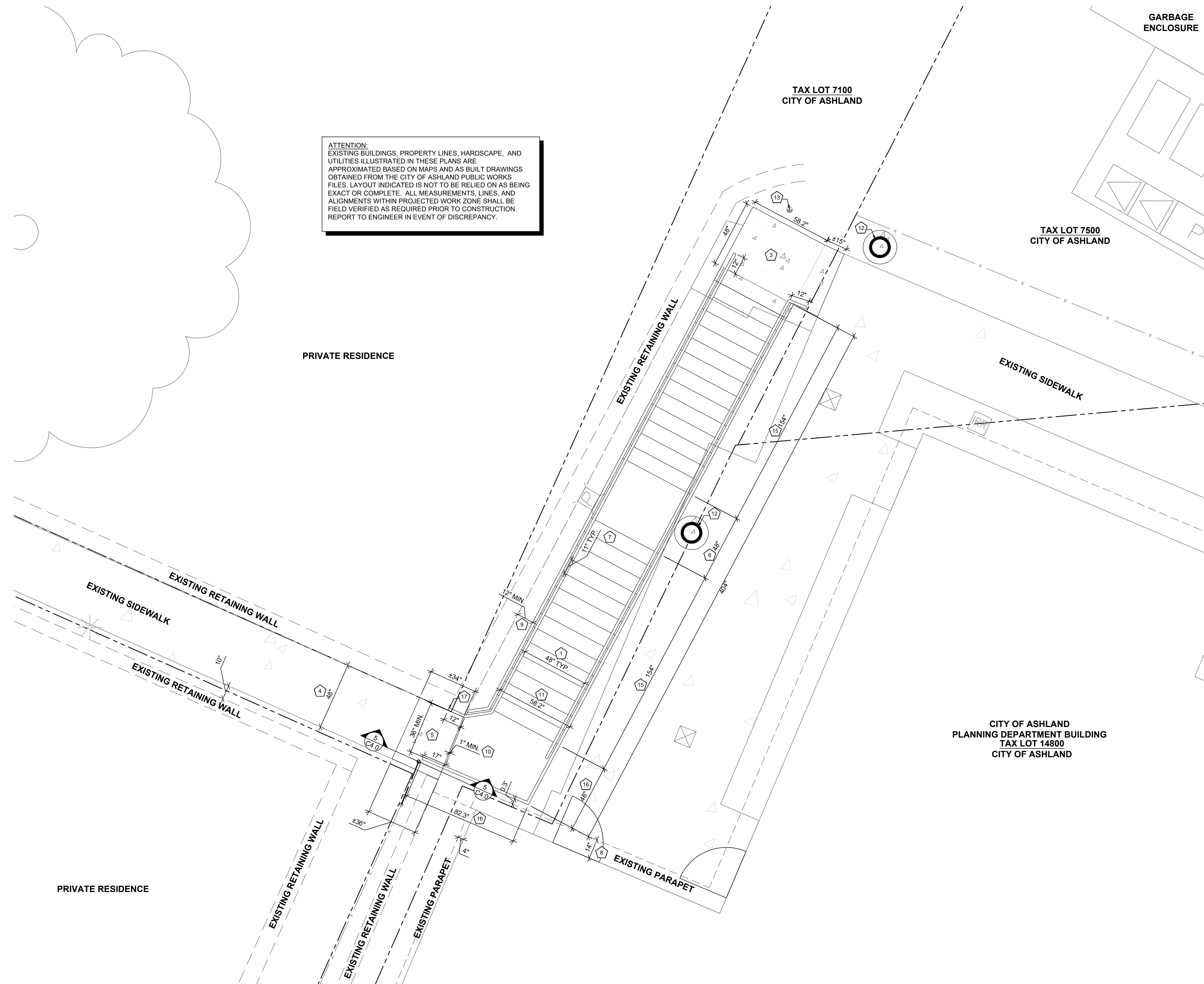
SITE DIMENSIONING NOTES:

GENERAL SITE DIMENSIONING NOTES:
*** CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND NOTIFY ENGINEER OF RECORD IF DISCREPANCIES OCCUR.

SITE DIMENSIONING NOTES:

1. CLEAR SPACE BETWEEN HAND RAILINGS. REFER TO STRUCTURAL DRAWINGS FOR ALL INFORMATION.
2. CLEAR SPACE BETWEEN EXISTING PARAPET AND NEW STAIRWAY.
3. NEW STAIRWAY LANDING. REFER TO SHEET C3.0 FOR ADDITIONAL INFORMATION.
4. WIDTH OF EXISTING CONCRETE SIDEWALK.
5. NEW RETAINING WALL CAP. REFER TO SHEET C3.0 FOR ADDITIONAL INFORMATION.
6. LENGTH OF INTERMEDIATE LANDING. REFER TO STRUCTURAL DRAWINGS FOR ALL INFORMATION.
7. CLEAR DEPTH OF STAIRWAY TREAD. REFER TO STRUCTURAL DRAWINGS FOR ALL INFORMATION.
8. LENGTH OF PARAPET OVERHANG FROM FACE OF EXISTING BUILDING.
9. CLEAR SPACE BETWEEN EXISTING RETAINING WALL AND NEW STAIRWAY. G.C TO FIELD VERIFY AND REPORT TO ENGINEER OF RECORD IN EVENT OF DISCREPANCY.
10. GAP BETWEEN NEW RETAINING WALL CAP AND NEW STAIRWAY STRUCTURE. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. G.C TO FIELD VERIFY AND NOTIFY ENGINEER OF RECORD IN EVENT OF DISCREPANCY.
11. OUTSIDE TO OUTSIDE SPACING OF STAIRWAY RUNNERS AND GUARDRAILS.
12. APPROXIMATE LOCATION OF NEW SITE LIGHT. REFER TO C3.0 FOR ADDITIONAL INFORMATION.
13. EXISTING DOWNSPOUT. REFER TO C1.0 FOR ADDITIONAL INFORMATION.
14. NEW FENCING AND POSTS. REFER TO C3.0 FOR ADDITIONAL INFORMATION.
15. HORIZONTAL DISTANCE OF STAIRWAY RUN.
16. LENGTH OF 8' TALL GUARDRAIL.
17. EXTEND GUARDRAIL TO FACE OF EXISTING RETAINING WALL.

ATTENTION:
EXISTING BUILDINGS, PROPERTY LINES, HARDSCAPE, AND UTILITIES ILLUSTRATED IN THESE PLANS ARE APPROXIMATED BASED ON MAPS AND AS BUILT DRAWINGS OBTAINED FROM THE CITY OF ASHLAND PUBLIC WORKS FILES. LAYOUT INDICATED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. ALL MEASUREMENTS, LINES, AND ALIGNMENTS WITHIN PROJECTED WORK ZONE SHALL BE FIELD VERIFIED AS REQUIRED PRIOR TO CONSTRUCTION. REPORT TO ENGINEER IN EVENT OF DISCREPANCY.



CITY OF ASHLAND
PLANNING DEPARTMENT BUILDING
TAX LOT 14800
CITY OF ASHLAND



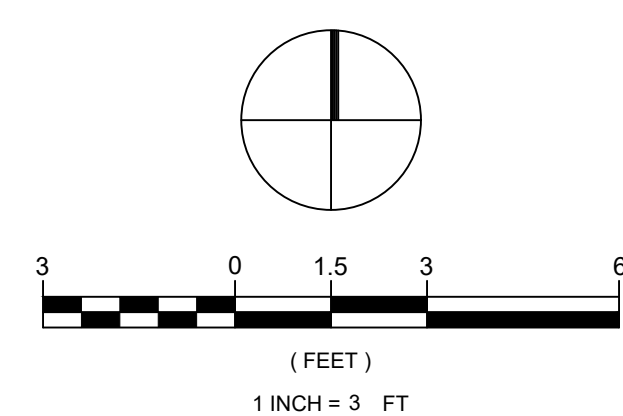
REVISION ID:	DATE:

PROJECT NO: M-0287-21
DRAWN: MRL
CHECKED: LGG
DATE: 11-10-23

SITE DIMENSIONING
PLAN

C2.0

100% CONSTRUCTION DOCUMENTS



ONE INCH EQUALS FULL SCALE

1 SITE DIMENSIONING PLAN
C2.0

1"=3'



45 Hawthorne Street, Suite 5, Medford,
Oregon 97504 | 541-500-8588

CITY OF ASHLAND
20 EAST MAIN STREET
ASHLAND, OR 97520

**ALICE PEIL
STEEL STAIRWAY**

SITE IMPROVEMENT NOTES:

GENERAL CONSTRUCTION NOTES:

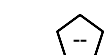
*** TRANSITION BETWEEN NEW AND EXISTING CONCRETE SHALL BE FLUSH AND FREE FROM ABRUPT CHANGES IN HEIGHT.

*** STAIRS SHALL BE CONSTRUCTED IN CONFORMANCE WITH CURRENT OSSC STANDARDS. LANDINGS NOT TO EXCEED 2.0% SLOPE.

*** CONSTRUCT PAVING, STRUCTURES, AND PIPING TO GRADES, ELEVATIONS, AND ALIGNMENTS SHOWN ON PLAN. REPORT TO ENGINEER IN EVENT OF DISCREPANCY.

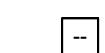
*** UPON MOBILIZATION CONTRACTOR SHALL POTHOLE TO VERIFY VERTICAL AND HORIZONTAL ALIGNMENT, SIZE, AND MATERIAL OF EXISTING PIPES/STRUCTURES FOR TIE-IN PURPOSES. REPORT TO ENGINEER IN EVENT OF DISCREPANCY.

*** PROVIDE SUBMITTALS TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ORDERING MATERIALS.



SITE CONSTRUCTION NOTES:

1. NEW STAIRWAY. REFER TO STRUCTURAL PLANS FOR ALL INFORMATION.
2. CONSTRUCT UNREINFORCED CONCRETE SIDEWALK. REFER TO DETAILS 1 AND 2 ON SHEET C4.0 FOR ADDITIONAL INFORMATION.
3. FURNISH AND INSTALL 12' TALL 'STERNBERG LIGHTING 1130ALED-5P' SITE LIGHT (OR APPROVED EQUAL). CONSTRUCT BASE PER DETAIL 4 ON SHEET C4.0 AND REFER TO CITY OF ASHLAND DETAIL CD61 FOR ADDITIONAL INFORMATION.
4. FURNISH AND INSTALL 18' TALL 'STERNBERG LIGHTING 1130ALED-5P' SITE LIGHT (OR APPROVED EQUAL). CONSTRUCT BASE PER DETAIL 4 ON SHEET C4.0 AND REFER TO CITY OF ASHLAND DETAIL CD61 FOR ADDITIONAL INFORMATION.
5. CONSTRUCT RETAINING WALL CAP PER DETAIL 5 ON SHEET C4.0.
6. APPROXIMATE LOCATION OF TIE IN TO EXISTING SIDEWALK. CONSTRUCT ISOLATION JOINT PER DETAILS 1 AND 2 ON SHEET C4.0. G.C. SHALL FIELD VERIFY LOCATION, MATCH EXISTING CONDITIONS, AND JOIN AT NEAREST WHOLE PANEL.
7. FURNISH ±5 LF OF 6' TALL CHAIN LINK FENCE AND NEW TERMINATION POST TO ALIGNMENT SHOWN ON PLAN. FENCE FINISH SHALL BE GALVANIZED TO MATCH EXISTING FENCING.
 - SCHEDULE 40 PIPE
 - 1-5/8"Ø TOP/BOTTOM RAILS, BRACING.
 - 2-7/8"Ø POSTS
 - EQUIP POSTS WITH LIKE KIND TOP CAP
 - 9 GA. CORE EXTRUDED CHAIN LINK FABRIC 6" HIGH 2" MESH.
 - KNUCKLE SELVAGE TERMINATION OF MESH FABRIC
 - 7 GA. TOP, BOTTOM, CORNER, TERMINAL POST, MID BRACING AND TRUSS ROD.
 - POSTS SETS SIMILAR TO ODOT BR241 'TYPE B FENCE' ON SHEET C5.0.
8. CONSTRUCT REINFORCED CONCRETE FOOTING PER DETAIL 6 ON SHEET C4.0. SEE SHEET C6.1 FOR ADDITIONAL INFORMATION.

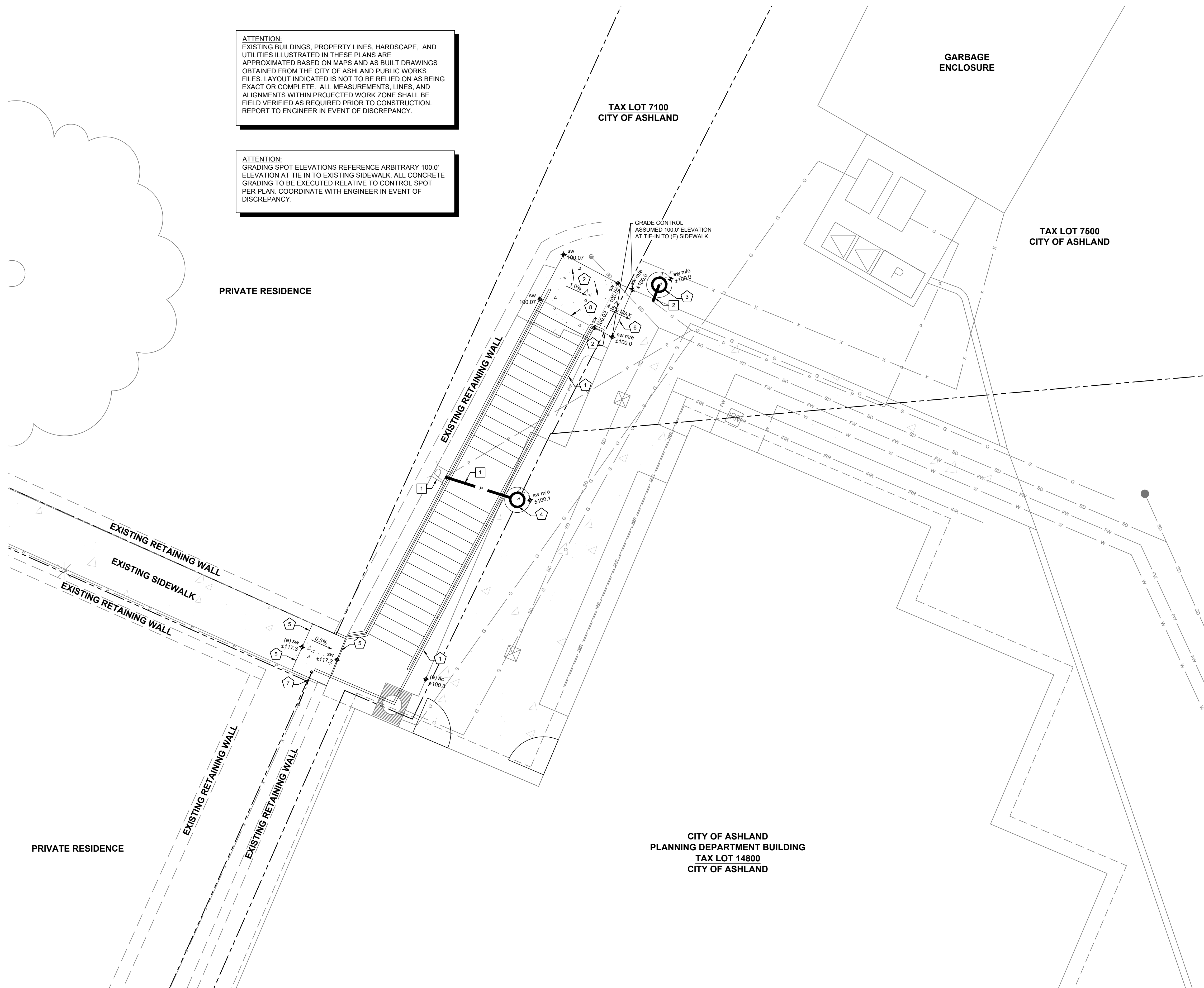


POWER NOTES:

1. CONTRACTOR TO DESIGN BUILD NEW POWER CONDUIT AND DISTRIBUTION BOX AND SHALL PROTECT EXISTING MOUNTING BOARD DURING CONSTRUCTION. CONTRACTOR MAY ELECT TO ATTACH DISTRIBUTION BOX TO NEW STAIRWAY COLUMNS. MAINTAIN FUNCTION OF ALL CONNECTED APPURTENANCES THROUGHOUT CONSTRUCTION PROCESS. CONTRACTOR SHALL PROVIDE SUBMITTAL OF ELECTRICAL AND LIGHTING SYSTEM DESIGN FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO DESIGN BUILD POWER CONNECTION OF NEW LIGHT TO EXISTING POWER SERVICE. CONTRACTOR SHALL PROVIDE SUBMITTAL OF ELECTRICAL AND LIGHTING SYSTEM DESIGN FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

ATTENTION:
EXISTING BUILDINGS, PROPERTY LINES, HARDSCAPE, AND UTILITIES ILLUSTRATED IN THESE PLANS ARE APPROXIMATED BASED ON MAPS AND AS BUILT DRAWINGS OBTAINED FROM THE CITY OF ASHLAND PUBLIC WORKS FILES. LAYOUT INDICATED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. ALL MEASUREMENTS, LINES, AND ALIGNMENTS WITHIN PROJECTED WORK ZONE SHALL BE FIELD VERIFIED AS REQUIRED PRIOR TO CONSTRUCTION. REPORT TO ENGINEER IN EVENT OF DISCREPANCY.

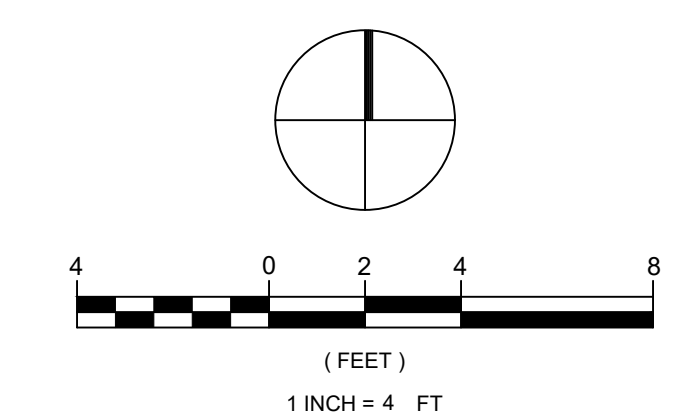
ATTENTION:
GRADING SPOT ELEVATIONS REFERENCE ARBITRARY 100.0' ELEVATION AT TIE IN TO EXISTING SIDEWALK. ALL CONCRETE GRADING TO BE EXECUTED RELATIVE TO CONTROL SPOT PER PLAN. COORDINATE WITH ENGINEER IN EVENT OF DISCREPANCY.



ONE INCH EQUALS FULL SCALE

1 SITE IMPROVEMENT PLAN
C3.0

1"=4'



REVISION ID:	DATE:

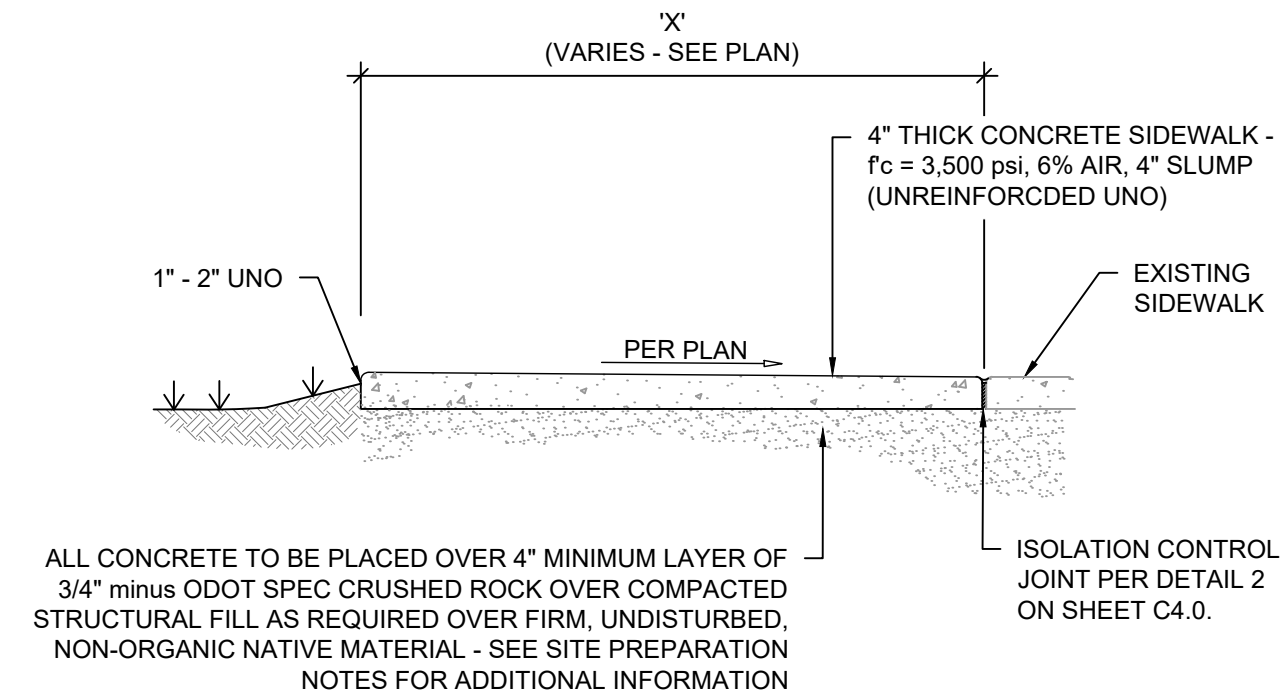
PROJECT NO: M-0287-21
DRAWN: MRL
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**SITE IMPROVEMENT
PLAN**

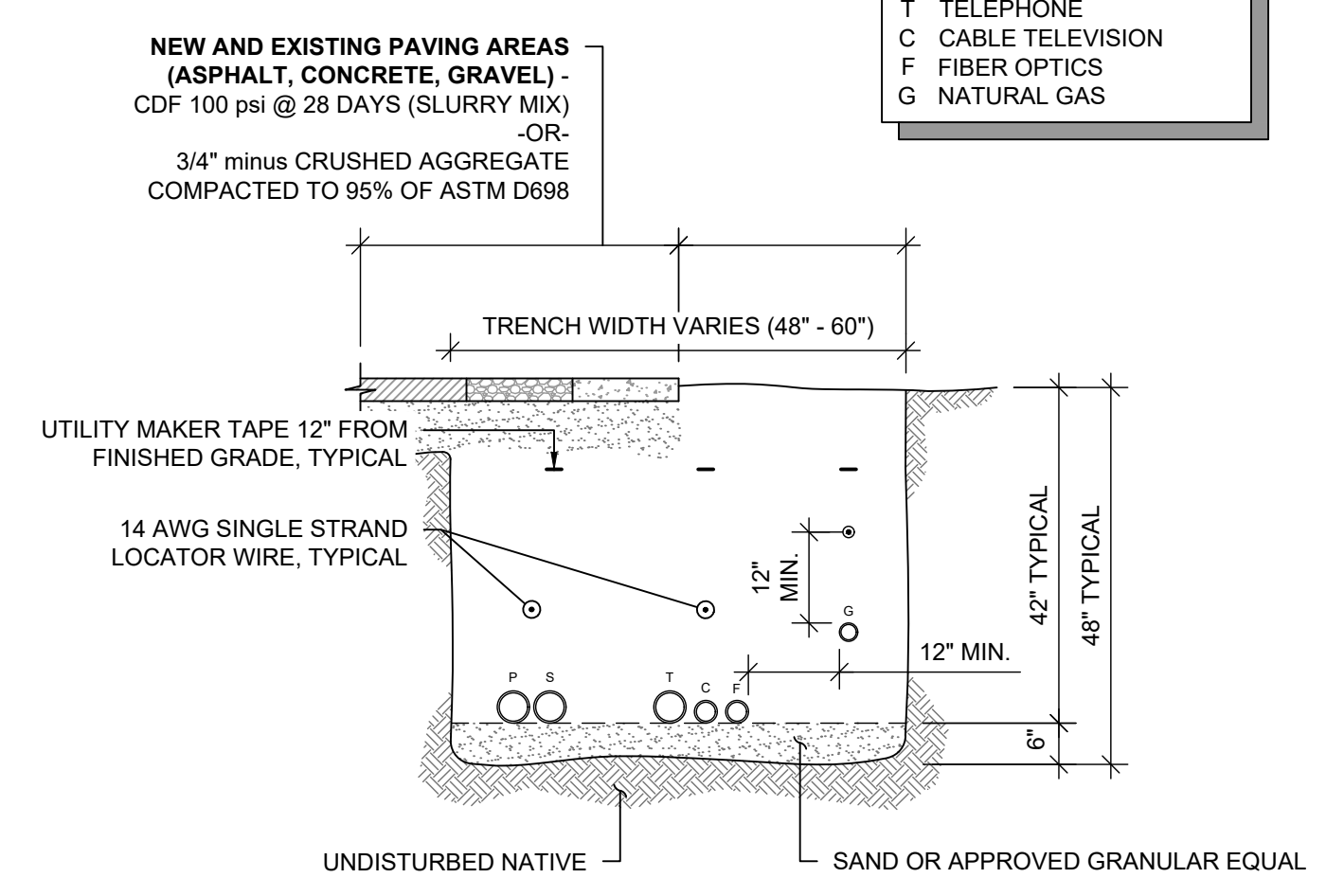
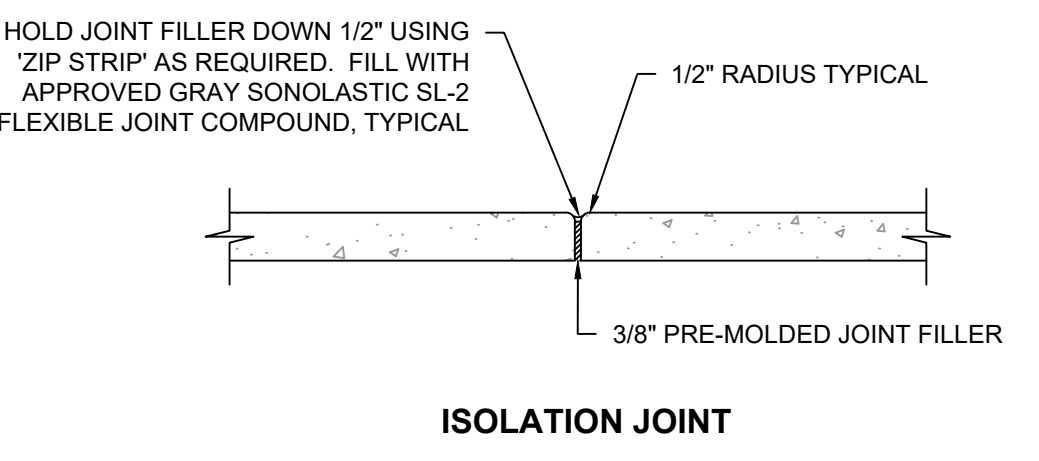
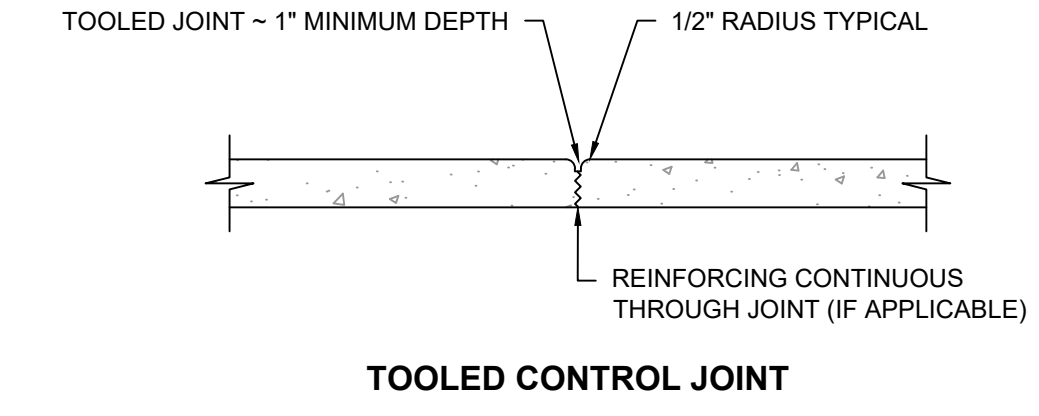
C3.0

100% CONSTRUCTION DOCUMENTS

- P PRIMARY POWER
- S SECONDARY POWER AND/OR EXTRA CONDUIT
- T TELEPHONE
- C CABLE TELEVISION
- F FIBER OPTICS
- G NATURAL GAS



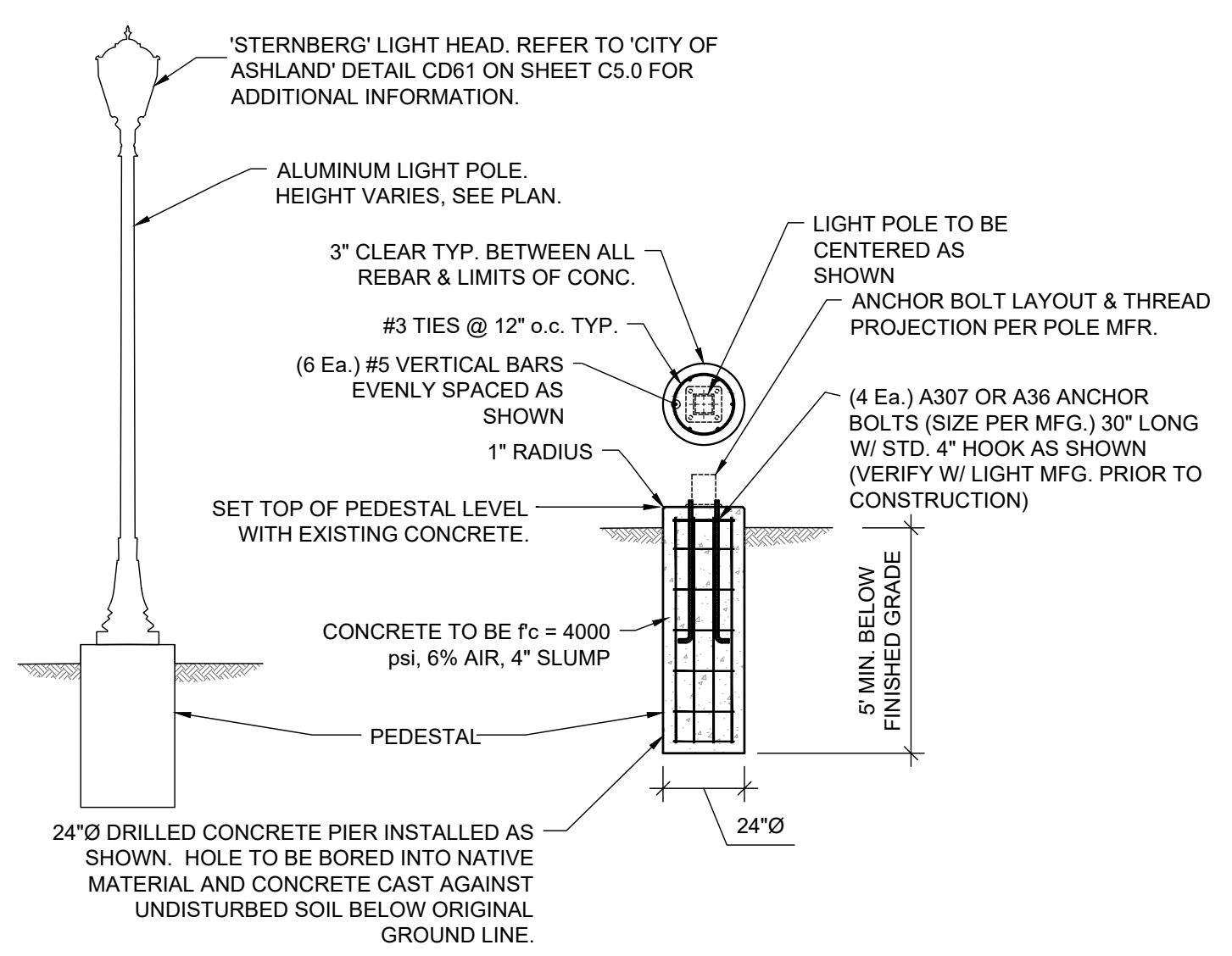
PROVIDE 3/8" ISOLATION JOINTS @ CONNECTION TO (E) SIDEWALK. (COORDINATE WITH PLAN)



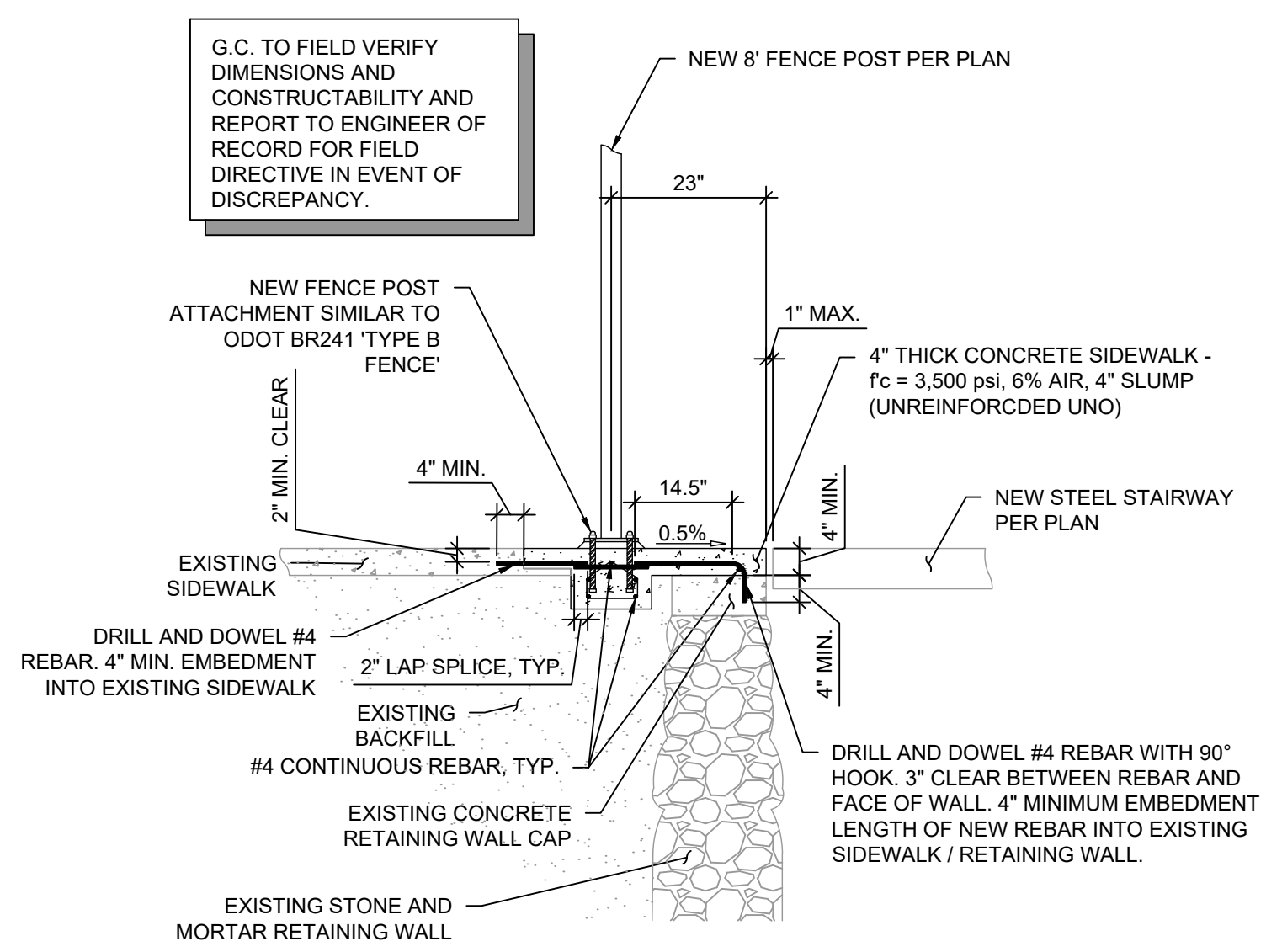
1 UNREINFORCED SIDEWALK SECTIONS
C4.0 1/2" = 1'

2 SIDEWALK JOINTING DETAILS
C4.0 1/2" = 1'

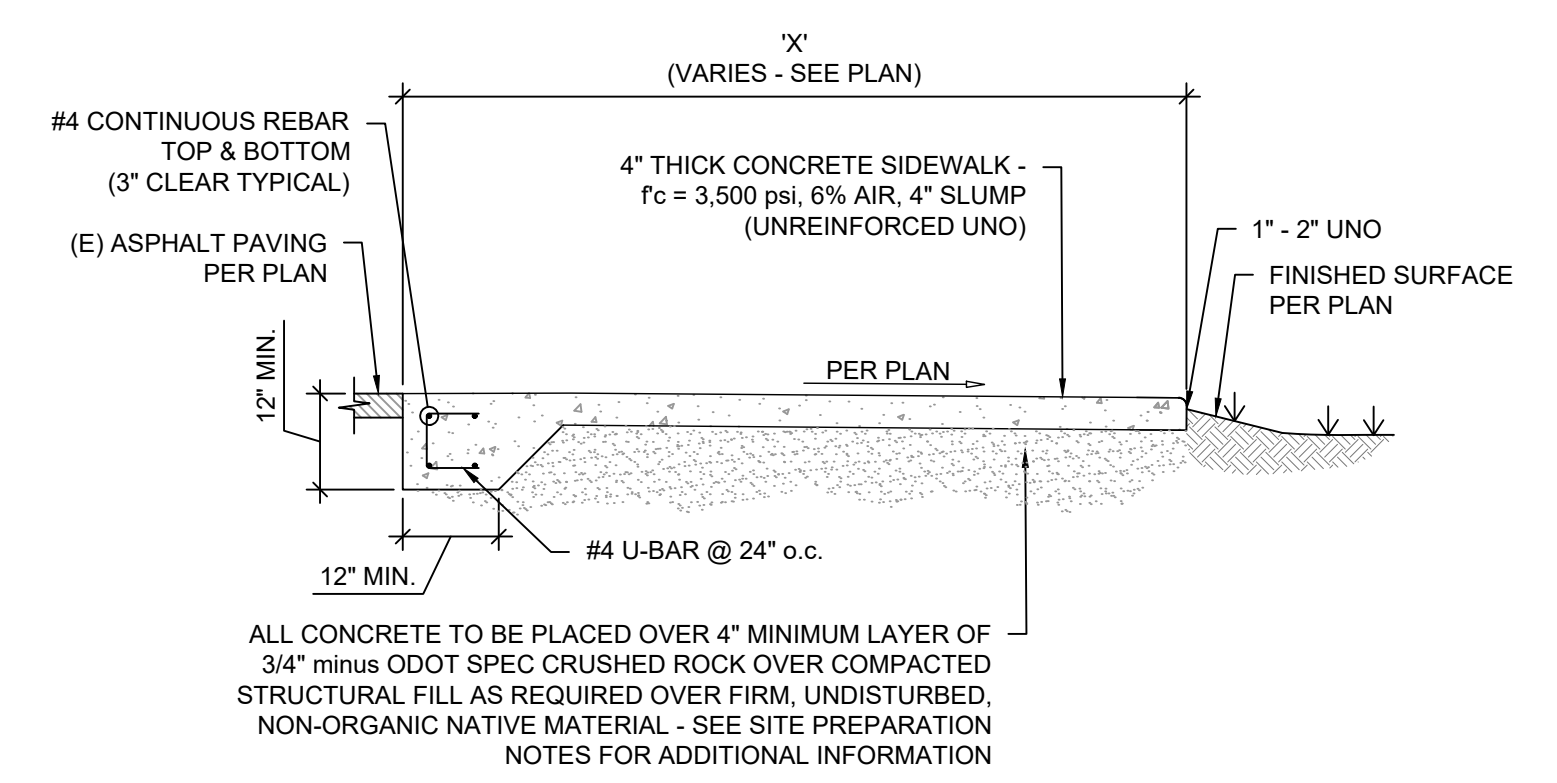
3 TYPICAL COMMON DRY UTILITY TRENCH SECTION
C4.0 1/2" = 1'



4 SIGHT LIGHT AND POLE BASE DETAIL
C4.0 NTS



5 RETAINING WALL CAP
C4.0 1/2" = 1'



6 UNREINFORCED SIDEWALK SECTIONS
C4.0 1/2" = 1'

ONE INCH EQUALS FULL SCALE

REGISTERED PROFESSIONAL
ENGINEER
70775PE
DIGITAL SIGNATURE
ORIG. 10, 2008
SYLVESTER E. ALLEN
EXPIRES: 12-31-23

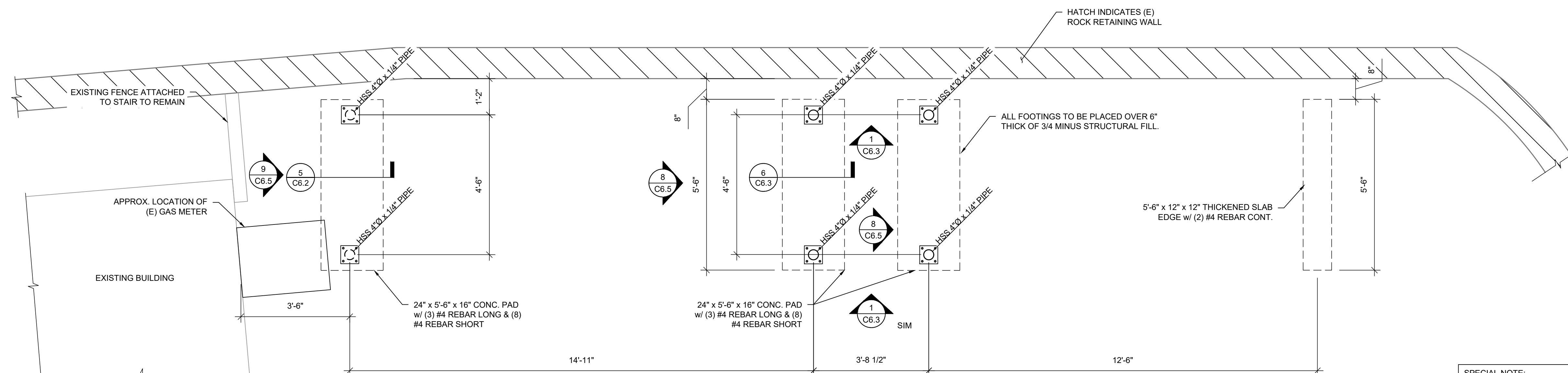
REVISION ID:	DATE:

PROJECT NO: M-0287-21
DRAWN: MRL
CHECKED: LGG
DATE: 11-10-23

PRIVATE CIVIL
DETAILS

C4.0

100% CONSTRUCTION DOCUMENTS



SPECIAL NOTE:
G.C. TO FIELD VERIFY ALL DIMENSIONS, PROVIDE SHOP DRAWINGS FOR LAYOUT BASED ON FIELD CONDITIONS FOR E.O.R. APPROVAL AND REPORT ANY DISCREPANCIES TO E.O.R.

1 FOUNDATION PLAN
C6.1

1/2" = 1'-0"

PROJECT STRUCTURAL NOTES: (ASHLAND, JACKSON COUNTY, OREGON)

- GENERAL INFORMATION:**
- GOVERNING CODE IS THE 2022 OREGON STRUCTURAL SPECIALTY CODE.
 - THE PROJECT WAS DESIGNED FOR THE FOLLOWING LOADS:
 - FLOOR LIVE 100 PSF
 - FLOOR DEAD 16 PSF
 - GROUND SNOW LOAD: 16 PSF
 - SNOW LOAD: 25 PSF
 - WIND LOAD: 96 MPH EXPOSURE B Iw = 1.0
 - SEISMIC LOAD: SEISMIC DESIGN CATEGORY: D SEISMIC SITE CLASS: D Ss = 0.596 S1 = 0.338 V = 304 LBS (R = 3.25)
 - THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK.
 - ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS, SUBJECT TO REVIEW OF THE ENGINEER OF RECORD.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS. RESPONSIBILITY SHALL INCLUDE BUT IS NOT LIMITED TO DEMOLITION AND CONSTRUCTION MEANS AND METHODS, TECHNIQUES, SEQUENCING, AND SAFETY REQUIRED TO COMPLETE CONSTRUCTION.
 - ALL ERECTION BRACING, TEMPORARY SHORING AND CONSTRUCTION SEQUENCING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - STAIRS HAVE BEEN DESIGNED BASED ON THE ASSUMPTION THAT THE BUILDING LOT IS FLAT. G.C. TO CONTACT ENGINEER IF RETAINING WALLS ARE REQUIRED.
 - ALL WATERPROOFING, DAMP PROOFING, AND WEATHERPROOFING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

- FOUNDATIONS:**
- FOUNDATION SIZES ARE BASED ON TOTAL LOAD BEARING PRESSURE OF 1500 PSF. NO GEOTECHNICAL EVALUATION HAS BEEN PERFORMED FOR THIS PROJECT. G.C. SHALL COORDINATE EFFORTS TO VERIFY PRIOR TO CONSTRUCTION.
 - ALL FOOTINGS SHALL BE PLACED ON FIRM, UNDISTURBED NATIVE SOIL, OR ON ENGINEERED FILL COMPACTED TO MINIMUM OF 95% OF THE ASTM D 1557 DENSITY.
 - BOTTOM OF ALL FOOTINGS TO BE EMBEDDED BELOW FROST DEPTH = 12".

- REINFORCING STEEL:**
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A 615 GRADE 60 (A706 FOR REINF. TO BE WELDED).
 - WELDED WIRE FABRIC TO BE PER ASTM A185.
 - ALL REINFORCING STEEL SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH CRSI MANUAL OF STANDARD PRACTICE, MSP 2019.
 - LAP ALL REINFORCING BARS MINIMUM 30" (UNLESS NOTED PER ACI 318-11).
 - SECURELY TIE ALL REINFORCING PRIOR TO PLACING CONCRETE. ALL TIE WIRE SHALL BE Min. #16 ANNEALED STEEL.
 - PROVIDE 3" CLEARANCE FOR ALL REINFORCING IN CONCRETE CAST AGAINST EARTH, 2" FOR CONCRETE EXPOSED TO EARTH AND WEATHER, AND 1 1/2" FOR ALL INTERIOR EXPOSURE.
 - ALL REINFORCING SHALL BE SUPPORTED ON WELL CURED CONCRETE BLOCKS OR APPROVED METAL CHAIRS, AS SPECIFIED BY THE CRSI MANUAL OF STANDARD PRACTICE, MSP 2019.

- CONCRETE:**
- ALL CONCRETE SHALL DEVELOP A MINIMUM 28-DAY LAB CURED COMPRESSIVE STRENGTH OF 3,500 PSI. ALL CONCRETE WAS DESIGNED WITH fc = 2,500 PSI, THEREFORE NO SPECIAL INSPECTION IS REQUIRED.
 - ALL EXPOSED CONCRETE TO HAVE 5% PLUS OR MINUS 1% AIR, BY VOLUME, CONFORMING TO ASTM C 260.
 - ALL CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4".
 - ALL CONCRETE SHALL BE CURED PER ACI 308-01 STANDARDS.
 - THE CURING AND JOINTING SPECIFICATIONS IN THIS SUBMITTAL MEET THE INTENT OF ACI RECOMMENDATIONS TO MINIMIZE UNCONTROLLED SLAB CRACKING. CONTRACTOR SHALL REVIEW THE SLAB AND SLAB JOINT SPECIFICATIONS AND APPROVE PRIOR TO CONCRETE PLACEMENT. ZCS WILL NOT BE RESPONSIBLE FOR MITIGATION OF SLAB CRACKING THAT OCCURS OUTSIDE THE CRACK CONTROL GRID.

- STRUCTURAL STEEL:**
- ALL STRUCTURAL STEEL SHALL BE AS FOLLOWS:
 - WIDE FLANGE SHAPES - ASTM A992, GRADE 50
 - CHANNELS, PLATES AND ANGLES (EXCEPT AS NOTED) - ASTM A36
 - HOLLOW STRUCTURAL SECTIONS (TUBES) - ASTM A500, GRADE 'B' (Fy = 42 KSI)
 - PIPE HSS SECTIONS - ASTM A500, GRADE 'B' (Fy = 42 KSI)
 - ALL WELDING SHALL CONFORM TO AWS (CURRENT EDITION) SPECIFICATIONS.
 - ALL WELDS TO BE E70 ELECTRODE. ALL WELDS TO BE 1/16" SMALLER THAN THINNESS MATERIAL TO BE WELDED U.N.O.
 - ALL FABRICATION, ERECTION, IDENTIFICATION AND PAINTING SHALL CONFORM TO AISC SPECIFICATIONS.
 - ALL STEEL EXPOSED TO WEATHER, SOIL, MOISTURE OR AS DENOTED ON THE PLANS SHALL BE HOT DIPPED GALVANIZED PER ASTM A-123, OR OTHER APPROVED PROTECTIVE COATING.
 - ALL FIELD WELDS TO GALVANIZED STEEL AND AREAS DAMAGED BY WELDING, FLAME CUTTING OR HANDLING, SHALL BE REPAIRED WITH AN ORGANIC COLD GALVANIZING COMPOUND HAVING A MINIMUM OF 94% ZINC DUST IN THE DRY FILM. APPLY IN MULTIPLE COATS, UNTIL AN 9 MIL THICKNESS HAS BEEN ACHIEVED. SURFACES TO RECEIVE ZINC-RICH PAINT SHALL BE CLEAN, DRY AND FREE OF OIL, GREASE, SALT AND CORROSIVE PRODUCTS.

- STAIR NOTES:**
- ALL STEPS ON A FLIGHT OF STAIRS SHALL HAVE A UNIFORM RISER HEIGHT AND UNIFORM TREAD DEPTH.
 - OPEN RISERS SHALL NOT BE PERMITTED.
 - NOSINGS WITHIN A STAIRWAY SHALL BE UNIFORM.
 - NOSINGS THAT PROJECT BEYOND RISERS SHALL HAVE THE UNDERSIDE OF THE LEADING EDGE CURVED OR BEVELED.
 - VISUAL CONTRAST SHALL COMPLY WITH EITHER A OR B:
 - THE LEADING 1'-2" OF EVERY TREAD AND LANDING, MEASURED HORIZONTALLY FROM THE LEADING EDGE OF THE NOSING, SHALL CONSIST OF A SOLID COLOR HAVING VISUAL CONTRAST OF DARK-ON-LIGHT OR LIGHT-ON-DARK FROM THE REMAINDER OF THE TREAD. THE CONTRASTING MARKING SHALL BE DURABLE AND SHALL EXTEND FROM ONE SIDE OF EACH TREAD TO THE OTHER SIDE OF EACH TREAD TO THE OTHER SIDE OF EACH TREAD.
 - DURABLE DISTINCTIVE WARNING MARKINGS REQUIRED BY THE ADOPTED BUILDING CODE OR ANSI SAFETY STANDARD.
 - HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS AND RAMP.
 - HANDRAILS SHALL BE CONTINUOUS WITHIN FULL LENGTH OF EACH STAIR FLIGHT OR RAMP RUN. INSIDE HANDRAILS ON SWITCHBACK OR DOGLEG STAIRS OR RAMP SHALL BE CONTINUOUS BETWEEN FLIGHT FLIGHTS AND RUNS.
 - HANDRAIL HEIGHT SHALL BE MEASURED VERTICALLY ABOVE NOSINGS, RAMP SURFACES AND WALKING SURFACES.
 - GRIPPING SURFACES SHALL BE CONTINUOUS, WITHOUT INTERRUPTION BY NEWEL POSTS, OTHER CONSTRUCTION ELEMENTS, OR OBSTRUCTIONS.
 - HANDRAIL CROSS SECTIONS:
 - CIRCULAR: 1 1/4" MIN. - 2" MAX.
 - NONCIRCULAR PERIMETER: 4" MIN. - 6 1/4" MAX.
 - NONCIRCULAR CROSS SECTION: 2 1/4" MAX.
 - HANDRAIL EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR FLOOR, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT RAMP RUN OR AN ADJACENT STAIR FLIGHT.

- STRUCTURAL OBSERVATIONS & INSPECTIONS:**
- SPECIAL INSPECTIONS REQUIRED SHALL BE PROVIDED PER OSSC CHAPTER 17 AND AS REQUIRED BY E.O.R. AS FOLLOWS:
 - BEFORE FIRST CONCRETE POUR.
 - FIELD WELDING
 - POST INSTALLED ANCHORS

- PAINTING:**
- SUMMARY
 - EXTERIOR PAINTING
 - SITE CONDITIONS
 - PERFORM WORK ONLY UNDER THE FOLLOWING CONDITIONS, UNLESS OTHERWISE INSTRUCTED BY MANUFACTURER:
 - MAXIMUM RELATIVE HUMIDITY: 85%
 - AMBIENT AIR TEMPERATURES ARE BETWEEN 50 DEGREES AND 95 DEGREES F.
 - EXTERIOR PAINTING SCHEDULE
 - G.C. TO COORDINATE WITH CLIENT FOR PAINT COLOR.
 - METAL
 - COROTECH OIL & GREASE EMULSIFIER
 - ULTRA SPEC HP ACRYLIC METAL PRIMER
 - ULTRA SPEC HP D.T.M. ACRYLIC ENAMEL (SEMI-GLOSS)
 - SURFACE PREPARATION
 - STEEL: REMOVE ALL LOOSE MILL SCALE, LOOSE RUST, AND OTHER FOREIGN MATERIAL. CLEAN WITH SOLVENT, REMOVING ALL VISIBLE OIL, GREASE, SOIL, DRAWING, AND CUTTING COMPOUNDS. CHANGE RAGS AND CLEARING SOLUTION FREQUENTLY.



REVISION ID:	DATE:

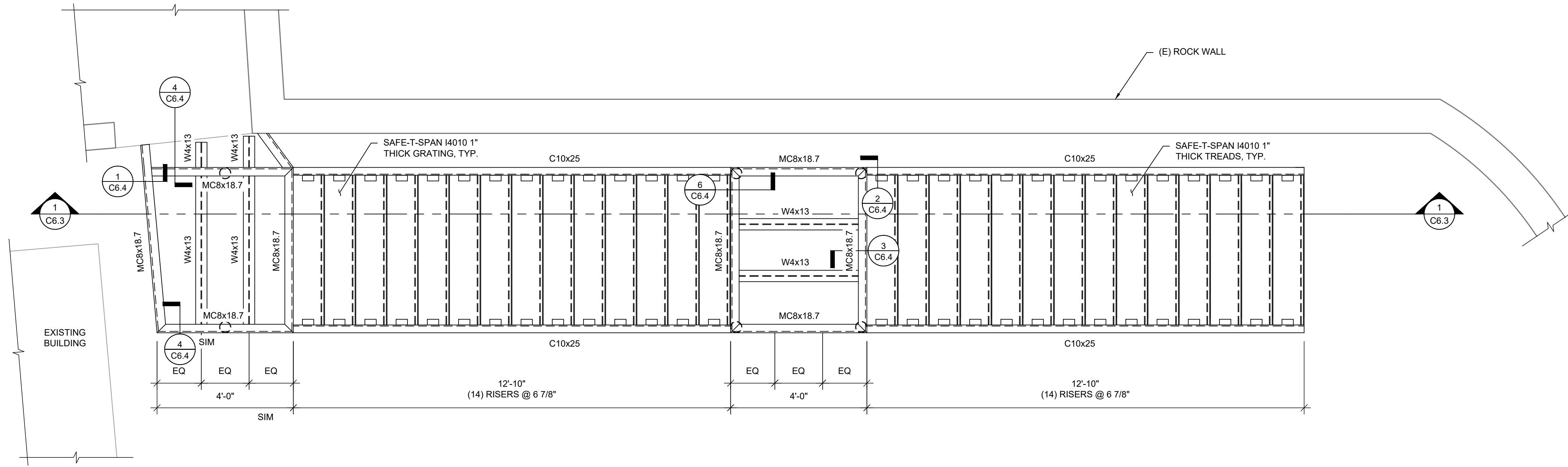
PROJECT NO: M-0287-21
DRAWN: SKN
CHECKED: SLG
DATE: 11/10/2023

FOUNDATION PLAN

C6.1

ONE INCH EQUALS FULL SCALE

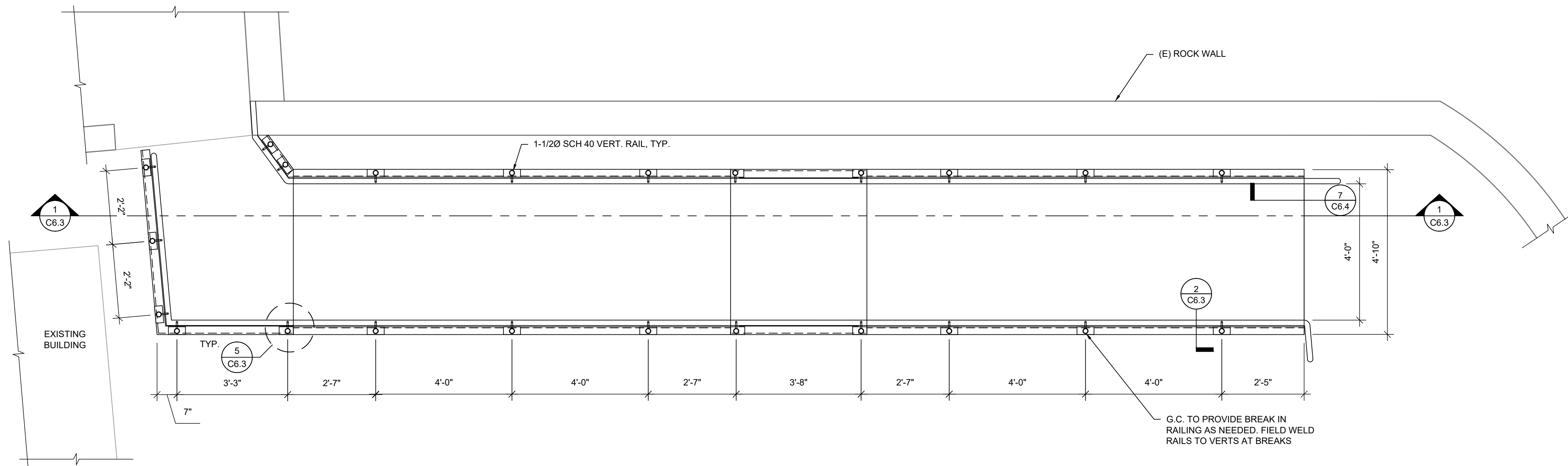
100% CONSTRUCTION DOCUMENTS



1 LANDING / STAIRS PLAN

C6.2

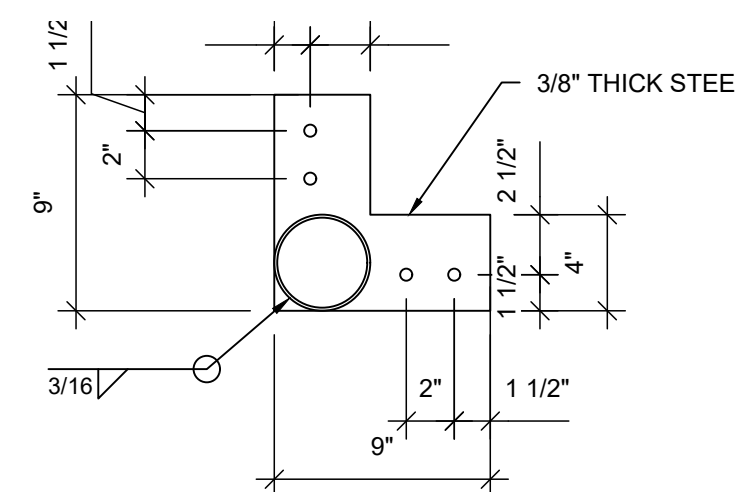
1/2"= 1'-0"



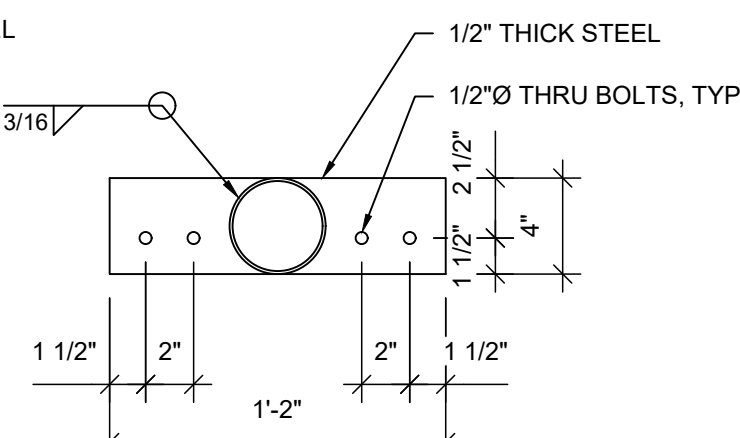
2 GUARDRAIL / HANDRAIL PLAN

C6.2

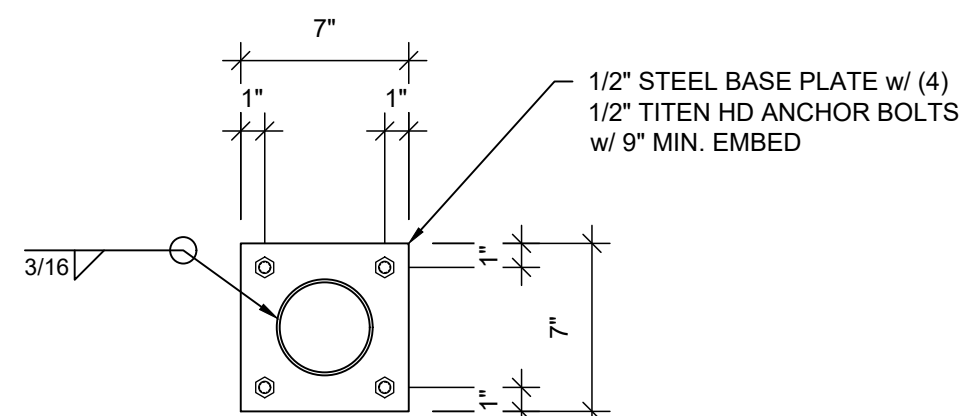
1/2"= 1'-0"



TP-1



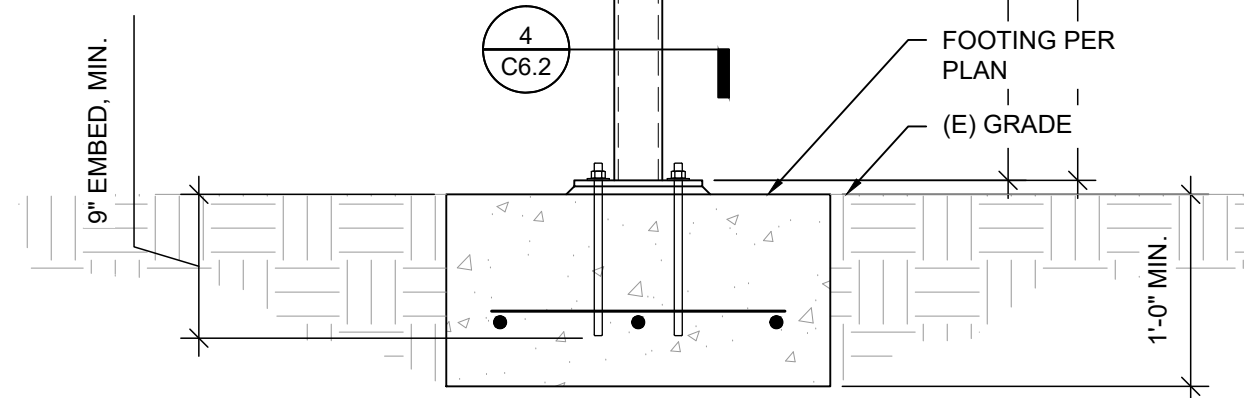
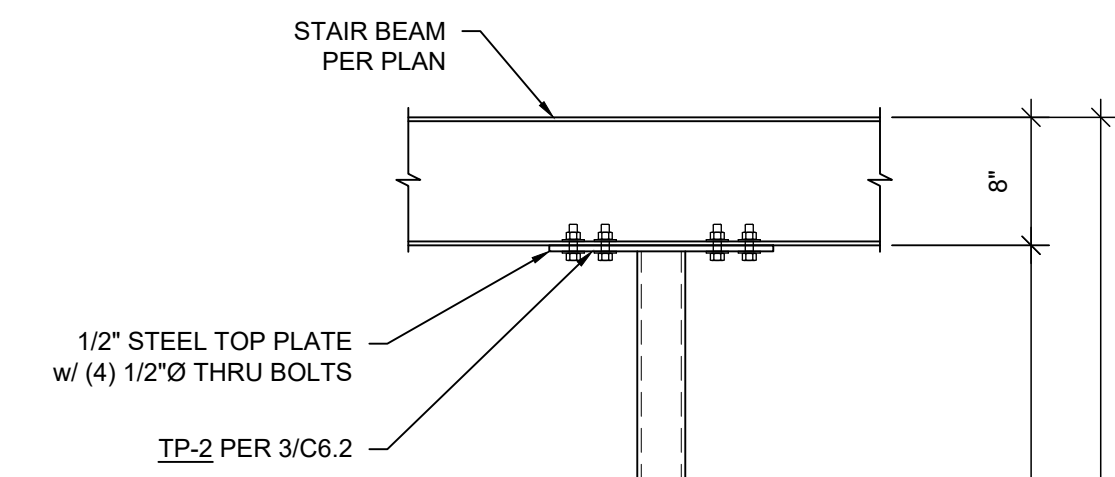
TP-2



4 TYP. COLUMN BOT PLATE

C6.2

1 1/2"= 1'-0"



5 UPPER LANDING COLUMN SECTION

C6.2

1"= 1'-0"

ONE INCH EQUALS FULL SCALE



EXPIRES: 06-30-24

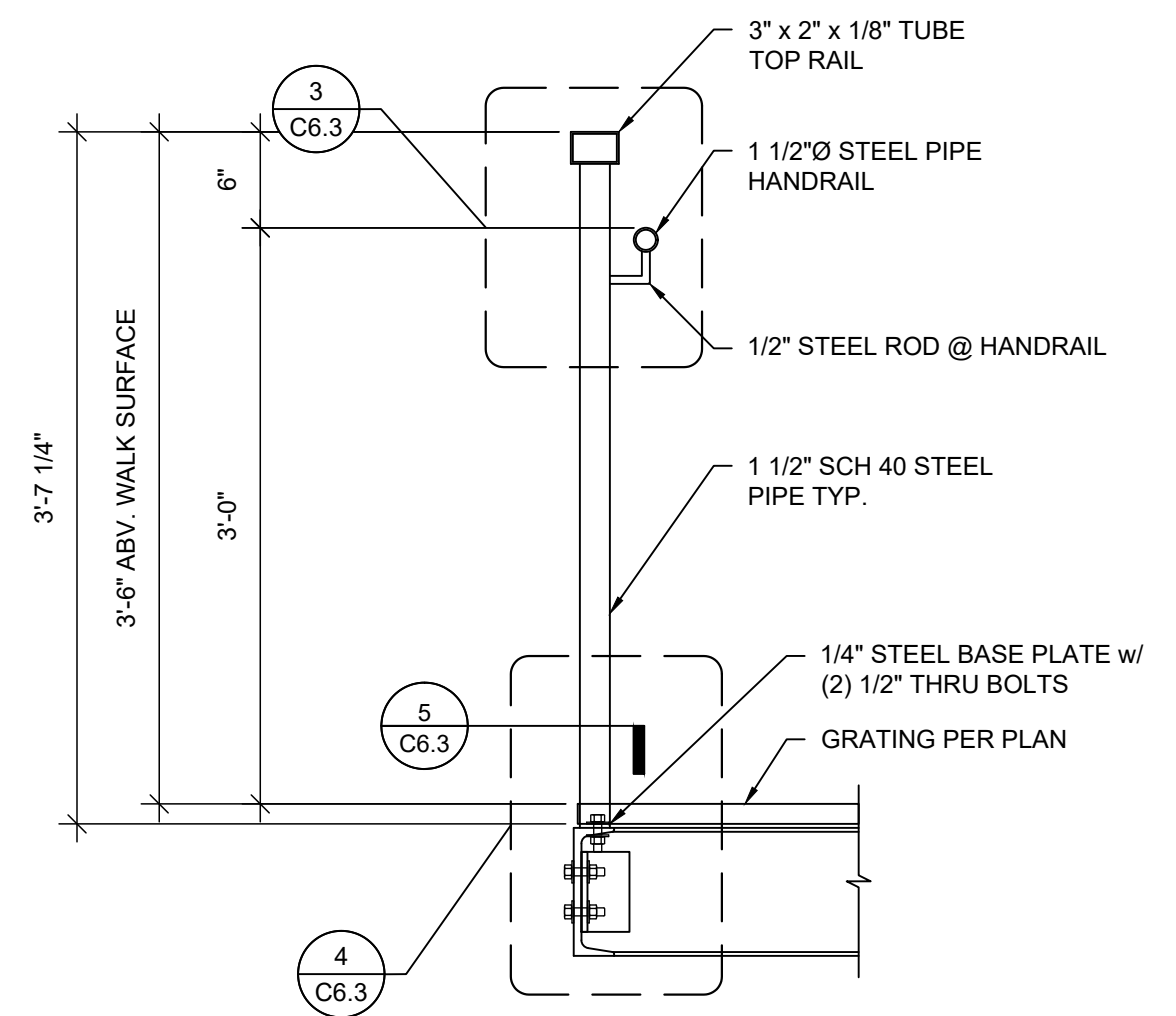
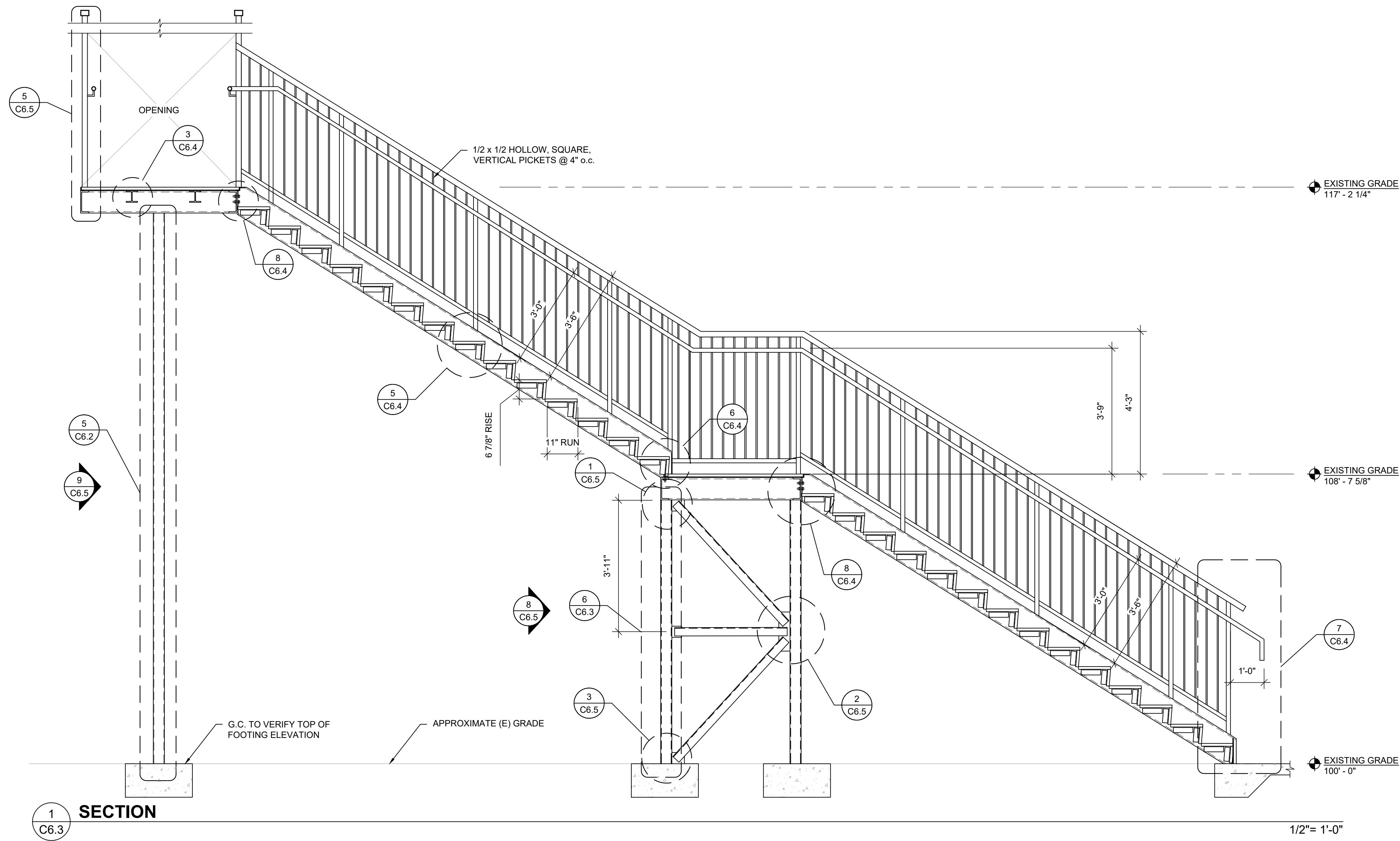
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CHECKED: SLC
DATE: 11/10/2023

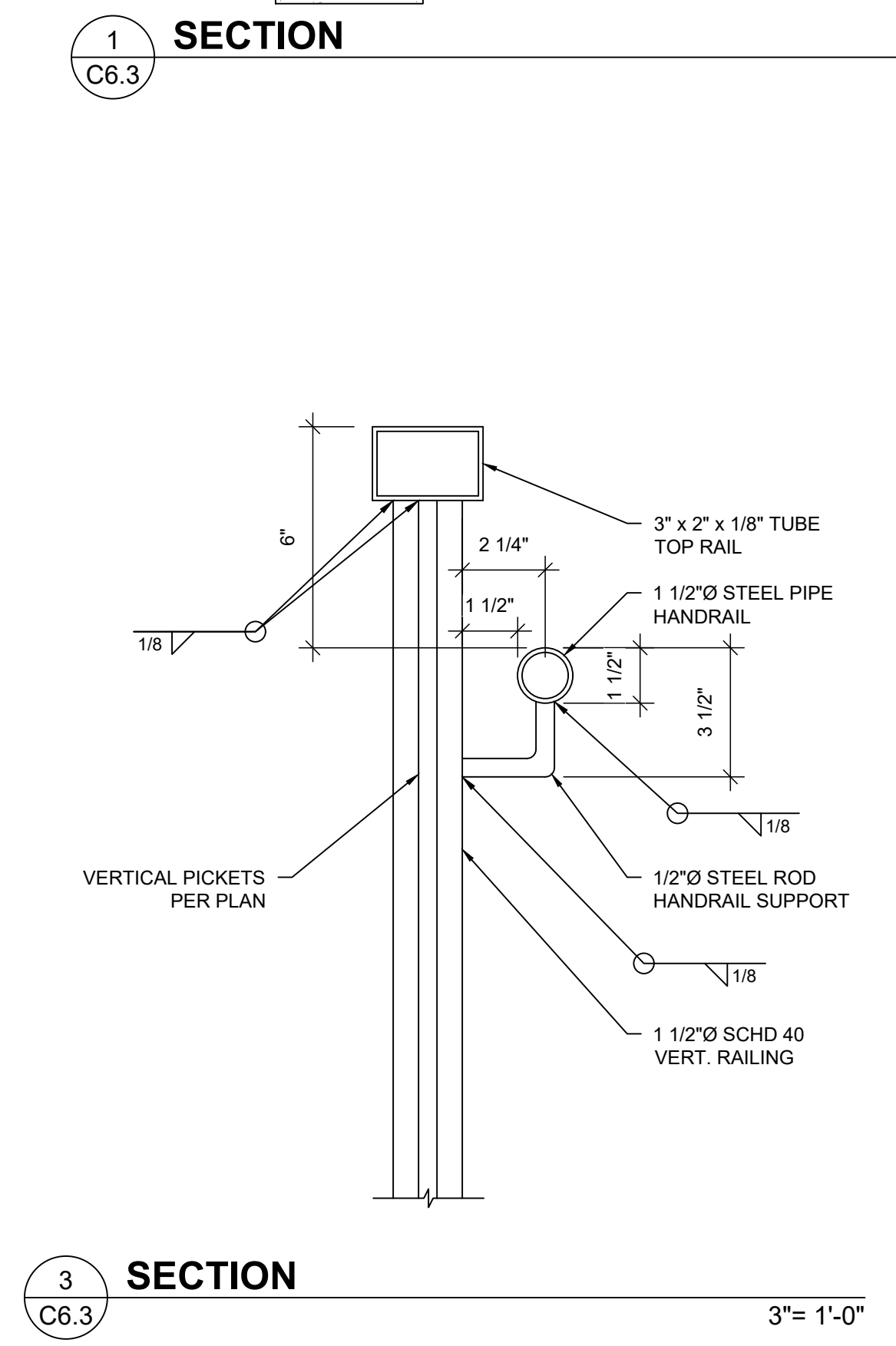
STAIR AND
GUARDRAIL
PLANS

C6.2

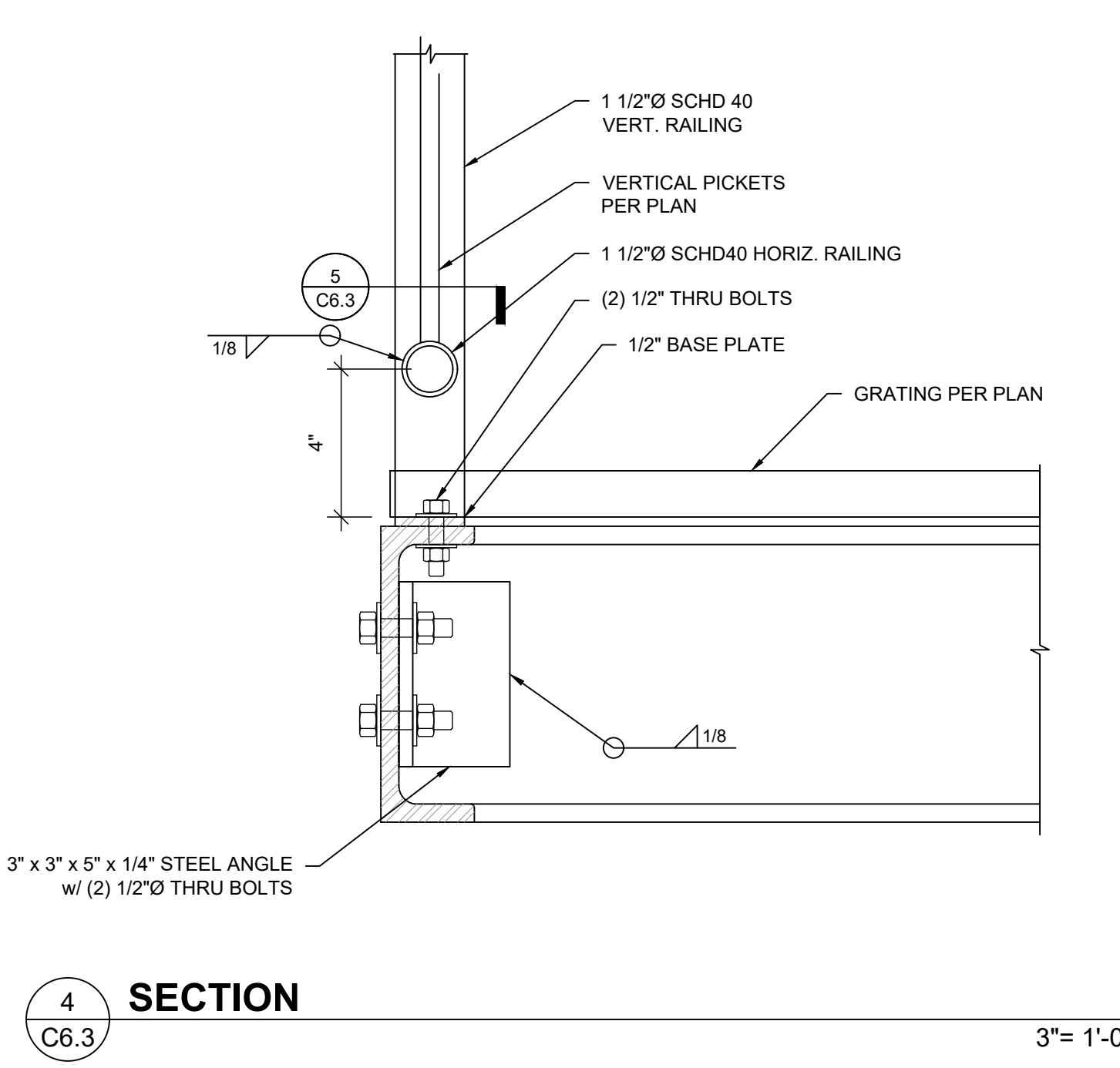
100% CONSTRUCTION DOCUMENTS



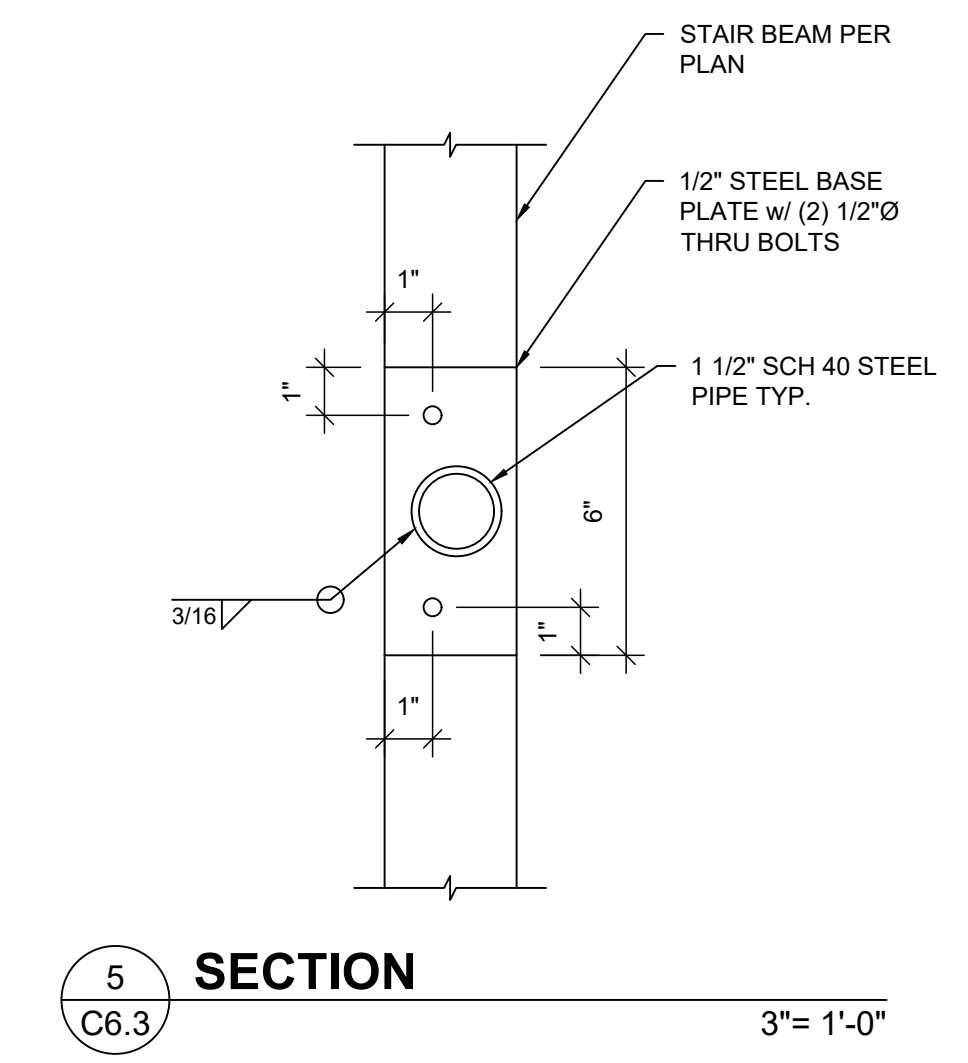
2 GUARDRAIL SECTION
1" = 1'-0"



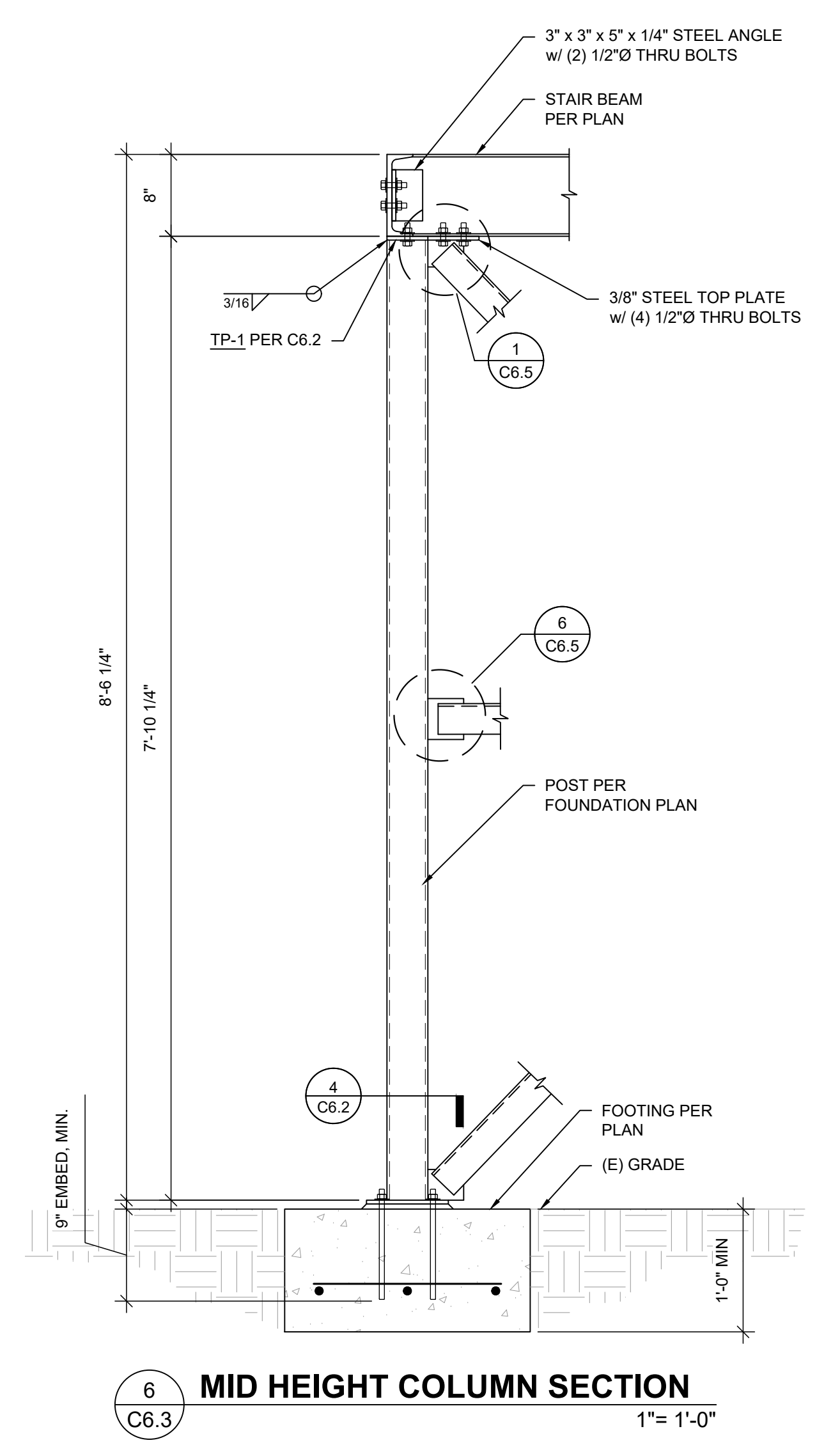
3 SECTION
3" = 1'-0"



4 SECTION
3" = 1'-0"



5 SECTION
3" = 1'-0"



6 MID HEIGHT COLUMN SECTION
1" = 1'-0"

ONE INCH EQUALS FULL SCALE



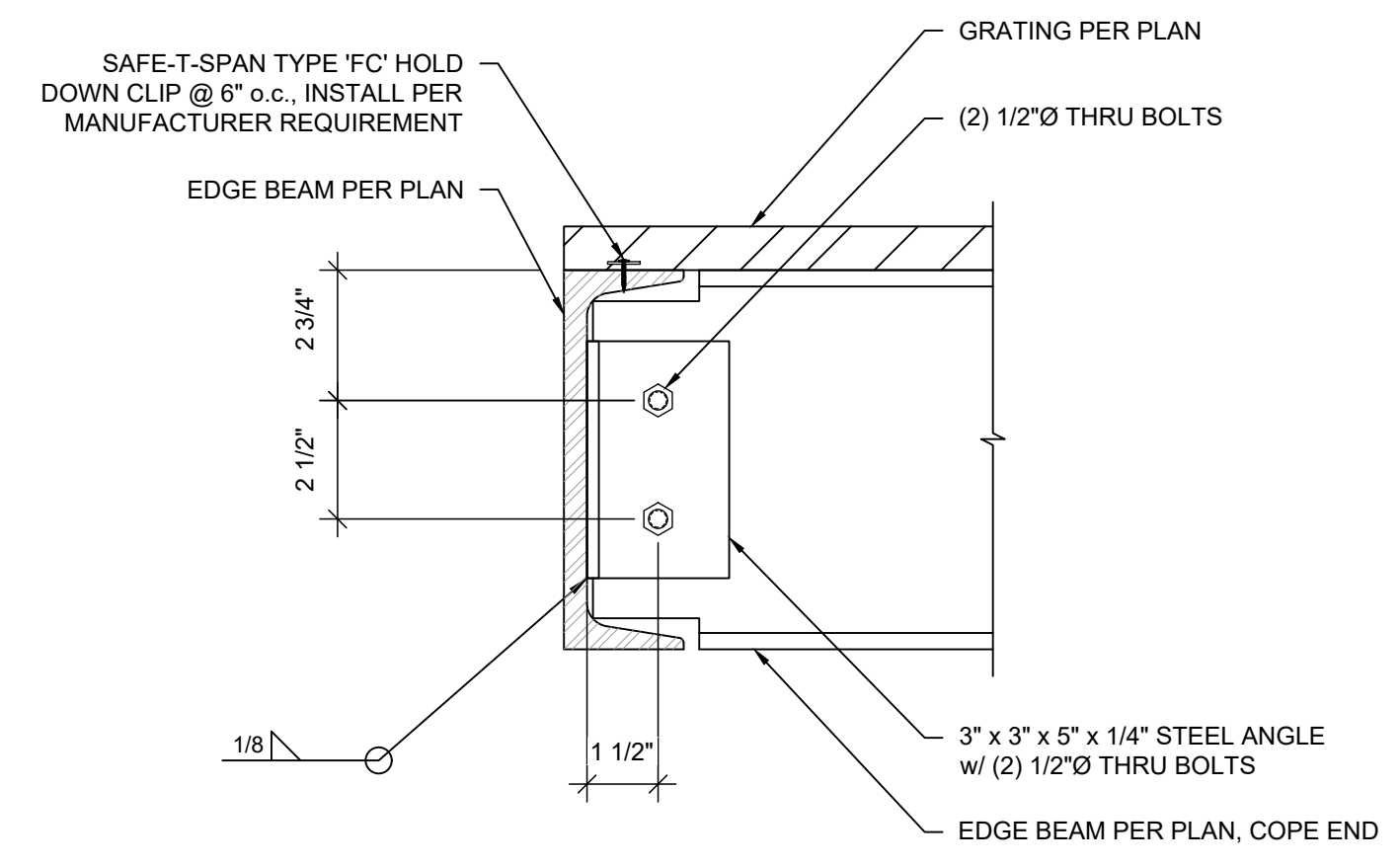
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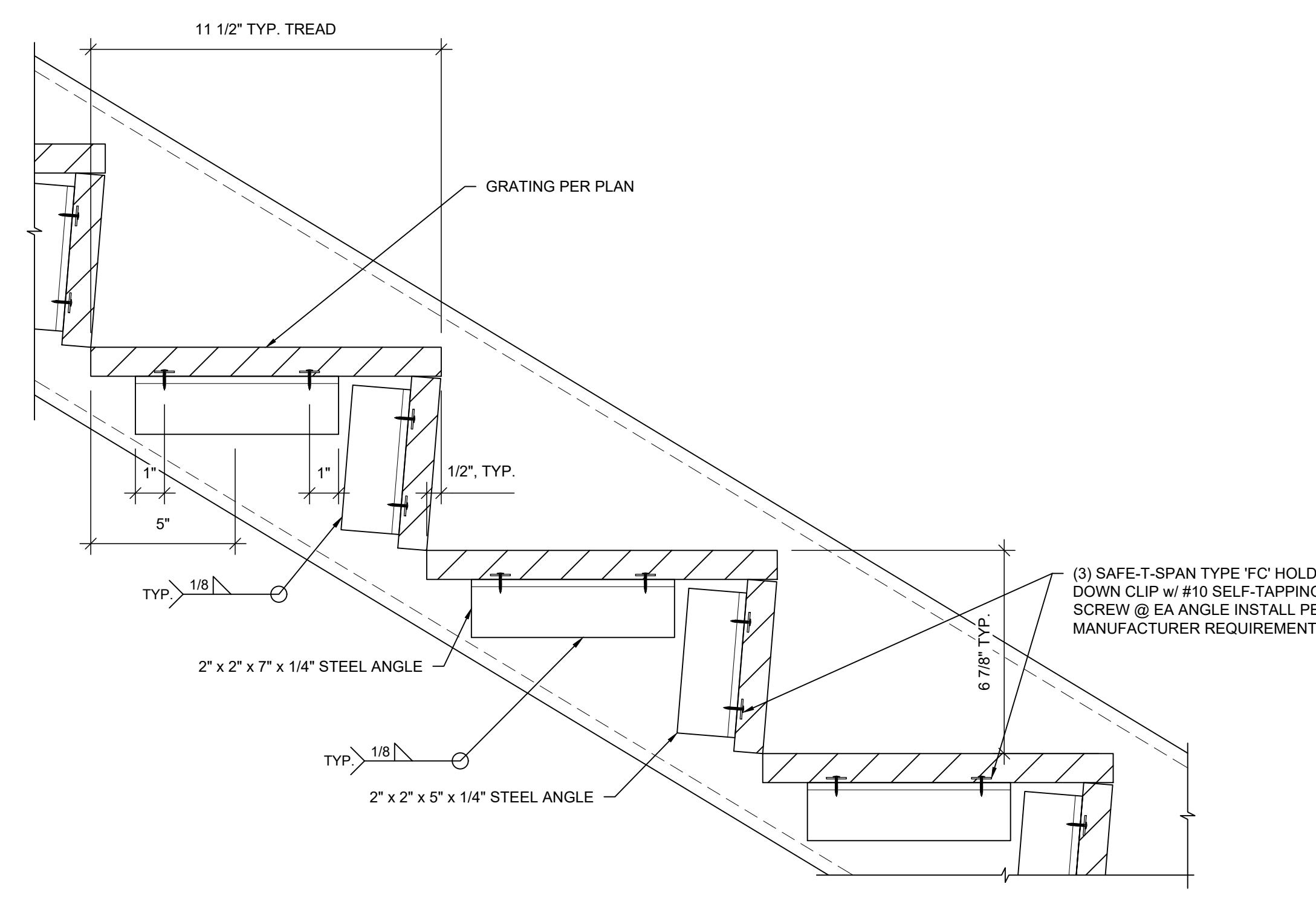
SECTIONS

C6.3

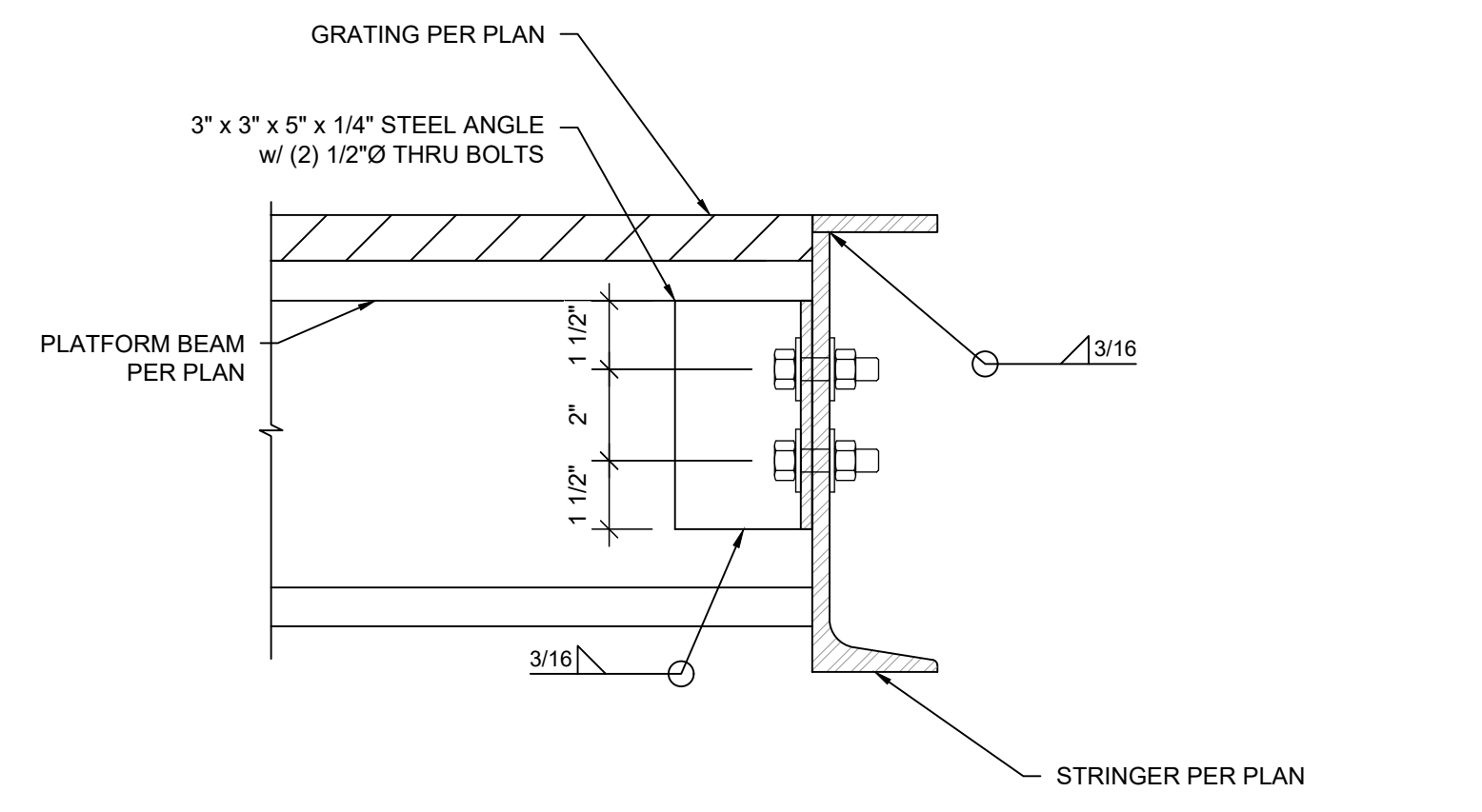
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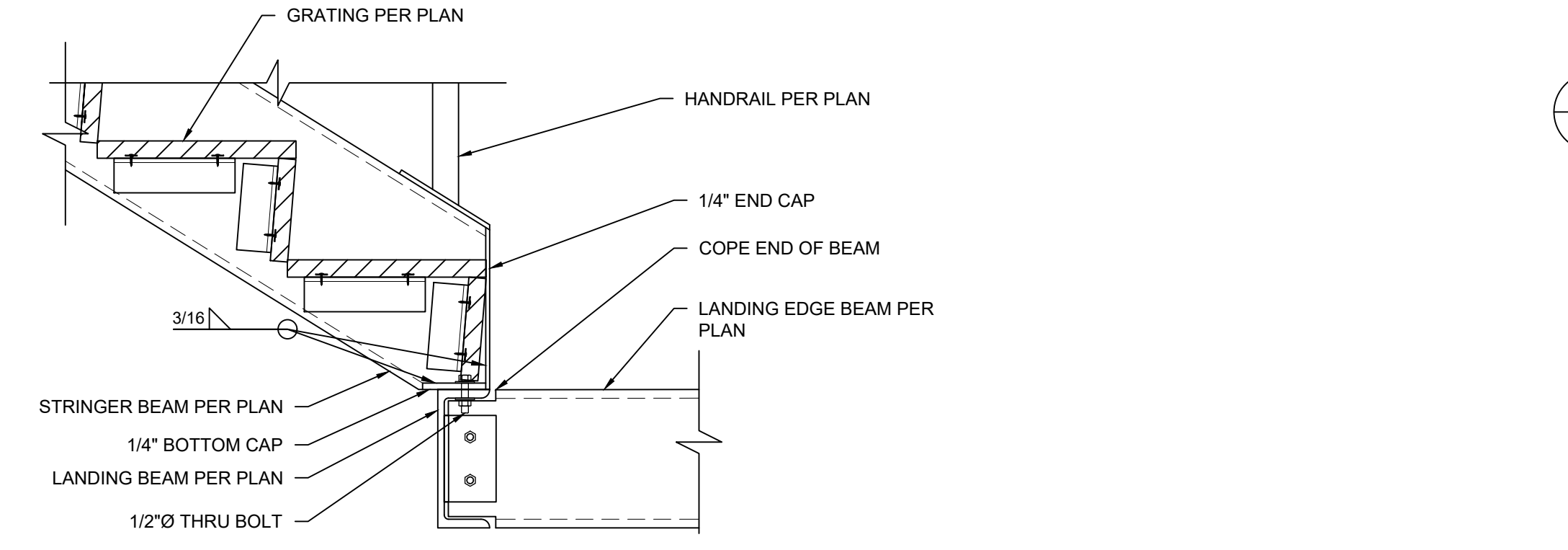
1 C6.4 PLATFORM TO STRINGER DETAIL 3"= 1'-0"



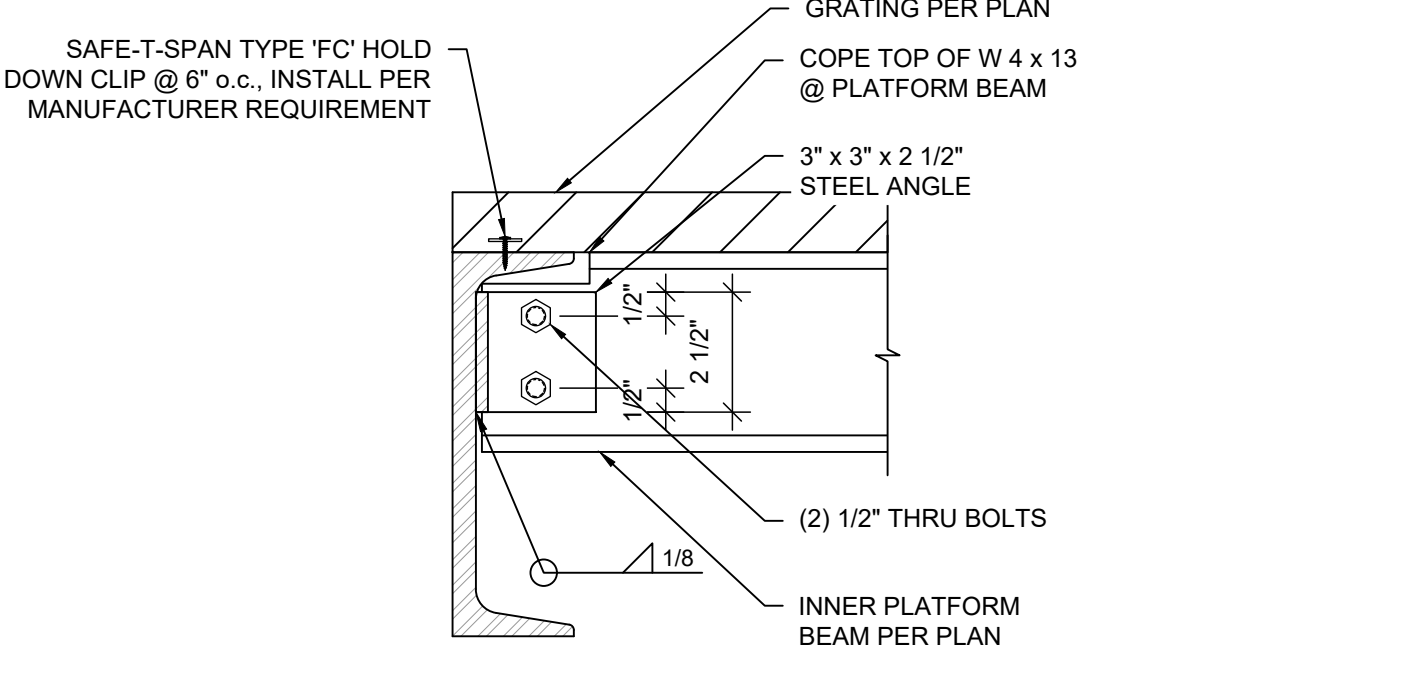
5 C6.4 TREAD AND RISER DETAIL 3"= 1'-0"



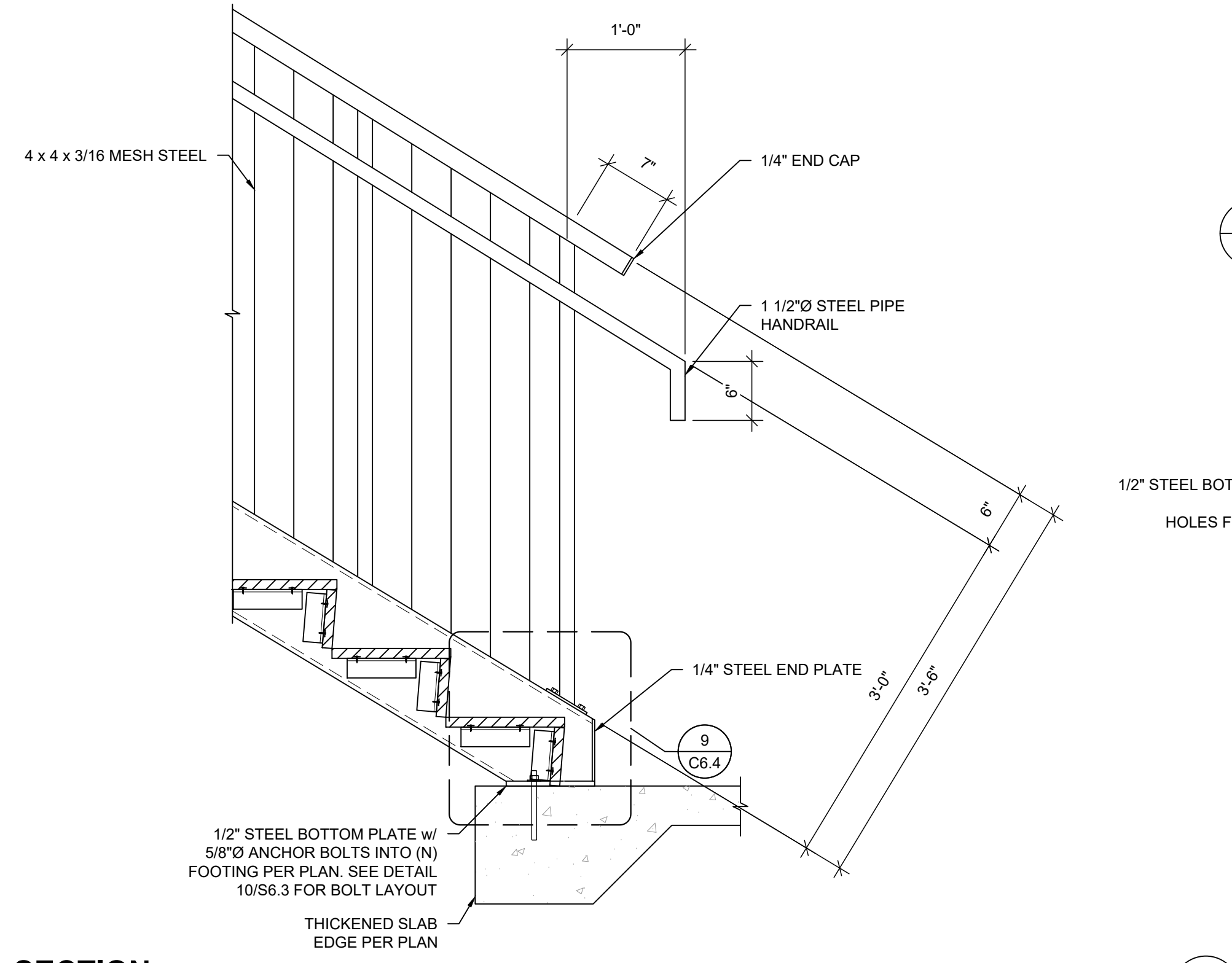
2 C6.4 STAIR TO STRINGER DETAIL 3"= 1'-0"



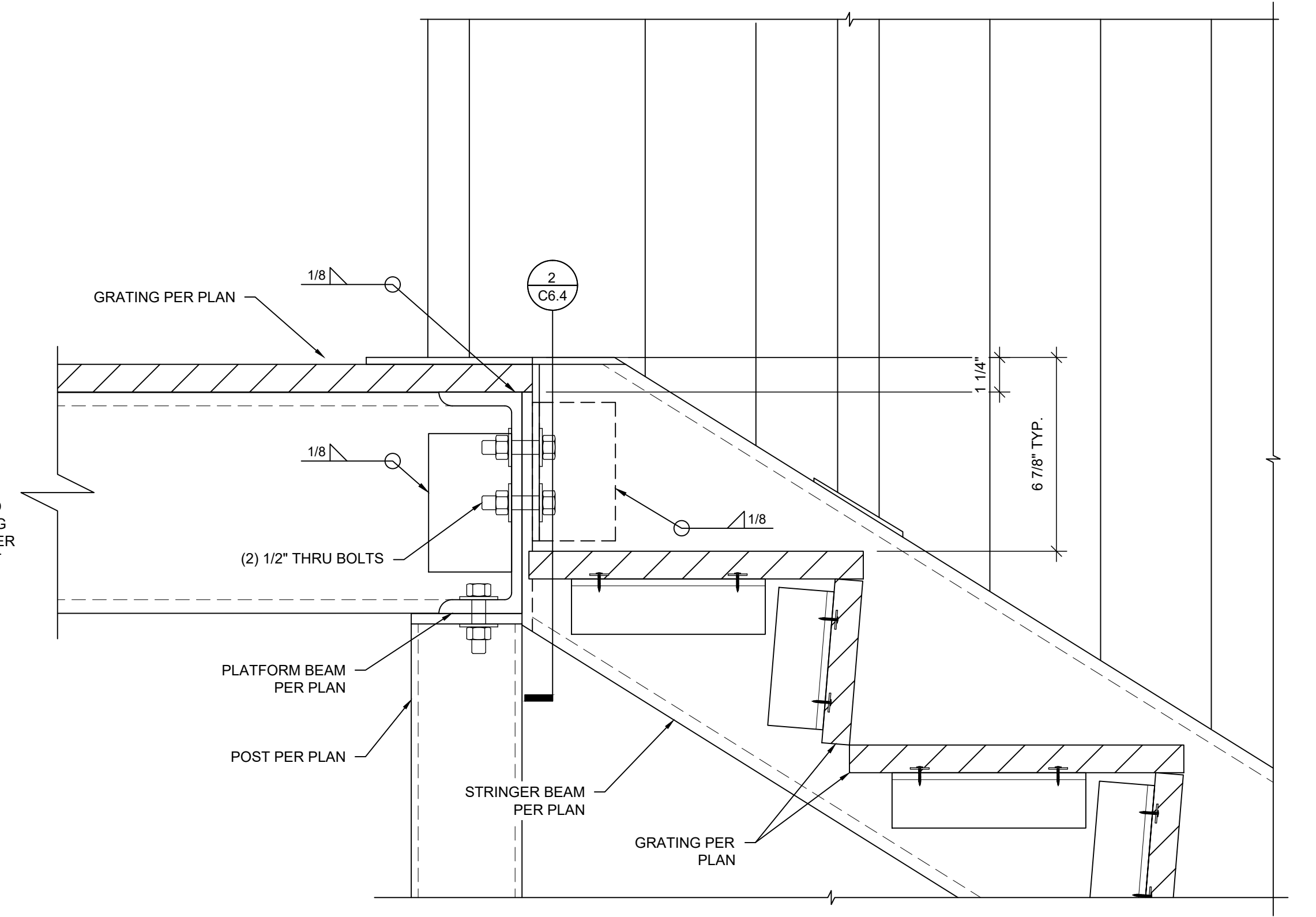
6 C6.4 PLATFORM BEAM CONNECTIONS 1'-1/2"= 1'-0"



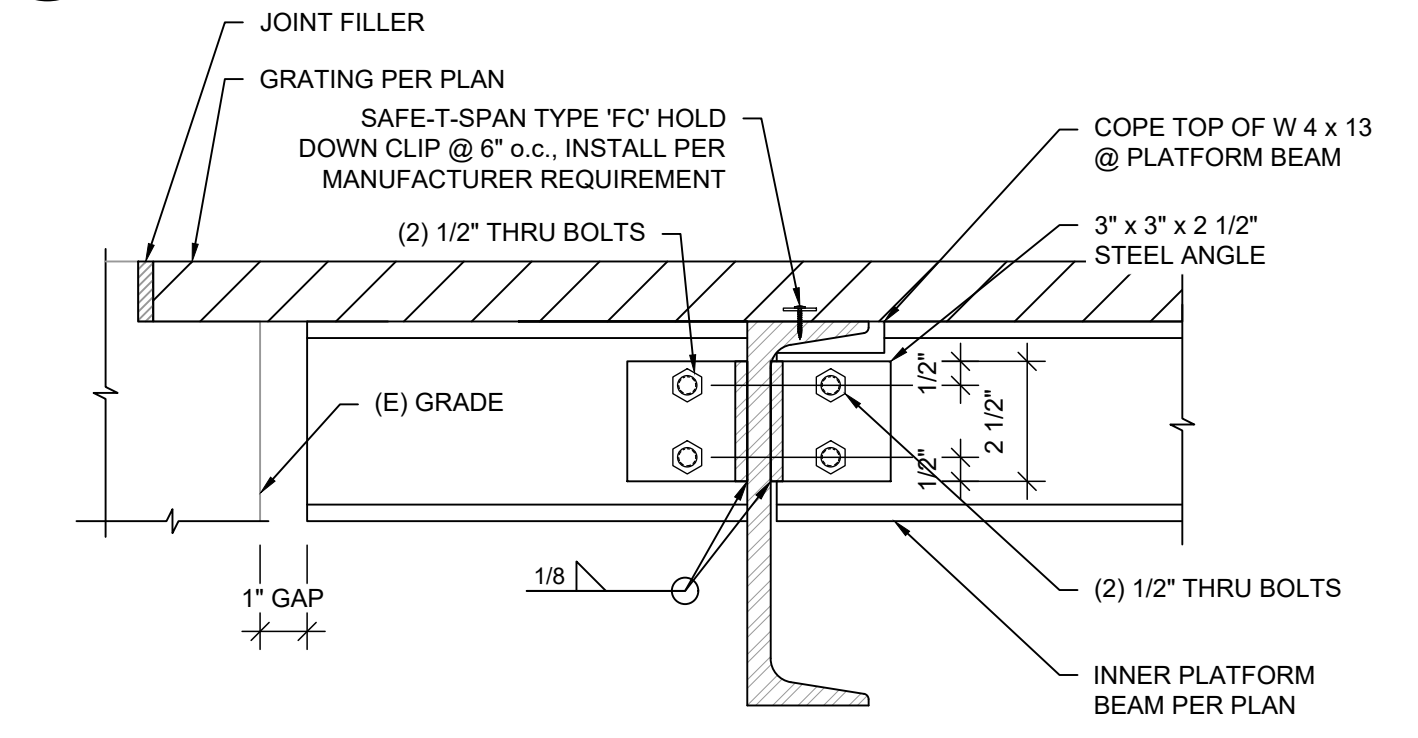
3 C6.4 PLATFORM BEAM CONNECTIONS 3"= 1'-0"



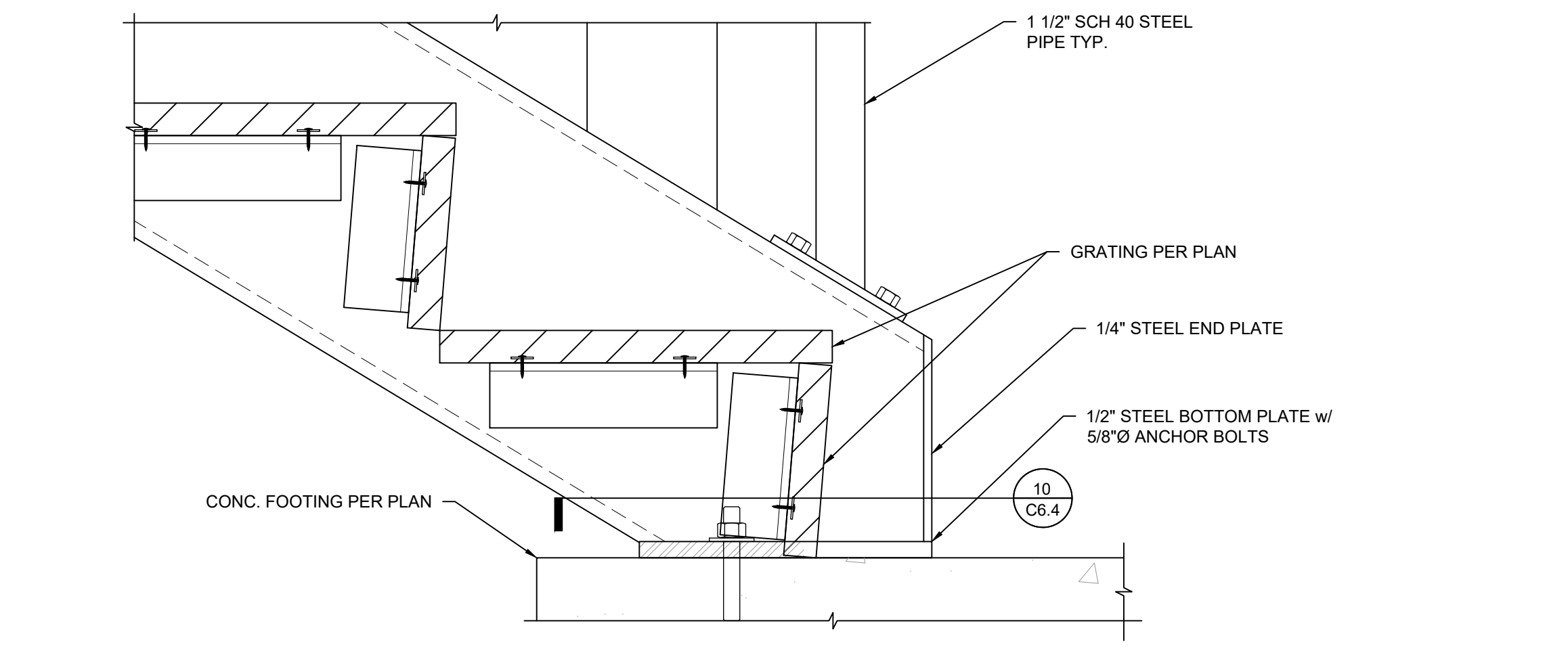
7 C6.4 SECTION 1"= 1'-0"



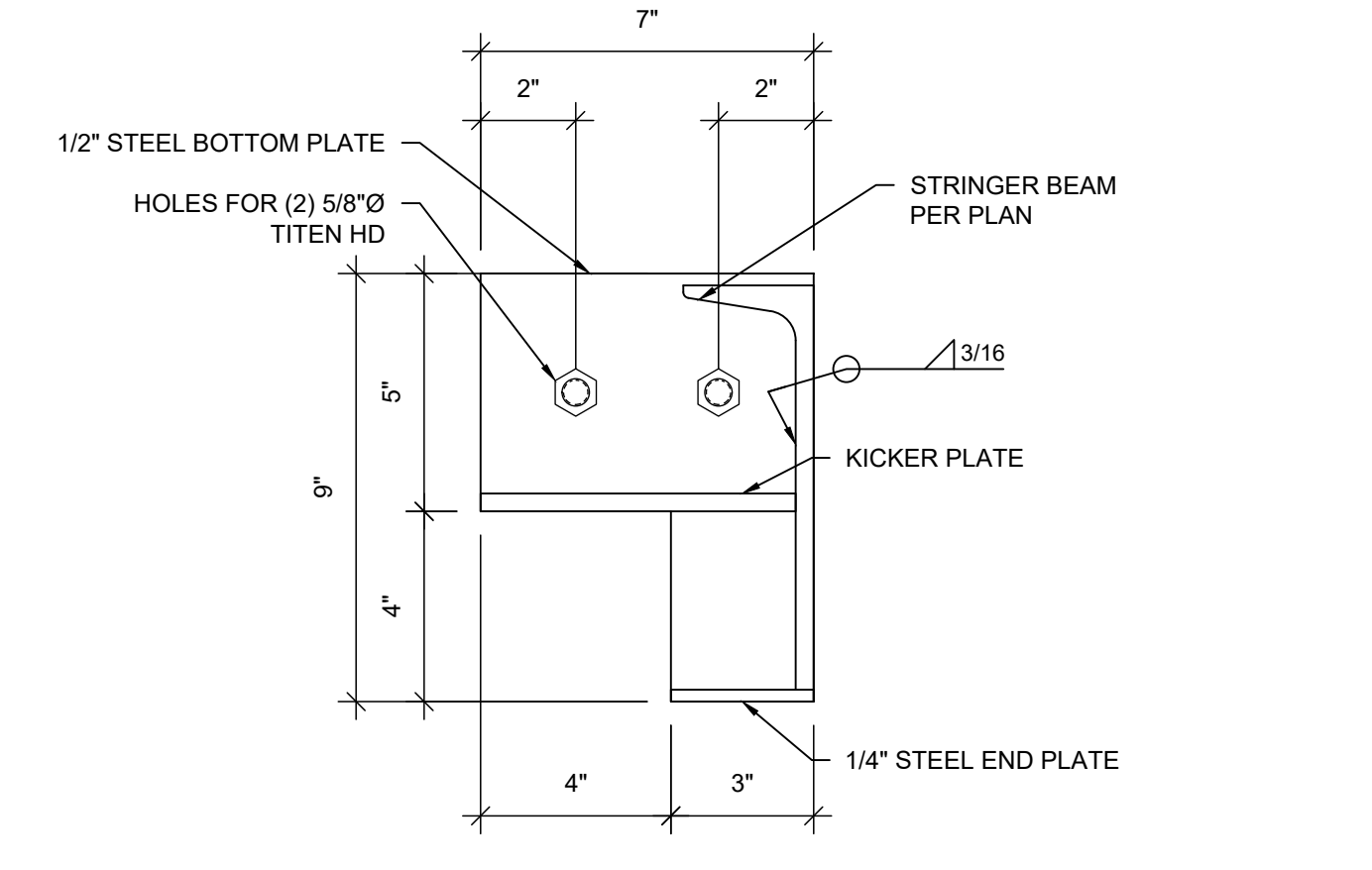
8 C6.4 PLATFORM BEAM CONNECTIONS 3"= 1'-0"



4 C6.4 PLATFORM BEAM CONNECTIONS 3"= 1'-0"



9 C6.4 PLATFORM BEAM CONNECTIONS 3"= 1'-0"



10 C6.4 STRINGER BASE PLATE 3"= 1'-0"



45 Hawthorne Street, Suite 5, Medford, Oregon 97504 | 541-600-8588

CITY OF ASHLAND
20 EAST MAIN STREET
ASHLAND, OR 97520

ALICE PEIL
STEEL STAIRWAY



REVISION ID:	DATE:

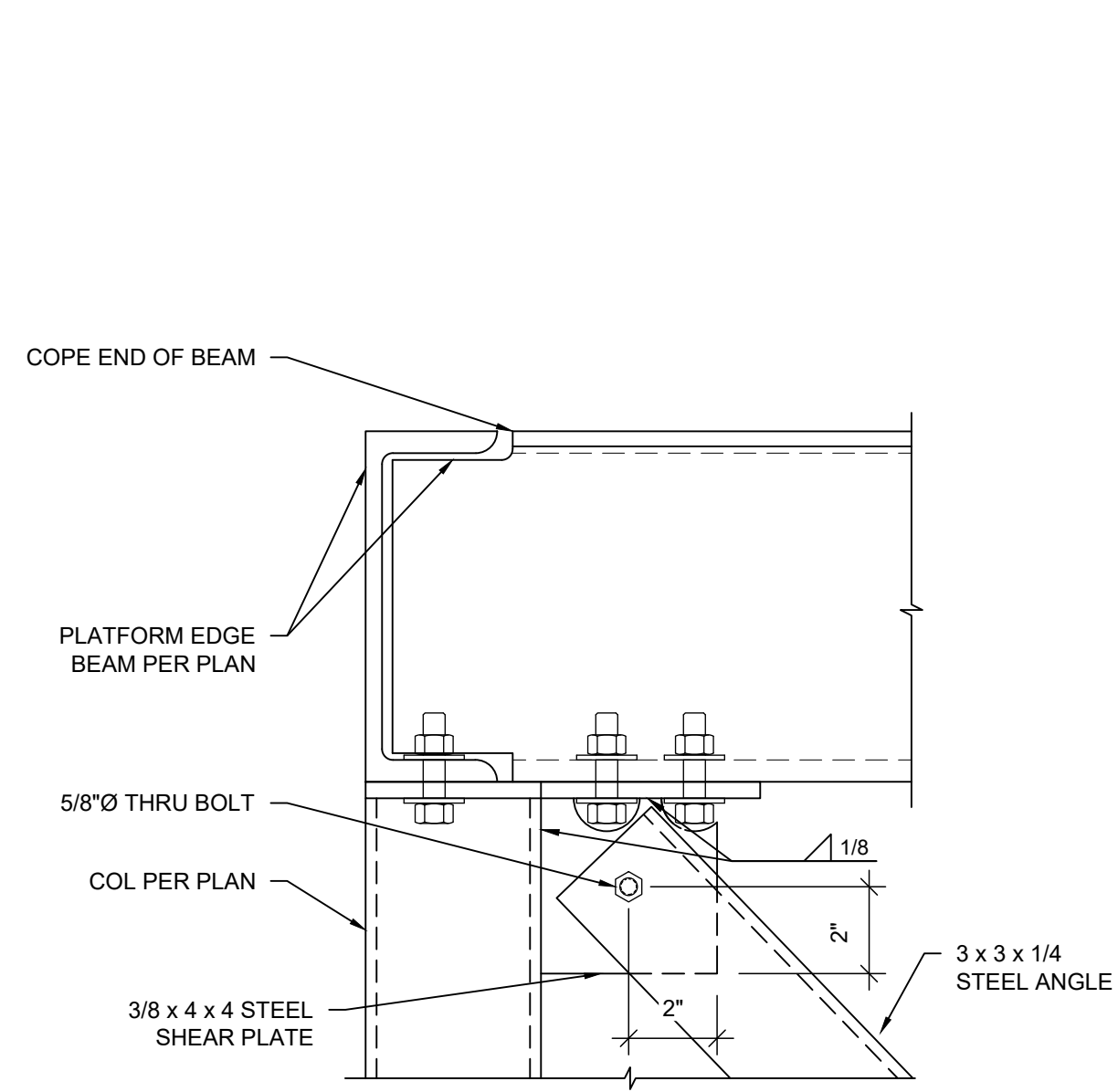
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STAIR DETAILS

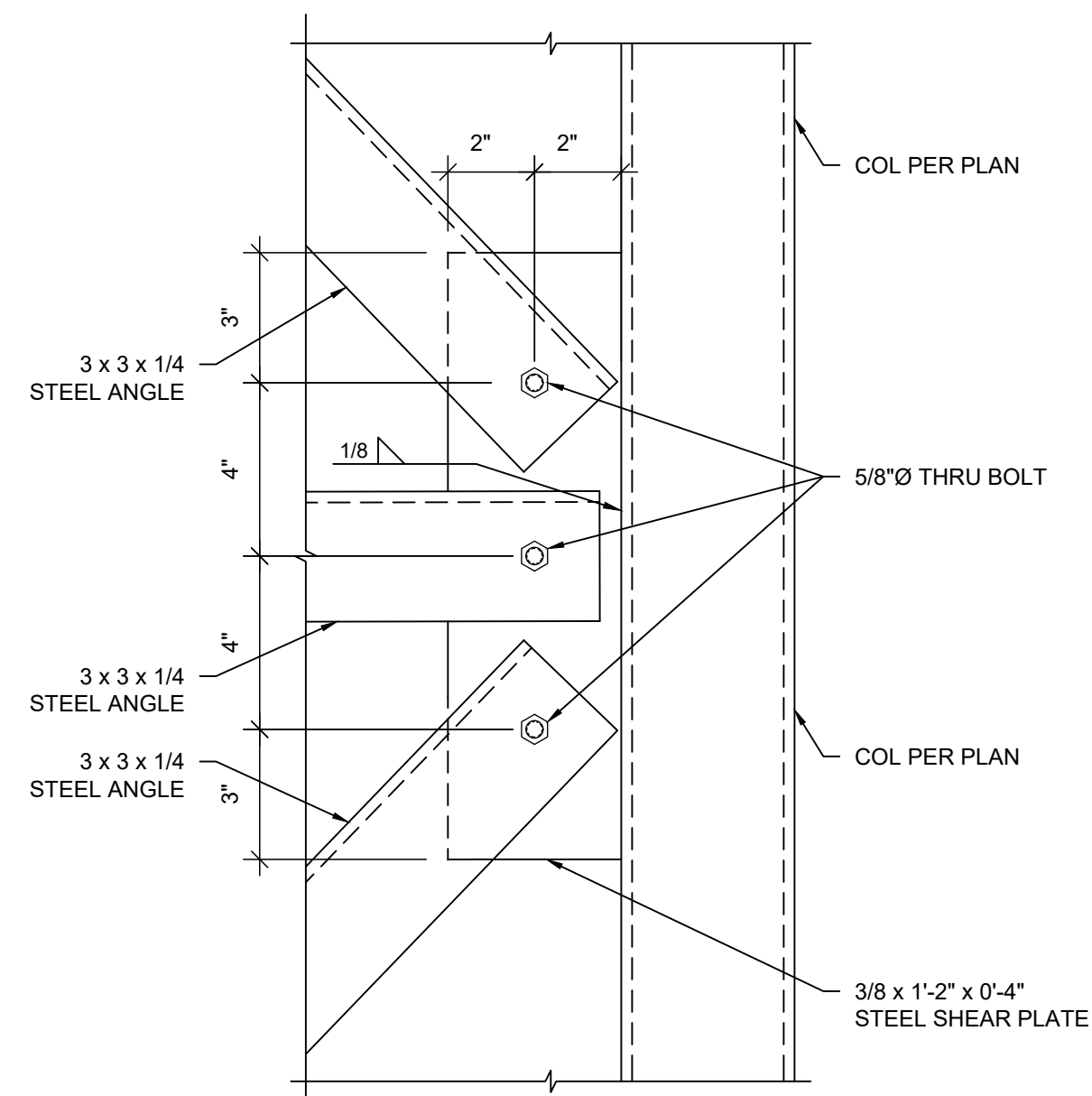
C6.4

ONE INCH EQUALS FULL SCALE

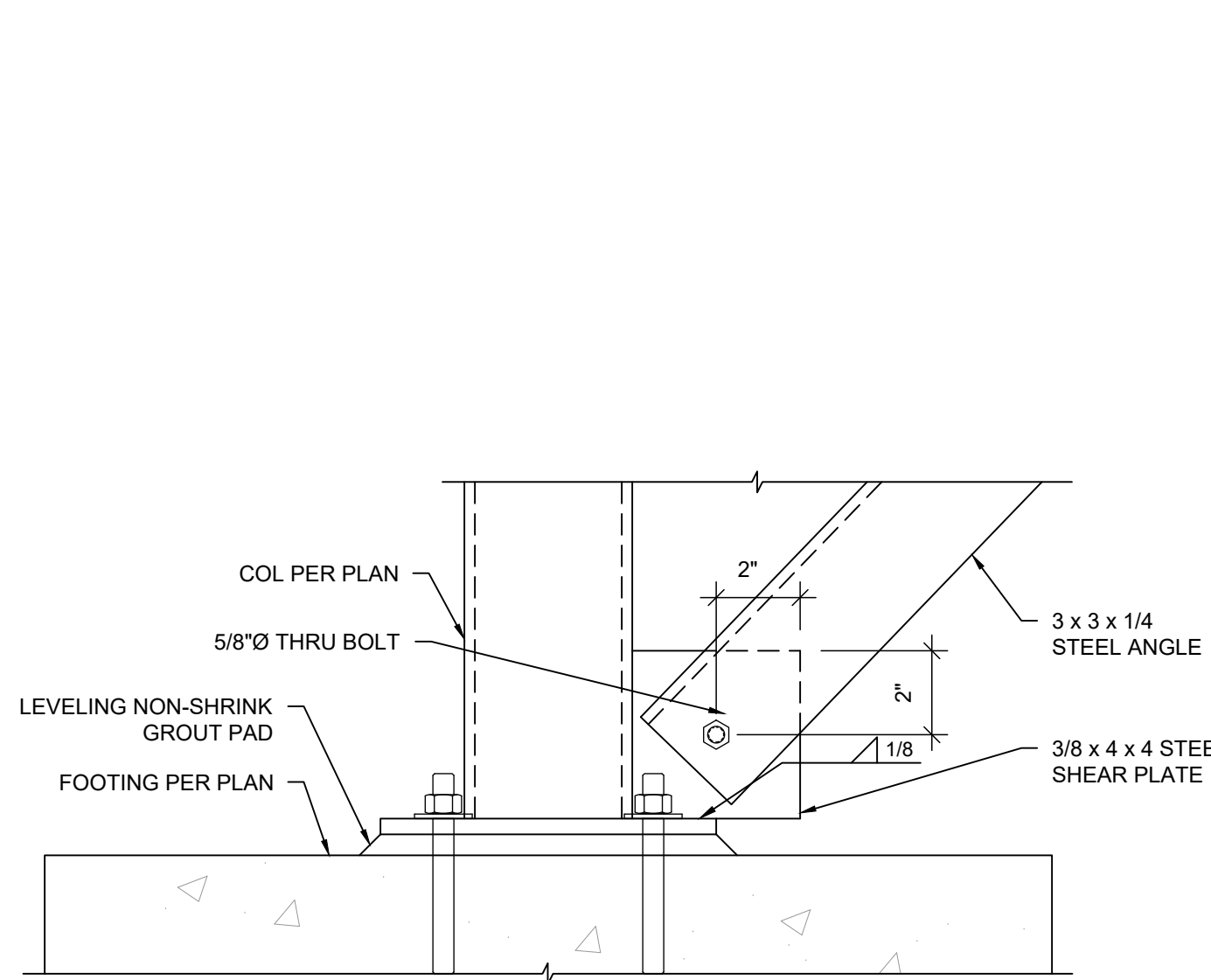
100% CONSTRUCTION DOCUMENTS



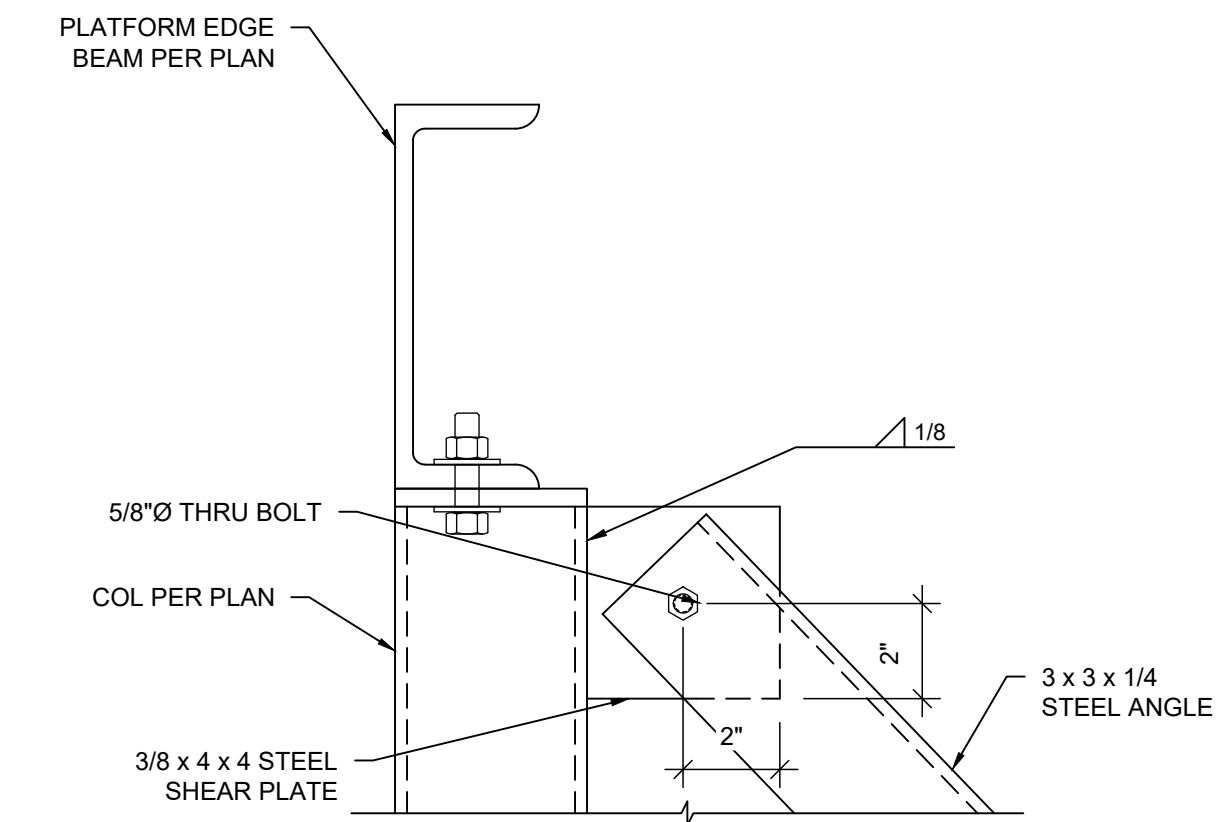
1 TOP OF COLUMN BOLTED CONNECTION
C6.5 3"= 1'-0"



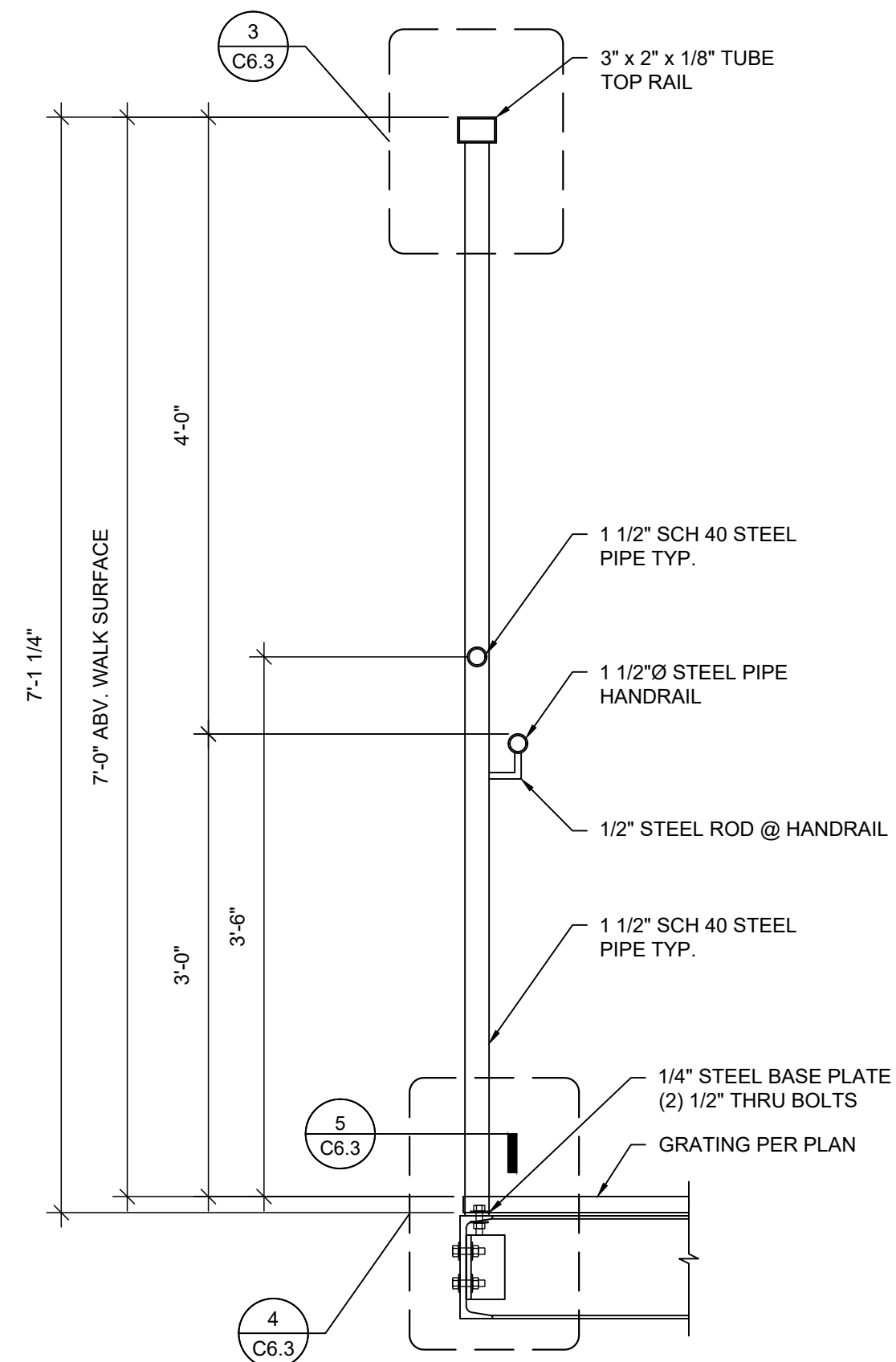
2 TRIPLE BRACE BOLTED CONNECTION
C6.5 3"= 1'-0"



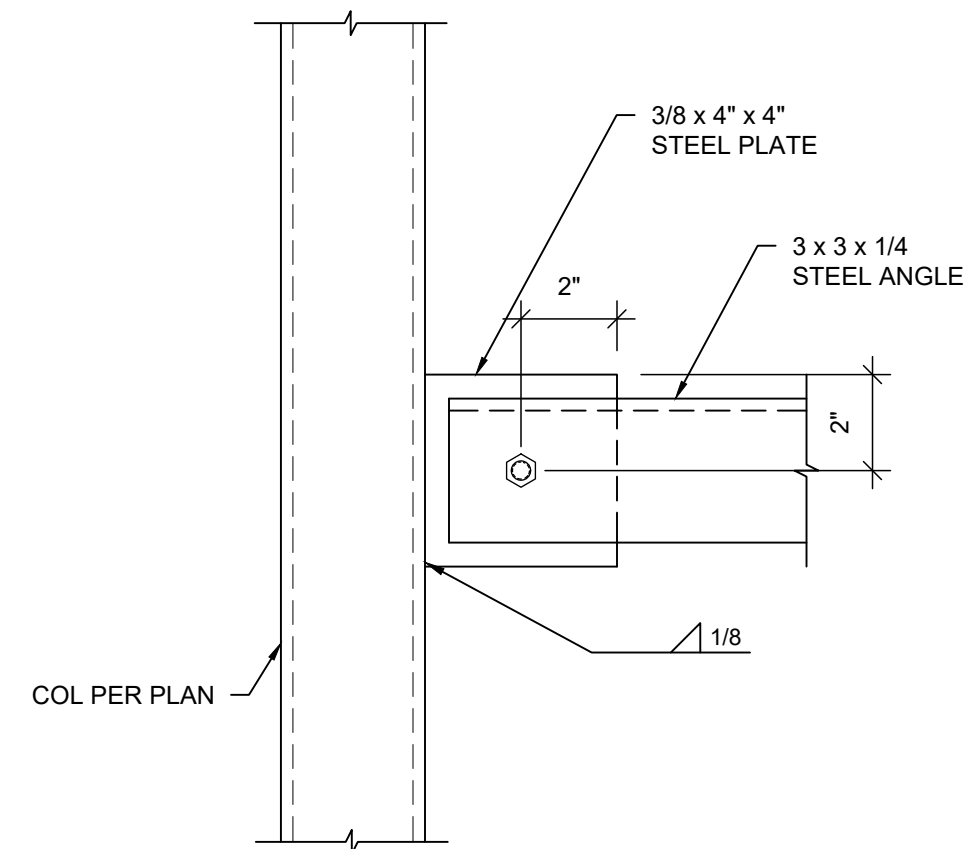
3 BOTTOM OF COLUMN BOLTED CONNECTION
C6.5 3"= 1'-0"



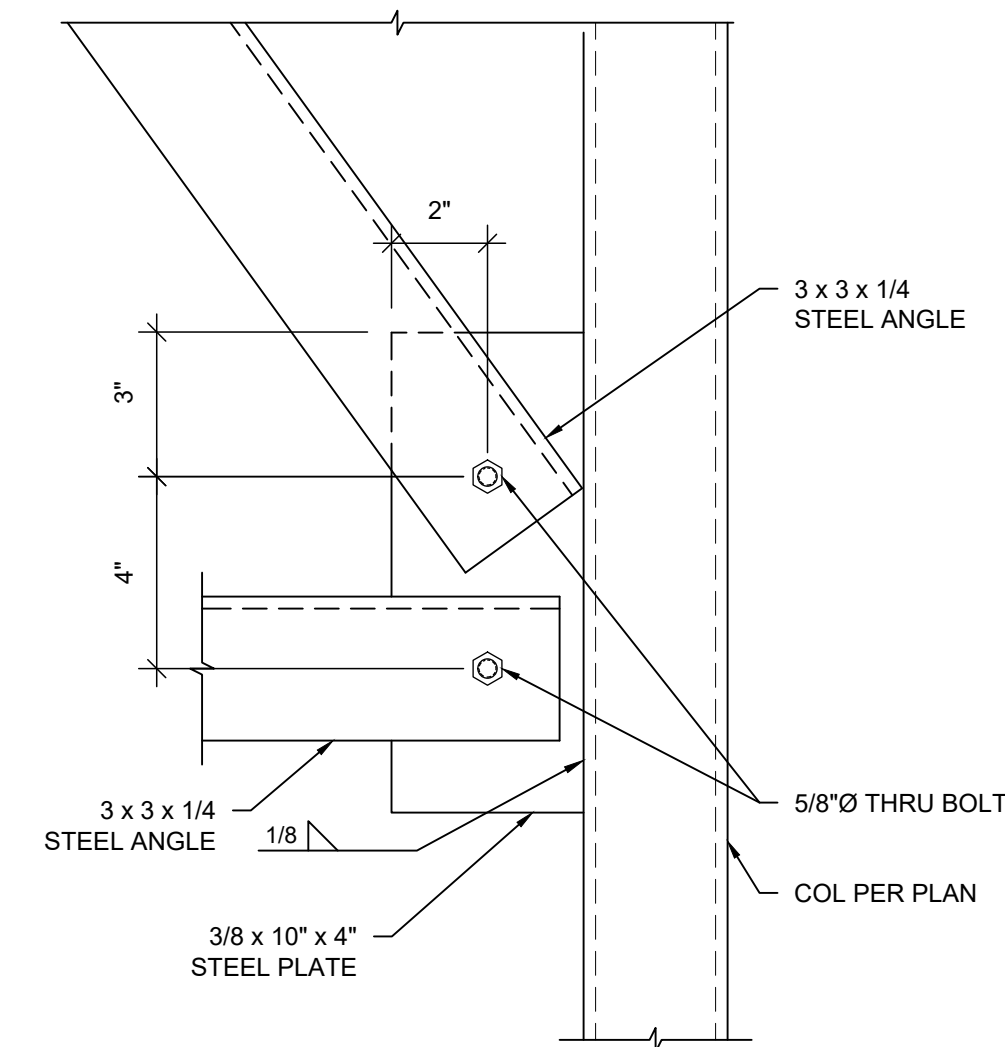
4 TOP OF TALL COLUMN BOLTED CONNECTION
C6.5 3"= 1'-0"



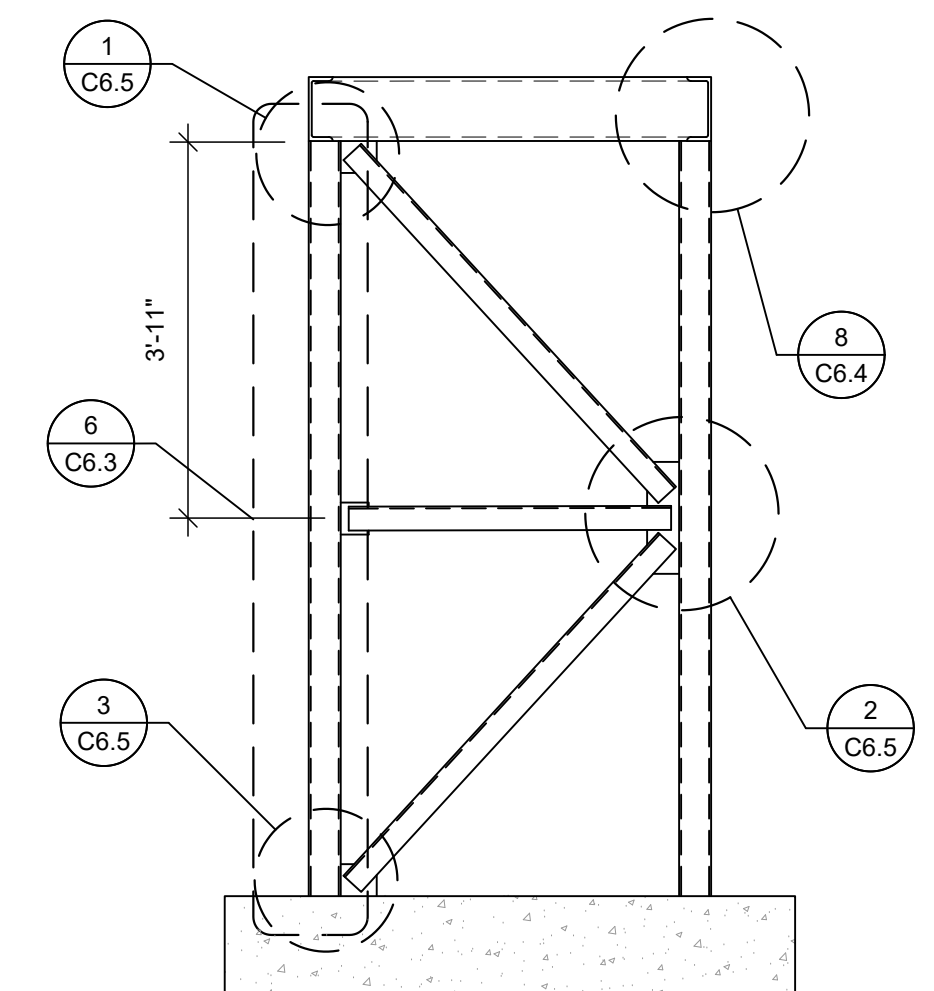
5 SECTION
C6.5 1"= 1'-0"



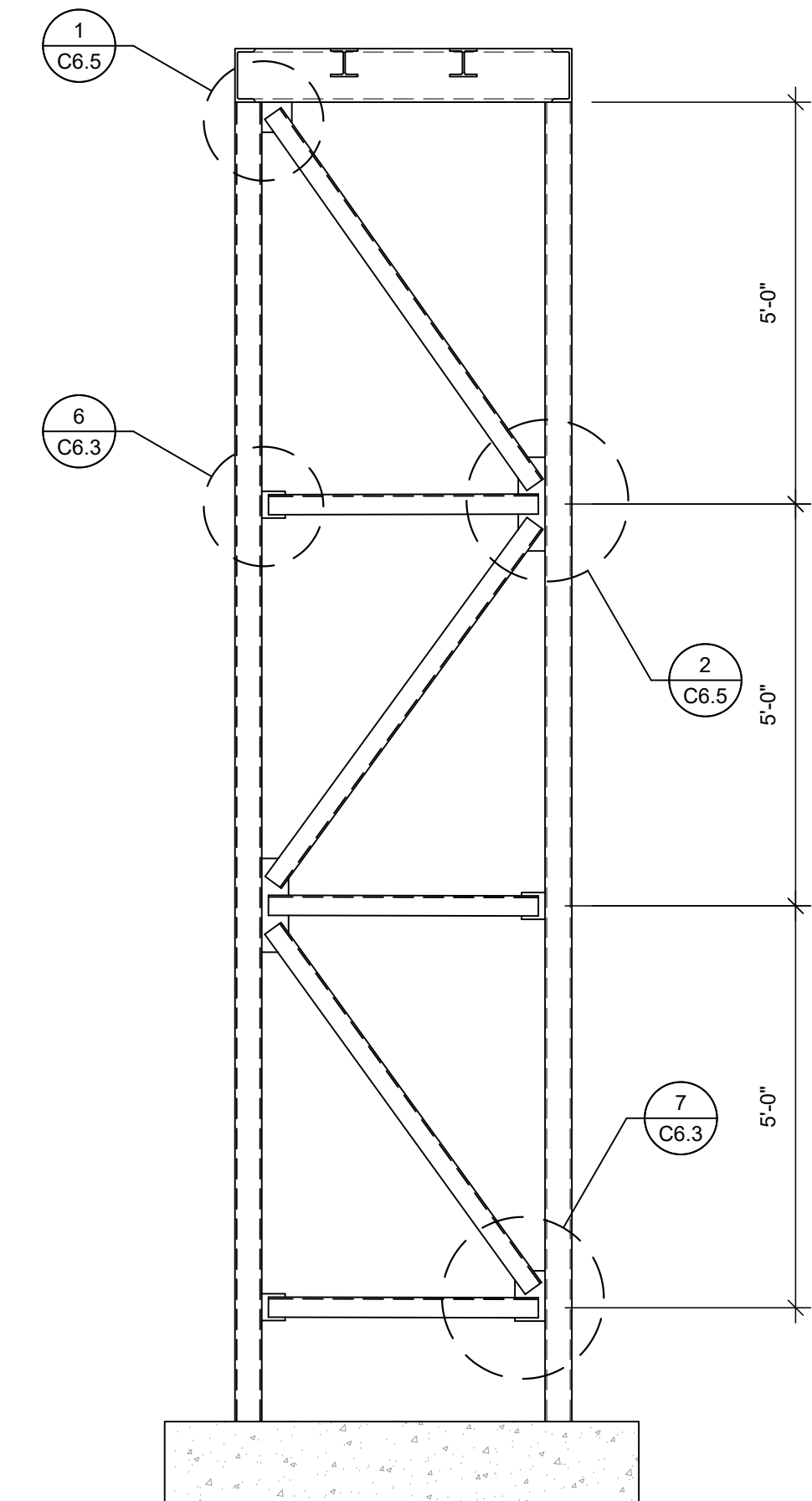
6 MID-COLUMN BOLTED CONNECTION
C6.5 3"= 1'-0"



7 BOTTOM OF COLUMN BOLTED CONNECTION
C6.5 3"= 1'-0"



8 LOWER LANDING ELEVATION
C6.5 1/2"= 1'-0"



9 UPPER LANDING ELEVATION
C6.5 1/2"= 1'-0"

ONE INCH EQUALS FULL SCALE



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STAIR BOLTED CONNECTION DETAILS

C6.5

100% CONSTRUCTION DOCUMENTS

ZCS advised that the City completely replace the Alice Peil stairway, including the primary steel structure, rather than rehabilitate structural/framing elements and replacing only the stair (i.e. risers and treads) and handrail elements. The reasons for this recommendation involved cost and schedule.

Lead Abatement: The existing framing is generally in good shape and could be salvaged if the City wished to pursue rehabilitation, but does require repairs where water has seeped underneath the paint surface and caused corrosion of the steel. This can be achieved by sand-blasting existing surfaces and re-coating with a durable coating. However, the age of the stairs suggests that lead abatement of the older underlying paint layers on the primary structure will be necessary. The abatement effort is expected to be costly, especially since it will need to be paid at prevailing wage, time-consuming, and disruptive. Lead abatement will need to occur before the structural elements can be sand-blasted and re-coated with a durable coating. The time, expense, and disruption caused by abatement is a strike against the rehabilitation option. **NOTE added by Jason Strait February 21, 2024: Sand blasting will be disruptive and difficult to accomplish without impacting neighbors and the Community Development Office**

Prevailing Wage Rules: Rehabilitation will require significant on-site welding, assembly, and painting of the new stair and handrail elements, all of which must be paid at prevailing wage. However, a full replacement of the structure and stair elements will enable most of the fabrication and coating to be performed in the fabrication shop rather than on-site. Prevailing wage rules do not apply to work performed in the fabrication shop. **NOTE added by Jason Strait February 21, 2024: Given the replacement cost of the stairway the local site work including demolition of the existing stairway, preparation work and ancillary work will be paid at prevailing wage as the total is above the \$50,000 threshold. Only the portion of the work done off site in a fabrication shop will be exempt. As such, this statement is no longer a significant driver.**

Schedule: ZCS estimates that attempting to rehabilitate the existing structure will put the stairway out of commission for at least a month, and possibly much longer depending on extent and progress of lead abatement activities. ZCS estimates that fully replacing the structure and stairs would decommission the stairway for about one week. **NOTE added by Jason Strait February 21, 2024: The ITB for stairway replacement limited the time the stairway would be unavailable to the public to 35 days, not one week.**

ADA Compliance: The stairway is not ADA compliant. If the City only replaces the stair elements, there would be no requirement to bring the structure into compliance, nor would compliance be possible due to spatial limitations in the existing stair configuration. However, replacing the entire structure provides the opportunity, spatial flexibility, and the regulatory driver, to provide an ADA compliant stairway.

Recommendation: Staff supports replacement, rather than rehabilitation, as a more affordable, timely, and less disruptive project. The final product will provide a better solution, in terms of ADA compliance and avoidance of costly and disruptive lead abatement work. **NOTE added by Jason Strait February 21, 2024: Replacement remains the recommended alternative. Repairs remain riskier from a schedule perspective and will not bring the stairs up to date in regard to code compliance. In addition, repairs will not have the expected life of a new stair and will be required again within 5-15 years. The cost of repairs are not known (a new ITB cycle for the repair option would take 3-4 months) and may not be significantly cheaper than replacement.**